

Robert J. Cook

TOWN COUNCIL AGENDA
TOWN COUNCIL CHAMBERS
740 MAIN STREET
EAST HARTFORD, CONNECTICUT
DECEMBER 13, 2016

2016 DEC -8 A 8:31

TOWN CLERK
EAST HARTFORD

=====

Announcement of Exit Locations (C.G.S. § 29-381)

Pledge of Allegiance

7:30 p.m.

1. CALL TO ORDER
2. AMENDMENTS TO AGENDA
3. RECOGNITIONS AND AWARDS
4. OPPORTUNITY FOR RESIDENTS TO ADDRESS THE COUNCIL ON AGENDA ITEMS
 - A. Other Elected Officials
 - B. Other Residents
 - C. Mayor
5. APPROVAL OF MINUTES
 - A. November 15, 2016 Executive Session
 - B. November 15, 2016 Regular Meeting
 - C. November 28, 2016 Special Joint Meeting/Board of Education
6. COMMUNICATIONS AND PETITIONS
 - A. Presentation by the MDC: Monthly Billing
 - B. Presentation by Finance Director Mike Walsh: Orphan Properties
 - C. Purchasing Department: §10-10(b) of the Code of Ordinances re: Not Accepting the Lowest Bid for Custodial Services for Town Hall and Public Safety Complex
7. OLD BUSINESS
8. NEW BUSINESS
 - A. Contract Authorization: GEI Consultants, Inc. for the Town's Flood Protection System
 - B. State of Connecticut DECD: Urban Act Grant Application
 - C. DEEP: 2017 Recreational Trails Grants Program
 - D. Homeland Security Grant Program
 - E. Local Prevention Council Grant: ERASE
 - F. Refund of Taxes
 - G. Outdoor Amusement Permit Applications:
 1. 25th Annual Brian Aselton Snow Dash
 2. 2017 Eversource Hartford Marathon
9. OPPORTUNITY FOR COUNCILLORS TO DIRECT QUESTIONS TO THE ADMINISTRATION
10. COUNCIL ACTION ON EXECUTIVE SESSION MATTERS
11. OPPORTUNITY FOR RESIDENTS TO SPEAK
 - A. Other Elected Officials
 - B. Other Residents
 - C. Mayor
12. ADJOURNMENT (next meeting: January 3rd)

Robert J. Poock

2016 NOV 21 A 9:24

TOWN COUNCIL MAJORITY OFFICE

NOVEMBER 15, 2016

TOWN CLERK
EAST HARTFORD

EXECUTIVE SESSION

PRESENT Chair Richard F. Kehoe, Minority Leader Esther B. Clarke, Councillors Marc I. Weinberg, Ram Aberasturia, Joseph R. Carlson, Patricia Harmon and Michael G. Kurker

ABSENT Vice Chair William P. Horan, Jr. and Majority Leader Linda A. Russo,

ALSO Scott Chadwick, Corporation Counsel
PRESENT Brian Smith, Assessor

CALL TO ORDER

Chair Kehoe called the meeting to order at 7:06 p.m.

MOTION By Ram Aberasturia
seconded by Esther Clarke
to **go into** Executive Session to discuss the pending assessment (tax) appeal known as Merchants Founders Lodging, LLC v. Town of East Hartford, Docket No. CV-15-6028893-S, regarding personal property located at 351 Pitkin Street.
Motion carried 7/0.

MOTION By Ram Aberasturia
seconded by Esther Clarke
to **go back to** Regular Session.
Motion carried 7/0.

ADJOURNMENT

MOTION By Ram Aberasturia
seconded by Esther Clarke
to **adjourn** (7:21 p.m.)
Motion carried 7/0.

Attest

Richard F. Kehoe
Richard F. Kehoe

Town Council Chair

2016 NOV 21 A 9 24

EAST HARTFORD TOWN COUNCIL
TOWN COUNCIL CHAMBERS

TOWN CLERK
EAST HARTFORD

NOVEMBER 15, 2016

PRESENT Chair Richard F. Kehoe, Minority Leader Esther B. Clarke, Councillors
Marc I. Weinberg, Ram Aberasturia, Joseph R. Carlson, Patricia Harmon
and Michael G. Kurker

ABSENT Vice Chair William P. Horan, Jr. and Majority Leader Linda A. Russo

CALL TO ORDER

Chair Kehoe called the meeting to order at 7:32 p.m. The Chair announced the exit locations in accordance with Connecticut General Statutes §29-381, after which the Council joined him in the pledge of allegiance.

The Chair called for a moment of silence to honor the life of Joseph "Joe" Kronen, a longtime resident of East Hartford, who served as a past Chair of the East Hartford Republican Town Committee, was a member of the MDC for 15 years, and served on numerous other civic committees, all of which were to benefit the quality of life in East Hartford. He will be missed.

OPPORTUNITY FOR RESIDENTS TO ADDRESS THE COUNCIL ON AGENDA ITEMS

Pat Sirois, Chair of the Beautification Commission, sold the Councillors Holiday Fest buttons – the proceeds to be donated to the East Hartford Food Bank. She invited all to attend.

Susan Kniep, 50 Olde Roberts Street, (1) thanked Pat Sirois for the work she has done for the benefit of the town; (2) believes the Council should not approve the union contracts that are on tonight's agenda; (3) is opposed to the Library Contract with the Hartford Public Library; and (4) believes that union contract negotiations should not be behind closed doors, but more open to the public.

Victoria Hart, 8 Pawnee Road, is opposed to the Library Contract with the Hartford Public Library and suggested that the town give the current librarians a chance to bring new programs to the newly renovated Raymond Library building.

David Kies, 1164 Silver Lane, is opposed to the Library Contract with the Hartford Public Library for several reasons, some of which are liability insurance, town's obligations, bookmobile, and scope of work.

Mayor Leclerc (1) thanked Pat Sirois for her work on Holiday Fest; (2) congratulated Melanie Valdes for a job well done; (3) the ribbon cutting for the Early Childhood Learning Center was held today; (4) the next "Coffee with a Cop" will be December 6th from 7:30AM to 9:30AM at the Dunkin Donuts on Ellington Road (School Street Square); (5) the town

will be closed next Thursday, November 24th for Thanksgiving; (6) the "Click It or Ticket" program will start Monday November 21st; and (7) wished all a Happy Thanksgiving.

APPROVAL OF MINUTES

November 1, 2016 Executive Session

MOTION By Marc Weinberg
seconded by Ram Aberasturia
to **approve** the minutes of the November 1, 2016 Executive Session.
Motion carried 6/0. **Abstain:** Harmon

November 1, 2016 Regular Meeting

MOTION By Marc Weinberg
seconded by Ram Aberasturia
to **approve** the minutes of the November 1, 2016 Regular Meeting.
Motion carried 6/0. **Abstain:** Harmon

COMMUNICATIONS AND PETITIONS

Holiday Fest Tithe

The Council purchased the Holiday Fest buttons earlier in the meeting.

2016 Young Philanthropist of the Year – Melanie Valdes

Melanie Valdes, a senior at Two Rivers Magnet High School and a Girl Scout Silver and Gold Award recipient, was named the 2016 Young Philanthropist of the Year at the Aurora Women and Girls Foundation. Ms. Valdes has brought the power of music to special education students at O'Connell School by including them in the school's music program. State Representative Jeff Currey presented Ms. Valdes with an official citation from the State of Connecticut General Assembly.

Brownfields Presentation: TRC Companies, Inc.

Eileen Buckheit, Development Director, gave the Council a brief overview of the federal and state Brownfields grants received. Marya Mahoney and Christopher Lindahl, from TRC Environmental, gave the Council a PowerPoint presentation which showed their plans to conduct a town-wide inventory of potential environmentally impacted sites, community outreach activities and the positive impact the Brownfields program will have on East Hartford.

OLD BUSINESS

Library Administration & Operations Contract – tabled at the November 1, 2016 Meeting

- Appointment of Mayor Leclerc as Director of Libraries
- Bid Waiver: Contract re: Hartford Public Library and East Hartford Public Library

No action taken at this time.

NEW BUSINESS

Tentative Agreement: Teamsters' Local 559 – Telecommunicators

Approval of the Contract

MOTION By Joe Carlson
seconded by Ram Aberasturia
to **approve** the tentative agreement for a new collective bargaining agreement between the Town of East Hartford and the Teamsters Local 559 –which was ratified by the bargaining unit members on October 27, 2016 – and is effective July 1, 2016 through June 30, 2019.
Motion carried 7/0.

Once fully executed, a copy of this contract will follow these minutes.

Contingency Transfer

MOTION By Joe Carlson
seconded by Ram Aberasturia
to transfer \$28,955 from Account # G9600-60201, Contingency Reserve – Contract Negotiations, to Account # G5400-60110, Public Safety – Communications Personnel Services; such transfer to provide a source of funds for the recently settled Telecommunicators Contract.
Motion carried 7/0.

Tentative Agreement: Local 818 – Supervisors' Union

Approval of Agreement

MOTION By Ram Aberasturia
seconded by Marc Weinberg
to **approve** the tentative agreement for a new collective bargaining agreement between the Town of East Hartford and the East Hartford Supervisors' Union Local 818, AFSCME Council 4 –which was ratified by the bargaining unit members on November 9, 2016 – and is effective July 1, 2016 through June 30, 2019.
Motion carried 7/0.

Once fully executed, a copy of this contract will follow these minutes.

Contingency Transfer

MOTION By Ram Aberasturia
seconded by Marc Weinberg
to **approve** the following transfers which will provide a source of funds for
the recently settled Supervisors' Union contract:

The Town of East Hartford
For the Fiscal Year Ending June 30, 2017
Fund Balance Transfer

FROM Account Number	Name	Amount
G9600-60201	Contingency Reserve - Contract Negotiations	\$ 38,625
	TOTAL	<u>\$ 38,625</u>

TO Account Number	Name	Amount
G2400-60110	Permanent Services - Library	\$ 1,000
G3200-60110	Permanent Services - Accounts and Controls	2,000
G3300-60110	Permanent Services - Information Technology	1,300
3600-60110	Permanent Services - Assessor	1,400
G3700-60110	Permanent Services - Tax Office	1,400
G5203-60110	Permanent Services - Police Administration	1,400
G5400-60110	Permanent Services - Communications	6,125
G7200-60110	Permanent Services - Engineering	1,500
G7300-60110	Permanent Services - Public Works - Highway Services	6,000
G7400-60110	Permanent Services - Public Works - Waste Services	1,500
G7700-60110	Permanent Services - Public Works - Fleet	1,500
G7800-60110	Permanent Services - Building Maintenance	3,000
G8100-60110	Permanent Services - Parks - Administration	1,500
G8200-60110	Permanent Services - Parks - Maintenance	4,500
G9200-60110	Permanent Services - Nursing Services	1,500
G9300-60110	Permanent Services - Environmental Control	1,500
G9400-60110	Permanent Services - Social Services	1,500
	TOTAL	<u>\$ 38,625</u>

The funds being transferred are certified as available and unobligated.

Motion carried 7/0.

TD Green Street Program

MOTION By Ram Aberasturia
seconded by Marc Weinberg
to **adopt** the following resolution:

WHEREAS, the Arbor Day Foundation, in conjunction with TD Bank, has made funding available under the TD Green Streets Program; and

WHEREAS, TD Green Streets grants seek to support local forestry projects in low- to moderate-income (LMI) neighborhoods; and

WHEREAS, the Town desires to strategically enhance East Hartford's urban forest through the planting of new trees.

NOW THEREFORE LET IT BE RESOLVED; that Marcia A. Leclerc, Mayor of the Town of East Hartford, is authorized to make application to, and execute and approve on behalf of this corporation, any and all documents, contracts and amendments as may be required under the TD Green Streets Program.

On call of the vote, motion carried 7/0.

Dial-A-Ride Operating System Grant

MOTION By Joe Carlson
seconded by Ram Aberasturia
to **adopt** the following resolution:

WHEREAS: The Greater Hartford Transit District has made available Operating Assistance Grant Funds for Fiscal Year 2016-2017; and

WHEREAS: these funds can be used to pay a portion of the cost of operating the Dial-A-Ride system providing transportation to elderly and disabled citizens.

NOW THEREFORE LET IT BE RESOLVED that Mayor Marcia A. Leclerc is authorized to make, execute and approve on behalf of this corporation, any and all contracts or amendments thereof with the Greater Hartford Transit District in relation to a \$13,544.00 grant to the Town of East Hartford to be used to support costs associated with the operation of the Dial-A-Ride Program.

On call of the vote, motion carried 7/0.

DOT Encroachment Agreement: Bus Passenger Shelters

MOTION By Marc Weinberg
seconded by Joe Carlson
to **authorize** the Mayor to enter into an Encroachment Agreement [No. 9.01-03(16)] with the State of Connecticut Department of Transportation for the bus passenger shelters that will be installed within the Route 44 (Burnside Avenue) right-of-way.
Motion carried 7/0.

A copy of this agreement follows these minutes.

2017 Town Council Meetings Schedule

MOTION By Marc Weinberg
seconded by Ram Aberasturia
to **adopt** the 2017 Town Council meeting schedule as follows:

Please note the start time for all regular Town Council meetings is 7:30PM.

January 3	July 11
January 17	August 1
February 7	August 15
February 21	September 5
March 7	September 19
March 21	October 3
April 4	October 17
April 19 (Wednesday – Passover)	October 31
May 2	November 13 (Organizational)
May 16	November 28
June 6	December 12
June 20	

Motion carried 7/0.

2017-2018 Budget Workshop Schedule

MOTION By Marc Weinberg
seconded by Ram Aberasturia
to **adopt** the 2017-2018 Budget Workshop Schedule as follows:

TOWN COUNCIL CHAMBERS

Monday, February 27, 2017

Mayor’s Summary of Budget

6:30 p.m.

Police Department

Chief Sansom

- Police Administration
- Operations
- Criminal Investigation
- Police Capital Improvements

Public Safety Complex

Chief Sansom

- Public Safety Communications

Fire Department

Chief Oates

- Administration
- Suppression

Fire Training
Fire Marshal
Apparatus Maintenance
Alarm Maintenance
Emergency Medical Service
Emergency Management
Fire Capital Improvements

Wednesday, March 1, 2017

Inspections and Permits

Administration

Gregg Grew

6:30 p.m.

Board of Education

Superintendent of Schools

Nathan Quesnel

7:00 p.m.

Saturday, March 4, 2017

Town Treasurer

Donald Currey

8:30 a.m.

Town Council

Rich Kehoe

Town Clerk

Robert Pasek

Registrars of Voters

Mary Mourey & Steve Watkins

Selectmen

Probate Court

Scott Chadwick

Corporation Counsel

Finance

Administration

Mike Walsh

Accounts and Control

Information Technology

Purchasing

Assessor

Revenue and Collections

Employee Benefits

Risk Management

Debt Services

Contingency

Capital Improvements

Revenues

Five Year Capital Improvement Plan

Summary

Project Narratives

Finance

Public Library

Other Departments

Boards and Commissions

Beautification Commission

Patriotic Commission

Inland/ Wetlands/Environment Commission

Board of Assessment Appeals

Personnel Board of Appeals

Human Rights Commission

Historic District Commission

Emergency Medical Commission

Library Commission

Zoning Board of Appeals

Public Building Commission

Fine Arts Commission

Retirement Board

Commission on Aging

Commission on Services for Persons w/Disabilities

The Hockanum River Commission

Veterans' Affairs Commission

Board of Ethics

Executive
Office of the Mayor
Human Resources
Public Library
Youth Services

Lunch Break
Marcia Leclerc
Santiago Malave
Cephus Nolen

12:30 p.m.

Development
Administration
Redevelopment Agency
Economic Development Commission
Planning & Zoning Commission
Grants Administration

Eileen Buckheit

Monday, March 6, 2017

Public Works
Administration
Engineering
Highway Services
Waste Services
Fleet Services
Flood Protection
Building Maintenance
Metropolitan District Commission
Public Works Capital Improvements

Tim Bockus

Parks and Recreation
Administration
Maintenance
Other Facilities
Senior Services
Park Special Program
Parks & Recreation Capital Improvements

Ted Fravel

Health and Social Services
Administration
Community Health & Nursing Services
Environmental Control
Social Services
Services for Seniors

Jim Cordier

Tuesday, March 7, 2017

Regular Meeting 7:30 p.m.

Wednesday, March 8, 2017

Public Hearing - Budget 7:00 p.m.

Tuesday, March 14, 2017

Special Meeting - Budget 7:00 p.m.

Motion carried 7/0.

OPPORTUNITY FOR COUNCILLORS TO DIRECT QUESTIONS TO THE ADMINISTRATION

Pat Harmon (1) reported that there are vagrants on Main Street, near Carter Street, under the Rte. 2 overpass, who are panhandling again. *Mayor Leclerc stated that a phone call at the time someone notices them to the Mayor's office or the EHPD would be helpful.* (2) was pleased to see the new digital sign display at the Town Green on Main Street and commented on how well it worked. *Mayor Leclerc thanked Councillor Harmon for her remarks, and stated that there are still software issues being worked out.* (3) inquired as to where the town is on leaf collection. *Tim Bockus, Public Works Director, commented that the town is currently in the Silver Lane neighborhoods and will continue on to Oak Street.* (4) received calls from two residents on Jessica Drive whose street lights are not working. *Mayor Leclerc, along with Tim Bockus, Public Works Director, stated that the street lights are the decorative ones that have been problematic, but that they have been reordered.*

COUNCIL ACTION ON EXECUTIVE SESSION MATTERS

Merchant Founders Lodging, LLC – tax appeal

MOTION By Ram Aberasturia
seconded by Marc Weinberg
to **accept** the recommendation of Corporation Counsel to settle the pending assessment (tax) appeal known as Merchant Founders Lodging, LLC v Town of East Hartford, Docket No. HHB-CV-15-6028893S, regarding personal property located at 351 Pitkin Street, in the following manner:

1. The Town of East Hartford will reduce the assessed value of the personal property located at 351 Pitkin Street for the grand list of October 1, 2011 as follows:

<u>Assessment</u>	<u>Revised Assessment</u>	<u>Reduction</u>	<u>Tax</u>
\$1,474,510	\$1,294,990	\$179,520	(7,681.66)

2. The Town of East Hartford will reduce the assessed value of the personal property located at 351 Pitkin Street for the grand list of October 1, 2012 as follows:

<u>Assessment</u>	<u>Revised Assessment</u>	<u>Reduction</u>	<u>Tax</u>
\$1,280,320	\$1,120,670	\$159,650	(7,008.64)

3. The Town of East Hartford will reduce the assessed value of the personal property located at 351 Pitkin Street for the grand list of October 1, 2013 as follows:

<u>Assessment</u>	<u>Revised Assessment</u>	<u>Reduction</u>	<u>Tax</u>
\$1,123,770	\$984,140	\$139,630	(6,339.20)

4. The Town of East Hartford will reduce the assessed value of the personal property located at 351 Pitkin Street for the grand list of October 1, 2014 as follows:

<u>Assessment</u>	<u>Revised Assessment</u>	<u>Reduction</u>	<u>Tax</u>
\$895,290	\$653,590	\$241,700	(11,084.36)

Motion carried 7/0.

OPPORTUNITY FOR RESIDENTS TO SPEAK

Esther Clarke announced that D'Esopo's Funeral Home is conducting a Thanksgiving Food Drive for Food Share on Saturday November 19th from Noon to 3PM.

Councillor Clarke wished all a Happy Thanksgiving.

ADJOURNMENT

MOTION By Esther Clarke
 seconded by Ram Aberasturia
 to **adjourn** (9:45 p.m.).
 Motion carried 7/0.

The Chair announced that the next meeting of the Town Council would be December 13th.

Attest Angela M. Attenello
 Angela M. Attenello
 TOWN COUNCIL CLERK

Agreement No. 9.01-03(16)

ENCROACHMENT AGREEMENT

Between

THE STATE OF CONNECTICUT, DEPARTMENT OF TRANSPORTATION

And

THE TOWN OF East Hartford

ROUTE: 44 TOWN: East Hartford DISTRICT: 1

THIS AGREEMENT, concluded at Newington, Connecticut, this day of _____, A.D., 2016, by and between the State of Connecticut, Department of Transportation, James Redeker, Commissioner, acting herein by Anna M. Barry, Deputy Commissioner, duly authorized, hereinafter referred to as the "State", and the Town of East Hartford, having its principal place of business at 740 Main Street, East Hartford Connecticut 06108, acting herein by Marcia A. Leclerc, Mayor of East Hartford, hereunto duly authorized, hereinafter referred to as the "Second Party", collectively referred to as the "Parties".

WITNESSETH, THAT:

WHEREAS, the Second Party has requested permission of the State to work within the State highway right of way along Route 44 (Burnside Avenue) in the Town of East Hartford, hereinafter referred to as the "Project"; and

WHEREAS, the Project is more fully described and defined in the following documents:

- (a) Encroachment Permit No. 1014831;
- (b) "Highway Encroachment Permit Regulations, Connecticut Department of Transportation, 1992 Edition";
- (c) Plans entitled: BUS SHELTER INSTALLATION- Burnside Avenue- East Hartford, Connecticut; Sheets 2-9;

all of which are hereinafter referred to as the "Supporting Documents" and are hereby made a part of this Agreement, either by reference thereto or by incorporation herein; and

WHEREAS, the State has the authority to enter into this Agreement pursuant to Sections 13a-247, 13b-17, and 13b-24 of the General Statutes of Connecticut, as revised.

NOW, THEREFORE, KNOW YE, that the State and the Second Party mutually agree as follows:

SECTION 1. DEFINITIONS:

The term "Claims" as used herein is defined as all actions, suits, claims, demands, investigations and proceedings of any kind, open, pending or threatened, whether mature, unmaturred, contingent, known or unknown, at law or in equity, in any forum.

The term "Second Party Parties" as used herein is defined as a Second Party's members, directors, officers, shareholders, partners, managers, principal officers, representatives, agents, servants, consultants, employees or any one of them or any other person or entity with whom the Second Party is in privity of oral or written contract and the Second Party intends for such other person or entity to perform under the Agreement in any capacity.

The term "Project" as used herin is defined as BUS SHELTER INSTALLATION- Burnside Avenue- East Hartford , Connecticut, Sheets 2-9;

The term "Records" as used herein is defined as all working papers and such other information and materials as may have been accumulated by the Second Party in performing the Agreement, including but not limited to, documents, data, plans, books, computations, drawings, specifications, notes, reports, records, estimates, summaries, memoranda and correspondence, kept or stored in any form.

SECTION 2 THE SECOND PARTY SHALL:

- 2.01 Entirely at its own expense, construct, use and maintain the Project described and defined in the Supporting Documents identified hereinabove, subject at all times to all of the terms, conditions, restrictions, specifications, and covenants, herein contained, either by attachment hereto or by reference thereto, it being understood and agreed by the parties hereto that the said terms, conditions, restrictions, specifications, and covenants, are an integral part hereof and as such shall have full force and effect as if the same were recited hereinafter in their entireties.
- 2.02 Agree that the effective date of the Permit identified hereinabove as a component of the Supporting Documents, shall only be established when all requirements for the effectuation of such Permit are met, and the said Permit is to remain in effect until the date of expiration set forth therein unless the same is terminated by revocation by the State, in accordance with the terms of this Agreement, it being understood and agreed by the parties hereto that the said Permit is limited solely to the herein described Project.
- 2.03 Maintain the State highways specified in the Permit identified hereinabove as a component of the supporting documents in accordance with State standards of maintenance as the same are outlined in the "State of Connecticut, Department of Transportation, Manual of Organization, Functions and Procedures", as revised, which maintenance shall include but not be limited to:

- (a) the maintenance and emptying of trash receptacles, the maintenance benches and associated concrete pads for which they are mounted on;
 - (b) The removal or otherwise remedying graffiti located on the passenger bus shelters and trash receptacles;
 - (b) the control of snow and ice on or around bus stops, trash receptacles as well as all sidewalks;
 - (c) the repairs and debris removal required following storm damage, as any or all of the preceding relates to or is involved with the Project.
- 2.04 Reimburse the State for any and all costs and expenses of every name and description borne by the State as a result of the Project including but not limited to investigation; inspection; administration; legal; and processing; it being mutually understood and agreed that there shall be no exception to, exclusion from, or limitation of this specification unless the same is set forth in a properly executed supplemental agreement specifically written for this purpose.
- 2.05 Comply with and conform to all pertinent laws, ordinances, rules and regulations, whether state, federal, or municipal, both during the construction phase of the Project and the subsequent permanent maintenance thereof.
- 2.06 With respect to the operations performed by the Second Party under the terms of this Agreement and also those performed for the Second Party by its subcontractors, the Second Party shall carry, and shall ensure that its subcontractors carry, for the duration of this Agreement, and any supplements thereto, with the State being named as an additional insured party for paragraphs (a) and (b) below, the following minimum insurance coverage at no direct cost to the State. In the event the Second Party secures excess/umbrella liability insurance to meet the minimum requirements specified in paragraphs (a) and/or (b) below, the State of Connecticut shall be named as an additional insured.

(a) COMMERCIAL GENERAL LIABILITY

Commercial General Liability Insurance, including Contractual Liability Insurance, providing for a total limit of One Million Dollars (\$1,000,000) for all damages arising out of bodily injuries to or death of all persons in any one accident or occurrence, and for all damages arising out of injury to or destruction of property in any one accident or occurrence, and subject to that limit per accident, a total (or aggregate) limit of Two Million Dollars (\$2,000,000) for all damages arising out of bodily injuries to or death of all persons in all accidents or occurrences and out of injury to or destruction of property during the policy period.

(b) AUTOMOBILE LIABILITY

The operation of all motor vehicles, including those hired or borrowed, used in connection with the Agreement shall be covered by Automobile Liability Insurance providing for a total limit of One Million Dollars (\$1,000,000) for all damages arising out of bodily injuries to or death of all persons in any one accident or occurrence, and for all damages arising out of injury to or destruction of property in any one accident or occurrence. In cases where an insurance policy shows an aggregate limit as part of the automobile liability coverage, the aggregate limit must be at least Two Million Dollars (\$2,000,000).

(c) RAILROAD PROTECTIVE LIABILITY.

When the Agreement involves work within fifty (50) feet of the railroad right-of-way or State-owned rail property, with respect to the operations performed by the Second Party and/or its subcontractor(s), the Second Party shall carry Railroad Protective Liability insurance providing coverage of at least Two Million Dollars (\$2,000,000) for each accident or occurrence resulting in damages from (1) bodily injury to or death of all persons and/or (2) injury to or destruction of property, and subject to that limit per accident or occurrence, an aggregate coverage of at least Six Million Dollars (\$6,000,000) for all damages during the policy period, and with all entities falling within the following listed categories named as insured parties: (i) the owner of the railroad right-of-way, (ii) the owner of any railcar licensed or permitted to travel within that affected portion of the railroad right-of-way, (iii) the operator of any railcar licensed or permitted to travel within that affected portion of the railroad right-of-way (iv) the State, and (v) any other party with an insurable interest. If such insurance is required, the Second Party shall obtain and submit the minimum coverage indicated above to the State prior to the commencement of rail related work and/or activities and shall maintain coverage until the work and/or activities is/are accepted by the State.

(d) WORKERS' COMPENSATION

With respect to all operations the Second Party performs and all those performed for the Second Party by subcontractor(s), the Second Party shall carry, and shall ensure that its subcontractor(s) carry, Workers' Compensation Insurance and, as applicable, insurance required in accordance with the U.S. Longshore and Harbor Workers' Compensation Act, in accordance with the requirements of the laws of the State of Connecticut and the laws of the United States respectively.

(e) CERTIFICATE OF INSURANCE

In conjunction with the above, the Second Party agrees to furnish to the State a Certificate of Insurance acceptable to the State, fully executed by an insurance company or

companies satisfactory to the State, for the insurance policy or policies required hereinabove, which policy or policies shall be in accordance with the terms of said Certificate of Insurance.

(f) COPIES OF APPLICABLE INSURANCE POLICIES

The Second Party shall produce, within five (5) business days, a copy or copies of all applicable insurance policies when requested by the State. In providing said policies, the Second Party may redact provisions of the policy that are proprietary. This provision shall survive the suspension, expiration or termination of this Agreement.

2.07 (a) The Second Party shall indemnify, defend and hold harmless the State and its officers, representatives, agents, servants, employees, successors and assigns from and against any and all (1) Claims arising, directly or indirectly, in connection with the Agreement, including the acts of commission or omission (collectively, the "Acts") of the Second Party or Second Party Parties; and (2) liabilities, damages, losses, costs and expenses, including but not limited to, attorneys' and other professionals' fees, arising, directly or indirectly, in connection with Claims, Acts or the Agreement. The Second Party shall use counsel reasonably acceptable to the State in carrying out its obligations under this section. The Second Party's obligations under this section to indemnify, defend and hold harmless against Claims includes Claims concerning confidentiality of any part of or all of the Second Party's bid, proposal or any Records, any intellectual property rights, other proprietary rights of any person or entity, copyrighted or uncopyrighted compositions, secret processes, patented or unpatented inventions, articles or appliances furnished or used in the performance.

(b) The Second Party shall not be responsible for indemnifying or holding the State harmless from any liability arising due to the negligence of the State or any third party or entity acting under the direct control or supervision of the State.

(c) The Second Party shall reimburse the State for any and all damages to the real or personal property of the State caused by the Acts of the Second Party or any Second Party Parties. The State shall give the Second Party reasonable notice of any such Claims.

(d) The Second Party's duties under this section shall remain fully in effect and binding in accordance with the terms and conditions of the Agreement, without being lessened or compromised in any way, even where the Second Party is alleged or is found to have merely contributed in part to the Acts giving rise to the Claims and/or where the State is alleged or is found to have contributed to the Acts giving rise to the Claims.

(e) The Second Party shall carry and maintain at all times during the term of the Agreement, and during the time that any provisions survive the term of the Agreement, sufficient general liability insurance to satisfy its obligations under this Agreement. The Second Party shall name the State as an

additional insured on the policy. The State shall be entitled to recover under the insurance policy even if a body of competent jurisdiction determines that the State or the State of Connecticut is contributorily negligent.

(f) This section shall survive the termination of the Agreement and shall not be limited by reason of any insurance coverage."

2.08 In addition to Section 2.07 of this Agreement, the Second Party hereby agrees as follows:

(a) The Second Party shall, or if the Second Party is one of several parties, the parties shall jointly and severally, protect, indemnify, defend, and hold harmless the State and any of its officers, employees and agents and their respective heirs, legal representatives, successors and assigns, from and against any and all loss, damage, cost, charge, lien, debt, fine, penalty, injunctive relief, claim, demand, expense, suit, order, judgment, adjudication, liability, or injury to person, property or natural resources, including attorneys' fees and consultants' fees (any of the foregoing being referred to in this Agreement as a "Claim") arising out of, attributable to, which may accrue out of, or which may result from (i) any violation or alleged violation of the Environmental Laws by any person or entity or other source whether related or unrelated to the Second Party, or (ii) the disposal or alleged disposal of Hazardous Substances (whether intentional or unintentional, direct or indirect, foreseeable or unforeseeable) by any person or entity or other source, whether related or unrelated to the Second Party.

(b) "Environmental Laws" shall mean and include any federal, state or local statute, law, ordinance, code, rule, regulation, order, or decree regulating or relating to the protection of human health or the environment, or imposing liability or standards of conduct concerning any hazardous, toxic, or waste substance, element, compound, mixture or material, as now or at any time hereafter in effect, including, without limitation, the Federal Comprehensive Environmental Response, Compensation and Liability Act, as amended, 42 U.S.C. Sect. 9601 et seq., the Federal Oil Pollution Act of 1990, 33 U.S.C. Sect. 2701 et seq., the Federal Toxic Substances Control Act, 15 U.S.C. Sect. 2601 et seq., the Federal Resource Conservation and Recovery Act, as amended, 42 U.S.C. Sect. 6901 et seq., the Federal Hazardous Material Transportation Act, 49 U.S.C. Sect. 1801 et seq., the Federal Clean Air Act, 42 U.S.C. Sect. 7401 et seq., the Federal Water Pollution Control Act, 33 U.S.C. Sect. 1251 et seq., the River and Harbors Act of 1899, 33 U.S.C. Sect. 401 et seq., and all rules and regulations of the United States Environmental Protection Agency, or any other state, local or federal agency or entity having jurisdiction over environmental or health and safety matters, as such may have been amended.

(c) "Hazardous Substances" shall mean any and all materials, chemicals, or other substances that are hazardous or toxic or otherwise regulated or controlled pursuant to any of the

Environmental Laws.

- (d) The Second Party shall test all soils and materials excavated from the State highway right of way and shall not replace any soils or materials containing Hazardous Substances within State highway rights of way.
- (e) The Second Party shall comply strictly and in all respects with the requirements of the Environmental Laws. Furthermore, the Second Party shall not store, generate or use any Hazardous Substances at, on, or under the area within the right of way in which the Project is located.
- (f) The Second Party shall not list the State as the owner, generator or transporter of any Hazardous Substances excavated from State highway rights of way. All costs associated with the handling, storage, use, transportation or disposal of Hazardous Substances shall be borne by the Second Party.
- (g) This provision shall survive this Agreement.

2.09 Agree that nothing in this Agreement shall preclude the Second Party from asserting its Governmental Immunity rights in the defense of third party claims. The Second Party's Governmental Immunity defense against third party claims, however, shall not be interpreted or deemed to be a limitation or compromise of any of the rights or privileges of the State, at law or in equity, under this Agreement, including, but not limited to, those relating damages.

2.10 Comply with "Exhibit A - Standard Encroachment Agreement Specifications & Covenants, Connecticut Department of Transportation", dated April, 2012, attached herewith, and all "Mandatory State and Federal Administrative Requirements", incorporated herein by reference and attached herewith as "Exhibit B", as may be amended from time to time, and all Schedules, as may be amended from time to time, attached herewith, which are also hereby made part of this Agreement.

2.11 Agree that all obligations incurred by the Second Party under this Agreement shall be binding upon any successors in interest to the Second Party unless a supplemental agreement properly executed by both the State and the Second Party changes this requirement.

SECTION 3 THE STATE SHALL:

- 3.01 Allow the Second Party to construct and maintain the Project in the manner and to the extent as is more particularly described in Article 2.03 hereinabove and on the attached plan entitled: BUS SHELTER INSTALLATION- Burnside Avenue-East Hartford, Connecticut, Sheets 2-9.
- 3.02 Require the second party remove all snow and ice on or around bus stops, trash receptacles as well as all sidewalks.
- 3.03 Make periodic inspections, as determined by District 1 Maintenance Director, for conformity with State maintenance

standards and policies. Any conditions requiring correction shall be reported through the District 1 Maintenance Director's Office, Connecticut Department of Transportation, in writing, to the Office of the Mayor, located at 740 Main Street, East Hartford, CT 06108.

- 3.04 Issue any and all permits for any work, excavation, or for the placement of any obstruction or substruction within, under, over, or upon the Project requested by the Second Party or others, outside the scope of the maintenance responsibilities of the Second Party, when the conditions of such issuance are met.
- 3.05 Require all parties being issued the said permits other than the Second Party, to name the State as an additional insured, on all insurance required by the State as a condition precedent to the issuance of such permits that concern the Project being maintained by the Second Party pursuant to this Agreement.
- 3.06 Reserve the right to investigate and to inspect at all times, all phases of the Project including appurtenances.
- 3.07 Reserve the right to claim and recover by process of law such sums or otherwise receive satisfaction as may be sufficient to correct any and all errors or make good any and all defects in the workmanship and/or material involved pursuant to the Agreement.

SECTION 4 THE STATE AND THE SECOND PARTY FURTHER MUTUALLY AGREE:

- 4.01 That, if in the opinion of the State, the Project malfunctions or ceases to function or causes any damage or any threat of damage to State property, the Second Party with the written permission of the State at each occurrence, shall immediately repair such damage and/or remove any such threat of damage to State property to the satisfaction of the State (in addition to any payment(s) of damages to third parties, if any) or after written notice to the Second Party, the State shall take steps to repair such damage and/or remove any such threat of damage to State property and all costs incurred thereby shall be reimbursed by the Second Party to the State, it being understood and agreed by the Second Party that any and all consequential damages, if any, resulting from such action(s) of the State in repairing such damage and/or removing any such threat of damage, shall be borne completely by the Second Party in addition to the reimbursement(s) to the State herein specified.
- 4.02 That this Agreement shall commence and take effect upon its execution by the State.
- 4.03 That any official notice from one such party to the other such party (or parties), in order for such notice to be binding thereon, shall:

(a) Be in writing (hardcopy) addressed to:

(i) When the State is to receive such notice -

Commissioner of Transportation

Connecticut Department of Transportation
2800 Berlin Turnpike
P.O. Box 317546
Newington, Connecticut 06131-7546;

(ii) When the Second Party is to receive such notice:

(The person(s) acting herein as signatory for the Second Party) receiving such notice;

- (b) Be delivered in person with acknowledgement of receipt or be mailed by the United States Postal Service - "Certified Mail" to the address recited herein as being the address of the party(ies) to receive such notice; and
- (c) Contain complete and accurate information in sufficient detail to properly and adequately identify and describe the subject matter thereof.

The term "Official Notice", as used herein, shall be construed to include, but not be limited to any request, demand, authorization, direction, waiver, and/or consent of the Party(ies) as well as any document(s), including any electronically produced versions provided, permitted, or required for the making or ratification of any change, revision, addition to or deletion from the document, contract, or agreement in which this "Official Notice" specification is contained.

Further, it is understood and agreed that nothing hereinabove contained shall preclude the Parties from subsequently agreeing, in writing, to designate alternate persons (by name, title, and affiliation) to which such notice(s) is (are) to be addressed; alternate means of conveying such notice(s) to the particular party(ies); and/or alternate locations to which the delivery of such notice(s) is (are) to be made, provided such subsequent agreement(s) is (are) concluded pursuant to the adherence to this specification.

- 4.04 That the Second Party shall assume full responsibility for the accuracy of all products of its work or that of any consultants utilized under this Agreement and shall so indicate by having the signature and Connecticut Professional Engineer's Seal of any engineer used to perform work under the terms of this Agreement affixed on the title sheet(s) of all plans and/or documents. In addition, the title sheet(s) of all plans and/or documents will be signed by the authorized individual of the Second Party responsible for receipt of "Official Notices".
- 4.05 That the Second Party shall record the Agreement (including any supplements thereto, if any) in the land records of the town(s) wherein the Project is located, at no expense to the State; and the recording shall be done immediately upon notification that the fully executed and approved Agreement is ready to be recorded. Failure to record the Agreement as specified herein, is understood to be sufficient grounds for the State to revoke the Permit, terminate the Agreement, or both, whichever is (are) deemed appropriate by the State.

- 4.06 The duration of the Agreement shall not be limited by the term of the Permit issued by the State, but shall remain in full force and effect until the State and the Second Party mutually agree in writing to terminate the Agreement. However, it is mutually agreed by the parties hereto that the State, upon written notice, may, in its sole discretion, terminate this Agreement, and such action shall in no event be deemed a breach of contract. Any such action may be taken by the State for its own convenience.
- 4.07 That the sole and exclusive means for the presentation of any Claim against the State arising from or in connection with this Agreement shall be in accordance with Chapter 53 of the Connecticut General Statutes (Claims against the State) and the Second Party further agrees not to initiate legal proceedings in any State or Federal Court in addition to or in lieu of, said Chapter 53 proceedings.
- 4.08 The Parties deem the Agreement to have been made in the City of Hartford, State of Connecticut. Both parties agree that it is fair and reasonable for the validity and construction of the Agreement to be, and it shall be, governed by the laws and court decisions of the State of Connecticut, without giving effect to its principles of conflicts of laws. To the extent that any immunities provided by Federal law or the laws of the State of Connecticut do not bar an action against the State, and to the extent that these courts are courts of competent jurisdiction, for the purpose of venue, the complaint shall be made returnable to the Judicial District of Hartford only or shall be brought in the United States District Court for the District of Connecticut only, and shall not be transferred to any other court, provided, however, that nothing here constitutes a waiver or compromise of the sovereign immunity of the State of Connecticut. The Second Party waives any objection which it may now have or will have to the laying of venue of any Claims in any forum and further irrevocably submits to such jurisdiction in any suit, action or proceeding.

The Parties acknowledge and agree that nothing in the Agreement shall be construed as a modification, compromise or waiver by the State of any rights or defenses of any immunities provided by Federal law or the laws of the State of Connecticut to the State or any of its officers and employees, which they may have had, now have or will have with respect to all matters arising out of the Agreement. To the extent that this subsection conflicts with any other subsection, this subsection shall govern.

- 4.09 That all of the Second Party's obligations hereunder shall survive this or any other agreement or action, including, without limitation, any consent decree, or order, between the Second Party and the government of the United States or any department or agency thereof, the State and/or the Municipality.

4.10 That this Agreement (including each and every component of the hereinabove specified Supporting Documents as the same may be revised and/or amended) constitutes, when fully executed and approved as indicated, the entire agreement between the parties hereto and shall supersede all previous communications, representations or agreements, either oral or written, between the parties hereto with respect to the subject matter hereof; no agreement or understanding varying or extending the same shall be

binding on either party unless in writing signed by both parties hereto and approved in like fashion; and nothing contained in this Agreement shall be construed as waiving any of the rights of the State under the laws of Connecticut, as may be amended.

4.11 That in case of conflict between the Agreement and terms or requirements of any other documents, the Agreement shall govern.

IN WITNESS WHEREOF, the parties hereto do hereby set their hands and seals on the day and year indicated.

WITNESSES:

STATE OF CONNECTICUT
DEPARTMENT OF TRANSPORTATION
JAMES REDEKER, COMMISSIONER

By: _____

Name:

Anna M. Barry
Department of Transportation
Deputy Commissioner

Date: _____

Name:

STATE OF CONNECTICUT)
) ss: Newington A.D., 2016
COUNTY OF HARTFORD) Date

Personally appeared for the State, Anna M. Barry, Signer and Sealer of the foregoing Instrument and acknowledged the same to be the free act and deed of the Department of Transportation, and her free act and deed as Deputy Commissioner, before me.

My Commission Expires:

Notary Public

Date: _____

WITNESSES:

SECOND PARTY

Town of East Hartford

By: _____

Name:

Marcia A. Leclerc
Mayor of East Hartford

Date: _____

Name:

STATE OF)
)
COUNTY OF)

ss:

A.D., 2016

Personally appeared for the Second Party, Marcia A. Leclerc, Mayor, Signer and Sealer of the foregoing Instrument and acknowledged the same to be the free act and deed of the Town of East Hartford, and her free act and deed as Mayor before me.

My Commission Expires:

Notary Public

Date: _____

EXHIBIT A.
STANDARD ENCROACHMENT AGREEMENT SPECIFICATIONS & COVENANTS
CONNECTICUT DEPARTMENT OF TRANSPORTATION
April, 2012

These "Standard Encroachment Agreement Specifications & Covenants, Connecticut Department of Transportation" are primarily intended as an integral component of, and to be used in conjunction with the properly executed written agreement entered into by the State of Connecticut, Department of Transportation and, as the Second Party thereto, any municipality seeking permission to utilize a limited portion of a State highway for a purpose not in conflict with the best interests of the State of Connecticut.

(1) The Second Party shall not perform any maintenance prior to the effective date of the Permit specified as a component of the Supporting Documents identified in the Agreement.

(2) This Agreement is subject to the provisions of Executive Order No. Three of Governor Thomas J. Meskill, promulgated June 16, 1971, concerning labor employment practices, Executive Order No. Seventeen of Governor Thomas J. Meskill, promulgated February 15, 1973, concerning the listing of employment openings and Executive Order No. Sixteen of Governor John G. Rowland promulgated August 4, 1999, concerning violence in the workplace, all of which are incorporated into and are made a part of the Agreement as if they had been fully set forth in it. The Agreement may also be subject to Executive Order No. 14 of Governor M. Jodi Rell, promulgated April 17, 2006, concerning procurement of cleaning products and services and to Executive Order No. 49 of Governor Dannel P. Malloy, promulgated May 22, 2015, mandating disclosure of certain gifts to public employees and contributions to certain candidates for office. If Executive Order No. 14 and/or Executive Order No. 49 are applicable, they are deemed to be incorporated into and are made a part of the Agreement as if they had been fully set forth in it. At the Second Party's request, the State shall provide a copy of these orders to the Second Party.

(3) The Second Party shall provide, upon the completion of the Project, and upon obtaining written permission of the State on each such occurrence, all physical maintenance of all portions of the Project within the State highway limits, except as may be otherwise specified in the Agreement, which maintenance shall not be the occasion of any cost or expense to the State in any manner whatsoever. Any cost or expense incurred by the State in connection herewith shall be reimbursed to the State upon official notice to the Second Party as specified in this Agreement.

(4) In the event that the State deems it advisable, convenient or necessary to design, construct, reconstruct, install or maintain a highway or portion thereof or any storm drainage facilities or any other highway appurtenance or construction activity within the Project area, the Second Party shall bear the entire cost of relocating the Project that may be required as a result of such future State activity.

(5) The Second Party acknowledges that notwithstanding the fact that it may be eligible for reimbursement from the State under the laws of the State of Connecticut, for its costs to readjust, relocate or remove the Project within or from the State highway right of way, the Second Party, on behalf of itself and its successors in interest, does herein waive any right to reimbursement that it may have against the State with respect to the Project.

This provision shall survive the Agreement.

EXHIBIT B
and Schedules 1-3
MANDATORY STATE AND FEDERAL ADMINISTRATIVE REQUIREMENTS

The Second Party and its invitees shall be cognizant of and fully comply with the following:

- (1) As a condition to receiving federal financial assistance under this Contract/Agreement, if any, the Second Party shall comply with Title VI of the Civil Rights Act of 1964 (42 U.S.C. §§ 2000d - 2000d-7), all requirements imposed by the regulations of the United States Department of Transportation (49 CFR Part 21) issued in implementation thereof, and the "Title VI Assurances for Deeds, Licenses, Leases, Permits or Similar Instruments", as set forth in Exhibit B, Schedule 1 (attached herewith and incorporated by reference).
- (2) Executive Orders. This Agreement is subject to the provisions of Executive Order No. Three of Governor Thomas J. Meskill, promulgated June 16, 1971, concerning labor employment practices, Executive Order No. Seventeen of Governor Thomas J. Meskill, promulgated February 15, 1973, concerning the listing of employment openings and Executive Order No. Sixteen of Governor John G. Rowland promulgated August 4, 1999, concerning violence in the workplace, all of which are incorporated into and are made a part of the Agreement, as if they had been fully set forth in it. The Agreement may also be subject to Executive Order No. 7C of Governor M. Jodi Rell, promulgated July 13, 2006, concerning contracting reforms and Executive Order No. 14 of Governor M. Jodi Rell, promulgated April 17, 2006, concerning procurement of cleaning products and services, in accordance with their respective terms and conditions. If Executive Orders 7C and 14 are applicable, they are deemed to be incorporated into and are made a part of the Agreement as if they had been fully set forth in it. At the Second Party's request, the State shall provide a copy of these orders to the Second Party.
- (3) The Second Party hereby acknowledges and agrees to comply with the policies enumerated in "Connecticut Department of Transportation Policy Statement Policy No. F&A-10, Subject: Code of Ethics Policy," June 1, 2007, as set forth in Exhibit B, Schedule 2 (attached herewith and incorporated by reference).
- (4) That suspended or debarred contractors, consulting engineers, suppliers, materialmen, lessors, or other vendors may not submit proposals for a State contract or subcontract during the period of suspension or debarment regardless of their anticipated status at the time of contract award or commencement of work.
- (a) The signature on the Agreement by the Second Party shall constitute certification that to the best of its knowledge and belief the Second Party or any person associated therewith in the capacity of owner, partner, director, officer, principal investigator, project director, manager, auditor, or any position involving the administration of Federal or State funds:
 - (i) Is not presently debarred, suspended, proposed for debarment, declared ineligible, or voluntarily excluded from covered transactions by any Federal department or agency;
 - (ii) Has not, within the prescribed statutory time period preceding this Agreement, been convicted of or had a civil judgement rendered against him/her for commission of fraud or a criminal offense in connection with obtaining, attempting to obtain, or performing a public (Federal, State or local) transaction or contract under a public transaction, violation of Federal or State antitrust statutes or commission of embezzlement, theft, forgery, bribery, falsification or destruction of records, making false statements, or receiving stolen property;
 - (iii) Is not presently indicted for or otherwise criminally or civilly charged by a governmental entity (Federal, State or local) with commission of any of the offenses enumerated in paragraph (a)(ii) of this certification; and
 - (iv) Has not, within a five-year period preceding this Agreement, had one or

more public transactions (Federal, State or local) terminated for cause or default.

- (b) Where the Second Party is unable to certify to any of the statements in this certification, such Second Party shall attach an explanation to this Agreement.

The Second Party agrees to insure that the following certification be included in each subcontract Agreement to which it is a party, and further, to require said certification to be included in any subcontracts, sub-subcontracts and purchase orders:

- (i) The prospective subcontractors, sub-subcontractors participants certify, by submission of its/their proposal, that neither it nor its principals are presently debarred, suspended, proposed for debarment, declared ineligible, or voluntarily excluded from participation in this transaction by any Federal department or agency.
- (ii) Where the prospective subcontractors, sub-subcontractors participants are unable to certify to any of the statements in this certification, such prospective participants shall attach an explanation to this proposal.
- (5) This clause applies to those second parties who are or will be responsible for compliance with the terms of the American with Disabilities Act of 1990 ("Act"), Public Law 101-336, during the term of the Agreement. The Second Party represents that it is familiar with the terms of this Act and that it is in compliance with the Act. Failure of the Second Party to satisfy this standard as the same applies to performance under this Agreement, either now or during the term of the Agreement as it may be amended, will render the Agreement voidable at the option of the State upon notice to the Second Party. The Second Party warrants that it will hold the State harmless and indemnify the State from any liability which may be imposed upon the State as a result of any failure of the Second Party to be in compliance with this Act, as the same applies to performance under this Agreement.
- (6) When the Second Party receives State or Federal funds it shall incorporate the "Connecticut Required Contract/Agreement Provisions, Specific Equal Employment Opportunity Responsibilities" (SEEOR), dated March 3, 2009, as set forth in Exhibit B, Schedule 3 (attached herewith and incorporated by reference), as may be amended from time to time, as a material term of any contracts/agreements it enters into with its contractors, consulting engineers or other vendors, and shall require the contractors, consulting engineers or other vendors to include this requirement in any of its subcontracts. The Second Party shall also attach a copy of the SEEOR, as part of any contracts/agreements with contractors, consulting engineers or other vendors and require that the contractors, consulting engineers or other vendors attach the SEEOR to its subcontracts.

Schedule 1

TITLE VI ASSURANCES FOR DEEDS, LICENSES, LEASES, PERMITS OR SIMILAR INSTRUMENTS

The following clauses shall be included in deeds, licenses, leases, permits, or similar instruments entered into (a) for the subsequent transfer of real property acquired or improved with federal financial assistance, and (b) for the construction or use of or access to space on, over, or under real property acquired or improved with federal financial assistance.

1. The (grantee, licensee, lessee, permittee, etc., as appropriate) for himself/herself, his/her personal representatives, successors in interest, and assigns, as a part of the consideration hereof, does hereby covenant and agree (in the case of deeds and leases add "as a covenant running with the land") that in the event facilities are constructed, maintained, or otherwise operated on the property described in this (deed, license, lease, permit, etc.) for a purpose for which a United States Department of Transportation (USDOT) program or activity is extended or for another purpose involving the provision of similar services or benefits, the (grantee, licensee, lessee, permittee, etc.) shall maintain and operate such facilities and services in compliance with all other requirements imposed pursuant to 49 CFR Part 21, entitled "Nondiscrimination in Federally Assisted Programs of the Department of Transportation," and as said Regulations may be amended.

2. The (grantee, licensee, lessee, permittee, etc., as appropriate) for himself/herself, his/her personal representatives, successors in interest, and assigns, as a part of the consideration hereof, does hereby covenant and agree (in the case of deeds and leases add "as a covenant running with the land") that: (1) no person on the grounds of race, color, national origin, sex, age, or disability shall be excluded from participation in, denied the benefits of, or be otherwise subjected to discrimination in the use of said facilities, (2) in the construction of any improvements on, over, or under such land and the furnishing of services thereon, no person on the grounds of race, color, national origin, sex, age, or disability shall be excluded from participation in, denied the benefits of, or otherwise be subjected to discrimination, and (3) the (grantee, licensee, lessee, permittee, etc.) shall use the premises in compliance with all other requirements imposed by or pursuant to 49 CFR Part 21, entitled "Nondiscrimination in Federally Assisted Programs of the Department of Transportation," and as said Regulations may be amended.



CONNECTICUT DEPARTMENT OF TRANSPORTATION
POLICY STATEMENT

POLICY NO. F&A-10
June 1, 2007

SUBJECT: Code of Ethics Policy

The purpose of this policy is to establish and maintain high standards of honesty, integrity, and quality of performance for all employees of the Department of Transportation ("DOT" or "Department"). Individuals in government service have positions of significant trust and responsibility that require them to adhere to the highest ethical standards. Standards that might be acceptable in other public or private organizations are not necessarily acceptable for the DOT.

It is expected that all DOT employees will comply with this policy as well as the Code of Ethics for Public Officials, and strive to avoid even the appearance of impropriety in their relationships with members of the public, other agencies, private vendors, consultants, and contractors. This policy is, as is permitted by law, in some cases stricter than the Code of Ethics for Public Officials. Where that is true, employees are required to comply with the more stringent DOT policy.

The Code of Ethics for Public Officials is State law and governs the conduct of all State employees and public officials regardless of the agency in which they serve. The entire Code, as well as a summary of its provisions, may be found at the Office of State Ethics' web site: www.ct.gov/ethics/site/default.asp. For formal and informal interpretations of the Code of Ethics, DOT employees should contact the Office of State Ethics or the DOT's Ethics Compliance Officer or her designee.

All State agencies are required by law to have an ethics policy statement. Additionally, all State agencies are required by law to have an Ethics Liaison or Ethics Compliance Officer. The DOT, because of the size and scope of its procurement activities, has an Ethics Compliance Officer who is responsible for the Department's: development of ethics policies; coordination of ethics training programs; and monitoring of programs for agency compliance with its ethics policies and the Code of Ethics for Public Officials. At least annually, the Ethics Compliance Officer shall provide ethics training to agency personnel involved in contractor selection, evaluation, and supervision. A DOT employee who has a question or is unsure about the provisions of this policy, or who would like assistance contacting the Office of State Ethics, should contact the Ethics Compliance Officer or her designee.

The DOT Ethics Compliance Officer is:

Denise Rodosevich, Managing Attorney
Office of Legal Services

**For questions, contact the Ethics
Compliance Officer's Designee:**

Alice M. Sexton, Principal Attorney
Office of Legal Services
2800 Berlin Turnpike
Newington, CT 06131-7546
Tel. (860) 594-3045

To contact the Office of State Ethics:

Office of State Ethics
20 Trinity Street, Suite 205
Hartford, CT 06106
Tel. (860) 566-4472
Facs. (860) 566-3806
Web: www.ethics.state.ct.us

Enforcement

The Department expects that all employees will comply with all laws and policies regarding ethical conduct. Violations of the law may subject an employee to sanctions from agencies or authorities outside the DOT. Whether or not another agency or authority imposes such sanctions, the Department retains the independent right to review and respond to any ethics violation or alleged ethics violation by its employees. Violations of this policy or ethics statutes, as construed by the DOT, may result in disciplinary action up to and including dismissal from State service.

Prohibited Activities

1. **Gifts:** DOT employees (and in some cases their family members) are prohibited by the Code of Ethics and this Policy from accepting a gift from anyone who is: (1) doing business with, or seeking to do business with, the DOT; (2) directly regulated by the DOT; (3) prequalified as a contractor pursuant to Conn. Gen. Stat. §4a-100 by the Commissioner of the Department of Administrative Services (DAS); or (4) known to be a registered lobbyist or a lobbyist's representative. These four categories of people/entities are referred to as "restricted donors." A list of registered lobbyists can be found on the web site of the Office of State Ethics (www.ct.gov/ethics/site/default.asp). A list of prequalified consultants and contractors, i.e., those seeking to do business with the DOT, can be found on the DOT's Internet site under "Consultant Information" and "Doing Business with ConnDOT," respectively.

The term "gift" is defined in the Code of Ethics for Public Officials, Conn. Gen. Stat. §1-79(e), and has numerous exceptions. For example, one exception permits the acceptance of food and/or beverages valued up to \$50 per calendar year from any one donor and consumed on an occasion or occasions while the person paying or his representative is present. Therefore, such food and/or beverage is not a "gift." Another exception permits the acceptance of items having a value up to ten dollars (\$10) provided the aggregate value of all things provided by the donor to the recipient during a calendar year does not exceed fifty dollars (\$50). Therefore, such items are not a "gift." Depending on the circumstances, the "donor" may be an individual if the individual is bearing the expense, or a donor may be the individual's employer/group if the individual is passing the expense back to the employer/group he/she represents.

This policy requires DOT employees to immediately return any gift (as defined in the Code of Ethics) that any person or entity attempts to give to the employee(s). If any such gift or other item of value is received by other than personal delivery from the subject person or entity, the item shall be taken to the Office of Human Resources along with the name and address of the person or entity who gave the item. The Office of Human Resources, along with the recipient of the item of value, will arrange for the donation of the item to a local charity (e.g., Foodshare, local soup kitchens, etc.). The Office of Human Resources will then send a letter to the gift's donor advising the person of the item's donation to charity and requesting that no such gifts be given to DOT employees in the future.

2. **Contracting for Goods or Services for Personal Use With Department Contractors, Consultants, or Vendors:** Executive Order 7C provides that: "Appointed officials and state employees in the Executive Branch are prohibited from contracting for goods and services, for personal use, with any person doing business with or seeking business with his or her agency, unless the goods or services are readily available to the general public for the price which the official or state employee paid or would pay."

3. **Gift Exchanges Between Subordinates and Supervisors/Senior Staff:** A recent change in the Code of Ethics prohibits exchanges of gifts valued at \$100 or more between (i.e., to and from) supervisors and employees under their supervision. The Citizen's Ethics Advisory Board has advised that: (1) the monetary limit imposed by this provision is a per-gift amount; (2) gifts given between supervisors and subordinates (or *vice versa*) in celebration of a "major life event," as defined in the Code of Ethics, need not comply with the \$100 limit; and (3) the limitations imposed by this provision apply to a direct supervisor and subordinate *and to any individual up or down the chain of command*. The Citizen's Ethics Advisory Board has also advised that supervisors or subordinates may not pool their money to give a collective or group gift valued at \$100 or more, even though each of the individual contributions is less than \$100.
4. **Acceptance of Gifts to the State:** A recent change to the Code of Ethics for Public Officials modified the definition of the term "gift" to limit the application of the so-called "gift to the State" exception. In general, "gifts to the State" are goods or services given to a State agency for use on State property or to support an event and which facilitate State action or functions. Before accepting any benefit as a "gift to the State," DOT employees should contact the Ethics Compliance Officer.
5. **Charitable Organizations and Events:** No DOT employee shall knowingly accept any gift, discount, or other item of monetary value for the benefit of a charitable organization from any person or entity seeking official action from, doing or seeking business with, or conducting activities regulated by, the Department.
6. **Use of Office/Position for Financial Gain:** DOT employees shall not use their public office, position, or influence from holding their State office/position, nor any information gained in the course of their State duties, for private financial gain (or the prevention of financial loss) for themselves, any family member, any member of their household, nor any "business with which they are associated." In general, a business with which one is associated includes any entity of which a DOT employee or his/her immediate family member is a director, owner, limited or general partner, beneficiary of a trust, holder of 5 percent or more stock, or an officer (president, treasurer, or executive or senior vice president).

DOT employees shall not use or distribute State information (except as permitted by the Freedom of Information Act), nor use State time, personnel, equipment, or materials, for other than State business purposes.

7. **Other Employment:** DOT employees shall not engage in, nor accept, other employment that will either impair their independence of judgment with regard to their State duties or require or induce them to disclose confidential information gained through their State duties.

Any DOT employee who engages in or accepts other employment (including as an independent contractor), or has direct ownership in an outside business or sole proprietorship, shall complete an Employment/Outside Business Disclosure Form (see attached) and submit it to the Department's Human Resources Administrator. Disclosure of other employment to the DOT Human Resources Administrator shall *not* constitute approval of the other employment for purposes of the Code of Ethics for Public Officials.

Inquiries concerning the propriety of a DOT employee's other employment shall be directed to the Office of State Ethics to assure compliance with the Code of Ethics for Public Officials. Employees anticipating accepting other employment as described above should give ample time (at least one month) to the Office of State Ethics to respond to such outside employment inquiries.

No employee of the DOT shall allow any private obligation of employment or enterprise to take precedence over his/her responsibility to the Department.

8. **Outside Business Interests:** Any DOT employee who holds, directly or indirectly, a financial interest in any business, firm, or enterprise shall complete an Employment/Outside Business Disclosure Form (see attached) and submit it to the Department's Human Resources Administrator. An indirect financial interest includes situations where a DOT employee's spouse has a financial interest in a business, firm, or enterprise. A financial interest means that the employee or his spouse is an owner, member, partner, or shareholder in a non-publicly traded entity. Disclosure of such outside business interests to the DOT Human Resources Administrator shall *not* constitute approval of the outside business interest under this Policy or the Code of Ethics for Public Officials. DOT employees shall not have a financial interest in any business, firm, or enterprise which will either impair their independence of judgment with regard to their State duties or require or induce them to disclose confidential information gained through their State duties. Inquiries concerning the propriety of a DOT employee's outside business interests shall be directed to the Office of State Ethics to assure compliance with the Code of Ethics for Public Officials.
9. **Contracts With the State:** DOT employees, their immediate family members, and/or a business with which a DOT employee is associated, may not enter into a contract with the State, other than pursuant to a court appointment, valued at \$100 or more unless the contract has been awarded through an open and public process.
10. **Sanctioning Another Person's Ethics Violation:** No DOT official or employee shall counsel, authorize, or otherwise sanction action that violates any provision of the Code of Ethics.
11. **Certain Persons Have an Obligation to Report Ethics Violations:** If the DOT Commissioner, Deputy Commissioner, or "person in charge of State agency procurement" and contracting has reasonable cause to believe that a person has violated the Code of Ethics or any law or regulation concerning ethics in State contracting, he/she *must* report such belief to the Office of State Ethics. All DOT employees are encouraged to disclose waste, fraud, abuse, and corruption about which they become aware to the appropriate authority (see also Policy Statement EX.O.-23 dated March 31, 2004), including, but not limited to, their immediate supervisor or a superior of their immediate supervisor, the DOT Office of Management Services, the Ethics Compliance Officer, the Auditors of Public Accounts, the Office of the Attorney General, or the Office of the Chief State's Attorney.
12. **Post-State Employment Restrictions:** In addition to the above-stated policies of the Department, DOT employees are advised that the Code of Ethics for Public Officials bars certain conduct by State employees *after they leave State service. Upon leaving State service:*
 - **Confidential Information:** DOT employees must never disclose or use confidential information gained in State service for the financial benefit of any person.
 - **Prohibited Representation:** DOT employees must *never* represent anyone (other than the State) concerning any "particular matter" in which they participated personally and substantially while in State service and in which the State has a substantial interest.

DOT employees also must not, for one year after leaving State service, represent anyone other than the State for compensation before the DOT concerning a matter in which the State has a substantial interest. In this context, the term "represent" has been very broadly defined. Therefore, any former DOT employee contemplating post-State employment work that might involve interaction with any bureau of DOT (or any Board or Commission administratively under the DOT) within

their first year after leaving State employment should contact the DOT Ethics Compliance Officer and/or the Office of State Ethics.

- **Employment With State Vendors:** DOT employees who participated substantially in, or supervised, the negotiation or award of a State contract valued at \$50,000 or more must not accept employment with a party to the contract (other than the State) for a period of one year after resigning from State service, if the resignation occurs within one year after the contract was signed.

13. **Ethical Considerations Concerning Bidding and State Contracts:** DOT employees also should be aware of various provisions of Part IV of the Code of Ethics that affect any person or firm who: (1) is, or is seeking to be, prequalified by DAS under Conn. Gen. Stat. §4a-100; (2) is a party to a large State construction or procurement contract, or seeking to enter into such a contract, with a State agency; or (3) is a party to a consultant services contract, or seeking to enter into such a contract, with a State agency. These persons or firms shall not:

- With the intent to obtain a competitive advantage over other bidders, solicit any information from an employee or official that the contractor knows is not and will not be available to other bidders for a large State construction or procurement contract that the contractor is seeking;
- Intentionally, willfully, or with reckless disregard for the truth, charge a State agency for work not performed or goods not provided, including submitting meritless change orders in bad faith with the sole intention of increasing the contract price, as well as falsifying invoices or bills or charging unreasonable and unsubstantiated rates for services or goods to a State agency; and
- Intentionally or willfully violate or attempt to circumvent State competitive bidding and ethics laws.

Firms or persons that violate the above provisions may be deemed a nonresponsible bidder by the DOT.

In addition, no person with whom a State agency has contracted to provide consulting services to plan specifications for any contract, and no business with which such person is associated, may serve as a consultant to any person seeking to obtain such contract, serve as a contractor for such contract, or serve as a subcontractor or consultant to the person awarded such contract.

DOT employees who believe that a contractor or consultant may be in violation of any of these provisions should bring it to the attention of their manager.

Training for DOT Employees

A copy of this policy will be posted throughout the Department, and provided to each employee either in hard copy or by e-mail. As set forth above, State law requires that certain employees involved in contractor/consultant/vendor selection, evaluation, or supervision must undergo annual ethics training coordinated or provided by the Ethics Compliance Officer. If you believe your duties meet these criteria, you should notify your Bureau Chief to facilitate compilation of a training schedule. In addition, the DOT Ethics Compliance Officer can arrange for periodic ethics training provided by the Office of State Ethics. Finally, the Department will make available, on its web site or otherwise, a copy of this policy to all vendors, contractors, and other business entities doing business with the Department.

Important Ethics Reference Materials

It is strongly recommended that every DOT employee read and review the following:

- Code of Ethics for Public Officials, Chapter 10, Part 1, Conn. General Statutes Sections 1-79 through 1-89a found at: www.ct.gov/ethics/site/default.asp
- Ethics Regulations Sections 1-81-14 through 1-81-38, found at: www.ct.gov/ethics/site/default.asp
- The Office of State Ethics web site includes summaries and the full text of formal ethics advisory opinions interpreting the Code of Ethics, as well as summaries of previous enforcement actions: www.ct.gov/ethics/site/default.asp. DOT employees are strongly encouraged to contact the Department's Ethics Compliance Officer or her designee, or the Office of State Ethics with any questions or concerns they may have.

(This Policy Statement supersedes Policy Statement No. F&A-10 dated January 6, 2006)



Ralph J. Carpenter
COMMISSIONER

Attachment

List 1 and List 3

(Managers and supervisors are requested to distribute a copy of this Policy Statement to all employees under their supervision.)

cc: Office of the Governor, Department of Administrative Services, Office of State Ethics

**CONNECTICUT REQUIRED CONTRACT/AGREEMENT PROVISIONS
SPECIFIC EQUAL EMPLOYMENT OPPORTUNITY RESPONSIBILITIES**

1. General:

a) Equal employment opportunity requirements not to discriminate and to take affirmative action to assure equal employment opportunity as required by Executive Order 11246, Executive Order 11375 are set forth in Required Contract Provisions (Form PR-1273 or 1316, as appropriate) and these Special Provisions which are imposed pursuant to Section 140 of Title 23 U.S.C., as established by Section 22 of the Federal-Aid Highway Act of 1968. The requirements set forth in these Special Provisions shall constitute the specific affirmative action requirements for project activities under this contract and supplement the equal employment opportunity requirements set forth in the Required Contract Provisions.

b) "Company" refers to any entity doing business with the Connecticut Department of Transportation and includes but is not limited to the following:

Contractors and Subcontractors
Consultants and Subconsultants
Suppliers of Materials and Vendors (where applicable)
Municipalities (where applicable)
Utilities (where applicable)

c) The Company will work with the Connecticut Department of Transportation (ConnDOT) and the Federal Government in carrying out equal employment opportunity obligations and in their review of his/her activities under the contract.

d) The Company and all his/her subcontractors or subconsultants holding subcontracts not including material suppliers, of \$10,000 or more, will comply with the following minimum specific requirement activities of equal employment opportunity: (The equal employment opportunity requirements of Executive Order 11246, as set forth in volume 6, Chapter 4, Section 1, subsection 1 of the Federal-Aid Highway Program Manual, are applicable to material suppliers as well as contractors and subcontractors.) The company will include these requirements in every subcontract of \$10,000 or more with such modification of language as necessary to make them binding on the subcontractor or subconsultant.

2. Equal Employment Opportunity Policy:

The Company will develop, accept and adopt as its operating policy an Affirmative Action Plan utilizing the ConnDOT Affirmative Action Plan Guideline. This Plan shall be designed to further the provision of equal employment opportunity to all persons without regard to their race, color, religion, sex or national origin, and to promote the full realization of equal employment opportunity through a positive continuation program.

3. Equal Employment Opportunity Officer:

The Company will designate and make known to ConnDOT contracting officers an Equal Employment Opportunity Officer (hereinafter referred to as the EEO Officer) who will have the responsibility for and must be capable of effectively administering and promoting an active equal employment opportunity program and who must be assigned adequate authority and responsibility to do so.

4. Dissemination of Policy:

a. All members of the Company's staff who are authorized to hire, supervise, promote and discharge employees, or who recommend such action, or who are substantially involved in such action, will be made fully cognizant of, and will implement, the Company's equal employment opportunity policy and contractual responsibilities to provide equal employment opportunity in each grade and classification of employment. To ensure that the above agreement will be met, the following actions will be taken as a minimum:

(1) Periodic meetings of supervisory and personnel office employees will be conducted before the start of work and then not less often than once every six months, at which time the Company's equal employment opportunity policy and its implementation will be reviewed and explained. The meeting will be conducted by the EEO Officer or other knowledgeable company official.

(2) All new supervisor or personnel office employees will be given a thorough indoctrination by the EEO Officer or other knowledgeable company official, covering all major aspects of the Company's equal employment opportunity obligations within thirty days following their reporting for duty with the Company.

(3) All personnel who are engaged in direct recruitment for the project will be instructed by the EEO Officer or appropriate company official in the Company's procedures for locating and hiring minority group employees.

b. In order to make the Company's equal employment opportunity policy known to all employees, prospective employees and potential sources of employees, i.e., schools, employment agencies, labor unions (where appropriate), college placement officers, etc., the Company will place their equal employment opportunity policy in areas readily accessible to employees, applicants for employment and potential employees. The Company will bring the equal opportunity policy to the attention of employees through meetings, employee handbooks, or other appropriate means.

5. Recruitment:

a. When advertising for employees, the Company will include in all advertisements the notation: "An Equal Opportunity Employer". All such advertisements will be published in newspapers or other publications having a large circulation among minority groups in the area from which the project workforce would normally be derived. The Company shall comply with this provision and the recruitment requirements outlined in their ConnDOT approved Affirmative Action Plan.

b. The Company will, unless precluded by a valid bargaining agreement, conduct systematic and direct recruitment through public and private employee referral sources likely to yield qualified minority group applicants, including, but not limited to, State employment agencies, schools, colleges and minority group organizations. To meet this requirement, the Company will, through his/her EEO Officer, identify sources of potential minority group employees, and establish with such identified sources, procedures whereby minority group employees, and applicants may be referred to the Company for employment consideration.

In the event that the Company has a valid bargaining agreement providing for exclusive hiring hall referrals, he/she is expected to observe the provisions of that agreement to the extent that the system permits the Company's compliance with equal employment opportunity contract provisions. (The U.S. Department of Labor has held that where implementation of such agreements have the effect of discriminating against minorities or women, or obligates the Company to do the same, such implementation violates Executive Order 11246, as amended.)

c. The Company will encourage his/her present employees to refer minority group applicants for employment by posting appropriate notices or bulletins in areas accessible to all such employees. In addition, information and procedures with regard to referring minority group applicants will be discussed with employees.

6. **Personnel Actions:**

Wages, working conditions, and employee benefits shall be established and administered, and personnel actions of every type, including hiring, upgrading, promotion, transfer, demotion, layoffs, and termination, shall be taken without regard to race, color, religion, sex, or national origin, etc. The company's personnel actions shall comply with this provision and the requirements outlined in their ConnDOT approved Affirmative Action Plan.

a. The Company will conduct periodic inspections of project sites to insure that working conditions and employee facilities do not indicate discriminatory treatment of project site personnel.

b. The Company will periodically evaluate the spread of wages paid within each classification to determine any evidence of discriminatory wage practices.

c. The Company will periodically review selected personnel actions in depth to determine whether there is evidence of discrimination. Where evidence is found, the Company will promptly take corrective action. If the review indicates that the discrimination may extend beyond the actions reviewed, such corrective action shall include all affected persons.

d. The general contract provision entitled A(76) Affirmative Action Requirements is made part of this document by reference.

7. **Training and Promotion:**

a. The Company will assist in locating, qualifying, and increasing the skills of minority group and women employees, and applicants for employment.

b. Consistent with the Company's work force requirements and as permissible under Federal and State regulations, the Company shall make full use of training programs, i.e., apprenticeship, and on-the-job training programs for the geographical area of contract performance. Where feasible, 25 percent of apprentices or trainees in each occupation shall be in their first year of apprenticeship or training. In the event the Training Special Provision is provided under this contract, this subparagraph will be superseded.

c. The Company will advise employees and applicants for employment of available training programs and the entrance requirements for each.

d. The Company will periodically review the training and promotion potential of minority group and women employees and will encourage eligible employees to apply for such training and promotion.

8. **Unions:**

If the Company relies in whole or in part upon unions as a source of employees, the Company will use his/her best efforts to obtain the cooperation of such unions to increase opportunities for minority groups and women within the unions, and to effect referrals by such unions of minority and female employees. Actions by the Company either directly or through a contractor's association acting as agent will include the procedures set forth below:

- a. The Company will use best efforts to develop, in cooperation with the unions, joint training programs aimed toward qualifying more minority group members and women for membership in the unions and increasing the skills of minority group employees and women so that they may qualify for higher paying employment.
- b. The Company will use best efforts to incorporate an Equal Opportunity clause into each union agreement to the extent that such union will be contractually bound to refer applicants without regard to their race, color, religion, sex or national origin.
- c. The Company is to obtain information as to the referral practices and policies of the labor union except to the extent that such information is within the exclusive possession of the labor union and such labor union refuses to furnish such information to the Company, the Company shall so certify to the Connecticut Department of Transportation (ConnDOT) and shall set forth what efforts have been made to obtain such information.
- d. In the event the union is unable to provide the Company with a reasonable flow of minority and women referrals within the time limit set forth in the collective bargaining agreement, the Company will, through independent recruitment efforts, fill the employment vacancies without regard to race, color, religion, sex, national origin; making full efforts to obtain qualified and/or qualifiable minority group persons and women. (The United States Department of Labor has held that it shall be no excuse that the union with which the contractor has a collective bargaining agreement providing for exclusive referral failed to refer minority employees.) In the event the union referral practice prevents the Company from meeting the obligations under Executive Order 11246 as amended, and these special provisions, such Company shall immediately notify ConnDOT.

9. **Subcontracting:**

- a. The Company will use his/her best efforts to solicit bids from and to utilize minority group subcontractors, or subcontractors with meaningful minority group and female representation among their employees. Companies shall obtain lists of minority-owned construction firms from the Division of Contract compliance.
- b. The Company will use its best efforts to ensure subcontractor compliance with their equal employment opportunity obligations.

10. **Records and Reports:**

- a. The Company will keep such records as are necessary to determine compliance with equal employment opportunity obligations. The records kept by the Company will be designed to indicate:
 1. The number of minority and non-minority group members and women employed in each classification on the project;
 2. The progress and efforts being made in cooperation with unions to increase employment opportunities for minorities and women; (applicable only to contractors who rely in whole or in part on unions as a source of their work force),
 3. The progress and efforts being made in locating, hiring, training, qualifying, and upgrading minority and female employees; and
 4. The progress and efforts being made in securing the services of minority group subcontractors, or subcontractors with meaningful minority and female representation among their employees.

b. All such records must be retained for a period of three years following completion of the contract work and shall be available at reasonable times and places for inspection by authorized representatives of ConnDOT and the Federal Highway Administration.

c. The Company will submit an annual report to ConnDOT each July for the duration of the project, indicating the number of minority, women, and non-minority group employees currently engaged in each work classification required by the contract work. This information is to be reported on Form PR 1391. If on-the-job training is being required by "Training Special Provision", the Company will be required to furnish Form FHWA 1409.

11. Affirmative Action Plan

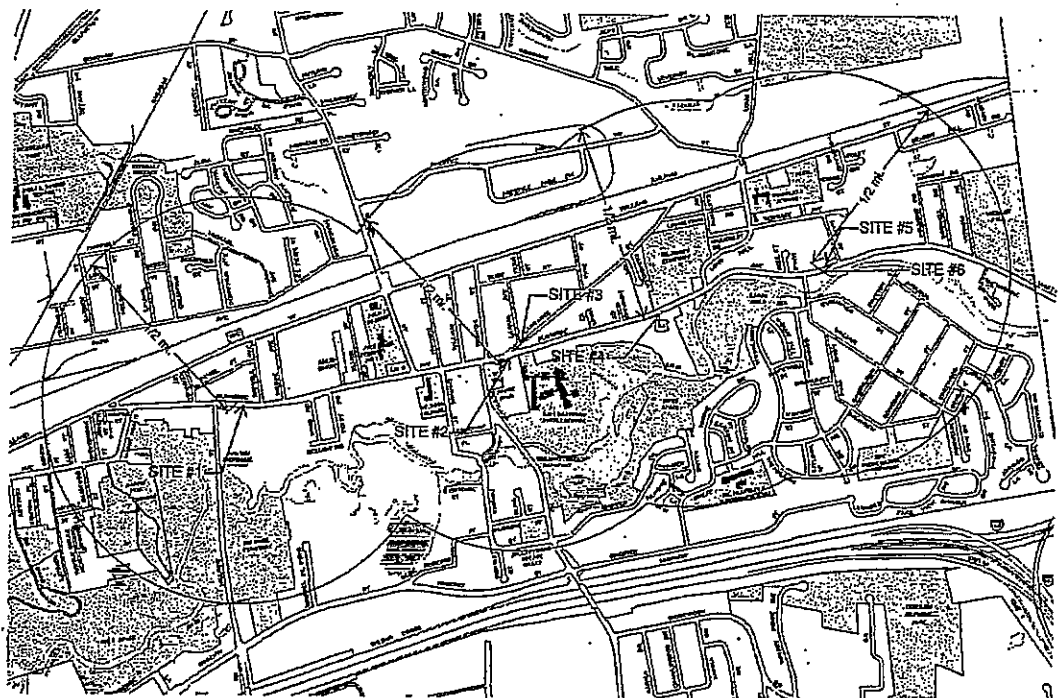
Companies with contracts, agreements or purchase orders valued at \$10,000 or more will submit a ConnDOT Affirmative Action Plan.

BUS SHELTER INSTALLATION

BURNSIDE AVENUE
EAST HARTFORD, CONNECTICUT



LIST OF DRAWINGS	
SHEET NO.	TITLE
1	COVER SHEET
2	1/2 MILE RADII MAP
3	KEY PLAN
4-9	SITE PLANS
10-13	DETAILS



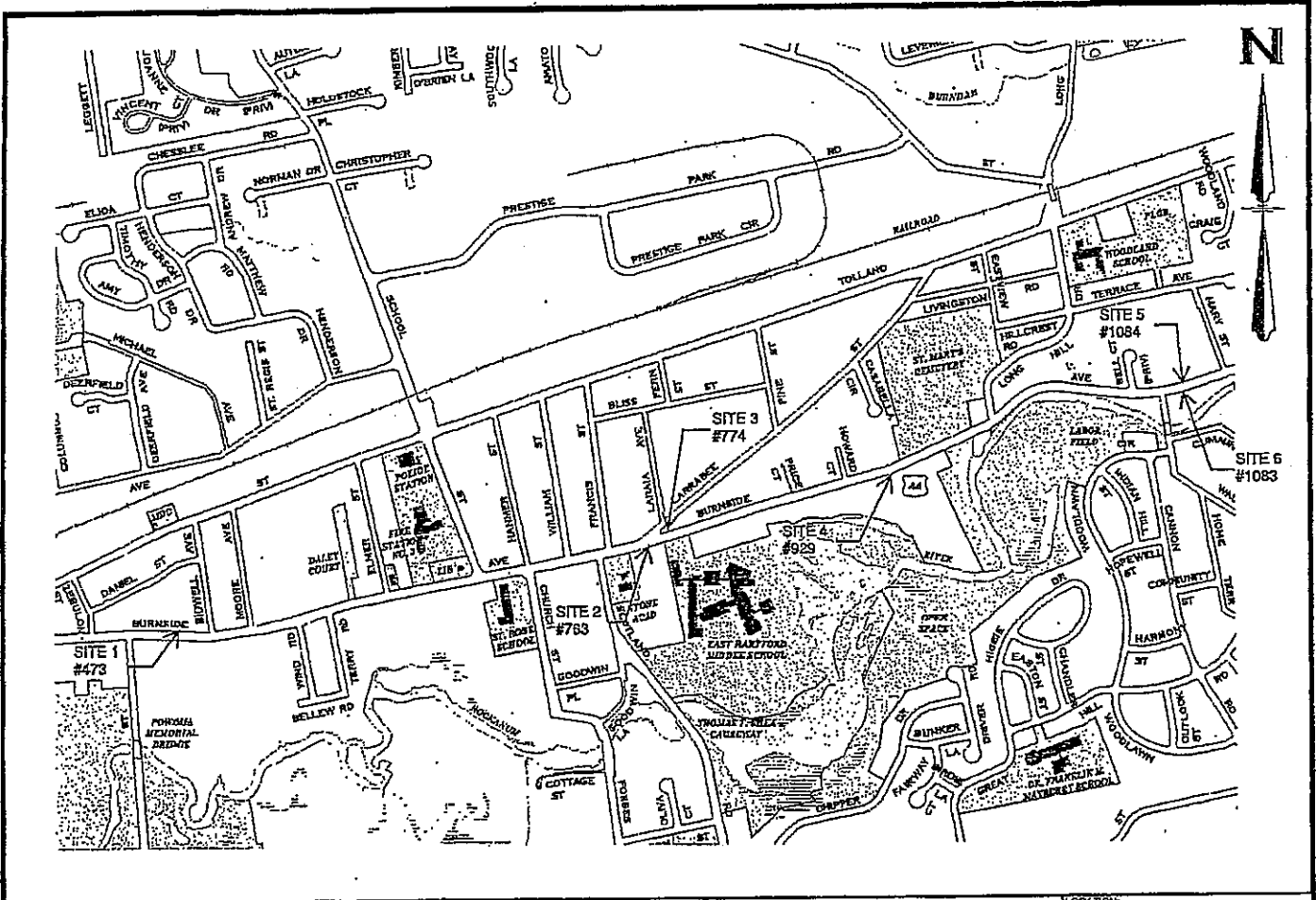
AREA
 0' 400' 1200'
 SCALE: 1"=1200'

NO.	DATE	REVISIONS



HALF-MILE RADIUS PLAN
 BURNSIDE AVENUE
 BUS SHELTER INSTALLATION
 BURNSIDE AVENUE
 EAST HARTFORD, CONNECTICUT

1/25/18
 2 OF 13



PLANNING & ZONING APPLICATION
 INSTALLATION OF BUS SHELTER AND TRASH CAN
 KEY MAP
 BURNSIDE AVENUE

LOCATION:

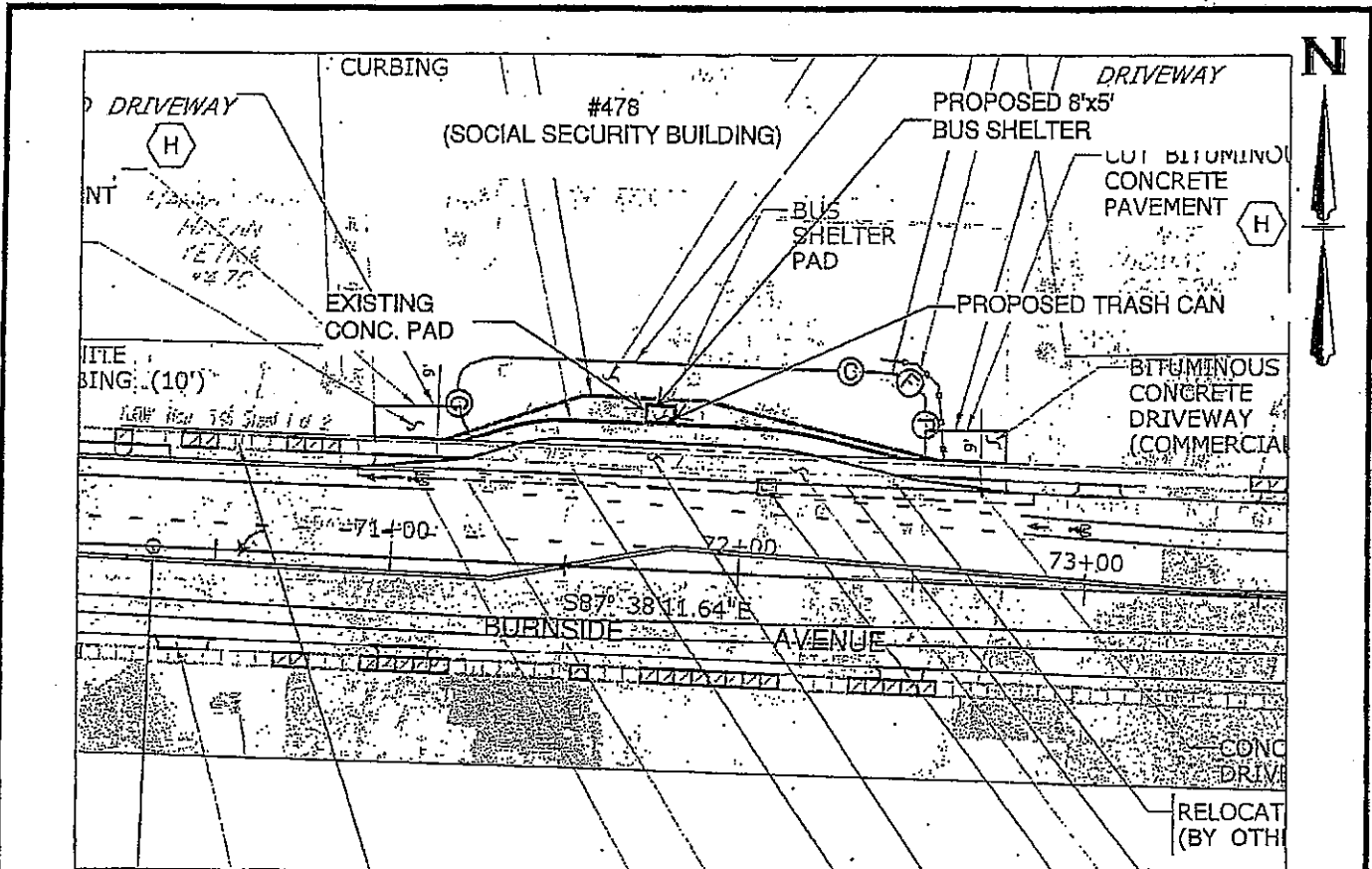
EAST HARTFORD, CONNECTICUT

DATE: 1/19/16

SHEET

SCALE: 1"=1200'+/-

3



BASE MAPPING FROM PLANS FOR
 PROJECT 042-0315 PREPARED BY D.O.T.
 OFFICE OF ENGINEERING



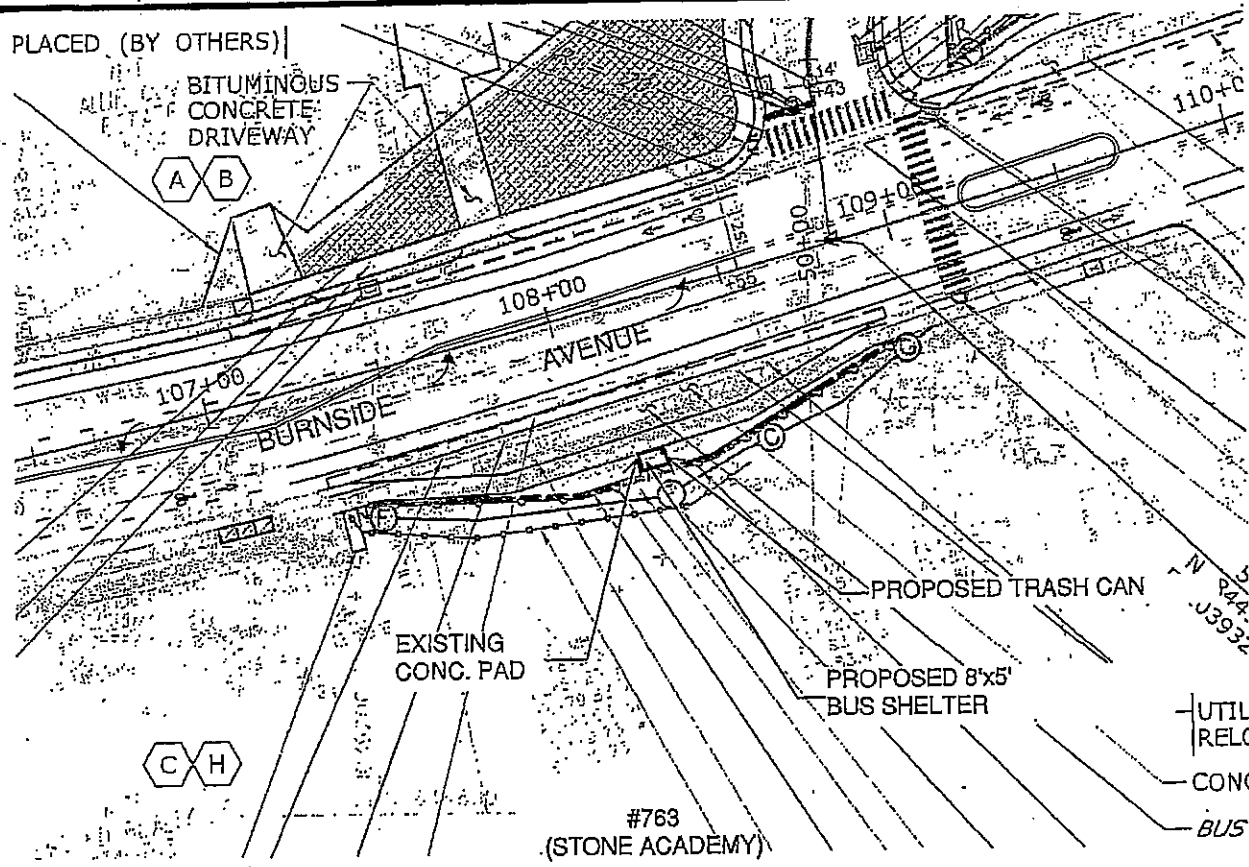
PLANNING & ZONING APPLICATION
 INSTALLATION OF BUS SHELTER AND TRASH CAN
 SITE No. 1
 BURNSIDE AVENUE

LOCATION:	
EAST HARTFORD, CONNECTICUT	
DATE:	1/19/16
SHEET:	4
SCALE:	1"=40'

PLACED (BY OTHERS)

BITUMINOUS
CONCRETE
DRIVEWAY

A B



EXISTING
CONC. PAD

PROPOSED TRASH CAN

PROPOSED 8'x5'
BUS SHELTER

C H

#763
(STONE ACADEMY)

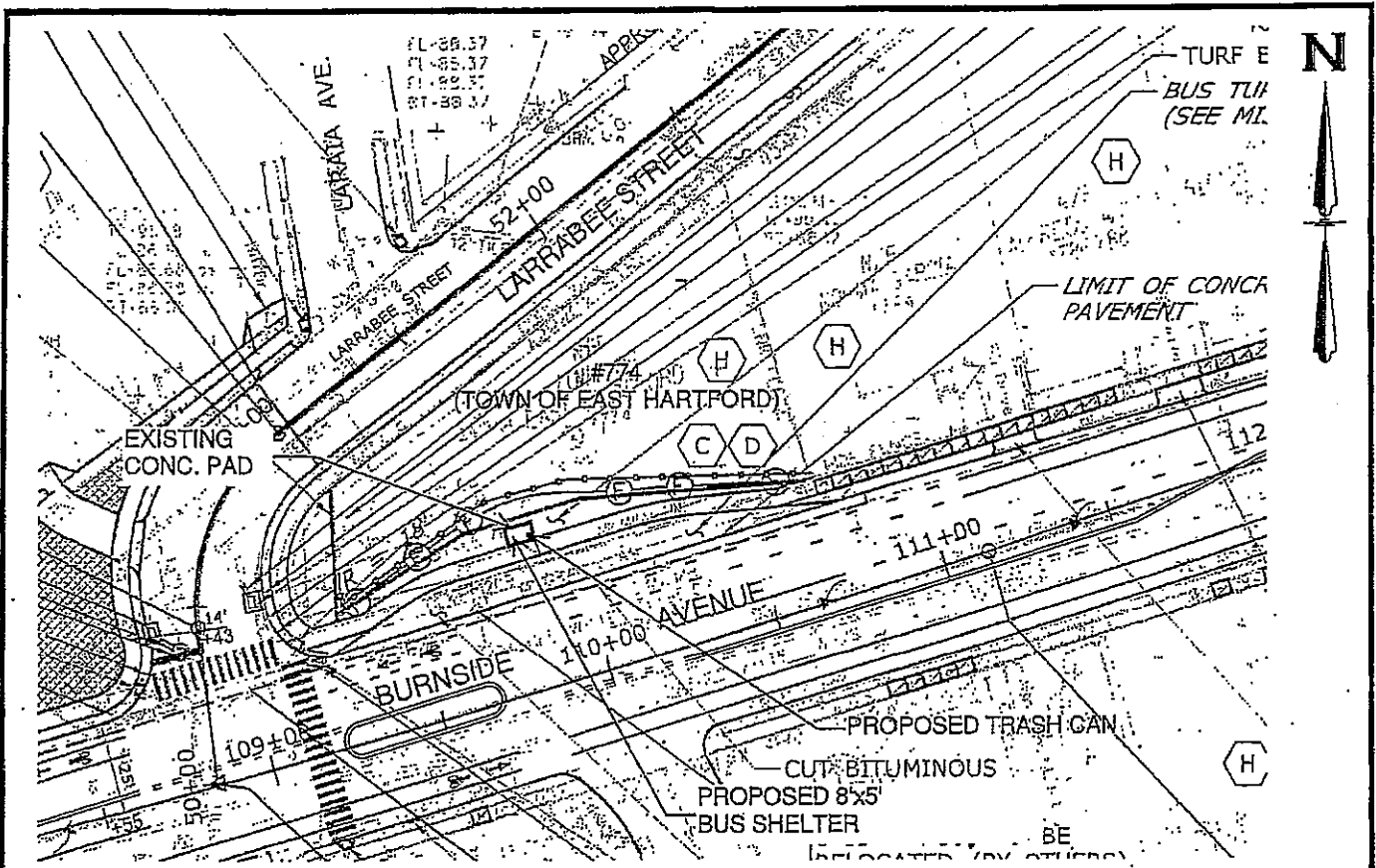
UTIL
RELOC
CONC
BUS

BASE MAPPING FROM PLANS FOR
PROJECT 042-0315 PREPARED BY D.O.T.
OFFICE OF ENGINEERING



PLANNING & ZONING APPLICATION
INSTALLATION OF BUS SHELTER AND TRASH CAN
SITE No. 2
BURNSIDE AVENUE

LOCATION:
EAST HARTFORD, CONNECTICUT
DATE 1/19/16
SCALE 1"=40'
SHEET 5

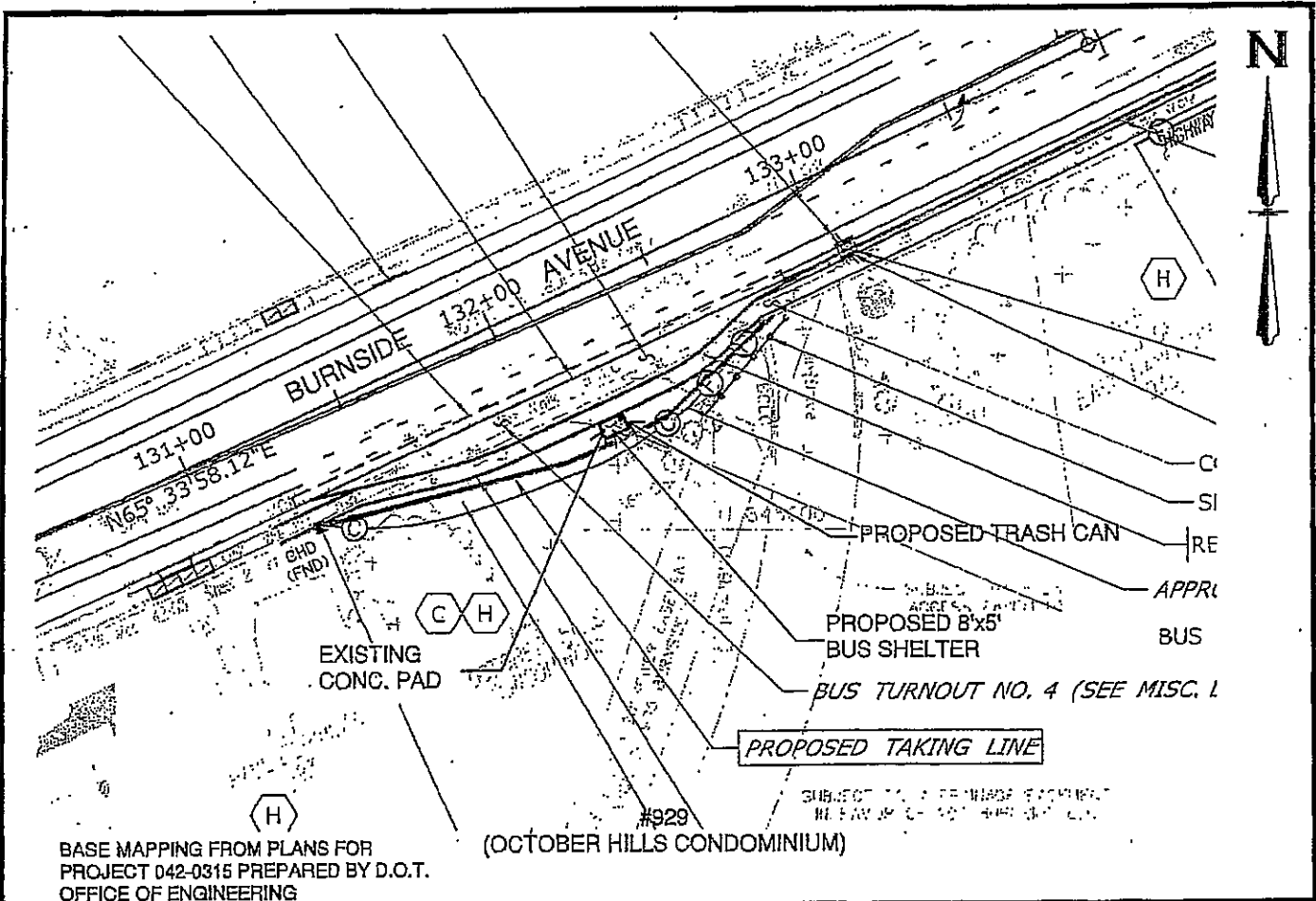


BASE MAPPING FROM PLANS FOR
 PROJECT 042-0315 PREPARED BY D.O.T.
 OFFICE OF ENGINEERING



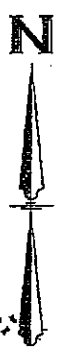
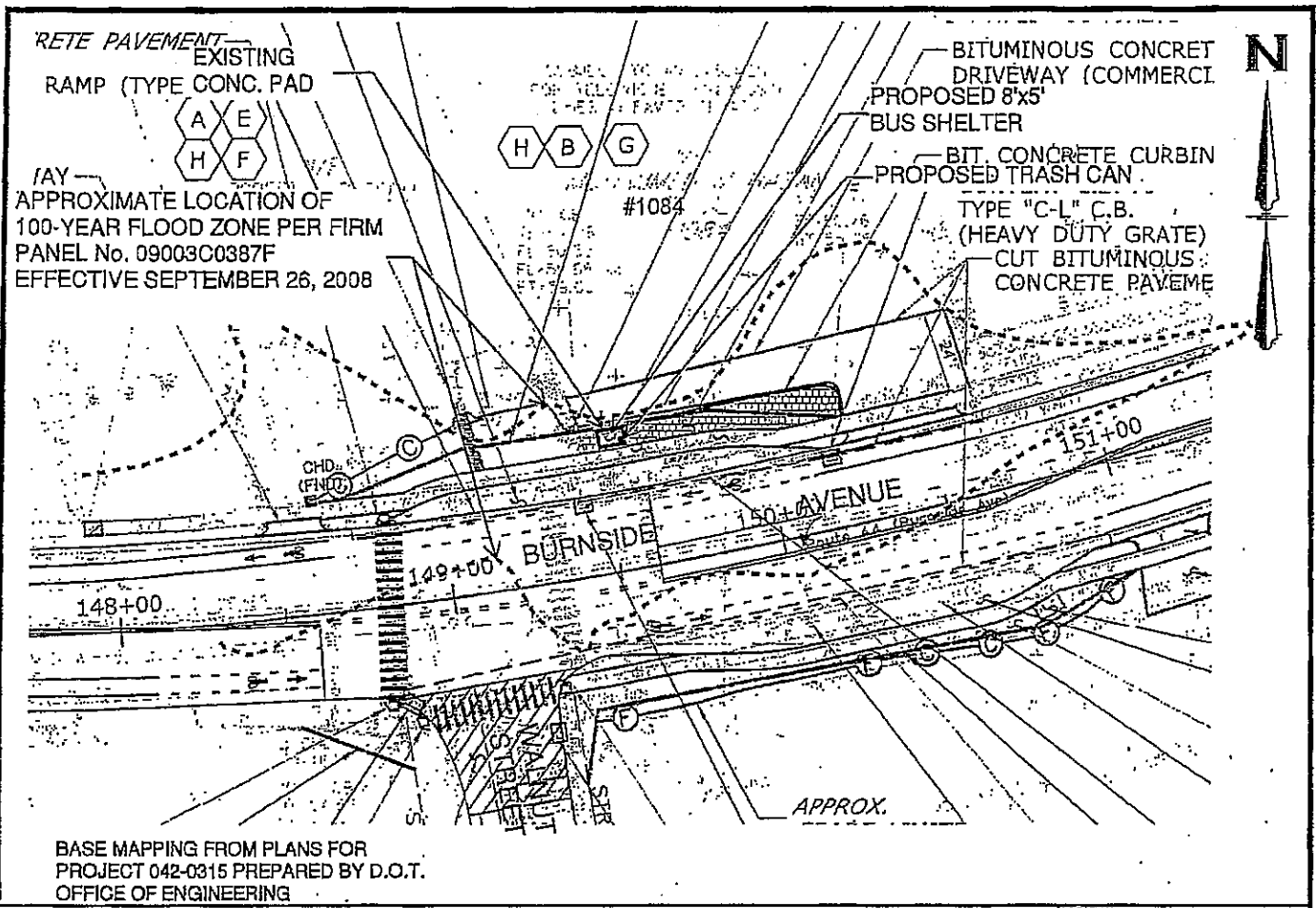
PLANNING & ZONING APPLICATION
 INSTALLATION OF BUS SHELTER AND TRASH CAN
 SITE No. 3
 BURNSIDE AVENUE

LOCATION:	
EAST HARTFORD, CONNECTICUT	
DATE: 1/19/16	SHEET: 6
SCALE: 1"=40'	



PLANNING & ZONING APPLICATION
 INSTALLATION OF BUS SHELTER AND TRASH CAN
 SITE No. 4
 BURNSIDE AVENUE

LOCATION:	
EAST HARTFORD, CONNECTICUT	
DATE:	1/19/16
SCALE:	1"=40'
SHEET: 7	



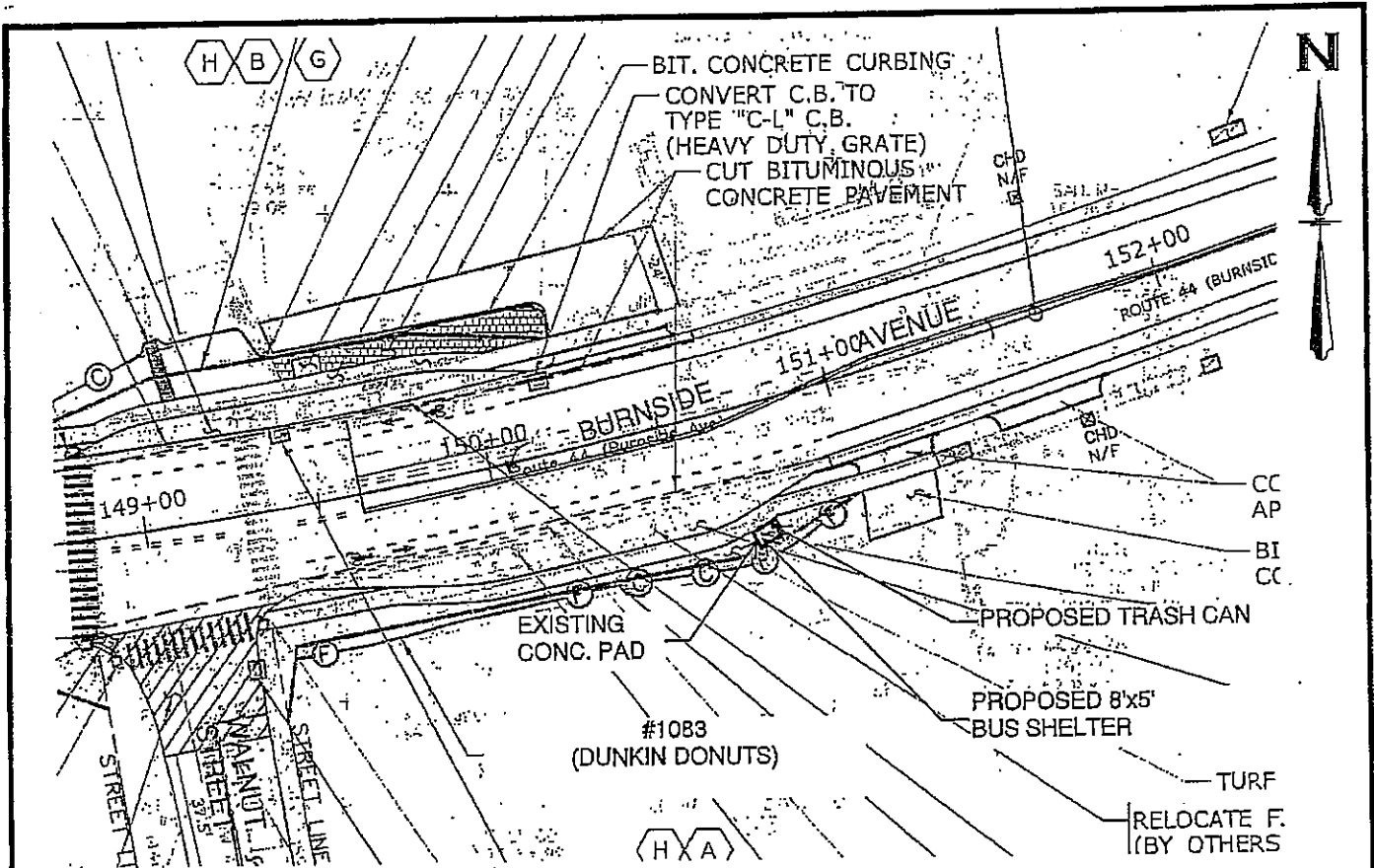
BASE MAPPING FROM PLANS FOR
PROJECT 042-0315 PREPARED BY D.O.T.
OFFICE OF ENGINEERING

APPROX.



PLANNING & ZONING APPLICATION
INSTALLATION OF BUS SHELTER AND TRASH CAN
SITE No. 5
BURNSIDE AVENUE

LOCATION:	
EAST HARTFORD, CONNECTICUT	
DATE: 1/19/16	SHEET: 8
SCALE: 1"=40'	



BASE MAPPING FROM PLANS FOR
 PROJECT 042-0315 PREPARED BY D.O.T.
 OFFICE OF ENGINEERING



PLANNING & ZONING APPLICATION
 INSTALLATION OF BUS SHELTER AND TRASH CAN
 SITE No. 6
 BURNSTIC AVENUE

LOCATION:

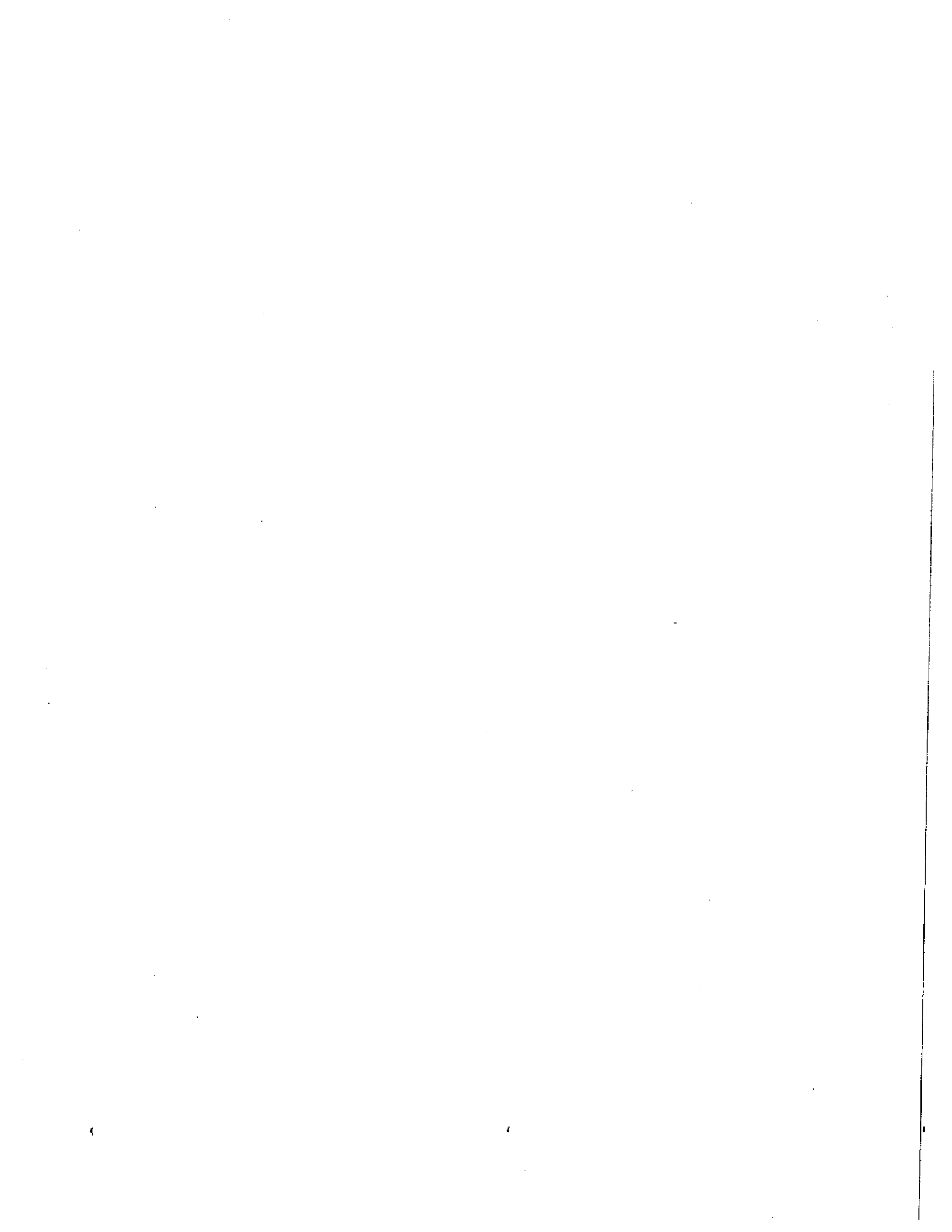
EAST HARTFORD, CONNECTICUT

DATE: 1/19/16

SHEET:

SCALE: 1"=40'

9



Robert J. Geseck

2016 NOV 30 A 9:34

EAST HARTFORD BOARD OF EDUCATION
1110 MAIN STREET, 3RD FLOOR CONFERENCE ROOM EAST HARTFORD

TOWN CLERK

NOVEMBER 28, 2016

BOARD OF EDUCATION BUDGET WORKSHOP

PRESENT Chair Richard F. Kehoe, Vice Chair William P. Horan, Jr., Majority Leader
Linda A. Russo, Minority Leader Esther B. Clarke, Councillors Marc I.
Weinberg, Ram Aberasturia, Joseph R. Carlson, Patricia Harmon and
Michael G. Kurker

ALSO Nathan Quesnel, Superintendent of Schools
PRESENT Paul Mainuli, Business Manager, EH Public Schools
Al Costa, Facilities Manager, EH Public Schools
Christopher Wethje, Human Resources, EH Public Schools
Joanne Zatarain, CPA, EH Public Schools
Cynthia Ritchie, Assistant Superintendent of Elementary Curriculum
Anne Marie Mancini, Assistant Superintendent of Secondary Curriculum
Dr. Sharon Bremner, Director of Pupil Personnel
Dr. Sarah Brzozowy, Data Analyst/School Improvement Specialist
Board of Education Members: Bryan Hall, Tyron Harris, Tom Rup,
Stephanie Watkins, Valerie Scheer, Harry Amadasun, Jr., and Dorese
Roberts

CALL TO ORDER

The meeting was called to order at 6:06 p.m.

The Board of Education presented an overview of their proposed budget for fiscal year 2017-2018 which contains a 1.3% increase all of which is the result of increases in the contribution to the town's health insurance fund and OPEB health insurance costs. Town Councillors and Board members asked questions. Additional questions and requests for information can be transmitted to the Superintendent.

Nate Quesnel, Superintendent of Schools, Board of Education Chair Bryan Hall and Council Chair Rich Kehoe all praised the budget process that has been implemented in the past two years. Under this process, the Board of Education and town administration budget books provide similar categories for each expenditure and revenue account and provides clarity on grant funded positions. The Board and Council work jointly from the initial stages of the budget process because the boards are in this together - the town and the schools rise and fall together.


ADJOURNMENT

MOTION By Esther Clarke
seconded by Bill Horan
to **adjourn** (7:52 p.m.)
Motion carried 9/0.

Attest *Richard F. Kehoe*
Richard F. Kehoe
Town Council Chair



TOWN OF EAST HARTFORD OFFICE OF THE MAYOR

DATE: December 6, 2016
TO: Richard F. Kehoe, Chair
FROM: Mayor Marcia A. Leclerc 
RE: COMMUNICATION: Orphan Properties

Attached is a packet from Finance Director Mike Walsh outlining 17 parcels that have been identified and coined "orphans" due to their obscure use and designation as delinquent properties.

Each parcel is outlined in the attached with recommendations that will be initiated by the town in the near future. The goals of the recommended solutions are to create productive parcels that can be added to the grand list.

Please place on the Town Council agenda for the December 13, 2016 meeting.

Thank you.

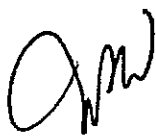
C: M. Walsh, Finance Director



MEMORANDUM

DATE: November 1, 2016

TO: Marcia A. Leclerc, Mayor

FROM: Michael P. Walsh, Director of Finance 

TELEPHONE: (860) 291-7246

RE: Orphan Properties - Communication to the Town Council

By way of this memo, attached please find a list of 17 properties that the town refers to as "orphans" because they either are a sliver property with no obvious use, a mobile home, a non-buildable lot, landlocked, or are somehow impaired in one way or another.

This list has been rigorously analyzed by Tax Serv, our outside tax collection service in an effort to provide the town with an eventual path to collection. The Tax Serv report is attached.

One thing each parcel shares is a designation as a delinquent property with no easy or clear way to collect outstanding taxes. This issue is troubling in a number of ways. First, by continuing to bill for these parcels, we are overstating our grand list and our accounts receivable for taxes due.

Second, the collection method eventually employed to deal with these delinquencies will likely cost more than the taxes available to collect on the property.

Third and finally, in an effort to maintain a fair and equitable tax collection system for all tax payers, I believe it's incumbent on the town to seek payment on these parcels in some manner.

In the end, the overarching goal is to provide a communication to Council on each parcel so that the parcel can be eventually deemed open space, added to an abutting parcel, or otherwise disposed of so that in the future, it can be added to the grand list as a productive parcel moving forward.

To that end, here is the list of the 17 orphan parcels with a corresponding recommendation that will be initiated by the town in the near future.

Pg	Address	Primary Rec.	Secondary Rec.	Comments
4	15 Hillside Ave.	Tax deed sale	Combine with lot	
7	18 Sioux Rd.	Alias tax warrant	Tax deed sale	Town likely owner
13	19A Sherwood Dr.	Tax deed sale	Combine with lot	
18	40 Rivermead Blv.	Alias tax warrant	Tax deed sale	Town likely owner
22	44 University Ave.	Tax deed sale	Combine with lot	Town likely owner
27	53 Main Street	Tax deed sale	Seek deficiency judgemt	
32	56 Cheyenne Rd.	Alias tax warrant	Tax deed sale	Town likely owner
36	67 Woodbridge Av.	Force demolition	Tax deed sale	
40	104 Woodycrest Dr.	Alias tax warrant	Rent receivership	
45	125 Lydall/40 Deepwd	Probate notice	Tax deed sale	Probate deficiency
51	128 Ellington Rd.	Payment plan	Tax deed sale	
57	447 Forbes Street	Alias tax warrant	Tax deed sale	
60	471-473 Burnside Av.	Alias tax warrant	Tax deed sale	
64	483-486 Burnside Av.	Alias tax warrant	Tax deed sale	
68	695 Silver Lane	Alias tax warrant	Tax deed sale	Remainderman
74	1259 Silver Lane	Tax deed sale		
78	1377 Silver Lane	Tax deed sale		

If I can ask that this memo and attachment be forwarded to the Town Council as a communication, that would be appreciated. Please contact me if you have any questions or problems on any of the aforementioned information.

Cc: Iris Laurenza, Tax Collector

TAXSERV CAPITAL SERVICES, LLC

REAL ESTATE ASSET DISPOSITION PLANS

FOR

TOWN OF EAST HARTFORD, CT

DELIVERED TO:

Michael Walsh
Director of Finance
Town of East Hartford
740 Main St
East Hartford, CT 06457

Iris K. Laurenza, CCMC
Tax Collector
Town of East Hartford
740 Main St
East Hartford, CT 06457



TaxServ Capital Services, LLC
21 Oak St, Suite 310
Hartford, CT 06106
Phone: (866) 497-2427, Fax: (860) 727-1080
E-mail: taxserv@taxserv.com

ORIGINAL

September 16, 2016

①



TAXSERV CAPITAL SERVICES, LLC

TAX COLLECTION SERVICES
21 Oak St, Suite 310
Hartford, CT 06106-8008
TELEPHONE (866) 716-1100 ♦ FAX (860) 727-1080
EMAIL: taxserv@taxserv.com

September 16, 2016

Via FedEx

Michael Walsh
Director of Finance
Town of East Hartford
740 Main St
East Hartford, CT 06457

Via FedEx

Iris K. Laurenza, CCMC
Tax Collector
Town of East Hartford
740 Main St
East Hartford, CT 06457

RE: Real Estate Asset Disposition Analysis and Report

Dear Mr. Walsh and Ms. Laurenza:

Thank you for the opportunity to review various real estate tax delinquent properties in the Town. This package and report provides a review of the twenty (20) properties. Because of the nature of four (4) of the properties, the analysis consists of only eighteen (18) properties where two (2) properties are included with their neighbor together in one analysis.

Included in this report package are the following:

- A summary report of the properties placed for disposition analysis
- Sections for each of the eighteen (18) properties analyzed that provides the disposition analysis and recommendation.

Please contact me should you have any questions or comments about any aspect of this Proposal.

Very Truly Yours,

Roger Blain
President
TaxServ Capital Services, LLC
21 Oak St, Suite 310
Hartford, CT 06106-8008
Phone: (866) 716-1100 x227
Email: rblain@taxserv.com

TAXSERV CAPITAL SERVICES, LLC
EAST HARTFORD, CT
SUMMARY REPORT OF ASSET DISPOSITION PLANS
SEPTEMBER 16, 2016

	Property Address	Taxpayer Name	Aug 2016 Tax Balance	2015 Assessed Value	BPO Quick Sale Price	BPO LTV ⁽¹⁾⁽²⁾	Assessed LTV ⁽¹⁾⁽³⁾	Property Description
1	15 HILLSIDE AVE	GORDEN JAMES & SAUNDERS MARY E	\$4,807.86	\$1,820	N/A	N/A	264.17%	0.28 acres vacant land
2	18 SIOUX RD	DUNN ROBERT P & CHRISTINE L	\$8,307.13	\$16,560	\$5,000	166.14%	50.16%	Mobile home
3	19A SHERWOOD DR (REAR)	291 DEVELOPMENT LLC	\$11,488.02	\$11,610	N/A	N/A	98.95%	0.97 acre vacant lot not buildable
4	40 RIVERMEAD BLVD	JOHNSTON JOHN	\$8,187.76	\$19,850	\$6,000	136.46%	41.25%	Mobile home
5	44 UNIVERSITY AVE	TARR LLOYD A & JEAN W	\$3,337.50	\$1,690	\$22,000	15.17%	197.49%	0.30 acre landlocked vacant lot
6	53 & 57 ALNA LN	359 BURNHAM ST LLC	\$0.00	\$82,050	\$0	\$0	0.00%	53 alna-3.4 acre & 57 alna-0.61 acre vacant lots
7	53 MAIN ST	LAVIGNE RICHARD WEST OF & EVELYN W	\$14,761.54	\$15,290	\$22,000	67.10%	96.54%	0.45 acre vacant lot
8	56 CHEYENNE RD	BROOKE JOANNE M	\$11,890.91	\$18,780	\$5,000	237.82%	63.32%	Mobile home
9	57 CHRISTOPHER CT	AMATO SAL	\$5,881.80	\$249,040	N/A	N/A	2.36%	19 acre vacant lot
10	67 WOODBRIDGE AVE	BRAVO ROBERT	\$14,663.88	\$37,770	N/A	N/A	38.82%	Two story structure 0.21 acre lot.
11	104 WOODYCREST DR	BOSCO RICHARD M & AMY J	\$8,706.80	\$84,130	\$62,000	14.04%	10.35%	Single family 0.024 acre lot
12	125 LYDALL & 40 DEEPWOOD	ULLMAR ALICE RESPONDENT 3/4 INT	\$26,466.98	\$38,810	\$44,000	60.15%	68.20%	Vacant lots
13	128 ELLINGTON RD	MANN JAMES A	\$9,203.07	\$23,590	N/A	N/A	39.01%	Side lot adjacent to taxpayer's primary residence
14	447 FORBES ST	SUNLIGHT PHILLIPS FARM INC	\$8,305.77	\$29,530	\$20,000	41.53%	28.13%	0.28 acre vacant lot
15	471-473 BURNSIDE AVE	CHOPSTIX CHINESE FOOD INC	\$28,424.43	\$25,590	\$15,000	189.50%	111.08%	0.17 acre vacant lot
16	483-485 BURNSIDE AVE	ZAYERZ ORLANDO M	\$31,241.58	\$33,780	\$15,000	208.28%	92.49%	0.41 acre vacant lot
17	695 SILVER LN	FUTTNER JODY L/U THE BLUE ARMY TRUST	\$13,545.27	\$97,730	\$35,000	38.70%	13.86%	Single family boarded up 2.10 acre lot
18	1259 SILVER LN	HEALTHWATCHERS SAFE CARE PLAN INC	\$8,287.87	\$22,560	N/A	N/A	36.74%	13.49 acre vacant lot wetlands
		TOTAL	\$217,508.17	\$810,180	\$251,000	86.66%	26.85%	

Notes:

- (1) A lien to value ratio over 50% is considered to be a property that will likely not have equity by the time a foreclosure is concluded (accounting for time and possible value changes)
- (2) BPO LTV (lien to value ratio) is calculated by taking the Aug 2016 Tax Balance and dividing by the BPO Quick Sale Price.
- (3) Assessed LTV (lien to value ratio) is calculated by taking the Aug 2016 Tax Balance and dividing by the 2015 Assessed value

3

15 HILLSIDE AVENUE

BILL#	TAXPAYER NAME	TAX	AUG INT	LIEN	TOTAL
2000-01-0005951	GORDEN JAMES & SAUNDERS MARY E	144.04	393.23	24	561.27
2001-01-0005958	GORDEN JAMES & SAUNDERS MARY E	141.75	361.46	24	527.21
2002-01-0005997	GORDEN JAMES & SAUNDERS MARY E	144.36	342.13	24	510.49
2003-01-0006017	GORDEN JAMES & SAUNDERS MARY E	150.83	330.31	24	505.15
2004-01-0006017	GORDEN JAMES & SAUNDERS MARY E	154.61	310.77	24	489.38
2005-01-0005970	GORDEN JAMES & SAUNDERS MARY E	163.14	298.55	24	485.69
2006-01-0005970	GORDEN JAMES & SAUNDERS MARY E	89.22	147.21	24	260.43
2007-01-0005970	GORDEN JAMES & SAUNDERS MARY E	78.22	114.98	24	217.20
2008-01-0005970	GORDEN JAMES & SAUNDERS MARY E	78.22	100.90	24	203.12
2009-01-0005970	GORDEN JAMES & SAUNDERS MARY E	83.54	92.73	24	200.27
2010-01-0005970	GORDEN JAMES & SAUNDERS MARY E	85.02	79.07	24	188.09
2011-01-0005970	GORDEN JAMES & SAUNDERS MARY E	77.88	58.41	24	160.29
2012-01-0005970	GORDEN JAMES & SAUNDERS MARY E	79.90	45.54	24	149.44
2013-01-0005970	GORDEN JAMES & SAUNDERS MARY E	82.63	32.23	24	138.86
2014-01-0005970	GORDEN JAMES & SAUNDERS MARY E	83.47	17.53	24	125.00
2015-01-0005970	GORDEN JAMES & SAUNDERS MARY E	83.47	2.50	0	85.97
TOTAL		1720.30	2727.55	360	4807.86

The subject property is a 0.28 vacant lot impacted by wetlands and lack of adequate street access. The owners cannot be located and we believe may be deceased. The deed itself is older than can be searched over the internet land records and could date back to the 1930s. A BPO was not able to be provided by our broker due to a lack of any reasonable comparable lot.

RECOMMENDATION: There is no expectation of collecting the tax other than by tax deed sale (though also unlikely). The Town may get a neighbor to step up and take the property for some small amount. The best result may be to combine this lot with adjacent lot(s) and working with the neighbors to accomplish same.

Attached:

- 1) Assessor Card
- 2) Map



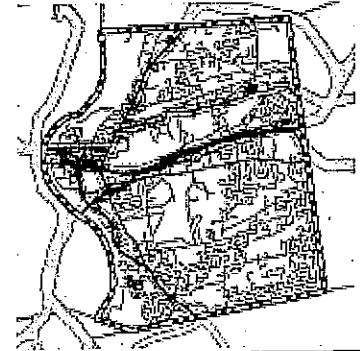
Town of East Hartford Property Summary Report

15 HILLSIDE AVE

MAP LOT:	59-148	CAMA PID:	6535
LOCATION:	15 HILLSIDE AVE		
OWNER NAME:	GORDEN JAMES & SAUNDERS MARY E		



OWNER OF RECORD
 GORDEN JAMES & SAUNDERS MARY E
 2289 5TH AVE APT G11
 NEW YORK, NY 10037



LIVING AREA:	null	ZONING:	B2	ACREAGE:	0.28
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SALES HISTORY

OWNER	BOOK / PAGE	SALE DATE	SALE PRICE
GORDEN JAMES & SAUNDERS MARY E	136/ 452	01-Jan-1900	\$0.00

CURRENT PARCEL ASSESSMENT

TOTAL:	\$1,820.00	IMPROVEMENTS:	\$0.00	LAND:	\$1,820.00
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ASSESSING HISTORY

FISCAL YEAR	TOTAL VALUE	IMPROVEMENT VALUE	LAND VALUE
2015	\$1,820.00	\$0.00	\$1,820.00
2014	\$1,820.00	\$0.00	\$1,820.00
2013	\$1,820.00	\$0.00	\$1,820.00
2012	\$1,820.00	\$0.00	\$1,820.00
2011	\$1,820.00	\$0.00	\$1,820.00

5

18 SIOUX RD

BILL#	TAXPAYER NAME	TAX	AUG INT	LIEN	TOTAL
2007-01-0001192	DUNN ROBERT P & CHRISTINE L	104.00	60.84	24	188.84
2008-01-0001192	DUNN ROBERT P & CHRISTINE L	637.20	793.31	24	1,454.51
2009-01-0001192	DUNN ROBERT P & CHRISTINE L	680.46	724.69	24	1,429.15
2010-01-0001192	DUNN ROBERT P & CHRISTINE L	692.54	612.90	24	1,329.44
2011-01-0001192	DUNN ROBERT P & CHRISTINE L	708.60	499.57	24	1,232.17
2012-01-0001192	DUNN ROBERT P & CHRISTINE L	726.98	381.67	24	1,132.65
2013-01-0001192	DUNN ROBERT P & CHRISTINE L	751.82	259.37	24	1,035.19
2014-01-0001192	DUNN ROBERT P & CHRISTINE L	759.44	125.31	24	908.75
2015-01-0001192	DUNN ROBERT P & CHRISTINE L	379.72	11.39	0	391.11
TOTAL		5440.76	3469.05	192	9,101.81

The tax assessment is against a mobile home, not real estate. Under the power of an alias tax warrant a marshal or constable can garnish wages, seize bank accounts and seize and sell moveable property, the mobile home in this case. East Hartford taxes mobile homes as real property and permits "Conveyance of Title" filings on the land records. An employment report for the taxpayers indicate that both owners are employed. A UCC search does not indicate a lender with a security interest in the mobile home. Note that there are also motor vehicle tax delinquencies. The BPO shows that the taxes due exceeds the market value.

RECOMMENDATION: A collection notice should be sent to the taxpayers to initiate a discussion on paying the delinquency. A payment plan with the taxpayers may be the best result. Discussion with the trailer park owner may also be helpful in securing a redemption. An Alias Tax Warrant should then be issued and if that effort fails to result in payment, the mobile home can be sold for taxes as real estate using a tax deed sale.

Attached:

- 1) Assessor Card
- 2) Broker Price Opinion





idicORE

D = Deceased | BK = Bankruptcy | E = Possible Place of Employment | P = Property

1 result.

Indicators	SSN	Name	DOB (age) MM/DD/YYYY	Address	Phone
F	049-72-XXXX	<u>ROBERT P DUNN</u> Other Name(s) / Alias(es) DUNN ROBERT ROBERT L DUNN ROBERT DUNN	<u>02/XX/1968 (48)</u> Other Possible DOB(s) 02/XX/1968 (48)	18 SIOUX RD, EAST HARTFORD, CT 06118 (11/12/2008-Current) 11F TOWNHOUSE RD, BROAD BROOK, CT 06016 (2005-01/2009) 20 HENRY ST, MANCHESTER, CT 06042 (2008-09/2006) 80 BROAD ST, MANCHESTER, CT 06042 (2000-07/28/2004) 54 CRANE RD, ELLINGTON, CT 06029 (10/17/2000-2003) 470 WOODBRIDGE ST, MANCHESTER, CT 06042 (05/19/2000-01/19/2001) 54 FRONT CRANE RD, ELLINGTON, CT 06029 (09/09/2000-09/08/2000) 470 WOODBRIDGE ST APT 15, MANCHESTER, CT 06042 (2000-2000) 84 LYNESS ST, MANCHESTER, CT 06040 (1998-1999) 72 MAPLE ST, MANCHESTER, CT 06040 (1996-1997) 83 WADDELL RD, MANCHESTER, CT 06040 (1992-1995) 94 HEMLOCK ST, MANCHESTER, CT 06040 (1992-1992) 85 WADDELL ST, MANCHESTER, CT 06040 (1992-1992) 35 CHAPIN AVE, ROCKY HILL, CT 06067 (1987-1992) 72B MAPLE ST APT 2D, MANCHESTER, CT 06040 (1991-1991) 709 MAIN ST APT 15, MANCHESTER, CT 06040 (1990-1990)	
Name:		ROBERT DUNN			
Possible place of employment (POE):		SECONN			
POE state:		CT			
Source date:		07/20/2010			
POE phone:		860-443-0000			

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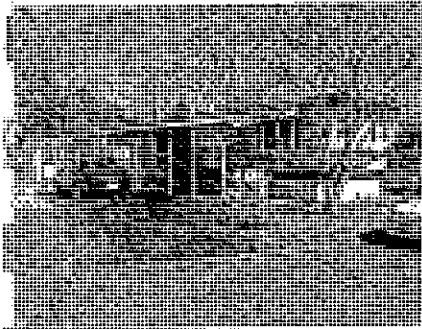
IDI is not a "consumer reporting agency" and its services do not constitute "consumer reports," as these terms are defined by the Fair Credit Reporting Act, 15 U.S.C. § 1681 et seq. ("FCRA"). IDI services may not be used in whole or in part as a factor in establishing an individual's eligibility for credit, insurance, employment nor for any other purpose under the FCRA.

8

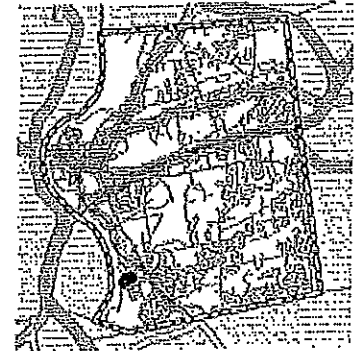
Town of East Hartford Property Summary Report

18 SIOUX RD

MAP LOT:	19-307	CAMA PID:	13202
LOCATION:	18 SIOUX RD		
OWNER NAME:	DUNN ROBERT P & CHRISTINE L		



OWNER OF RECORD
DUNN ROBERT P & CHRISTINE L
18 SIOUX RD
EAST HARTFORD, CT 06118



LIVING AREA:	684	ZONING:		ACREAGE:	0.00
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SALES HISTORY

OWNER	BOOK / PAGE	SALE DATE	SALE PRICE
DUNN ROBERT P & CHRISTINE L	2795/ 324	01-Sep-2006	\$37,500.00
BERGER WILBERT BERGER JEANNETTE MARIE	1/ 1	01-Jan-1900	\$0.00

CURRENT PARCEL ASSESSMENT

TOTAL:	\$16,530.00	IMPROVEMENTS:	\$16,530.00	LAND:	\$0.00
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ASSESSING HISTORY

FISCAL YEAR	TOTAL VALUE	IMPROVEMENT VALUE	LAND VALUE
2015	\$16,560.00	\$16,560.00	\$0.00
2014	\$16,560.00	\$16,560.00	\$0.00
2013	\$16,560.00	\$16,560.00	\$0.00
2012	\$16,560.00	\$16,560.00	\$0.00
2011	\$16,560.00	\$16,560.00	\$0.00

9

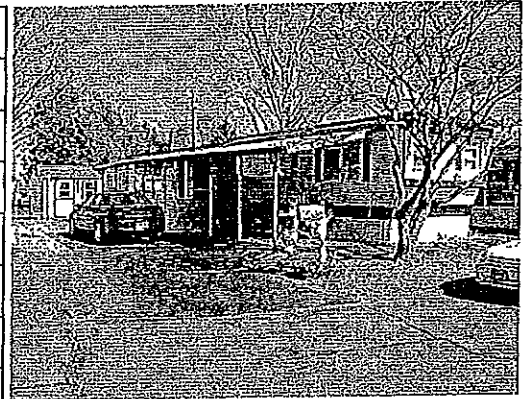
Town of East Hartford Property Summary Report

18 SIOUX RD

MAP LOT:	19-307	CAMA PID:	13202
LOCATION:	18 SIOUX RD		
OWNER NAME:	DUNN ROBERT P & CHRISTINE L		

BUILDING # 1

YEAR BUILT	1966	EXT WALL 1	Aluminum Sidng
STYLE	Mobile Home	INT WALLS 1	Panel
MODEL	Residential	HEAT FUEL	Other
STORIES	1.0	HEAT TYPE	Forced Hot Air
OCCUPANCY	Mobile Home	AC TYPE	Central
ROOF	Flat	BEDROOMS	2
ROOF COVER	Typical	FULL BATHS	1
FLOOR COVER 1	Mixed	HALF BATHS	0
% BSMT	0	TOTAL ROOMS	5
% FIN BSMT	0	% REC RM	0
% SEMI FIN BSMT	0	% ATTIC FINISH	0
BSMT GARAGE		FIREPLACES	0



OUTBUILDINGS

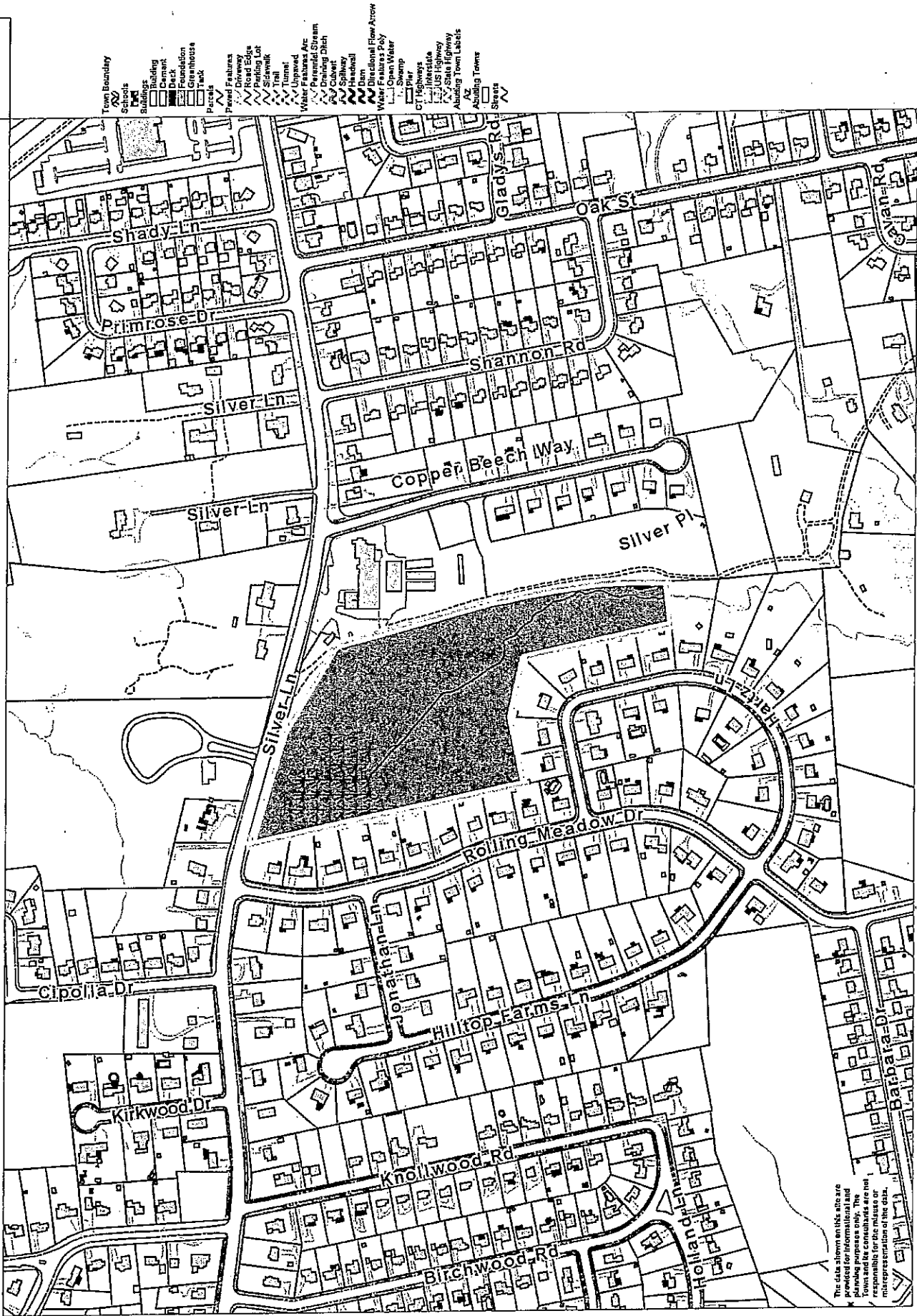
DESCRIPTION	CODE	UNITS
FR/SHED		80 SF

10

Printed on 04/27/2016 at 10:23 AM

1140 ft

570



The data shown on this site are provided for informational purposes only. The Town and the consultants are not responsible for the misuse or misrepresentation of the data.



Brokers Price Opinion

REQUESTED BY: **Roger Blain** COMPLETED BY: **Mark Porriello** VACANT OCCUPIED

SERVICER NAME: **TaxServ Capital Services, LLC** ACCOUNT NAME: **City of East Hartford** PH# **860-539-9100** YRS EXP **23** FAX# **877-550-1666** EMAIL: **mporriello@cox.net**

COMPLETED DATE: **06/29/2016** COMPANY: **REMAX Premier REALTORS** COMPANY ADDRESS: **75 Brace Rd., West Hartford, CT 06107**

SUBJECT PROPERTY	STYLE	BEDS	BTHS	RMS	GAR	SQ. FT.	CONDITION	BSMT	CONSTRUCTION TYPE				COMMENTS	
									FRAME SINGLE	BRICK MULIFAM	STUCCO CONDO	MH TWNHM		OTHER
18 Sioux Road, East Hartford, CT 06118	Mobile Home	2	1	5	None	684		None						
CURRENT COMPARABLE PROPERTIES LISTED FOR SALE														
25 Rivermead Blvd, East Hartford, CT 06118	Mobile Home	2	1	5	None	1152		None						Newer, built in 2000, superior condition
11 Navaho Road, East Hartford, CT 06118	Mobile Home	2	1	4	None	931		None						Newer, built in 1986; Cath ceilings, 3 season porch.
7 Navaho Road, East Hartford, CT 06118	Mobile Home	2	2	4	None	931		None						Newer, built in 1986; newer furnace & roof; Freshly painted interior.
RECENT COMPARABLE PROPERTIES SOLD														
13 Uncas Road, East Hartford, CT 06118	Mobile Home	2	1	4	None	684		None						Similar age & condition
5 Chicasaw Drive, East Hartford, CT 06118	Mobile Home	2	1	4	None	798		None						Similar age & condition
13 Rivermead Blvd, East Hartford, CT 06118	Mobile Home	2	1	5	None	823		None						Newer windows; recently painted exterior
NEIGHBORHOOD VALUES														
HIGH \$ LOW \$														
PROPERTY VALUES														
AS IS QUICK SALE VALUE														
AS IS VALUE (USING AVG MKT TIME FOR AREA)														
REPAIRED VALUE (USING AVG MKT TIME FOR AREA)														
AVERAGE MKT TIME FOR AREA														
AVERAGE MKT TIME FOR AREA														
SUGGESTED LIST PRICE (INPUT TO RIGHT)														
ESTIMATE OF SUGGESTED REPAIRS FOR EACH VALUE														
PLEASE DESCRIBE PROPERTY CONDITION:														
50 year old mobile home.														

At minimum, the above information is to be completed along with pictures of the subject property and at least 3 of the comparable sales and sold properties. If available, the computer printout of all comparable properties for sale and sold within a reasonable distance to the subject property is to be attached to the BPO. Note: This form is not a replacement of a Realtors current BPO form, but shows the minimum information needed.

12

19A SHERWOOD DR REAR

BILL#	TAXPAYER NAME	TAX	AUG INT	LIEN	TOTAL
2000-01-0000043	291 DEVELOPMENT LLC	260.80	700.25	24	985.05
2001-01-0000044	291 DEVELOPMENT LLC	257.34	644.64	24	925.98
2002-01-0000043	291 DEVELOPMENT LLC	262.10	609.38	24	895.48
2003-01-0000053	291 DEVELOPMENT LLC	273.84	599.71	24	897.55
2004-01-0000053	291 DEVELOPMENT LLC	280.70	564.21	24	868.91
2005-01-0000061	291 DEVELOPMENT LLC	296.18	542.01	24	862.19
2006-01-0000061	291 DEVELOPMENT LLC	245.25	404.66	24	673.91
2007-01-0000061	291 DEVELOPMENT LLC	215.04	316.11	24	555.15
2008-01-0000061	291 DEVELOPMENT LLC	215.04	277.40	24	516.44
2009-01-0000061	291 DEVELOPMENT LLC	229.64	254.90	24	508.54
2010-01-0000061	291 DEVELOPMENT LLC	233.71	217.35	24	475.06
2011-01-0000061	291 DEVELOPMENT LLC	496.80	350.24	24	871.04
2012-01-0000061	291 DEVELOPMENT LLC	509.68	267.58	24	801.26
2013-01-0000061	291 DEVELOPMENT LLC	527.10	181.85	24	732.95
2014-01-0000061	291 DEVELOPMENT LLC	532.44	87.86	24	644.30
2015-01-0000061	291 DEVELOPMENT LLC	266.22	7.99	0	274.21
TOTAL		5101.88	6026.14	360	11488.02

The subject property is 0.97 acre T-shaped unbuildable lot whose original purpose seems to be to provide access to adjacent properties across the town line into Manchester. The lot itself dates back to the late 1980's real estate collapse. The FDIC took ownership of the lot which it transferred to Whitehawk Enterprises, Inc. in a bulk sale of their owned real estate. 291 Development, LLC acquired the lot from Whitehawk in 1999. The current owner has not filed an annual report with the Secretary of State since 2009. Collection from this entity is unlikely as the property has seemingly been abandoned.

RECOMMENDATION: Collection will only come from either a tax deed sale of the property or a deed in lieu from the current owner. A BPO was not able to provided by our broker due to a complete lack of comparable properties. The only value is likely to be found in dividing the lot and combining individual portions with existing adjacent lots.

Attached:

- 1) Assessor Card
- 2) Map
- 3) Secretary of State Record for 291 Development, LLC
- 4) Aerial map of the Sherwood Drive and area east of subject property



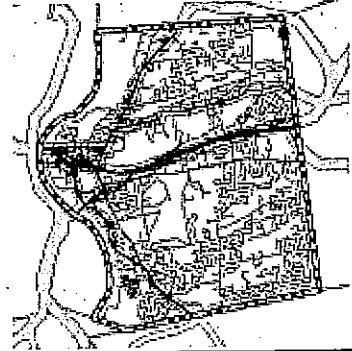
Town of East Hartford Property Summary Report

19A SHERWOOD DR

MAP LOT:	71-19A/B	CAMA PID:	12837
LOCATION:	19A SHERWOOD DR		
OWNER NAME:	291 DEVELOPMENT LLC		



OWNER OF RECORD
 291 DEVELOPMENT LLC
 176 BOLTON CENTER RD
 BOLTON, CT 06043



LIVING AREA:	null	ZONING:	R2	ACREAGE:	0.97
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SALES HISTORY

OWNER	BOOK / PAGE	SALE DATE	SALE PRICE
291 DEVELOPMENT LLC	1859/ 355	15-Oct-1999	\$0.00
WHITEHAWK ENTERPRISES INC	1648/ 336	08-Nov-1996	\$22,100.00
FDIC OREO PROPERTY MNGMT	1420/ 6	03-Dec-1992	\$10,000.00
KASAVAGE KENNETH J & SANDRA L STARKEY JANET A &	854/ 48	19-Dec-1986	\$10,000.00

CURRENT PARCEL ASSESSMENT

TOTAL:	\$11,610.00	IMPROVEMENTS:	\$0.00	LAND:	\$11,610.00
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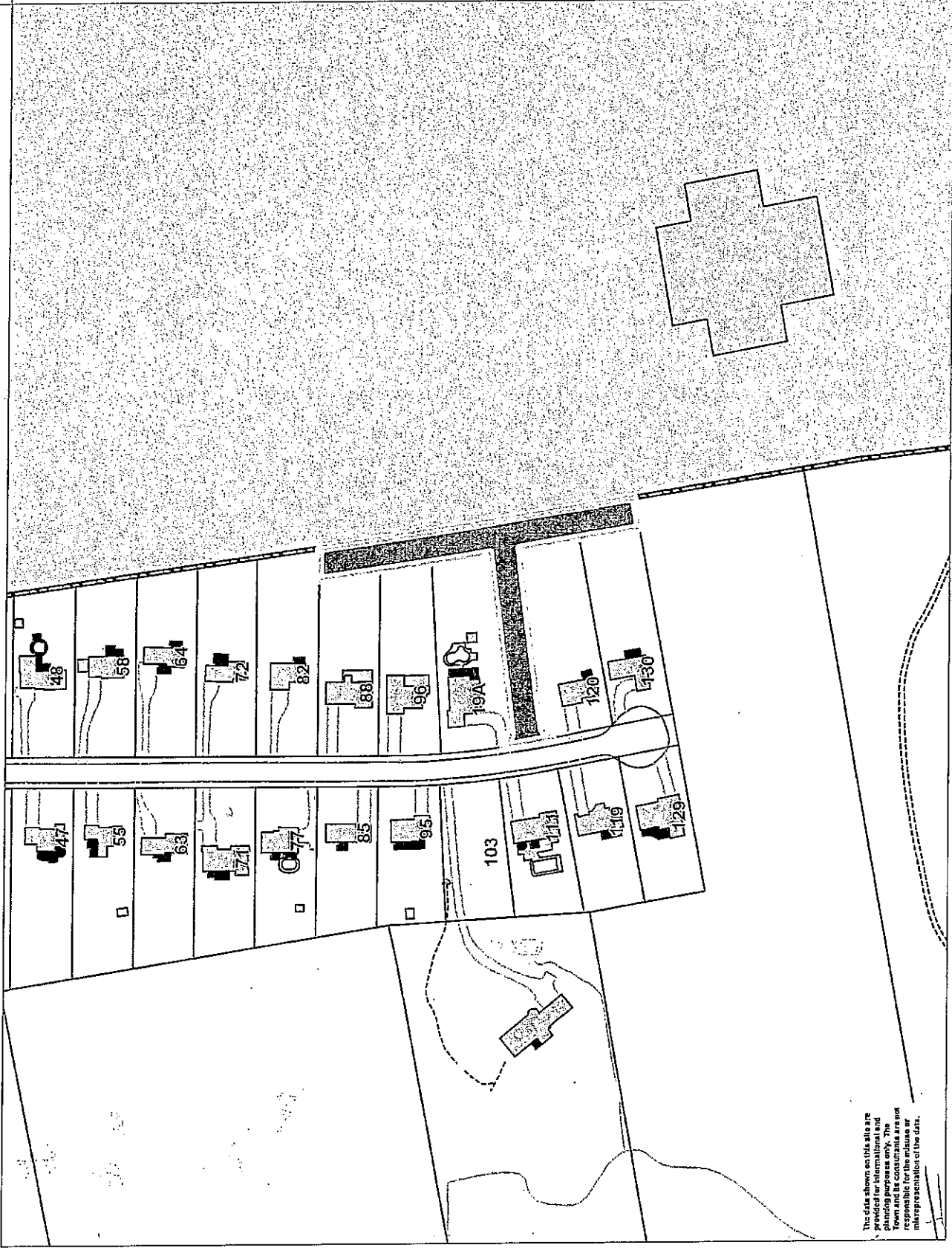
ASSESSING HISTORY

FISCAL YEAR	TOTAL VALUE	IMPROVEMENT VALUE	LAND VALUE
2015	\$11,610.00	\$0.00	\$11,610.00
2014	\$11,610.00	\$0.00	\$11,610.00
2013	\$11,610.00	\$0.00	\$11,610.00
2012	\$11,610.00	\$0.00	\$11,610.00
2011	\$11,610.00	\$0.00	\$11,610.00

15

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- Town Boundary
- Water
- Buildings
- Building
- Cement
- Duck
- Excavation
- Garage House
- Pool
- Tank
- Pavement
- Paved Features
- Roof Edge
- Road Edge
- Parking Lot
- Staircase
- Trail
- Tunnel
- Water Features
- Water Features Arc
- Water Features Stream
- Draining Ditch
- Culvert
- Spillway
- Drainage Well
- Drainage
- Directional Flow Arrow
- Water Features Poly
- Open Water
- Swamp
- CT Highways
- Interstate
- US Highway
- State Highway
- Adding Town Labels
- Adding Towns
- Streets



Business Inquiry

Business Details

Business Name: 291 DEVELOPMENT, LLC
Business ID: 0538814
Business Address: 243 WEAVER STREET, UNIT 9F, GREENWICH, CT, 06831
Mailing Address: P. O. BOX 1708, NEW CANAAN, CT, 06840-1709
Date Inc/Registration: May 31, 1996
Citizenship/State Inc: Domestic/CT
Last Report Filed Year: 2009
Business Type: Domestic Limited Liability Company
Business Status: Active

Principals Details

Name/Title	Business Address	Residence Address
RICHARD R. GIROUARD MEMBER	243 WEAVER STREET, UNIT 9F, GREENWICH, CT, 06831	10 1/2 WOODLAND ROAD, NORWALK, CT, 06854

Agent Summary

Agent Name: PAUL J. APARO
Agent Business Address: C/O O'CONNELL, FLAHERTY & ATTMDRE, 10 COLUMBUS BLVD., HARTFORD, CT, 06106
Agent Residence Address: 46 LEXINGTON RD, WEST HARTFORD, CT, 06107

Google Maps Sherwood Dr



Imagery ©2016 Google, Map data ©2016 Google 100 ft

Google Maps

⑦

40 RIVERMEAD BLVD

BILL#	PROPERTY LOCATION	TAX	AUG INT	LIEN	TOTAL
2009-01-0007324	40 RIVERMEAD BLVD	224.12	84.05	0	308.17
2010-01-0007324	40 RIVERMEAD BLVD	1,188.88	1,052.16	24	2,265.04
2011-01-0007324	40 RIVERMEAD BLVD	849.38	598.82	24	1,472.20
2012-01-0007324	40 RIVERMEAD BLVD	871.42	457.49	24	1,352.91
2013-01-0007324	40 RIVERMEAD BLVD	901.20	310.91	24	1,236.11
2014-01-0007324	40 RIVERMEAD BLVD	910.32	150.20	24	1,084.52
2015-02-0007324	40 RIVERMEAD BLVD	455.16	13.65	0	468.81
TOTAL		5,400.48	2,667.28	120	8,187.76

The tax assessment is against a mobile home, not real estate. Under the power of an alias tax warrant a marshal or constable can garnish wages, seize bank accounts and seize and sell moveable property, the mobile home in this case. East Hartford taxes mobile homes as real property and permits "Conveyance of Title" filings on the land records. John Johnston has lived in this trailer park for over 30 years. An employment report does indicate a place of employment. A UCC search does not indicate a lender with a security interest in the mobile home. Note that the taxpayer is also delinquent on paying motor vehicle taxes from 2009, the year that the real estate taxes began to go unpaid. No motor vehicle appears registered to the taxpayer after 2009. The BPO shows that the tax amount due exceeds the market value.

RECOMMENDATION: A collection notice should be sent to the taxpayer to initiate a discussion on paying the delinquency. A payment plan with the taxpayer may be the best result. Discussion with the trailer park owner may also be helpful. An alias tax warrant should be issued and if that effort fails to result in payment, the mobile home can be sold for taxes as real estate under a tax deed sale.

Attached:

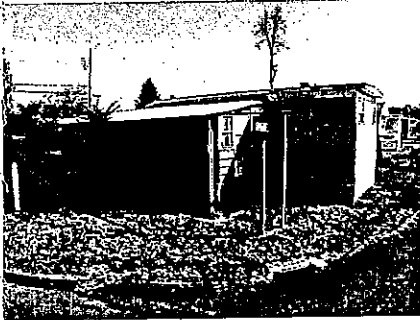
- 1) Assessor Card
- 2) Broker Price Opinion



Town of East Hartford Property Summary Report

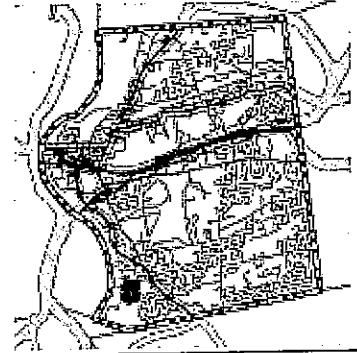
40 RIVERMEAD BLVD

MAP LOT:	19-291	CAMA PID:	11983
LOCATION:	40 RIVERMEAD BLVD		
OWNER NAME:	JOHNSTON JOHN		



11983 03/22/2016

OWNER OF RECORD
 JOHNSTON JOHN
 40 RIVERMEAD BLVD
 EAST HARTFORD, CT 06118



LIVING AREA:	744	ZONING:		ACREAGE:	0.00
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SALES HISTORY

OWNER	BOOK / PAGE	SALE DATE	SALE PRICE
JOHNSTON JOHN	993/ 151	01-Jan-1900	\$0.00

CURRENT PARCEL ASSESSMENT

TOTAL:	\$19,750.00	IMPROVEMENTS:	\$19,750.00	LAND:	\$0.00
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ASSESSING HISTORY

FISCAL YEAR	TOTAL VALUE	IMPROVEMENT VALUE	LAND VALUE
2015	\$19,850.00	\$19,850.00	\$0.00
2014	\$19,850.00	\$19,850.00	\$0.00
2013	\$19,850.00	\$19,850.00	\$0.00
2012	\$19,850.00	\$19,850.00	\$0.00
2011	\$19,850.00	\$19,850.00	\$0.00

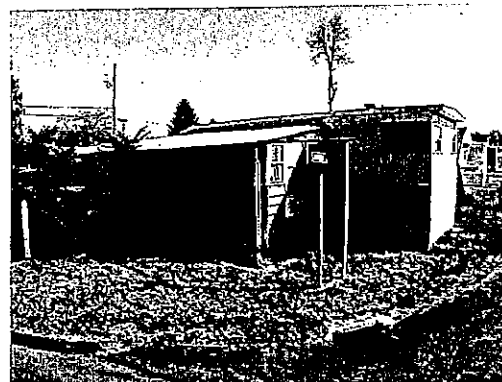
Town of East Hartford Property Summary Report

40 RIVERMEAD BLVD

MAP LOT:	19-291	CAMA PID:	11983
LOCATION:	40 RIVERMEAD BLVD		
OWNER NAME:	JOHNSTON JOHN		

BUILDING # 1

YEAR BUILT	1970	EXT WALL 1	Aluminum Sidng
STYLE	Mobile Home	INT WALLS 1	Panel
MODEL	Residential	HEAT FUEL	Other
STORIES	1.0	HEAT TYPE	Forced Hot Air
OCCUPANCY	Mobile Home	AC TYPE	Central
ROOF	Flat	BEDROOMS	2
ROOF COVER	Typical	FULL BATHS	1
FLOOR COVER 1	Mixed	HALF BATHS	1
% BSMT	0	TOTAL ROOMS	4
% FIN BSMT	0	% REC RM	0
% SEMI FIN BSMT	0	% ATTIC FINISH	0
BSMT GARAGE		FIREPLACES	0



11983 03/22/2016

OUTBUILDINGS

DESCRIPTION	CODE	UNITS
MTL/SHED		80 SF

REQUESTED BY: **Roger Blain** VACANT OCCUPIED

Brokers Price Opinion

SERVICER NAME: **TaxSery Capital Services, LLC** ACCOUNT NAME: **City of East Hartford** COMPLETED BY: **Mark Porriello** PH# **860-539-9100**
 DATE COMPLETED: **06/29/2016** COMPANY: **REMAX Premier REALTORS** FAX# **877-550-1666**
 COMPANY ADDRESS: **75 Brace Rd., West Hartford, CT 06107** EMAIL: **mporriello@cox.net**

SUBJECT PROPERTY	STYLE	BEDS	BTHS	RMS	GAR	L7/SIZE	AGE	SQ FT	CONDITION	BSMT	FRAME: SINGLE	BRICK MULIFAM	YRS EXP	PH#	CONSTRUCTION TYPE			COMMENTS
															STUCCO CONDO	MH TWHM	OTHER	
CURRENT COMPARABLE PROPERTIES LISTED FOR SALE	STYLE	BEDS	BTHS	RMS	GAR	L7/SIZE	AGE	SQ FT	CONDITION	BSMT	ASSESSED VALUES	LIST PRICE	DOM	SALE PRICE	DOM	S/D DATE	COMMENTS	
40 Rivermead Blvd, East Hartford, CT 06118	Mobile Home	2	2	4	None	0	46	744	Fair	None	\$43,480	\$49,000	106	\$5,000	176	01/28/2016	Newer, built in 2000, superior condition	
25 Rivermead Blvd, East Hartford, CT 06118	Mobile Home	2	1	5	None	0	16	1152	Good	None	\$25,400	\$62,900	15	\$6,000	11	01/08/2016	Newer, built in 1986; Cath ceilings, 3 season porch.	
11 Navaho Road, East Hartford, CT 06118	Mobile Home	2	1	4	None	0	30	931	Good	None	\$28,460	\$66,900	9	\$12,000	60	10/29/15	Newer, built in 1986; newer furnace & roof; Freshly painted interior.	
7 Navaho Road, East Hartford, CT 06118	Mobile Home	2	2	4	None	0	30	931	Good	None								
RECENT COMPARABLE PROPERTIES SOLD	STYLE	BEDS	BTHS	RMS	GAR	L7/SIZE	AGE	SQ FT	CONDITION	BSMT	PROX	LIST PRICE	SALE PRICE	DOM	S/D DATE	COMMENTS		
13 Uncas Road, East Hartford, CT 06118	Mobile Home	2	1	4	None	0	48	684	Fair	None	.70	\$5,200	\$5,000	176	01/28/2016	Similar age & condition		
5 Chicasaw Drive, East Hartford, CT 06118	Mobile Home	2	1	4	None	0	41	798	Fair	None	.30	\$7,500	\$6,000	11	01/08/2016	Similar age & condition		
13 Rivermead Blvd, East Hartford, CT 06118	Mobile Home	2	1	5	None	0	823	823	Avg.	None	.20	\$12,800	\$12,000	60		Newer windows; recently painted exterior		

NEIGHBORHOOD VALUES	PROPERTY VALUES		SUPPLY	DEMAND
	HIGH \$	LOW \$		
AS IS QUICK SALE VALUE	AS IS VALUE (USING AVG MKT TIME FOR AREA)		REPAIRED VALUE (USING AVG MKT TIME FOR AREA)	AVERAGE MKT TIME FOR AREA
6,000	120			
9,900				
?				
PLEASE DESCRIBE PROPERTY CONDITION: 46 year old mobile home.				

At minimum, the above information is to be completed along with pictures of the subject property and at least 3 of the comparable sales and sold properties. If available, the computer printout of all comparable properties for sale and sold within a reasonable distance to the subject property is to be attached to the BPO. Note: This form is not a replacement of a Realtors current BPO form, but shows the minimum information needed.

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44 UNIVERSITY AVENUE

BILL#	TAXPAYER NAME	TAX	AUG INT	LIEN	TOTAL
2000-01-0014209	TARR LLOYD A & JEAN W	80.66	220.20	24	324.86
2001-01-0014222	TARR LLOYD A & JEAN W	79.59	202.95	24	306.54
2002-01-0014246	TARR LLOYD A & JEAN W	81.06	192.11	24	297.17
2003-01-0014236	TARR LLOYD A & JEAN W	84.69	185.47	24	294.16
2004-01-0014236	TARR LLOYD A & JEAN W	86.81	174.49	24	285.30
2005-01-0014216	TARR LLOYD A & JEAN W	91.60	167.63	24	283.23
2006-01-0014216	TARR LLOYD A & JEAN W	75.85	125.15	24	225.00
2007-01-0014216	TARR LLOYD A & JEAN W	66.51	97.77	24	188.28
2008-01-0014216	TARR LLOYD A & JEAN W	66.51	85.80	24	176.31
2009-01-0014216	TARR LLOYD A & JEAN W	71.02	78.83	24	173.85
2010-01-0014216	TARR LLOYD A & JEAN W	72.28	67.22	24	163.50
2011-01-0014216	TARR LLOYD A & JEAN W	72.32	54.24	24	150.56
2012-01-0014216	TARR LLOYD A & JEAN W	74.19	42.29	24	140.48
2013-01-0014216	TARR LLOYD A & JEAN W	76.73	29.92	24	130.65
2014-01-0014216	TARR LLOYD A & JEAN W	77.50	16.28	24	117.78
2015-01-0014216	TARR LLOYD A & JEAN W	77.50	2.33	0	79.83
TOTAL		1234.82	1742.68	360	3337.50

The subject property is a 0.30 acre landlocked vacant lot bisected by a creek which renders the lot unbuildable. Lloyd Tarr died on January 7, 2009. The widow, Jean W. Tarr (82 years old) is the sole owner. Ms. Tarr owns and lives at 66 Putnam Ln, Enfield, CT, where there is a mortgage and some value. However, despite the modest tax amount it is unlikely to be collectable from the widow, even using equity she may have in her Enfield home. The BPO provides some listing comparables, all of which have long days outstanding which indicates that the prices are too high. The BPO has only one sale comparable and that was a much larger lot.

RECOMMENDATION: It may be possible to serve an alias tax warrant on Mrs. Tarr and hope for some collection. But it would seem to be a better approach to take this lot by tax deed sale (or quitclaim in lieu from the owner) and combine with the lot to the northeast (30 University Dr) that is already owned by the Town. There also may be interest among adjacent property owners.

Attached:

- 1) Assessor Card
- 2) Map
- 3) Broker Price Opinion



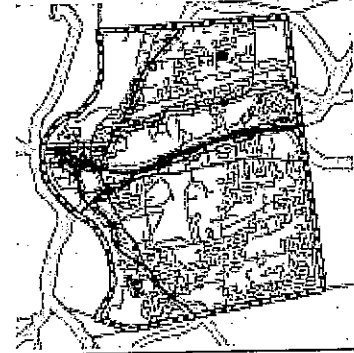
Town of East Hartford Property Summary Report

44 UNIVERSITY AVE

MAP LOT:	49-80	CAMA PID:	14342
LOCATION:	44 UNIVERSITY AVE		
OWNER NAME:	TARR LLOYD A & JEAN W		



OWNER OF RECORD
 TARR LLOYD A & JEAN W
 66 PUTMAN LA
 HAZARDVILLE, CT 06082



LIVING AREA:	null	ZONING:	R2	ACREAGE:	0.30
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SALES HISTORY

OWNER	BOOK / PAGE	SALE DATE	SALE PRICE
TARR LLOYD A & JEAN W	423/ 168	01-Jan-1900	\$0.00

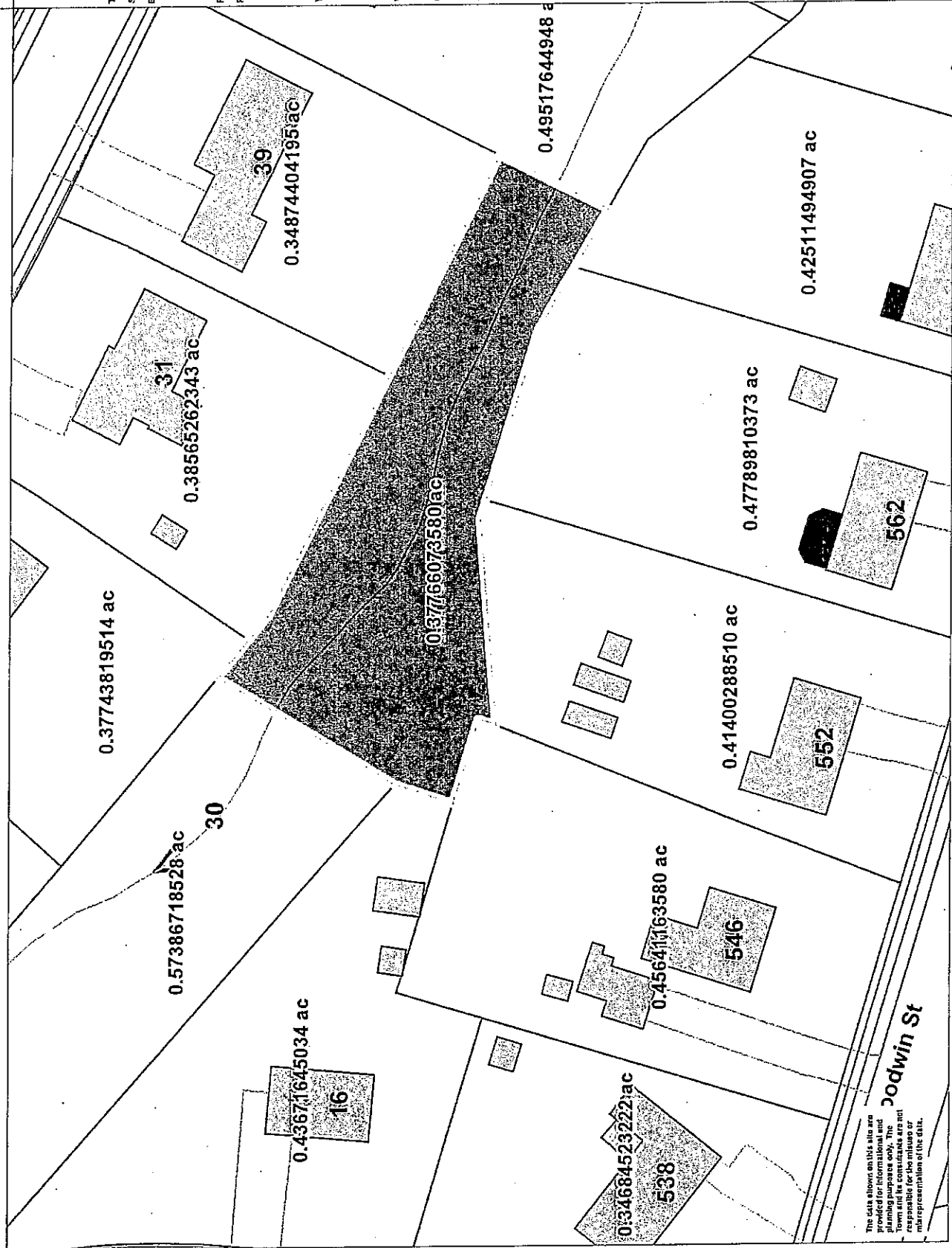
CURRENT PARCEL ASSESSMENT

TOTAL:	\$1,690.00	IMPROVEMENTS:	\$0.00	LAND:	\$1,690.00
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ASSESSING HISTORY

FISCAL YEAR	TOTAL VALUE	IMPROVEMENT VALUE	LAND VALUE
2015	\$1,690.00	\$0.00	\$1,690.00
2014	\$1,690.00	\$0.00	\$1,690.00
2013	\$1,690.00	\$0.00	\$1,690.00
2012	\$1,690.00	\$0.00	\$1,690.00
2011	\$1,690.00	\$0.00	\$1,690.00

- Town Boundary
- Schools
- Buildings
- Building Footprint
- Foundation
- Granitehouse
- Ponds
- Paved Features
- Dihweway
- Road Edge
- Parking Lot
- Driveway
- Tunnel
- Unpaved
- Water Features Arc
- Perennial Stream
- Channeling Ditch
- Shoeway
- Headwall
- Dam
- Directional Flow Arrow
- Water Control Gate
- Swamp
- Pier
- CT Highways
- Interstate
- State Highway
- Abutting Town Labels
- AZ
- Abutting Towns
- Subs
- AV



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REQUESTED BY: **Roger Blain** VACANT OCCUPIED

Brokers Price Opinion

SERVICER NAME: TaxServ Capital Services, LLC		ACCOUNT NAME: City of East Hartford		COMPLETED BY: Mark Porriello REMAX Premier REALTORS		PH# 860-539-9100 FAX# 877-550-1666 EMAIL: mporriello@cox.net											
SUBJECT PROPERTY 44 University Avenue, East Hartford, Ct 06108		DATE COMPLETED 06/30/16		COMPANY ADDRESS: 75 Brace Rd., West Hartford, CT 06107		YRS EXP 23											
STYLE	BEDS	BTHS	RMS	GAR	LT/SIZE	AGE	SQ FT	CONDITION	BSMT	FRAME SINGLE	BRICK MULIFAM	LIST PRICE	DOM	ASSESSED VALUES	STUCCO CONDO	CONSTRUCTION TYPE	OTHER
Land	0	0	0	0	.30	N/A	N/A	N/A	N/A			\$34,000	171	\$33,100			<input checked="" type="checkbox"/>
STYLE	BEDS	BTHS	RMS	GAR	LT/SIZE	AGE	SQ FT	CONDITION	BSMT	ASSESSED VALUES	LIST PRICE	DOM	SALE PRICE	DOM	COMMENTS		
Land	0	0	0	0	.35	N/A	N/A	N/A	N/A	\$33,100	\$34,000	171	60,000	9/18/15	Larger lot		
Land	0	0	0	0	.33	N/A	N/A	N/A	N/A	\$27,710	\$34,000	171					
Land	0	0	0	0	.31	N/A	N/A	N/A	N/A	\$5,990	\$34,900	245					
RECENT COMPARABLE PROPERTIES SOLD	BEDS	BTHS	RMS	GAR	LT/SIZE	AGE	SQ FT	CONDITION	BSMT	PROX	LIST PRICE	SALE PRICE	DOM	SOLD DATE	COMMENTS		
Land	0	0	0	0	1.06	N/A	N/A	N/A	N/A								
Land	0	0	0	0		N/A	N/A	N/A	N/A								
Land	0	0	0	0		N/A	N/A	N/A	N/A								
NEIGHBORHOOD VALUES		HIGH \$		LOW \$		PROPERTY VALUES											
AS IS QUICK SALE VALUE		22,000		180		AS IS VALUE (USING AVG MKT TIME FOR AREA)		AVERAGE MKT TIME FOR AREA		REPAIRED VALUE (USING AVG MKT TIME FOR AREA)		AVERAGE MKT TIME FOR AREA					
SUGGESTED LIST PRICE (INPUT TO RIGHT)		25,900		NA		AS IS VALUE (USING AVG MKT TIME FOR AREA)		AVERAGE MKT TIME FOR AREA		REPAIRED VALUE (USING AVG MKT TIME FOR AREA)		AVERAGE MKT TIME FOR AREA					
ESTIMATE OF SUGGESTED REPAIRS FOR EACH VALUE		NA				AS IS VALUE (USING AVG MKT TIME FOR AREA)		AVERAGE MKT TIME FOR AREA		REPAIRED VALUE (USING AVG MKT TIME FOR AREA)		AVERAGE MKT TIME FOR AREA					
PLEASE DESCRIBE PROPERTY CONDITION:		Vacant lot				AS IS VALUE (USING AVG MKT TIME FOR AREA)		AVERAGE MKT TIME FOR AREA		REPAIRED VALUE (USING AVG MKT TIME FOR AREA)		AVERAGE MKT TIME FOR AREA					
DESCRIBE AREA/NEIGHBORHOOD:		Good pride of ownership; Mostly raised ranch style houses.				AS IS VALUE (USING AVG MKT TIME FOR AREA)		AVERAGE MKT TIME FOR AREA		REPAIRED VALUE (USING AVG MKT TIME FOR AREA)		AVERAGE MKT TIME FOR AREA					

At minimum, the above information is to be completed along with pictures of the subject property and at least 3 of the comparable sales and sold properties. If available, the computer printout of all comparable properties for sale and sold within a reasonable distance to the subject property is to be attached to the BPO. Note: This form is not a replacement of a Realtors current BPO form, but shows the minimum information needed.

25

53 MAIN STREET

BILL#	TAXPAYER NAME	TAX	AUG INT	LIEN	TOTAL
2001-01-0008319	LAVIGNE RICHARD W EST & EVELYN	202.20	497.41	24	723.61
2002-01-0008330	LAVIGNE RICHARD W EST & EVELYN	411.86	957.57	24	1,393.43
2003-01-0008345	LAVIGNE EVELYN W	430.32	923.04	24	1,377.36
2004-01-0008345	LAVIGNE EVELYN W	441.10	866.77	24	1,331.87
2005-01-0008265	LAVIGNE EVELYN W	465.44	830.81	24	1,320.25
2006-01-0008265	LAVIGNE EVELYN W	392.44	629.86	24	1,046.30
2007-01-0008265	LAVIGNE EVELYN W	350.28	499.15	24	873.43
2008-01-0008265	LAVIGNE EVELYN W	350.28	436.10	24	810.38
2009-01-0008265	LAVIGNE EVELYN W	374.06	398.37	24	796.43
2010-01-0008265	LAVIGNE EVELYN W	380.70	336.92	24	741.62
2011-01-0008265	LAVIGNE EVELYN W	654.26	461.26	24	1,139.52
2012-01-0008265	LAVIGNE EVELYN W	671.24	352.40	24	1,047.64
2013-01-0008265	LAVIGNE EVELYN W	694.18	239.50	24	957.68
2014-01-0008265	LAVIGNE EVELYN W	701.20	115.70	24	840.90
2015-01-0008265	LAVIGNE EVELYN W	350.60	10.52	0	361.12
TOTAL		6870.16	7555.38	336	14,761.54

The subject property is a 0.45 acre vacant lot adjacent to the owner's primary residence at 71 Main Street. Taxes on the primary residence are paid current. The primary residence is mortgaged to Financial Freedom Acquisition, LLC and to HUD both recorded in May 2006 in the total principal amount of \$231,000. It is unlikely that there is sufficient equity in the primary residence that could be tapped to pay the taxes on the subject property. The BPO provides some listing comparables, all of which have long days outstanding which indicates that the prices are too high. The BPO has only one sale comparable that is a much larger lot.

RECOMMENDATION: A tax deed sale would be the most efficient way to collect the taxes. However, steps should be taken to obtain a deficiency judgment after a tax deed sale for any remaining amount not collected at the tax deed sale so that the primary residence can be liened for that deficient amount.

Attached:

- 1) Assessor Card
- 2) Map
- 3) Assessor Card 71 Main Street
- 4) Broker Price Opinion



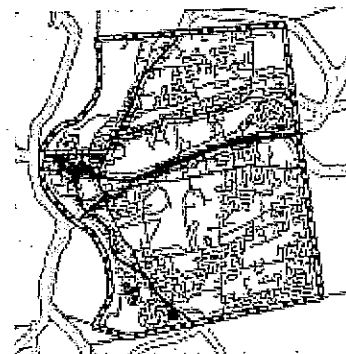
Town of East Hartford Property Summary Report

53 MAIN ST

MAP LOT:	29-61	CAMA PID:	8500
LOCATION:	53 MAIN ST		
OWNER NAME:	LAVIGNE EVELYN W		



OWNER OF RECORD
LAVIGNE EVELYN W
53 MAIN ST
EAST HARTFORD, CT 06118



LIVING AREA:	null	ZONING:	R3	ACREAGE:	0.45
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SALES HISTORY

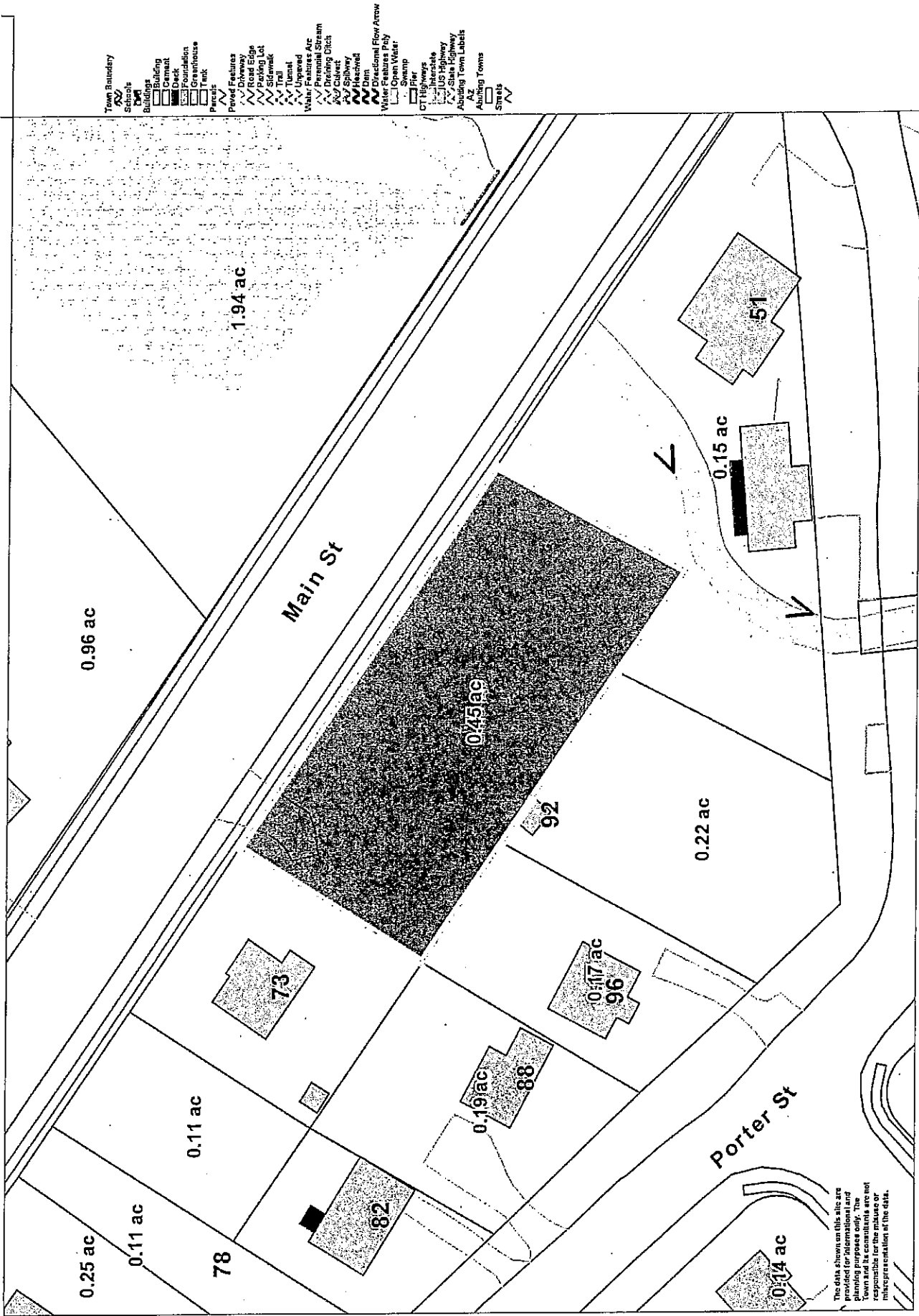
OWNER	BOOK / PAGE	SALE DATE	SALE PRICE
LAVIGNE EVELYN W	2327/ 56	12-Nov-2003	\$0.00
LAVIGNE RICHARD W EST OF & EVELYN W C/O LAVIGNE	1988/ 334	25-Jun-2001	\$0.00
LAVIGNE RICHARD W & EVELYN W	288/ 402	01-Jan-1900	\$0.00

CURRENT PARCEL ASSESSMENT

TOTAL:	\$15,290.00	IMPROVEMENTS:	\$0.00	LAND:	\$15,290.00
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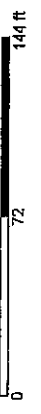
ASSESSING HISTORY

FISCAL YEAR	TOTAL VALUE	IMPROVEMENT VALUE	LAND VALUE
2015	\$15,290.00	\$0.00	\$15,290.00
2014	\$15,290.00	\$0.00	\$15,290.00
2013	\$15,290.00	\$0.00	\$15,290.00
2012	\$15,290.00	\$0.00	\$15,290.00
2011	\$15,290.00	\$0.00	\$15,290.00



East Hartford MapsOnline

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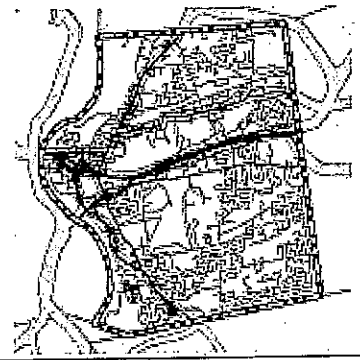
Town of East Hartford Property Summary Report

71 MAIN ST

MAP LOT:	29-62	CAMA PID:	8501
LOCATION:	71 MAIN ST		
OWNER NAME:	LAVIGNE EVELYN W		



OWNER OF RECORD
LAVIGNE EVELYN W
71 MAIN ST
EAST HARTFORD, CT 06118



LIVING AREA:	1584	ZONING:	R3	ACREAGE:	0.17
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SALES HISTORY

OWNER	BOOK / PAGE	SALE DATE	SALE PRICE
LAVIGNE EVELYN W	2327/ 55	12-Nov-2003	\$0.00
LAVIGNE RICHARD EST OF C/O LAVIGNE EVELYN W EXEC	1988/ 334	25-Jun-2001	\$0.00
LAVIGNE RICHARD	219/ 391	01-Jan-1900	\$0.00

CURRENT PARCEL ASSESSMENT

TOTAL:	\$97,400.00	IMPROVEMENTS:	\$70,430.00	LAND:	\$26,970.00
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ASSESSING HISTORY

FISCAL YEAR	TOTAL VALUE	IMPROVEMENT VALUE	LAND VALUE
2015	\$97,400.00	\$70,430.00	\$26,970.00
2014	\$97,400.00	\$70,430.00	\$26,970.00
2013	\$97,400.00	\$70,430.00	\$26,970.00
2012	\$97,400.00	\$70,430.00	\$26,970.00
2011	\$97,400.00	\$70,430.00	\$26,970.00

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Town of East Hartford Property Summary Report

71 MAIN ST

MAP LOT:	29-62	CAMA PID:	8501
LOCATION:	71 MAIN ST		
OWNER NAME:	LAVIGNE EVELYN W		

BUILDING # 1

YEAR BUILT	1950	EXT WALL 1	Brick
STYLE	Cape	INT WALLS 1	Drywall
MODEL	Residential	HEAT FUEL	Other
STORIES	1.5	HEAT TYPE	Hot Water
OCCUPANCY	One Family	AC TYPE	None
ROOF	Gable	BEDROOMS	4
ROOF COVER	Typical	FULL BATHS	2
FLOOR COVER 1	Hardwood	HALF BATHS	0
% BSMT	100	TOTAL ROOMS	7
% FIN BSMT	0	% REC RM	0
% SEMI FIN BSMT	0	% ATTIC FINISH	0
BSMT GARAGE	1	FIREPLACES	0



OUTBUILDINGS

DESCRIPTION	CODE	UNITS
MTL/SHED		70 SF
MTL/SHED		100 SF
MTL/SHED		70 SF

30

REQUESTED BY: Roger Blain

Brokers Price Opinion

VACANT OCCUPIED

SERVICER NAME: TaxServ Capital Services, LLC
 ACCOUNT NAME: City of East Hartford
 COMPLETED BY: Mark Porriello
 COMPANY: REMAX Premier REALTORS
 DATE COMPLETED: 06/30/16
 COMPANY ADDRESS: 75 Brace Rd., West Hartford, CT 06107
 PH#: 860-539-9100
 FAX#: 877-550-1666
 EMAIL: mporriello@cox.net

SUBJECT PROPERTY	STYLE	BEDS	BTHS	RMS	GAR	L7 SIZE	AGE	SQ FT	CONDITION	BSMT	CONSTRUCTION TYPE				COMMENTS
											FRAME SINGLE	BRICK MULIFAM	STUCCO CONDO	OTHER	
53 Main Street, East Hartford, Ct 06118	Land	0	0	0	0	.45	N/A	N/A	N/A	N/A					
358 King Street, East Hartford, Ct. 06108	Land	0	0	0	0	.35	N/A	N/A	N/A	N/A					VACANT LOT
3 Burnham Street, East Hartford, Ct. 06108	Land	0	0	0	0	.33	N/A	N/A	N/A	N/A					VACANT LOT
192 Forbes Street, East Hartford, Ct 06108	Land	0	0	0	0	.31	N/A	N/A	N/A	N/A					VACANT LOT

RECENT COMPARABLE PROPERTIES SOLD	STYLE	BEDS	BTHS	RMS	GAR	L7 SIZE	AGE	SQ FT	CONDITION	BSMT	PROX	LIST PRICE	SALE PRICE	DOM	SLD DATE	COMMENTS
310 Long Hill	Land	0	0	0	0	1.06	N/A	N/A	NA	NA		60,000			9/18/15	LARGER LOT

NEIGHBORHOOD VALUES	PROPERTY VALUES	DEMAND
HIGH \$	LOW \$	

PROJECTED SALES PRICE (INPUT TO RIGHT)	AS IS VALUE (USING AVG MKT TIME FOR AREA)	AVERAGE MKT TIME FOR AREA	REPAIRED VALUE (USING AVG MKT TIME FOR AREA)
22,000	180		
25,900			
NA			

ESTIMATE OF SUGGESTED REPAIRS FOR EACH VALUE
 PLEASE DESCRIBE PROPERTY CONDITION:
 Vacant lot on busy street

DESCRIBE AREANEIGHBORHOOD:
 At minimum, the above information is to be completed along with pictures of the subject property and at least 3 of the comparable sales and sold properties. If available, the computer printout of all comparable properties for sale and sold, within a reasonable distance to the subject property is to be attached to the BPO. Note: This form is not a replacement of a Realtors current BPO form, but shows the minimum information needed.

31

56 CHEYENNE RD

BILL#	TAXPAYER NAME	TAX	AUG INT	LIEN	TOTAL
2007-01-0004741	BROOKE JOANNE M	212.19	117.77	24	353.96
2008-01-0004741	BROOKE JOANNE M	945.98	1,177.75	24	2,147.73
2009-01-0004741	BROOKE JOANNE M	1,010.20	1,075.86	24	2,110.06
2010-01-0004741	BROOKE JOANNE M	1,028.14	909.91	24	1,962.05
2011-01-0004741	BROOKE JOANNE M	803.60	566.54	24	1,394.14
2012-01-0004741	BROOKE JOANNE M	824.44	432.84	24	1,281.28
2013-01-0004741	BROOKE JOANNE M	852.62	294.15	24	1,170.77
2014-01-0004741	BROOKE JOANNE M	861.26	142.11	24	1,027.37
2015-01-0004741	BROOKE JOANNE M	430.63	12.92	0	443.55
TOTAL		6,969.06	4,729.85	192	11,890.91

The tax assessment is against a mobile home, not real estate. Under the power of an alias tax warrant a marshal or constable can garnish wages, seize bank accounts and seize and sell moveable property, the mobile home in this case. East Hartford taxes mobile homes as real property and permits "Conveyance of Title" filings on the land records. An employment report for the taxpayers indicate that both owners are employed. A UCC search does not indicate a lender with a security interest in the mobile home. Note that there are also motor vehicle tax delinquencies. The BPO shows that the taxes due exceeds the market value.

RECOMMENDATION: A collection notice should be sent to the taxpayers to initiate a discussion on paying the delinquency. A payment plan with the taxpayers may be the best result. Discussion with the trailer park owner may also be helpful in securing a redemption. An Alias Tax Warrant should then be issued and if that effort fails to result in payment, the mobile home can be sold for taxes as real estate using a tax deed sale.

Attached:

- 1) Assessor Card
- 2) Broker Price Opinion



Town of East Hartford Property Summary Report

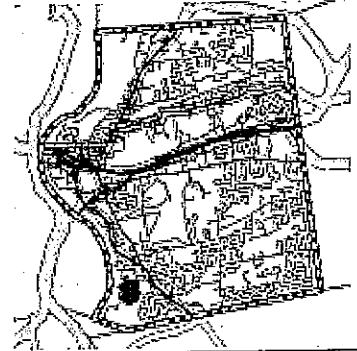
56 CHEYENNE RD

MAP LOT:	19-291	CAMA PID:	2675
LOCATION:	56 CHEYENNE RD		
OWNER NAME:	BROOKE JOANNE M		



2675 03/22/2016

OWNER OF RECORD
BROOKE JOANNE M
56 CHEYENNE RD
EAST HARTFORD, CT 06118



LIVING AREA:	728	ZONING:		ACREAGE:	0.00
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SALES HISTORY

OWNER	BOOK / PAGE	SALE DATE	SALE PRICE
BROOKE JOANNE M	2928/ 179	31-Jul-2007	\$32,000.00
BROWN DONALD R	2671/ 342	07-Dec-2005	\$28,500.00
ELLIOTT ALFRED H JR	1596/ 150	18-Dec-1995	\$33,875.00
PETERSON MARY E	1/ 1	01-Jan-1900	\$0.00

CURRENT PARCEL ASSESSMENT

TOTAL:	\$18,780.00	IMPROVEMENTS:	\$18,780.00	LAND:	\$0.00
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ASSESSING HISTORY

FISCAL YEAR	TOTAL VALUE	IMPROVEMENT VALUE	LAND VALUE
2015	\$18,780.00	\$18,780.00	\$0.00
2014	\$18,780.00	\$18,780.00	\$0.00
2013	\$18,780.00	\$18,780.00	\$0.00
2012	\$18,780.00	\$18,780.00	\$0.00
2011	\$18,780.00	\$18,780.00	\$0.00

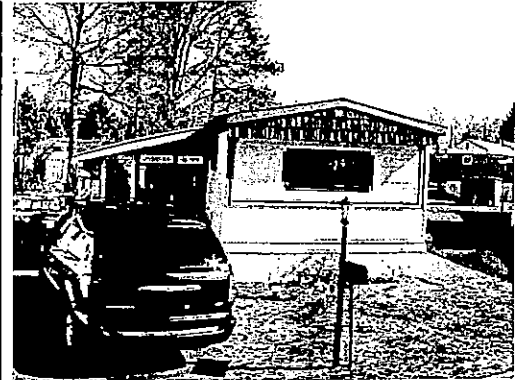
Town of East Hartford Property Summary Report

56 CHEYENNE RD

MAP LOT:	19-291	CAMA PID:	2675
LOCATION:	56 CHEYENNE RD		
OWNER NAME:	BROOKE JOANNE M		

BUILDING # 1

YEAR BUILT	1978	EXT WALL 1	Vinyl Siding
STYLE	Mobile Home	INT WALLS 1	Panel
MODEL	Residential	HEAT FUEL	Other
STORIES	1.0	HEAT TYPE	Forced Hot Air
OCCUPANCY	Mobile Home	AC TYPE	Central
ROOF	Gable	BEDROOMS	2
ROOF COVER	Asphalt	FULL BATHS	1
FLOOR COVER 1	Mixed	HALF BATHS	0
% BSMT	0	TOTAL ROOMS	4
% FIN BSMT	0	% REC RM	0
% SEMI FIN BSMT	0	% ATTIC FINISH	0
BSMT GARAGE		FIREPLACES	0



2675 03/22/2016

OUTBUILDINGS

DESCRIPTION	CODE	UNITS
MTL/SHED		24 SF

REQUESTED BY: Roger Blain

ACCOUNT NAME: City of East Hartford

COMPLETED BY: Mark Porriello

BROKERS PRICE OPINION

VACANT OCCUPIED

SERVICER NAME: TaxServ Capital Services, LLC
 PH# 860-539-9100
 YRS EXP 23
 FAX# 877-550-1666
 EMAIL: mporriello@cox.net

REMAX Premier REALTORS
 COMPANY ADDRESS: 75 Brace Rd., West Hartford, CT 06107

DATE COMPLETED: 06/29/2016
 COMPANY: REMAX Premier REALTORS

SUBJECT PROPERTY	STYLE	BEDS	BTHS	RMS	GAR	L7/SIZE	AGE	SQ FT	CONDITION	BSMT	CONSTRUCTION TYPE				COMMENTS
											FRAME SINGLE	BRICK MULIFAM	STUCCO CONDO	MH TYNHM	
56 Cheyenne Road, East Hartford, CT 06118	Mobile Home	2	1	4	0	0	38	728		None	LIST PRICE	SALE PRICE	DOM	SOLD DATE	Comments
25 Rivermead Blvd, East Hartford, CT 06118	Mobile Home	2	1	5	0	0	16	1152		None	\$49,000	106			Newer, built in 2000, superior condition
11 Navaho Road, East Hartford, CT 06118	Mobile Home	2	1	4	0	0	30	931		None	\$62,900	15			Newer, built in 1986; Cath ceilings, 3 season porch.
7 Navaho Road, East Hartford, CT 06118	Mobile Home	2	2	4	0	0	30	931		None	\$66,900	9			Newer, built in 1986; newer furnace & roof; Freshly painted interior.
13 Uncas Road, East Hartford, CT 06118	Mobile Home	2	1	4	0	0	48	684		None	\$5,200	\$5,000	176	01/28/2016	Similar age & condition
5 Chicasaw Drive, East Hartford, CT 06118	Mobile Home	2	1	4	0	0	41	798		None	\$7,500	\$6,000	11	01/08/2016	Similar age & condition
13 Rivermead Blvd, East Hartford, CT 06118	Mobile Home	2	1	5	0	0	45	823		None	\$12,800	\$12,000	60	10/29/15	Newer windows; recently painted exterior

PROPERTY VALUES	NEIGHBORHOOD VALUES		LOW \$		PROPERTY VALUES		SUPPLY		DEMAND	
	HIGH \$	LOW \$	AS IS VALUE (USING AVG MKT TIME FOR AREA)	AS IS VALUE (USING AVG MKT TIME FOR AREA)	AVERAGE MKT TIME FOR AREA	REPAIRED VALUE (USING AVG MKT TIME FOR AREA)	AVERAGE MKT TIME FOR AREA	SUPPLY	DEMAND	
PROJECTED SALES PRICE (INPUT TO RIGHT)	5,000		120							
SUGGESTED LIST PRICE (INPUT TO RIGHT)	7,500									
ESTIMATE OF SUGGESTED REPAIRS FOR EACH VALUE	?									
PLEASE DESCRIBE PROPERTY CONDITION:										

At minimum, the above information is to be completed along with pictures of the subject property and at least 3 of the comparable sales and sold properties. If available, the computer printout of all comparable properties for sale and sold, within a reasonable distance to the subject property is to be attached to the BPO. Note: This form is not a replacement of a Realtors current BPO form, but shows the minimum information needed.

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67 WOODBRIDGE AVENUE

BILL#	TAXPAYER NAME	TAX	AUG INT	LIEN	TOTAL
2011-01-0001464	BRAVO ROBERT	4,001.72	2,821.22	24	6,846.94
2012-01-0001464	BRAVO ROBERT	1,658.10	870.50	24	2,552.60
2013-01-0001464	BRAVO ROBERT	1,714.76	591.59	24	2,330.35
2014-01-0001464	BRAVO ROBERT	1,732.14	285.80	24	2,041.94
2015-01-0001464	BRAVO ROBERT	866.07	25.98	0	892.05
TOTAL		9,972.79	4,595.09	96	14,663.88

The subject property is a two story structure on a 0.21 acre lot that was gutted by fire on February 12, 2012. It appears that Alicia Bravo and Robert Bravo each acquired one-half interest in three adjacent properties (67, 71 and 75 Woodbridge) by inheritance in 2007. In 2008 the Alicia and Robert quit-claimed their one-half interests so that Alicia got full ownership of 71 and 75 Woodbridge and Robert got full ownership of the subject property, after which he began a complete renovation. Robert Bravo owns and lives at 2787 Main Street in Rocky Hill. An employment report was unable to locate a place of employment for Robert. A BPO was not able to be completed due to a lack of reasonable comparables.

RECOMMENDATION: A blight/zoning officer should investigate the property to determine if the structure must be demolished or if it is salvageable. A demand should be made on the owner and inquire what his intentions are with the property as it has been over four years since the fire. If no response, issue an alias tax warrant against Robert. Direct personal collection efforts should be exhausted before going after the property. A tax deed sale should only be completed after determination whether demolition is necessary.

Attached:

- 1) Assessor Card
- 2) Map



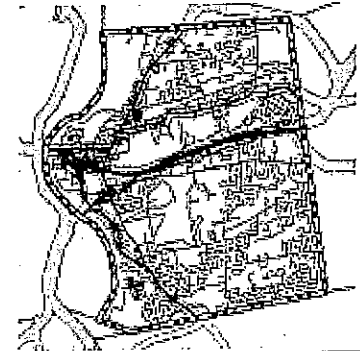
Town of East Hartford Property Summary Report

67 WOODBRIDGE AVE

MAP LOT:	25-414	CAMA PID:	15077
LOCATION:	67 WOODBRIDGE AVE		
OWNER NAME:	BRAVO ROBERT		



OWNER OF RECORD
 BRAVO ROBERT
 P O BOX 161
 ROCKY HILL, CT 06067



LIVING AREA:	1912	ZONING:	R4	ACREAGE:	0.21
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SALES HISTORY

OWNER	BOOK / PAGE	SALE DATE	SALE PRICE
BRAVO ROBERT	2984/ 342	30-Jan-2008	\$0.00
BRAVO ALICIA 1/2 INT BRAVO ROBERT 1/2 INT	2920/ 345	06-Jul-2007	\$0.00
BOGUSZEWSKA ALINA EST OF C/O ALICIA BRAVO EXECUTRIX	2704/ 345	17-Feb-2006	\$0.00
BOGUSZEWSKA ALINA	837/ 284	29-Sep-1983	\$44,000.00
PARKER, KATHLEEN M EST., OF C/O ATTY. MARLENE KALLER	379/ 583	01-Jan-1900	\$0.00

CURRENT PARCEL ASSESSMENT

TOTAL:	\$37,770.00	IMPROVEMENTS:	\$11,860.00	LAND:	\$25,910.00
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ASSESSING HISTORY

FISCAL YEAR	TOTAL VALUE	IMPROVEMENT VALUE	LAND VALUE
2015	\$37,770.00	\$11,860.00	\$25,910.00
2014	\$37,770.00	\$11,860.00	\$25,910.00
2013	\$37,770.00	\$11,860.00	\$25,910.00
2012	\$37,770.00	\$11,860.00	\$25,910.00
2011	\$93,520.00	\$67,610.00	\$25,910.00

Town of East Hartford Property Summary Report

67 WOODBRIDGE AVE

MAP LOT:	25-414	CAMA PID:	15077
LOCATION:	67 WOODBRIDGE AVE		
OWNER NAME:	BRAVO ROBERT		

BUILDING # 1

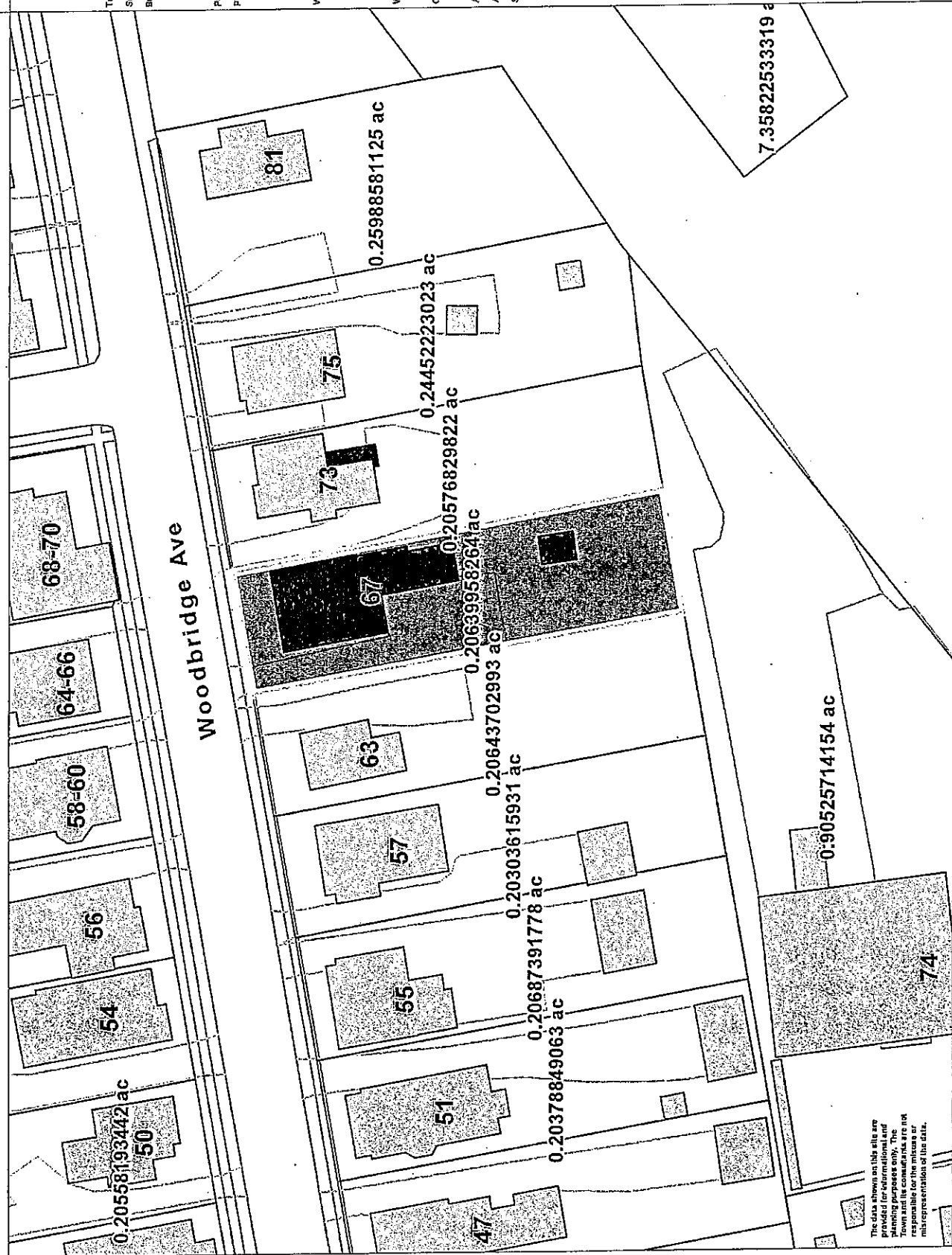
YEAR BUILT	1879	EXT WALL 1	Wood
STYLE	Single Family	INT WALLS 1	Plaster
MODEL	Residential	HEAT FUEL	Other
STORIES	2.0	HEAT TYPE	Hot Water
OCCUPANCY	One Family	AC TYPE	None
ROOF	Gable	BEDROOMS	5
ROOF COVER	Typical	FULL BATHS	2
FLOOR COVER 1	None	HALF BATHS	0
% BSMT	100	TOTAL ROOMS	9
% FIN BSMT	0	% REC RM	0
% SEMI FIN BSMT	0	% ATTIC FINISH	0
BSMT GARAGE		FIREPLACES	0



OUTBUILDINGS

DESCRIPTION	CODE	UNITS
MTL/SHED		1x90 (90 SF)

- Town Boundary
- Schools
- MCI
- Building
- Building Footing
- Cement
- Deck
- Foundation
- Greenhouse
- Pool
- Pavement
- Paved Features
- Driveway
- Road Edge
- Right of Way
- Sidewalk
- Tail
- Turf
- Unpaved
- Water
- Water Features Acc
- Water Features Main
- Water Features Sub
- Water Features Ditch
- Water Features Culvert
- Water Features Sphery
- Water Features Headwall
- Water Features Dam
- Water Features Flow Arrow
- Water Features Foly
- Water Features Open Water
- Swamp
- Pier
- CI Highways
- US Highways
- State Highway
- Abutting Town Labels
- AZ
- Abutting Towns
- Streets
- AV



104 WOODYCREST DR

BILL#	TAXPAYER NAME	TAX	AUG INT	LIEN	TOTAL
2012-01-0001543	BOSCO RICHARD M & AMY J	0	0	0	0
2013-01-0001543	BOSCO RICHARD M & AMY J	2,076.44	124.59	0	2,201.03
2014-01-0001543	BOSCO RICHARD M & AMY J	3,858.20	636.60	24	4,518.80
2015-01-0001543	BOSCO RICHARD M & AMY J	1,929.10	57.87	0	1,986.97
TOTAL		7,863.74	819.06	24	8,706.80

The subject property is a single family home totaling 864 sq ft with 2 beds, 1 bath on an 0.024 acre lot. Property appears to have been listed for sale or rent, but is not currently listed. Richard Bosco has owned the property since 1999 and in 2009 added his wife Amy J Bosco as a co-owner. The owners' primary residence is 382 Cold Spring Dr, Westbrook, CT which is owned solely in the name of Amy J. Bosco.

Amy Bosco filed a petition in bankruptcy on June 30, 2014 and received a full discharge; however, that bankruptcy has no effect on the collectability of the taxes against the property or against Richard, just against her *in-personam*. In April 2016, the 2012 and part of the 2013 taxes were paid.

The BPO provides good listing and sale comparables (all bank REO) and assigns a value of \$62,000 if sold on an as-is quick sale value. Comparable property days sales outstanding are reasonable.

RECOMMENDATION: Issue an alias tax warrant against Richard and use the warrant as a third party execution on tenants living at the subject property, thereby garnishing rent money to pay the taxes.

Attached:

- 1) Assessor Card
- 2) Map
- 3) Broker Price Opinion



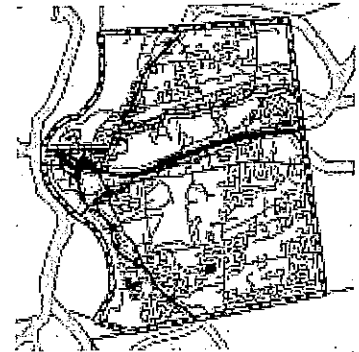
Town of East Hartford Property Summary Report

104 WOODYCREST DR

MAP LOT:	42-29	CAMA PID:	15275
LOCATION:	104 WOODYCREST DR		
OWNER NAME:	BOSCO RICHARD M & AMY J		



OWNER OF RECORD
BOSCO RICHARD M & AMY J
382 COLD SPRING DR
WESTBROOK, CT 06498



LIVING AREA:	864	ZONING:	R3	ACREAGE:	0.24
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SALES HISTORY

OWNER	BOOK / PAGE	SALE DATE	SALE PRICE
BOSCO RICHARD M & AMY J	1850/ 56	30-Aug-1999	\$93,000.00
DOROSZ WILLIAM J & HELEN J	167/ 557	01-Jan-1900	\$0.00

CURRENT PARCEL ASSESSMENT

TOTAL:	\$84,130.00	IMPROVEMENTS:	\$54,540.00	LAND:	\$29,590.00
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ASSESSING HISTORY

FISCAL YEAR	TOTAL VALUE	IMPROVEMENT VALUE	LAND VALUE
2015	\$84,130.00	\$54,540.00	\$29,590.00
2014	\$84,130.00	\$54,540.00	\$29,590.00
2013	\$84,130.00	\$54,540.00	\$29,590.00
2012	\$84,130.00	\$54,540.00	\$29,590.00
2011	\$84,130.00	\$54,540.00	\$29,590.00



Town of East Hartford Property Summary Report

104 WOODYCREST DR

MAP LOT:	42-29	CAMA PID:	15275
LOCATION:	104 WOODYCREST DR		
OWNER NAME:	BOSCO RICHARD M & AMY J		

BUILDING # 1

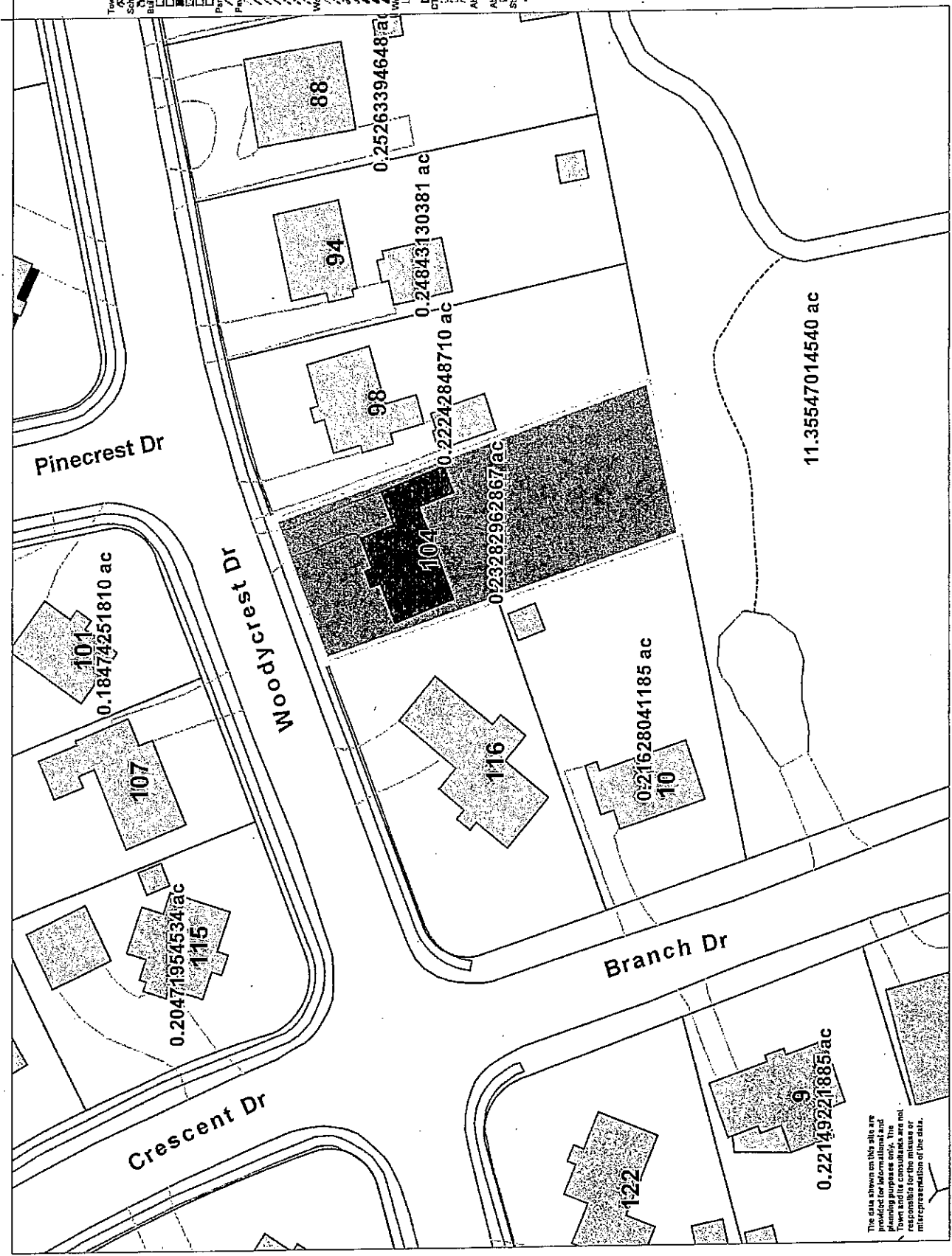
YEAR BUILT	1950	EXT WALL 1	Vinyl Siding
STYLE	Ranch	INT WALLS 1	Drywall
MODEL	Residential	HEAT FUEL	Other
STORIES	1.0	HEAT TYPE	Hot Water
OCCUPANCY	One Family	AC TYPE	None
ROOF	Gable	BEDROOMS	3
ROOF COVER	Asphalt	FULL BATHS	1
FLOOR COVER 1	Hardwood	HALF BATHS	0
% BSMT	100	TOTAL ROOMS	5
% FIN BSMT	0	% REC RM	0
% SEMI FIN BSMT	0	% ATTIC FINISH	0
BSMT GARAGE		FIREPLACES	0



OUTBUILDINGS

DESCRIPTION	CODE	UNITS
FR/SHED		80 SF

- Town Boundary
- Schools
- Buildings
- Deck
- Foundation
- Greenhouse
- Porch
- Paved Features
- Ditchway
- Road Edge
- Parking Lot
- Signwalk
- Tunnel
- Unpaved
- Water Features Atr
- Perennial Stream
- Channel Ditch
- Swamp
- Shoeway
- Headwall
- Dam
- Directional Flow Arrow
- Water Features Poly
- Water
- Swamp
- Plz
- DT Highways
- Interstate
- Highway
- State Highway
- Abutting Town Labels
- Az
- Abutting Towns
- Streets
- Streets



The data shown on this site are provided for informational purposes only. East Hartford, Connecticut, and its officials are not responsible for the misuse or misrepresentation of the data.



Printed on 04/26/2016 at 12:02 PM



REQUESTED BY:

Roger Blain

Brokers Price Opinion

VACANT OCCUPIED

SERVICER NAME: TaxServ Capital Services, LLC		ACCOUNT NAME: City of East Hartford		COMPLETED BY: Mark Porriello REMAX Premier REALTORS COMPANY ADDRESS: 75 Brace Rd., West Hartford, CT 06107		PH# 860-639-9100 FAX# 877-550-1666 EMAIL: mporriello@cox.net		YRS EXP 23		CONSTRUCTION TYPE BRICK MULIFAM <input type="checkbox"/> STUCCO CONDO <input type="checkbox"/> MH TWHNM <input type="checkbox"/> OTHER <input type="checkbox"/>						
SUBJECT PROPERTY 104 Woodycrest Drive, East Hartford, CT 06118		STYLE Ranch	BEDS 2	BTHS 1	RMS 5	GAR 1	L7/SIZE .24	AGE 66	SQ FT 864	CONDITION Full/Pffn	BSMT Full/Uffin	ASSESSED VALUES \$86,600	LIST PRICE \$50,500	SALE PRICE 7	DOM REO	COMMENTS REO
CURRENT COMPARABLE PROPERTIES LISTED FOR SALE 31 Whiting Road, East Hartford, CT 06118		STYLE Ranch	BEDS 2	BTHS 1	RMS 4	GAR 2/D etc h	L7/SIZE .20	AGE 106	SQ FT 1065	CONDITION Fair	BSMT Full/Uffin	ASSESSED VALUES \$75,830	LIST PRICE \$72,000	SALE PRICE 20	DOM REO; AVG. condition	COMMENTS REO; newer windows, vinyl siding
154 Crescent Drive, East Hartford, CT 06118		Cape	2	1	5	None	.18	66	864	Avg.	None	\$84,250	\$69,000	35	REO; newer windows, vinyl siding	REO; newer windows, vinyl siding
14 Hockanum Drive, East Hartford, CT 06118		Cape	2	1	6	None	.15	73	1280	Fair	Full/Uffin	\$84,250	\$69,000	35	REO; newer windows, vinyl siding	REO; newer windows, vinyl siding
RECENT COMPARABLE PROPERTIES SOLD 56 Hockanum Drive, East Hartford, CT 06118		Cape	3	1	6	None	.15	74	1008	Avg.	Cra wl	1.3	\$69,900	45	06/08/16	REO; newer windows, vinyl siding
103 Hockanum Drive, East Hartford, CT 06118		Cape	4	1	7	1/D etc h	.16	72	1176	Avg.	Cra wl	1.4	\$79,900	192	01/11/16	REO; newer windows, vinyl siding
97 Evans Avenue, East Hartford, Ct 06118		Ranch	2	1	6	1/A etc h	.18	74	1120	Fair	Cra wl	.70	\$39,800	153	05/18/16	REO; needs work
PROJECTED SALES PRICE (INPUT TO RIGHT)		AS IS QUICK SALE VALUE		AS IS VALUE (USING AVG MKT TIME FOR AREA)		AVERAGE MKT TIME FOR AREA		REPAIRED VALUE (USING AVG MKT TIME FOR AREA)		AVERAGE MKT TIME FOR AREA		AVERAGE MKT TIME FOR AREA		AVERAGE MKT TIME FOR AREA		
SUGGESTED LIST PRICE (INPUT TO RIGHT)		62,000		120		120		120		120		120		120		
ESTIMATE OF SUGGESTED REPAIRS FOR EACH VALUE PLEASE DESCRIBE PROPERTY CONDITION:		?		?		?		?		?		?		?		
DESCRIBE AREA/NEIGHBORHOOD:		Small house		Neighborhood of single family houses with moderate pride of ownership.		Neighborhood of single family houses with moderate pride of ownership.		Neighborhood of single family houses with moderate pride of ownership.		Neighborhood of single family houses with moderate pride of ownership.		Neighborhood of single family houses with moderate pride of ownership.		Neighborhood of single family houses with moderate pride of ownership.		

At minimum, the above information is to be completed along with pictures of the subject property and at least 3 of the comparable sales and sold properties. If available, the computer printout of all comparable properties for sale and sold, within a reasonable distance to the subject property is to be attached to the BPO. Note: This form is not a replacement of a Realtors current BPO form, but shows the minimum information needed.

44

125 LYDALL RD REAR & 40 DEEPWOOD DR

BILL#	PROP LOCATION	TAXPAYER NAME	TAX	AUG INT	LIEN	TOTAL
2007-01-0014736	40 DEEPWOOD DR	ULLMAR ALICE EST OF	1,152.80	1,642.80	24	2,819.54
2008-01-0014736	40 DEEPWOOD DR	ULLMAR ALICE EST OF	1,152.80	1,435.24	24	2,612.04
2009-01-0014736	40 DEEPWOOD DR	ULLMAR ALICE EST OF	1,231.06	1,311.08	24	2,566.14
2010-01-0014736	40 DEEPWOOD DR	ULLMAR ALICE EST OF	1,252.90	1,108.82	24	2,385.72
2011-01-0014736	40 DEEPWOOD DR	ULLMAR ALICE EST OF	1,660.68	1,170.78	24	2,855.46
2012-01-0014736	40 DEEPWOOD DR	ULLMAR ALICE EST OF	1,703.76	894.47	24	2,622.23
2013-01-0014736	40 DEEPWOOD DR	ULLMAR ALICE EST OF	1,761.98	607.89	24	2,393.87
2014-01-0014736	40 DEEPWOOD DR	ULLMAR ALICE EST OF	1,779.84	293.67	24	2,097.51
2015-01-0014736	40 DEEPWOOD DR	ULLMAR ALICE EST OF	889.92	26.70	0	916.62
TOTAL			12,585.74	8,491.45	192	21,269.13

BILL#	PROP LOCATION	TAXPAYER NAME	TAX	AUG INT	LIEN	TOTAL
2006-01-0014735	125 LYDALL RD REAR	ULLMAR ALICE EST OF	194.69	321.24	24	539.93
2007-01-0014735	125 LYDALL RD REAR	ULLMAR ALICE EST OF	243.86	358.47	24	626.33
2008-01-0014735	125 LYDALL RD REAR	ULLMAR ALICE EST OF	243.86	314.58	24	582.44
2009-01-0014735	125 LYDALL RD REAR	ULLMAR ALICE EST OF	260.41	289.06	24	573.47
2010-01-0014735	125 LYDALL RD REAR	ULLMAR ALICE EST OF	265.03	246.48	24	535.51
2011-01-0014735	125 LYDALL RD REAR	ULLMAR ALICE EST OF	318.36	224.45	24	566.81
2012-01-0014735	125 LYDALL RD REAR	ULLMAR ALICE EST OF	326.62	171.48	24	522.10
2013-01-0014735	125 LYDALL RD REAR	ULLMAR ALICE EST OF	337.78	116.54	24	478.32
2014-01-0014735	125 LYDALL RD REAR	ULLMAR ALICE EST OF	341.20	56.30	24	421.50
2015-01-0014735	125 LYDALL RD REAR	ULLMAR ALICE EST OF	341.20	10.24	0	351.44
TOTAL			2873.01	2108.84	216	5197.85

The properties are vacant lots that almost meet at one corner. The assessed owner is the Estate of Alice Ullmar who died on November 6, 2009 and her son is the administrator. Probate estate administrators can be personally liable for debts and taxes assessed to the deceased or the decedent's estate if the administrator has distributed assets to heirs and devisees without paying those debts and taxes. However, we believe the probate court would require the Town to look to the asset and only claim a deficiency against the administrator. The BPO provides a quick sale market value of \$40,000.

RECOMMENDATION: Put the probate estate and administrator on notice that they will be liable for the taxes if distributions to heirs and devisees have been made. This may spur the administrator to market and sell the properties or, simply pay the delinquency. If probate fails, the properties should be sold at tax deed sale and a claim made against the probate estate for any deficiency.

Attached:

- 1) Assessor Card 125 Lydall Rear and 40 Deepwood
- 2) Map of 125 Lydall Rear and 40 Deepwood
- 3) Broker Price Opinion



Town of East Hartford Property Summary Report

125 LYDALL RD

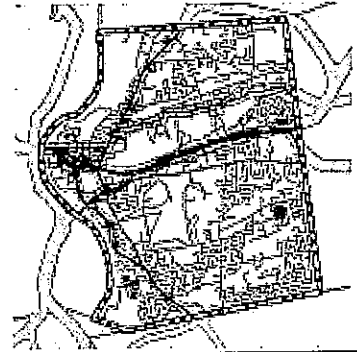
MAP LOT:	55-155	CAMA PID:	8406
LOCATION:	125 LYDALL RD		
OWNER NAME:	ULLMAR ALICE EST OF / C/O WILLIAM ULLMAR ADMINISTRATOR		



Interior lot. No photo available.

OWNER OF RECORD

ULLMAR ALICE EST OF
 C/O WILLIAM ULLMAR ADMINISTRATOR
 53 CAMBRIDGE DR
 GLASTONBURY, CT 06033



LIVING AREA:	null	ZONING:	R2	ACREAGE:	2.35
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SALES HISTORY

OWNER	BOOK / PAGE	SALE DATE	SALE PRICE
ULLMAR ALICE EST OF C/O WILLIAM ULLMAR ADMINISTRATOR	3302/ 169	26-Mar-2012	\$0.00
ULLMAR ALICE R 3/4 INT RESPONDENT C/O WILLIAM ULLMAR	2902/ 5	23-May-2007	\$0.00
ULLMAR ALICE 3/4 INT GEBHARDT ROSEMARY 1/4 INT	1346/ 34	13-Sep-1991	\$0.00

CURRENT PARCEL ASSESSMENT

TOTAL:	\$7,900.00	IMPROVEMENTS:	\$0.00	LAND:	\$7,900.00
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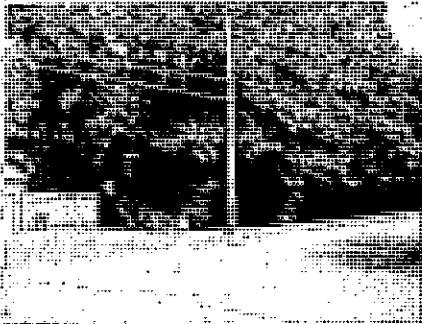
ASSESSING HISTORY

FISCAL YEAR	TOTAL VALUE	IMPROVEMENT VALUE	LAND VALUE
2015	\$7,440.00	\$0.00	\$7,440.00
2014	\$7,440.00	\$0.00	\$7,440.00
2013	\$7,440.00	\$0.00	\$7,440.00
2012	\$7,440.00	\$0.00	\$7,440.00
2011	\$7,440.00	\$0.00	\$7,440.00

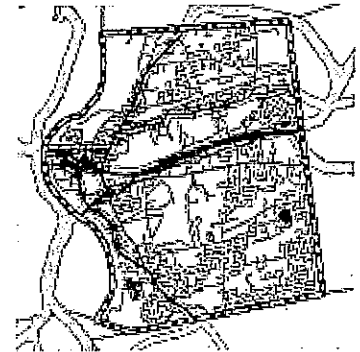
Town of East Hartford Property Summary Report

40 DEEPWOOD DR

MAP LOT:	65-6	CAMA PID:	3763
LOCATION:	40 DEEPWOOD DR		
OWNER NAME:	ULLMAR ALICE EST OF / C/O WILLIAM ULLMAR ADMINISTRATOR		



OWNER OF RECORD
 ULLMAR ALICE EST OF
 C/O WILLIAM ULLMAR ADMINISTRATOR
 53 CAMBRIDGE DR
 GLASTONBURY, CT 06033



LIVING AREA:	null	ZONING:	R2	ACREAGE:	1.29
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SALES HISTORY

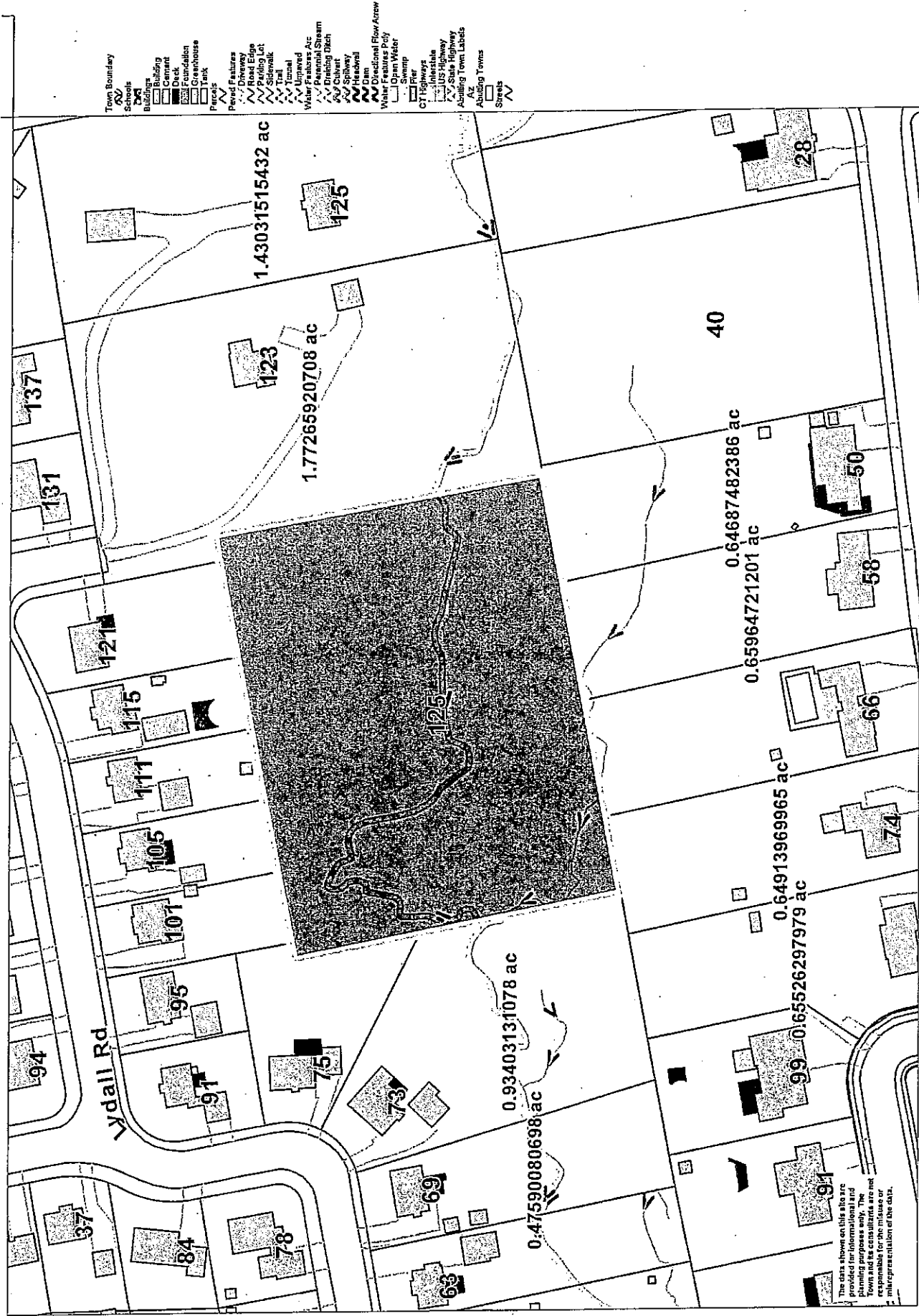
OWNER	BOOK / PAGE	SALE DATE	SALE PRICE
ULLMAR ALICE EST OF C/O WILLIAM ULLMAR ADMINISTRATOR	3302/ 169	26-Mar-2012	\$0.00
ULLMAR ALICE R RESPONDENT 3/4 INT C/O WILLIAM ULLMAR	2902/ 5	23-May-2007	\$0.00
ULLMAR ALICE R ULLMAR ALICE R	1346/ 34	13-Sep-1991	\$0.00
ULLMAR,ROBERT & ALICE R	779/ 73	01-Jan-1900	\$0.00
ULLMAR,ROBERT & ALBERT	1/ 1		\$0.00

CURRENT PARCEL ASSESSMENT

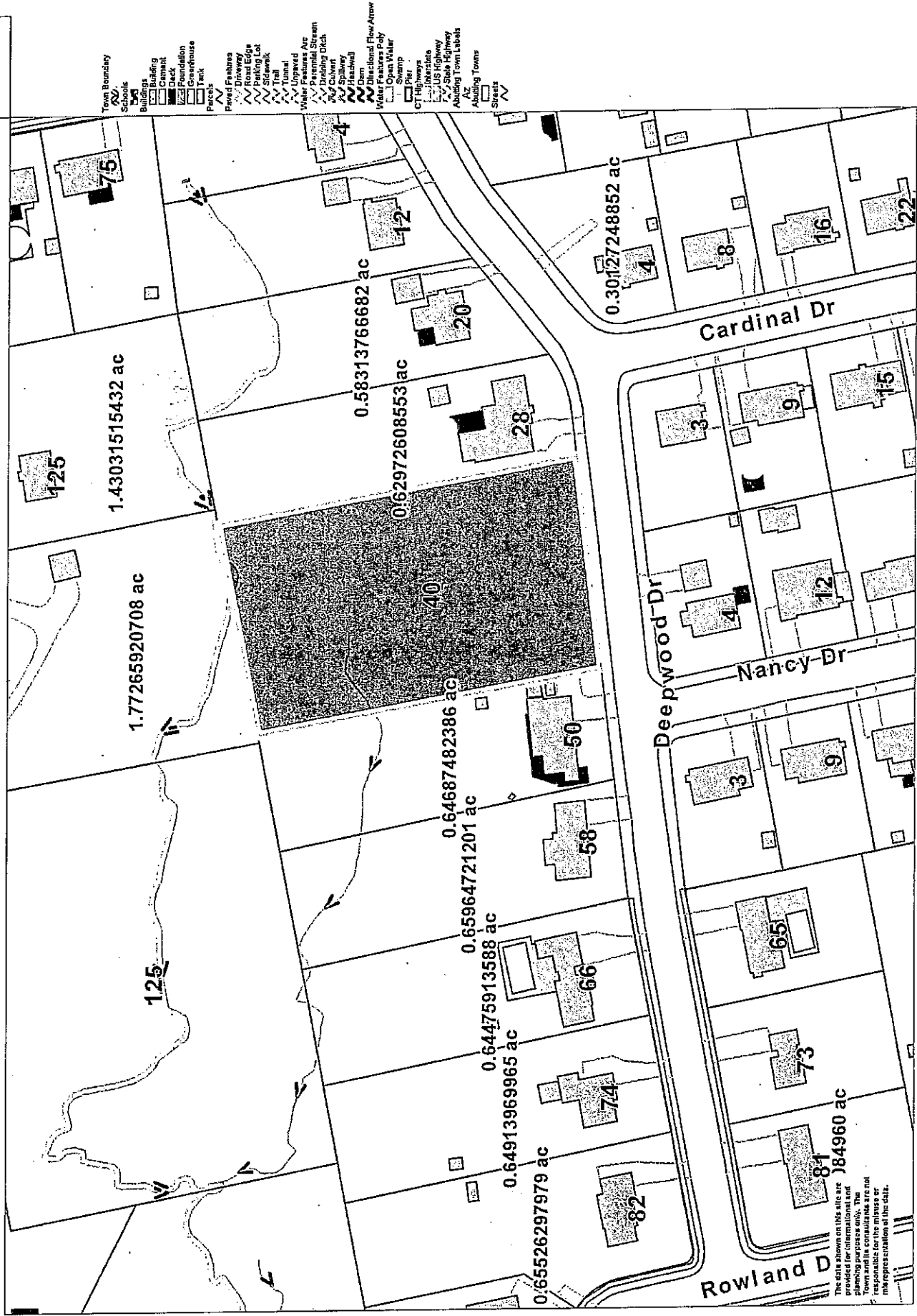
TOTAL:	\$39,070.00	IMPROVEMENTS:	\$0.00	LAND:	\$39,070.00
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ASSESSING HISTORY

FISCAL YEAR	TOTAL VALUE	IMPROVEMENT VALUE	LAND VALUE
2015	\$38,810.00	\$0.00	\$38,810.00
2014	\$38,810.00	\$0.00	\$38,810.00
2013	\$38,810.00	\$0.00	\$38,810.00
2012	\$38,810.00	\$0.00	\$38,810.00
2011	\$38,810.00	\$0.00	\$38,810.00



East Hartford MapsOnline



REQUESTED BY: Roger Blain

Brokers Price Opinion

VACANT OCCUPIED

SERVICER NAME: TaxServ Capital Services, LLC		ACCOUNT NAME: City of East Hartford		COMPLETED BY: Mark Porriello		PH# 860-539-9100 FAX# 877-550-1666 EMAIL: mporriello@cox.net													
DATE COMPLETED 06/30/16		COMPANY ADDRESS: 75 Brace Rd., West Hartford, CT 06107		YRS EXP 23		CONSTRUCTION TYPE <input type="checkbox"/> STUCCO <input type="checkbox"/> CONDO <input type="checkbox"/> MH <input type="checkbox"/> TOWNHM <input type="checkbox"/> OTHER <input checked="" type="checkbox"/>													
STYLE	BEDS	BTHS	RMS	GAR	L7/SIZE	AGE	SQ FT	CONDITION	BSMT	FRAME SINGLE	BRICK MULTIFAM	LIST PRICE	DOM	ASSESSED VALUES	SALE PRICE	DOM	S/D DATE	COMMENTS	
Land	0	0	0	0	1.19	NA	0	NA	NA	NA	NA	\$45,900	245	\$8,400	Vacant lot		9/18/15	Vacant lot	
Land	0	0	0	0	.73	NA	0	NA	NA	NA	NA	\$49,000	171	\$41,590	Vacant lot		1/29/15	Vacant lot	
Land	0	0	0	0	3.50	NA	0	NA	NA	NA	NA	\$54,700	449	\$49,900	Vacant lot				
Land	0	0	0	0	1.08	NA	0	NA	NA	NA	NA			\$49,900	Vacant lot				
Land	0	0	0	0	1.08	NA	0	NA	NA	NA	NA				60,000		9/18/15	Vacant lot	
Land	0	0	0	0	1.02	NA	0	NA	NA	NA	NA				22,000		1/29/15	Vacant lot	
Land																			
NEIGHBORHOOD VALUES				PROPERTY VALUES				SUPPLY				DEMAND							
HIGH \$		LOW \$		AS IS VALUE (USING AVG MKT TIME FOR AREA)		REPAIRED VALUE (USING AVG MKT TIME FOR AREA)		AVERAGE MKT TIME FOR AREA		AVERAGE MKT TIME FOR AREA		AVERAGE MKT TIME FOR AREA		AVERAGE MKT TIME FOR AREA		AVERAGE MKT TIME FOR AREA		AVERAGE MKT TIME FOR AREA	
40,000		180		44,900		NA													
VACANT LOT				Residential neighborhood where most of the houses were built in 1959.															

At minimum, the above information is to be completed along with pictures of the subject property and at least 3 of the comparable sales and sold properties. If available, the computer printout of all comparable properties for sale and sold within a reasonable distance to the subject property is to be attached to the BPO. Note: This form is not a replacement of a Realtors current BPO form, but shows the minimum information needed.

128 ELLINGTON RD

BILL#	TAXPAYER NAME	TAX	AUG INT	LIEN	TOTAL
2008-01-0009063	MANN JAMES A	0	0	0	0
2009-01-0009063	MANN JAMES A	510.79	0	0	510.79
2010-01-0009063	MANN JAMES A	1,068.40	945.54	24	2,037.94
2011-01-0009063	MANN JAMES A	1,009.42	711.64	24	1,745.06
2012-01-0009063	MANN JAMES A	1,035.60	543.69	24	1,603.29
2013-01-0009063	MANN JAMES A	1,071.00	369.50	24	1,464.50
2014-01-0009063	MANN JAMES A	1,081.84	178.50	24	1,284.34
2015-01-0009063	MANN JAMES A	540.92	16.23	0	557.15
TOTAL		6,317.97	2765.10	120	9,203.07

Subject property is a side lot adjacent to the taxpayer's primary residence at 132 Ellington Rd. Taxes are paid current on the primary residence. James and Hillary Mann operated a business out of 132 Ellington for which there is a delinquent 2004 and 2010-2012 personal property tax. A mortgage to the taxpayer for the business was provided by Community Economic Develop Fund I. A Lis Pendens by the mortgage holder was filed on June 17, 2010 to foreclosure that mortgage. Property is also subject to first and second mortgages to Argent Mortgage Company. It is likely that there is no "equity" available in the primary residence after foreclosure to pay down both personal property and motor vehicle taxes let alone the real estate taxes on the subject property. No BPO was completed due to lack of reasonable comparables.

Taxpayer has been making partial payments since July 2015 of approximately \$500 per month against the delinquency on this property.

RECOMMENDATION: As there are unsecured taxes due for both personal property and motor vehicles taxes, it is recommended that the \$500 per month being paid and applied to the secured real estate tax be diverted to pay the unsecured taxes pursuant to CGS 12-144b. Once the unsecured taxes are paid, apply the payments to real estate. If the payments cease before the real property tax is paid, an alias tax warrant would be recommended. If that fails, a tax deed sale appears the best chance to recover taxes on the subject lot.

Attached:

- 1) Assessor Cards for both lots.
- 2) Map showing both lots.



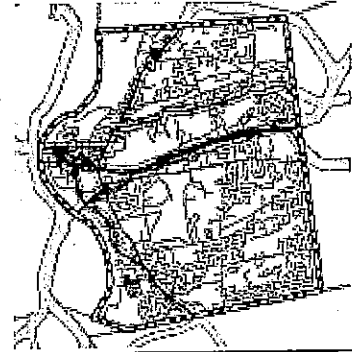
Town of East Hartford Property Summary Report

128 ELLINGTON RD

MAP LOT:	27-189	CAMA PID:	4030
LOCATION:	128 ELLINGTON RD		
OWNER NAME:	MANN JAMES A		



OWNER OF RECORD
MANN JAMES A
132 ELLINGTON RD
E HARTFORD, CT 06108



LIVING AREA:	null	ZONING:	R2	ACREAGE:	0.38
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SALES HISTORY

OWNER	BOOK / PAGE	SALE DATE	SALE PRICE
MANN JAMES A	2723/ 88	03-Apr-2006	\$0.00
MANN HILARY L	2333/ 342	26-Nov-2003	\$15,000.00
TOMKIEVICH JOSEPH A & PATRICIA	1712/ 114	21-Nov-1997	\$0.00
TOMKIEVICH JOSEPH A & PATRICIA	1287/ 336	25-Jun-1990	\$79,000.00

CURRENT PARCEL ASSESSMENT

TOTAL:	\$23,590.00	IMPROVEMENTS:	\$0.00	LAND:	\$23,590.00
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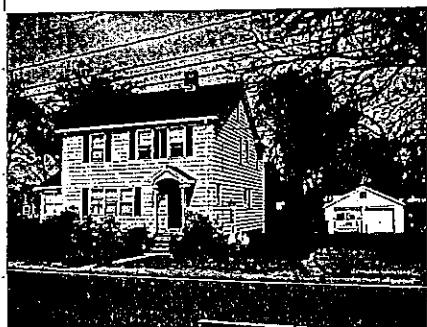
ASSESSING HISTORY

FISCAL YEAR	TOTAL VALUE	IMPROVEMENT VALUE	LAND VALUE
2015	\$23,590.00	\$0.00	\$23,590.00
2014	\$23,590.00	\$0.00	\$23,590.00
2013	\$23,590.00	\$0.00	\$23,590.00
2012	\$23,590.00	\$0.00	\$23,590.00
2011	\$23,590.00	\$0.00	\$23,590.00

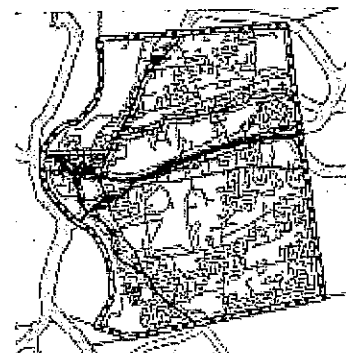
Town of East Hartford Property Summary Report

132 ELLINGTON RD

MAP LOT:	27-82	CAMA PID:	4031
LOCATION:	132 ELLINGTON RD		
OWNER NAME:	MANN JAMES A		



OWNER OF RECORD
 MANN JAMES A
 132 ELLINGTON RD
 EAST HARTFORD, CT 06108



LIVING AREA:	1548	ZONING:	R2	ACREAGE:	0.40
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SALES HISTORY

OWNER	BOOK / PAGE	SALE DATE	SALE PRICE
MANN JAMES A	2723/ 88	03-Apr-2006	\$0.00
MANN HILARY	2333/ 319	26-Nov-2003	\$170,000.00
TOMKIEVICH JOSEPH A & PATRICIA	1712/ 114	21-Nov-1997	\$0.00
TOMKIEVICH JOSEPH A & PATRICIA	1189/ 260	03-Jan-1989	\$150,000.00

CURRENT PARCEL ASSESSMENT

TOTAL:	\$109,100.00	IMPROVEMENTS:	\$85,310.00	LAND:	\$23,790.00
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ASSESSING HISTORY

FISCAL YEAR	TOTAL VALUE	IMPROVEMENT VALUE	LAND VALUE
2015	\$109,100.00	\$85,310.00	\$23,790.00
2014	\$109,100.00	\$85,310.00	\$23,790.00
2013	\$109,100.00	\$85,310.00	\$23,790.00
2012	\$109,100.00	\$85,310.00	\$23,790.00
2011	\$109,100.00	\$85,310.00	\$23,790.00

Town of East Hartford Property Summary Report

132 ELLINGTON RD

MAP LOT:	27-82	CAMA PID:	4031
LOCATION:	132 ELLINGTON RD		
OWNER NAME:	MANN JAMES A		

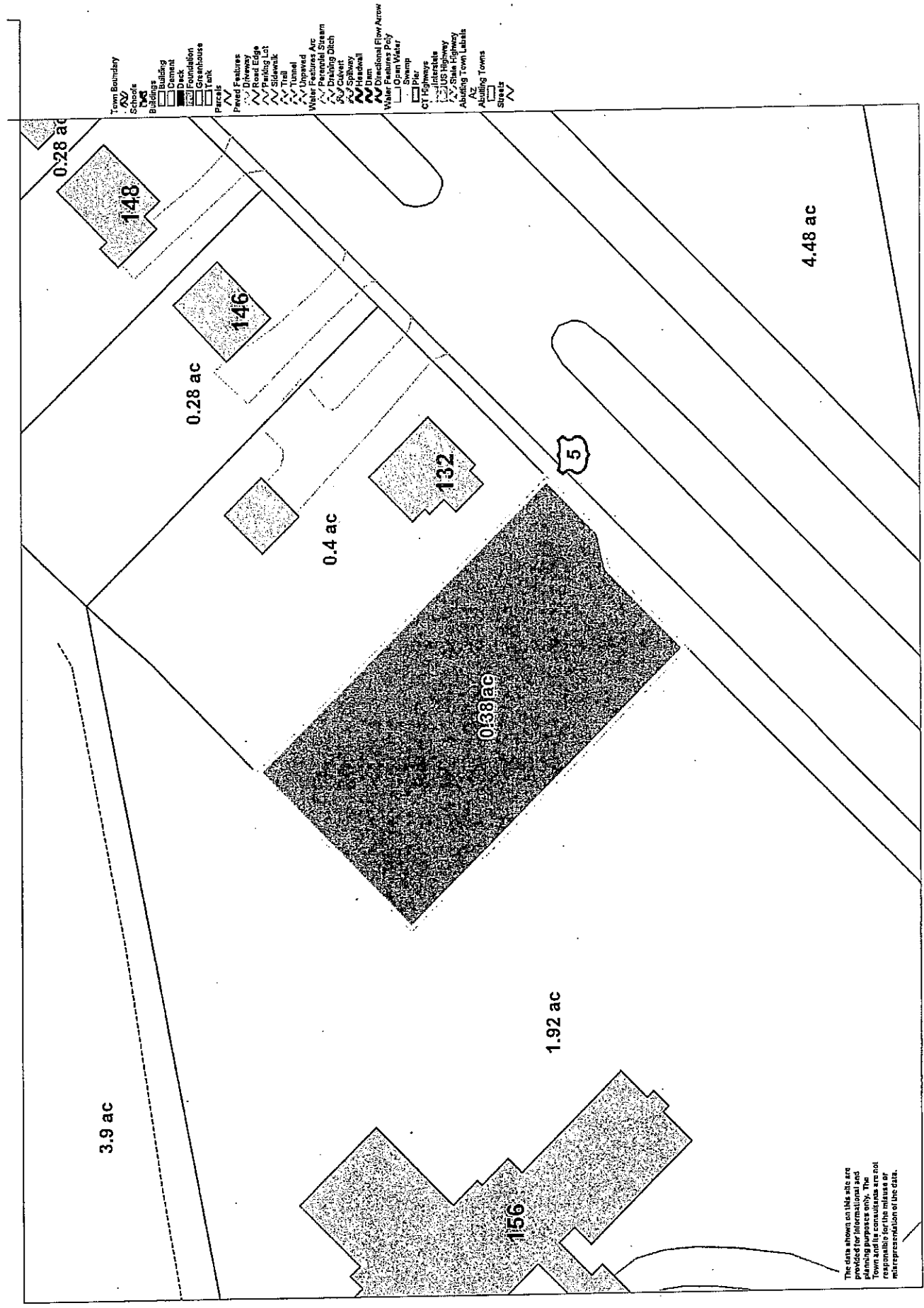
BUILDING # 1

YEAR BUILT	1932	EXT WALL 1	Vinyl Siding
STYLE	Colonial	INT WALLS 1	Plaster
MODEL	Residential	HEAT FUEL	Other
STORIES	2.0	HEAT TYPE	Hot Water
OCCUPANCY	One Family	AC TYPE	None
ROOF	Gable	BEDROOMS	4
ROOF COVER	Typical	FULL BATHS	2
FLOOR COVER 1	Hardwood	HALF BATHS	1
% BSMT	100	TOTAL ROOMS	7
% FIN BSMT	0	% REC RM	80
% SEMI FIN BSMT	0	% ATTIC FINISH	0
BSMT GARAGE		FIREPLACES	1



OUTBUILDINGS

DESCRIPTION	CODE	UNITS
Garage	FGR1	1x441 (441 S.F.)



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447 FORBES ST

BILL#	TAXPAYER NAME	TAX	AUG INT	LIEN	TOTAL
2011-01-0014094	SUNLIGHT PHILLIPS FARM INC	1,263.60	890.84	24	2,178.44
2012-01-0014094	SUNLIGHT PHILLIPS FARM INC	1,296.38	680.60	24	2,000.98
2013-01-0014094	SUNLIGHT PHILLIPS FARM INC	1,340.66	462.53	24	1,827.19
2014-01-0014094	SUNLIGHT PHILLIPS FARM INC	1,354.26	223.46	24	1,601.72
2015-01-0014094	SUNLIGHT PHILLIPS FARM INC	677.13	20.31	0	697.44
TOTAL		5,932.03	2277.74	96	8,305.77

The subject property is a 0.28 acre vacant lot which is adjacent on its rear to a 17.46 acre lot (37 Phillips Farm Rd.) also assessed to Sunlight Phillips Farm. Both lots are tax delinquent. The owner is an active real estate developer. The BPO shows comparables that would indicate a quick sale value of the lot at \$20,000.

RECOMMENDATION: An immediate demand on the assessed owner should be made for payment of the taxes on both lots and thereafter issue an alias tax warrant that includes all taxes for both lots. If the owner fails to respond with payment, both lots should be referred for tax deed sale as the market value on the BPO would indicate redemption is likely.

Attached:

- 1) Assessor Card
- 2) Map
- 3) Broker Price Opinion



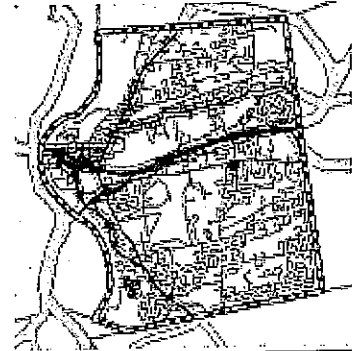
Town of East Hartford Property Summary Report

447 FORBES ST

MAP LOT:	45-108	CAMA PID:	4500
LOCATION:	447 FORBES ST		
OWNER NAME:	SUNLIGHT PHILLIPS FARM INC		



OWNER OF RECORD
 SUNLIGHT PHILLIPS FARM INC
 166 WEST MAIN ST
 AVON, CT 06001



LIVING AREA:	null	ZONING:	R2	ACREAGE:	0.28
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SALES HISTORY

OWNER	BOOK / PAGE	SALE DATE	SALE PRICE
SUNLIGHT PHILLIPS FARM INC	2630/ 253	14-Sep-2005	\$710,000.00
SUNLIGHT PHILLIPS FARM INC PHILLIPS EDITH S	2630/ 251	14-Sep-2005	\$710,000.00
PHILLIPS LILLIAN A & CARMEN	1333/ 163	28-May-1991	\$0.00
PHILLIPS EDITH S 1/2 INT PHILLIPS LILLIAN A 1/2 INT	1469/ 124		\$0.00
PHILLIPS ROXIE J EST OF & CARMEN LEONE FRANK EXEC	147/ 175	01-Jan-1900	\$0.00

CURRENT PARCEL ASSESSMENT

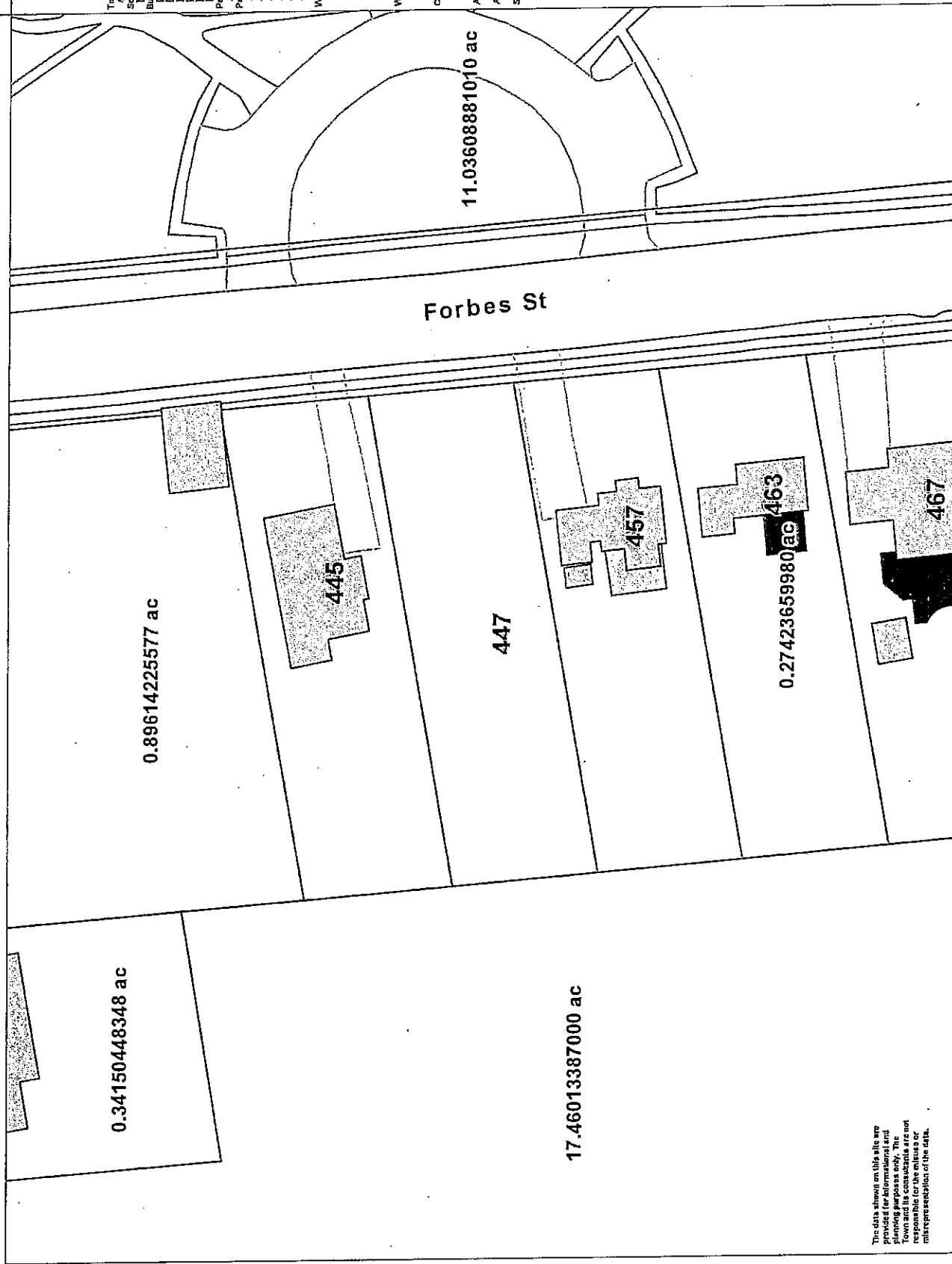
TOTAL:	\$29,530.00	IMPROVEMENTS:	\$0.00	LAND:	\$29,530.00
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ASSESSING HISTORY

FISCAL YEAR	TOTAL VALUE	IMPROVEMENT VALUE	LAND VALUE
2015	\$29,530.00	\$0.00	\$29,530.00
2014	\$29,530.00	\$0.00	\$29,530.00
2013	\$29,530.00	\$0.00	\$29,530.00
2012	\$29,530.00	\$0.00	\$29,530.00
2011	\$29,530.00	\$0.00	\$29,530.00

57

- Town Boundary
- AKZ
- Scale
- AK
- Buildings
- Building
- Cement
- Back
- Excavation
- Greenhouse
- Truck
- Parcels
- Perennial Features
- Drainage
- Road Edge
- Parking Lot
- Sidewalk
- Trial
- Impound
- Utility
- Water Features Arc
- Perennial Stream
- Drainage Ditch
- Pool
- Covert
- Spillway
- Hydro
- Dam
- Directional Flow Arrow
- Water Features Poly
- Open Water
- Swamp
- Pier
- CT Highways
- Interstate
- US Highway
- State Highway
- Abutting Town Labels
- AZ
- Abutting Towns
- Streets
- AKZ



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Printed on 04/27/2016 at 04:32 PM

REQUESTED BY: Roger Blain

Brokers Price Opinion

VACANT OCCUPIED

SERVICER NAME: TaxServ Capital Services, LLC	ACCOUNT NAME: City of East Hartford	DATE COMPLETED 06/30/16	COMPLETED BY: Mark Porriello REMAX Premier REALTORS	YRS EXP 23	PH# 860-539-9100
SUBJECT PROPERTY		LTSIZE	SQ FT	BRICK MULIFAM	STUCCO CONDO
447 Forbes Street, East Hartford, Ct. 06118	Land	.28	N/A	<input type="checkbox"/>	<input type="checkbox"/>
CURRENT COMPARABLE PROPERTIES LISTED FOR SALE	STYLE	BTHS	RMS	GAR	BSMT
358 King Street, East Hartford, Ct. 06108	Land	0	0	0	N/A
3 Burnham Street, East Hartford, Ct. 06108	Land	0	0	0	N/A
192 Forbes Street, East Hartford, Ct. 06108	Land	0	0	0	N/A
RECENT COMPARABLE PROPERTIES SOLD	STYLE	BTHS	RMS	GAR	BSMT
339 Forest	Land	0	0	0	N/A
343 Forest St., Rear	Land	0	0	0	N/A
310 Long Hill	Land	0	0	0	N/A

PROPERTY DESCRIPTION	NEIGHBORHOOD VALUES				PROPERTY VALUES				DEMAND	
	HIGH \$	LOW \$	AS IS QUICK SALE VALUE (INPUT TO RIGHT)	AS IS VALUE (USING AVG MKT TIME FOR AREA)	AVERAGE MKT TIME FOR AREA	REPAIRED VALUE (USING AVG MKT TIME FOR AREA)	AVERAGE MKT TIME FOR AREA			
447 Forbes Street, East Hartford, Ct. 06118	20,000	23,900	180	180	171	171	171	171	11/18/14	Larger lot, very low price
358 King Street, East Hartford, Ct. 06108	NA	NA	NA	NA	171	171	171	171	11/18/14	Larger lot, very low price
3 Burnham Street, East Hartford, Ct. 06108	NA	NA	NA	NA	171	171	171	171	9/18/15	Larger lot
192 Forbes Street, East Hartford, Ct. 06108	NA	NA	NA	NA	245	245	245	245		

PROJECTED SALES PRICE (INPUT TO RIGHT)	20,000	AS IS QUICK SALE VALUE (INPUT TO RIGHT)	23,900
SUGGESTED LIST PRICE (INPUT TO RIGHT)	NA	ESTIMATE OF SUGGESTED REPAIRS FOR EACH VALUE	NA
PLEASE DESCRIBE PROPERTY CONDITION:	Vacant land		
DESCRIBE AREA/NEIGHBORHOOD:	Well kept neighborhood of predominately single family houses		

At minimum, the above information is to be completed along with pictures of the subject property and at least 3 of the comparable sales and sold properties. If available, the computer printout of all comparable properties for sale and sold within a reasonable distance to the subject property is to be attached to the BPO. Note: This form is not a replacement of a Realtors current BPO form, but shows the minimum information needed.

471-473 BURNSIDE AVENUE

BILL#	TAXPAYER NAME	TAX	AUG INT	LIEN	TOTAL
2005-01-0002650	CHOPSTIX CHINESE FOOD	1,126.93	2,011.57	24	3,162.50
2006-01-0002650	TITAN CAPITAL ID LLC	1,719.32	2,759.51	24	4,502.83
2007-01-0002650	TITAN CAPITAL ID LLC	1,507.50	2,148.19	24	3,679.69
2008-01-0002650	TITAN CAPITAL ID LLC	1,507.50	1,876.84	24	3,408.34
2009-01-0002650	TITAN CAPITAL ID LLC	1,609.84	1,714.48	24	3,348.32
2010-01-0002650	TITAN CAPITAL ID LLC	1,638.40	1,449.99	24	3,112.39
2011-01-0002650	471 BURNSIDE AVE DEV LLC	1,095.00	771.98	24	1,890.98
2012-01-0002650	471 BURNSIDE AVE DEV LLC	1,123.40	589.79	24	1,737.19
2013-01-0002650	471 BURNSIDE AVE DEV LLC	1,161.80	400.82	24	1,586.62
2014-01-0002650	471 BURNSIDE AVE DEV LLC	1,173.56	193.63	24	1,391.19
2015-01-0002650	471 BURNSIDE AVE DEV LLC	586.78	17.60	0	604.38
TOTAL		14,250.03	13,934.40	240	28,424.43

The subject property is 0.17 acre vacant lot owned by a "special purpose entity" created apparently for the specific purpose of shielding the owner from tax liability. A title search confirms this scheme. Titan Capital ID foreclosed and took title to the property as of April 2, 2007 (lis pendens can be found in V2885 at P 285). On March 14, 2008 Titan sold the property by warranty deed to Joseph Cinto. That deed includes a statement that Cinto shall be responsible for taxes on the 2007 grand list and subsequent. However, Cinto did not record the deed until July 25, 2012, the same day that Cinto quitclaimed the property to the current owner. Technically, the assessor's owner designation should be amended to reflect the actual dates of transfer as indicated on the deeds. As such, if that change were made, the owner of record for each grand list year would be:

2007 Grand List - Titan Capital ID and Joseph Cinto.

2008, 2009 and 2010 Grand Lists - Joseph Cinto.

2011 Grand List - Joseph Cinto and 471 Burnside Ave Development.

The BPO reflects reasonable comparables on the same street and provides a quick sale market value of \$15,000. Due to this value, it is unlikely that redemption will occur through regular demand processes.

RECOMMENDATION: Make demand on Titan Capital and Joseph Cinto and issue alias tax warrants to collect same. If this fails, refer for tax deed sale.

Attached:

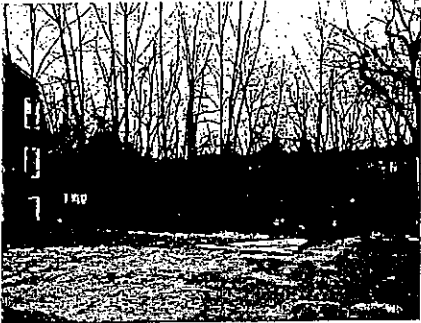
- 1) Assessor Card
- 2) Map
- 3) Broker Price Opinion



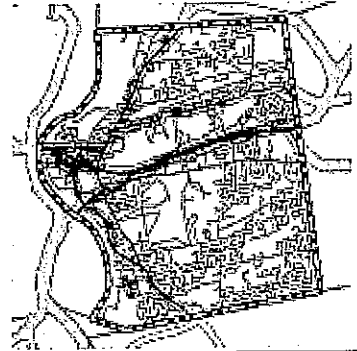
Town of East Hartford Property Summary Report

471-473 BURNSIDE AVE

MAP LOT:	36-201	CAMA PID:	1845
LOCATION:	471-473 BURNSIDE AVE		
OWNER NAME:	471 BURNSIDE AVE DEVELOPMENT LLC		



OWNER OF RECORD
 471 BURNSIDE AVE DEVELOPMENT LLC
 30 LITCHFIELD ST
 HARTFORD, CT 06112



LIVING AREA:	null	ZONING:	B1	ACREAGE:	0.17
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SALES HISTORY

OWNER	BOOK / PAGE	SALE DATE	SALE PRICE
471 BURNSIDE AVE DEVELOPMENT LLC	3324/ 201	25-Jul-2012	\$0.00
CINTO JOSEPH	3324/ 199	25-Jul-2012	\$10,000.00
TITAN CAPITAL ID L L C	2959/ 47	01-Nov-2007	\$0.00
CHOPSTIX CHINESE FOOD INC SUN PENG JUI	1419/ 179	01-Dec-1992	\$60,000.00
CHOPSTIX CHINESE FOOD INC	804/ 244	21-Dec-1983	\$75,000.00

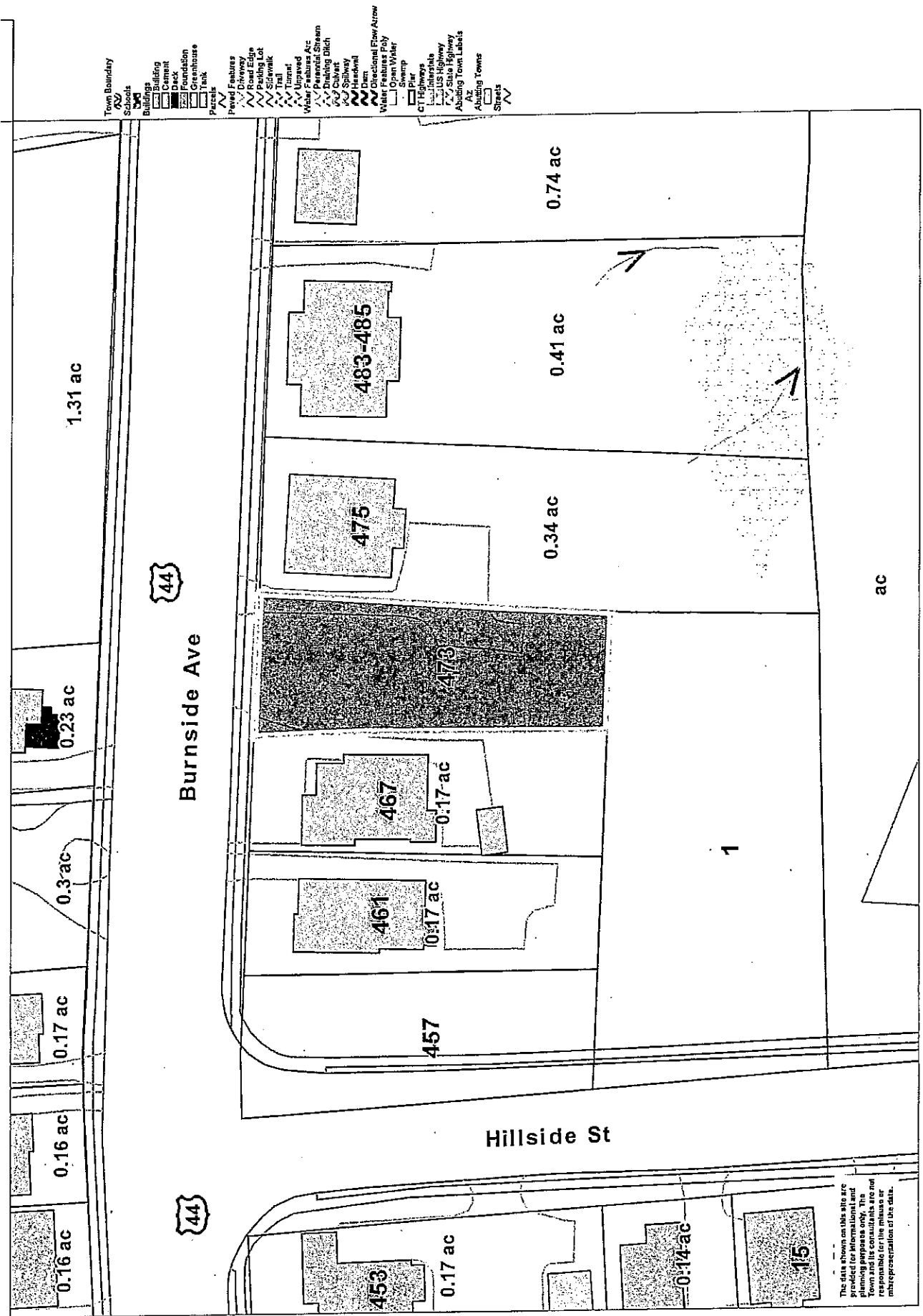
CURRENT PARCEL ASSESSMENT

TOTAL:	\$25,590.00	IMPROVEMENTS:	\$0.00	LAND:	\$25,590.00
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ASSESSING HISTORY

FISCAL YEAR	TOTAL VALUE	IMPROVEMENT VALUE	LAND VALUE
2015	\$25,590.00	\$0.00	\$25,590.00
2014	\$25,590.00	\$0.00	\$25,590.00
2013	\$25,590.00	\$0.00	\$25,590.00
2012	\$25,590.00	\$0.00	\$25,590.00
2011	\$25,590.00	\$0.00	\$25,590.00





- Town Boundary
- Schools
- Buildings
- Building Permit
- Deck
- Foundation
- Greenhouse
- Tank
- Pavement
- Preced Features
- Driveway
- Road Edge
- Parking Lot
- Sidewalk
- Terrace
- Unpaved
- Water Features Arc
- Perennial Stream
- Artificial Stream
- Channel
- Spillway
- Herbival
- Dam
- Directional Flow Arrow
- Water Control
- Water Meter
- Swamp
- Pier
- CT Highways
- Interchange
- State Highway
- Abutting Town Labels
- Az
- Abutting Towns
- Streets

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REQUESTED BY: Roger Blain

Mark Porriello
REMAX Premier REALTORS
75 Brace Rd., West Hartford, CT 06107

YRS EXP 23
PH# 860-539-9100
FAX# 877-550-1666
EMAIL: mporriello@cox.net

VACANT OCCUPIED

SERVICER NAME: TaxServ Capital Services, LLC	ACCOUNT NAME: City of East Hartford		DATE COMPLETED 07/01/16		COMPLETED BY: REMAX Premier REALTORS		COMPANY ADDRESS: 75 Brace Rd., West Hartford, CT 06107		YRS EXP 23		PH# 860-539-9100		FAX# 877-550-1666		EMAIL: mporriello@cox.net		
	STYLE	BEDS	BTHS	RMS	GAR	LT/SIZE	AGE	SQ FT	CONDITION	BSMT	FRAME: SINGLE	BRICK MULFAM	STUCCO CONDO	MH TWNHM	OTHER	CONSTRUCTION TYPE	
471-473 Burnside Avenue, East Hartford, CT 06108	Land	0	0	0	0	.41	N/A	N/A		N/A							
CURRENT COMPARABLE PROPERTIES LISTED FOR SALE																	
261 Burnside Avenue, East Hartford, Ct 06108	Land	0	0	0	0	.23	N/A	N/A		N/A							
1247 Main Street, East Hartford, CT 06108	Land	0	0	0	0	.21	N/A	N/A		N/A							
RECENT COMPARABLE PROPERTIES SOLD																	
988 Burnside Avenue, East Hartford, CT 06108	Land	0	0	0	0	.16	N/A	N/A		N/A							
470 Tolland Street, Rear, East Hartford, CT 06108	Land	0	0	0	0	.10	N/A	N/A		N/A							
NEIGHBORHOOD VALUES																	
HIGH \$ LOW \$																	
PROPERTY VALUES																	
AS IS QUICK SALE VALUE																	
AS IS VALUE (USING AVG MKT TIME FOR AREA)																	
250																	
AVERAGE MKT TIME FOR AREA																	
REPAIRED VALUE (USING AVG MKT TIME FOR AREA)																	
AVERAGE MKT TIME FOR AREA																	
SUGGESTED LIST PRICE (INPUT TO RIGHT)																	
15,000																	
ESTIMATE OF SUGGESTED REPAIRS FOR EACH VALUE																	
17,500																	
PLEASE DESCRIBE PROPERTY CONDITION:																	
Vacant lot																	
DESCRIBE AREA/NEIGHBORHOOD:																	
Busy commercial area																	

At minimum, the above information is to be completed along with pictures of the subject property and at least 3 of the comparable sales and sold properties. If available, the computer printout of all comparable properties for sale and sold, within a reasonable distance to the subject property is to be attached to the BPO. Note: This form is not a replacement of a Realtors current BPO form, but shows the minimum information needed.

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483-485 BURNSIDE AVE

BILL#	TAXPAYER NAME	TAX	INTEREST	LIEN	TOTAL
2007-01-0006308	ZAYERZ ORLANDO M	5,610.66	7,434.03	24	13,068.69
2008-01-0006308	ZAYERZ ORLANDO M	1,325.40	1,650.12	24	2,999.52
2009-01-0006308	ZAYERZ ORLANDO M	1,415.38	1,507.38	24	2,946.76
2010-01-0006308	ZAYERZ ORLANDO M	1,440.48	1,274.82	24	2,739.30
2011-01-0006308	ZAYERZ ORLANDO M	1,445.46	1,019.05	24	2,488.51
2012-01-0006308	ZAYERZ ORLANDO M	1,482.94	778.55	24	2,285.49
2013-01-0006308	ZAYERZ ORLANDO M	1,533.62	529.10	24	2,086.72
2014-01-0006308	ZAYERZ ORLANDO M	1,549.16	255.61	24	1,828.77
2015-01-0006308	ZAYERZ ORLANDO M	1,549.16	23.24	0	797.82
TOTAL		17,352.26	14,471.9	192	31,241.58

Subject property is a 0.41 acre vacant lot with an assessed value of \$33,780 and a BPO quick sale value of \$15,000. The owner purchased the property in October 2005 for \$320,000 with a mortgage to Delta Funding Corp in the original amount of \$285,000. In May 2008, Zayerz filed bankruptcy under Chapter 7 and got a full discharge. In January 2009, Delta Funding released its mortgage. By virtue of his bankruptcy filing, Zayerz may be under the impression that his interest in the subject property has been abandoned and that he has no further obligation for this property. We can find no real estate MLS listing history for this property.

Zayerz does own his primary residence together with his wife, Sonnet Zayerz, at 226 Manchester Rd in Glastonbury. The market value of his home is \$260,000. There is a mortgage in the original amount of \$228,000. We are unable to find employment information for Zayerz.

RECOMMENDATION: Issue an alias tax warrant to Zayerz. We believe he is unlikely to be in a position to pay the taxes; however, we do believe it is likely that Zayerz can be convinced to market the subject property so as to get the highest and best price and to pay the taxes out of sale proceeds. A tax deed sale would follow that effort so as to preserve the Town's right to collect any deficiency.

Attached:

- 1) Assessor Card
- 2) Map
- 3) Broker Price Opinion



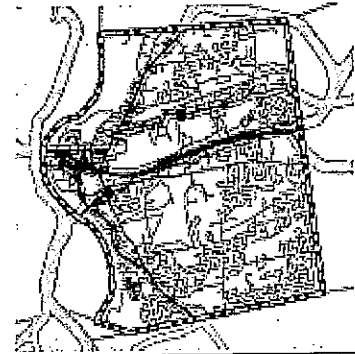
Town of East Hartford Property Summary Report

483-485 BURNSIDE AVE

MAP LOT:	36-199	CAMA PID:	1848
LOCATION:	483-485 BURNSIDE AVE		
OWNER NAME:	ZAYERZ ORLANDO M		



OWNER OF RECORD
 ZAYERZ ORLANDO M
 35 FISHER HILL RD
 EAST GLASTONBURY, CT 06025



LIVING AREA:	null	ZONING:	B1	ACREAGE:	0.41
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SALES HISTORY

OWNER	BOOK / PAGE	SALE DATE	SALE PRICE
ZAYERZ ORLANDO M	2896/ 179	03-May-2007	\$320,000.00
H H E H ENTERPRISES L L C	2092/ 213	21-May-2002	\$0.00
HYMAN HUBERT	2089/ 237	10-May-2002	\$100,000.00
GALE DONALD S SR & RUTH L TRUSTEES	2055/ 45	24-Jan-2002	\$0.00
GALE DONALD	712/ 10	01-Jan-1967	\$45,000.00

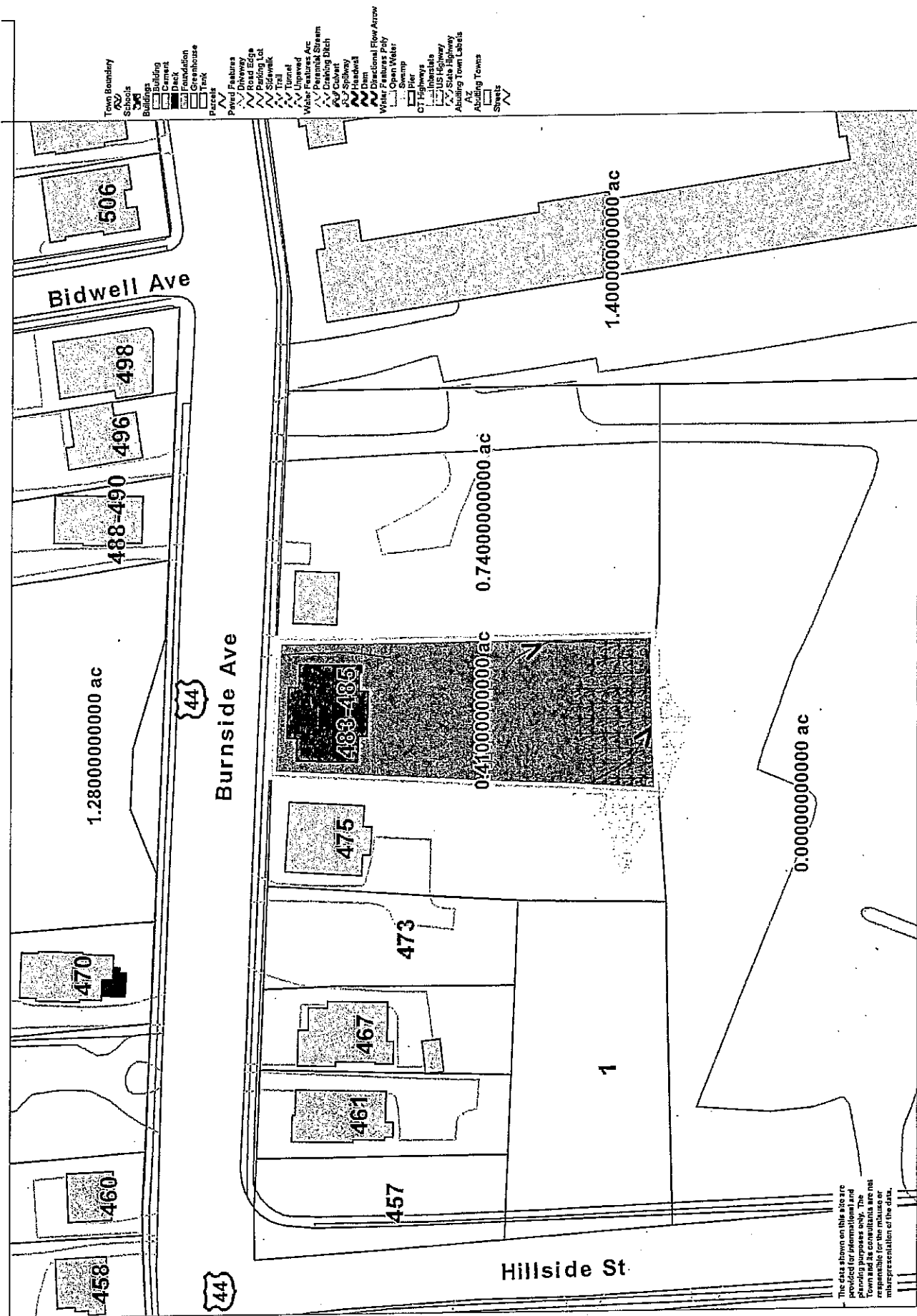
CURRENT PARCEL ASSESSMENT

TOTAL:	\$33,780.00	IMPROVEMENTS:	\$0.00	LAND:	\$33,780.00
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ASSESSING HISTORY

FISCAL YEAR	TOTAL VALUE	IMPROVEMENT VALUE	LAND VALUE
2015	\$33,780.00	\$0.00	\$33,780.00
2014	\$33,780.00	\$0.00	\$33,780.00
2013	\$33,780.00	\$0.00	\$33,780.00
2012	\$33,780.00	\$0.00	\$33,780.00
2011	\$33,780.00	\$0.00	\$33,780.00

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The data shown on this site are for planning purposes only. The Town and its consultants are not responsible for the misuse or misrepresentation of the data.

REQUESTED BY: **Roger Blain**

Brokers Price Opinion

VACANT OCCUPIED

SERVICER NAME: TaxServ Capital Services, LLC		ACCOUNT NAME: City of East Hartford		COMPLETED BY: Mark Porriello REMAX Premier REALTORS		YRS EXP: 23		PH#: 860-539-9100	
SUBJECT PROPERTY: 483-485 Burnside Avenue, East Hartford, CT 06108		DATE COMPLETED: 07/01/16		COMPANY ADDRESS: 75 Brace Rd., West Hartford, CT 06107		FAX#: 877-550-1666		EMAIL: mporriello@cox.net	
CURRENT COMPARABLE PROPERTIES LISTED FOR SALE:		STYLE		BEDS		BTHS		RMS	
261 Burnside Avenue, East Hartford, Ct 06108		Land		0		0		0	
1247 Main Street, East Hartford, CT 06108		Land		0		0		0	
RECENT COMPARABLE PROPERTIES SOLD:		STYLE		BEDS		BTHS		RMS	
988 Burnside Ave.		Land		0		0		0	
470 Tolland St., Rear		Land		0		0		0	
NEIGHBORHOOD VALUES		HIGH \$		LOW \$		PROPERTY VALUES		SUPPLY	
PROJECTED SALES PRICE (INPUT TO RIGHT)		15,000		AS IS VALUE (USING AVG MKT TIME FOR AREA)		250		REPAIRED VALUE (USING AVG MKT TIME FOR AREA)	
SUGGESTED LIST PRICE (INPUT TO RIGHT)		17,500		AVERAGE MKT TIME FOR AREA		250		AVERAGE MKT TIME FOR AREA	
ESTIMATE OF SUGGESTED REPAIRS FOR EACH VALUE PLEASE DESCRIBE PROPERTY CONDITION:		NA		Vacant lot on a downward sloping hill, not very desirable		Vacant lot on a busy st.		Vacant lot also on a busy st.	
DESCRIBE AREA/NEIGHBORHOOD:		Busy commercial area with an undesirable apartment complex to the left and a liquor store to the right. It will be vacant for many years.		Vacant lot on a busy st.		Vacant lot also on a busy st.		Vacant lot also on a busy st.	

At minimum, the above information is to be completed along with pictures of the subject property and at least 3 of the comparable sales and sold properties. If available, the computer printout of all comparable properties for sale and sold within a reasonable distance to the subject property is to be attached to the BPO. Note: This form is not a replacement of a Realtors current BPO form, but shows the minimum information needed.

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695 SILVER LANE

BILL#	TAXPAYER NAME	TAX	AUG INT	LIEN	TOTAL
2013-01-0005445	FUTTNER JODY L/U BLUE ARMY TRUST	4,436.94	1,1530.74	24	5,991.68
2014-01-0005445	FUTTNER JODY L/U BLUE ARMY TRUST	4,481.90	739.51	24	5,245.41
2015-01-0005445	FUTTNER JODY L/U BLUE ARMY TRUST	2,240.95	67.23	0	2,308.18
TOTAL		11,159.79	12,337.48	48	13,545.27

The subject property is a 2.10 acre lot with a single family home that is vacant and boarded. The life use owner, Jody Futtner, died on July 5, 2012. Three other lots are also owned by Jody Futtner in fee simple or life use: 675, 709 and 1377 Silver Lane. All lots now are tax delinquent and the Town should work all lots together. The Blue Army Trust is not a registered entity upon which demand can be made. The taxes for all four (4) properties were paid current through to the date of Jody Futtner's death. But, note that a portion of the taxes for 709 Silver Lane were paid after Futtner's death in August 2015. The BPO provides a quick sale market value of \$35,000.

RECOMMENDATION: Identifying the party who paid the taxes on 709 Silver Lane would be a first step to the possible identity of Blue Army Trust, or at minimum, the identity of someone who can receive a demand. In addition, the identity of the "remainderman" (a remainderman is a person who inherits or is entitled to inherit property upon the termination of the estate of a former owner) and the trustee for Blue Army need to be found. The assessor records should be revised to identify the remainderman when found. Demand should be made on the remainderman and trustee and an alias tax warrant issued. If all this fails, a tax deed sale should be held as the BPO value indicates that if there are any parties of interest, it may be redeemed prior to sale.

Attached:

- 1) Assessor Card
- 2) Map
- 3) Broker Price Opinion



Town of East Hartford Property Summary Report

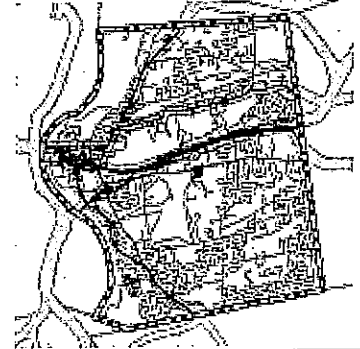
695 SILVER LN

MAP LOT:	34-112	CAMA PID:	13016
LOCATION:	695 SILVER LN		
OWNER NAME:	FUTTNER JODY L/U / THE BLUE ARMY TRUST		



OWNER OF RECORD

FUTTNER JODY L/U
 THE BLUE ARMY TRUST
 115 ROYAL OAK CIR
 MERIDEN, CT 06450



LIVING AREA:	1252	ZONING:	B6	ACREAGE:	2.10
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SALES HISTORY

OWNER	BOOK / PAGE	SALE DATE	SALE PRICE
FUTTNER JODY L/U THE BLUE ARMY TRUST	1638/ 306	09-Sep-1996	\$0.00
FUTTNER JODY ETAL	913/ 89	01-Jan-1900	\$0.00
FUTTNER ROXIE C EST OF	333/ 468	01-Jan-1900	\$0.00

CURRENT PARCEL ASSESSMENT

TOTAL:	\$97,730.00	IMPROVEMENTS:	\$59,680.00	LAND:	\$38,050.00
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ASSESSING HISTORY

FISCAL YEAR	TOTAL VALUE	IMPROVEMENT VALUE	LAND VALUE
2015	\$97,730.00	\$59,680.00	\$38,050.00
2014	\$97,730.00	\$59,680.00	\$38,050.00
2013	\$97,730.00	\$59,680.00	\$38,050.00
2012	\$97,730.00	\$59,680.00	\$38,050.00
2011	\$97,730.00	\$59,680.00	\$38,050.00

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Town of East Hartford Property Summary Report

695 SILVER LN

MAP LOT:	34-112	CAMA PID:	13016
LOCATION:	695 SILVER LN		
OWNER NAME:	FUTTNER JODY L/U / THE BLUE ARMY TRUST		

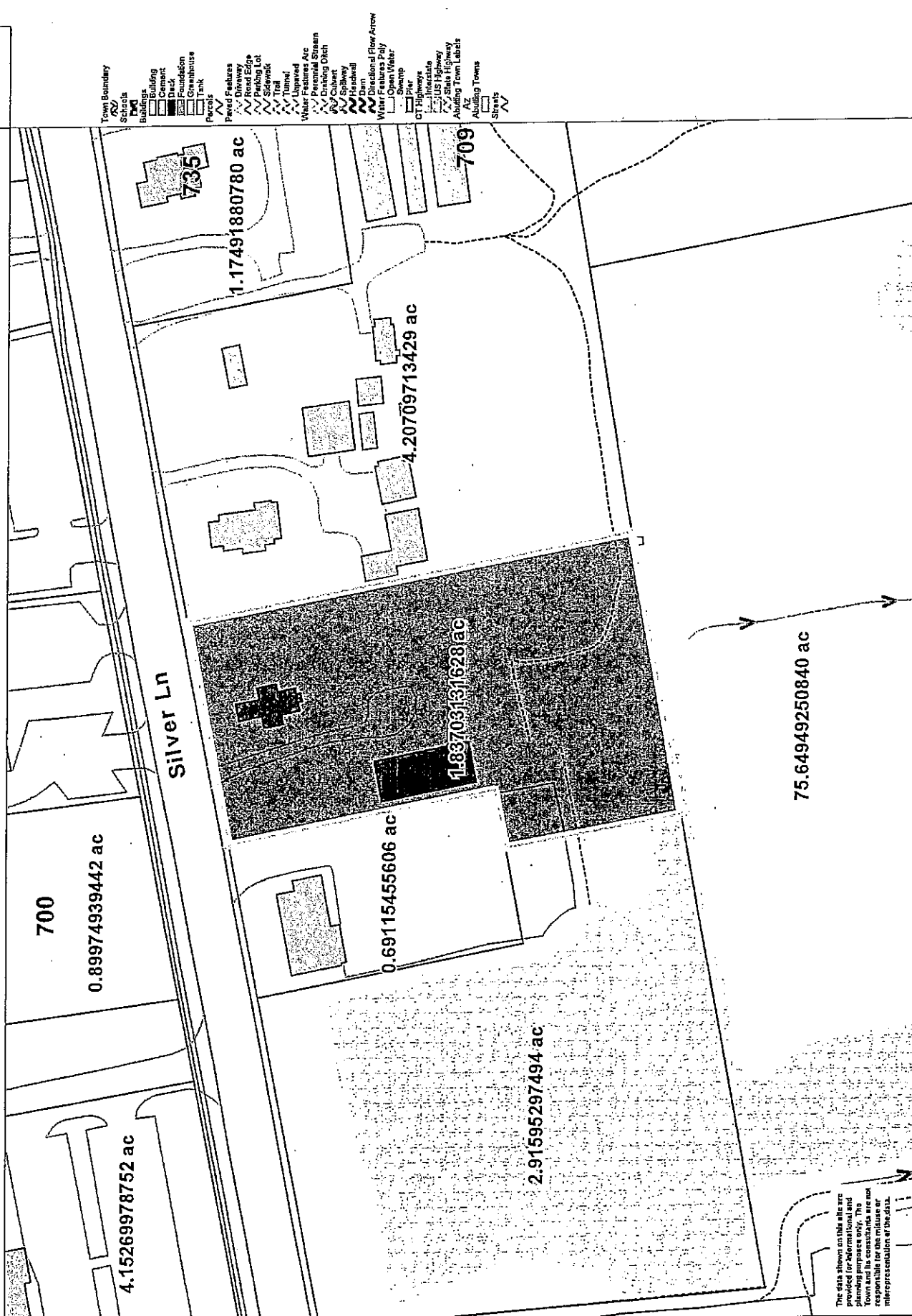
BUILDING # 1

YEAR BUILT	1902	EXT WALL 1	Wood
STYLE	Multi Family	INT WALLS 1	Plaster
MODEL	Residential	HEAT FUEL	Other
STORIES	2.0	HEAT TYPE	Hot Water
OCCUPANCY	Two Family	AC TYPE	None
ROOF	Gable	BEDROOMS	2
ROOF COVER	Typical	FULL BATHS	2
FLOOR COVER 1	Hardwood	HALF BATHS	0
% BSMT	100	TOTAL ROOMS	6
% FIN BSMT	0	% REC RM	0
% SEMI FIN BSMT	0	% ATTIC FINISH	0
BSMT GARAGE		FIREPLACES	0



OUTBUILDINGS

DESCRIPTION	CODE	UNITS
1 Story Barn	BRN1	1x2560 (2560 SF)



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REQUESTED BY: **Roger Blain** VACANT OCCUPIED

Brokers Price Opinion

SERVICER NAME: **TaxServ Capital Services, LLC** ACCOUNT NAME: **City of East Hartford** COMPLETED BY: **Mark Porriello**
 PH# **860-539-9100** FAX# **877-550-1666** EMAIL: **mporriello@cox.net**
 YRS EXP **23** STUCCO CONDO BRICK MUDJAM FRAME SINGLE OTHER

SUBJECT PROPERTY	STYLE	BEDS	BTHS	RMS	GAR	SQ FT	AGE	CONDITION	BSMT	CONSTRUCTION TYPE				COMMENTS
										ASSESSED VALUES	LIST PRICE	SALE PRICE	DOM	
695 Silver Lane, East Hartford, CT 06118	2 Up/Do wn	2	2	6	0	1252	114	Poor	Full	\$98,780	\$55,000	\$29,299	104	REO; 3 bedroom units; Superior condition
121-123 Central Avenue, East Hartford, Ct 06108	2 Updo wn/Av g	6	2	10	0	2008	116	Fair	Full/ Ufin	\$123,960	\$60,000	\$50,000	176	Short sale; occupied; Superior condition
60 Springside Avenue, East Hartford, Ct. 06108	2 Side By Side/ Avg.	4	2	10	0	2052	44	Avg.	Full/ Ufin	\$113,380	\$72,080	\$54,500	29	REO; Some copper is missing; superior condition.
5 Rose Street, East Hartford, Ct. 06108	2 Side By Side/ Avg.	6	2	10	1	2392	91	Fair	Full/ Ufin	2.5	\$27,000	\$29,299	104	REO; wet basement
43 Rector Street, East Hartford, CT 06108	2 Updo wn/Av g.	3	2	7	0	1356	116	Poor	Full/ Ufin	2.3	\$106,800	\$50,000	176	Short sale; Newer roof; 3 car garage.
33 Central Avenue, East Hartford, CT 06108	2 Updo wn/Av g.	4	2	8	3	2030	141	Fair	Full/ Ufin	2.6	\$57,200	\$54,500	29	REO; Pipes are missing; minimal fire damage
48 Phelps Street, East Hartford, CT 06108	2 Updo wn/Av g.	4	2	11	0	1956	103	Poor	Full/ Ufin	DEMAND				

PROPERTY VALUES		NEIGHBORHOOD VALUES		LOW \$		HIGH \$	
AS IS VALUE (USING AVG MKT TIME FOR AREA)	120	AS IS QUICK SALE VALUE (INPUT TO RIGHT)	35,000	AS IS VALUE (USING AVG MKT TIME FOR AREA)	120	AS IS QUICK SALE VALUE (INPUT TO RIGHT)	39,900
AVERAGE MKT TIME FOR AREA	120	ESTIMATE OF SUGGESTED	?	AVERAGE MKT TIME FOR AREA	120	ESTIMATE OF SUGGESTED	?

At minimum, the above information is to be completed along with pictures of the subject property and at least 3 of the comparable sales and sold properties. If available, the computer printout of all comparable properties for sale and sold within a reasonable distance to the subject property is to be attached to the BPO. Note: This form is not a replacement of a Realtors current BPO form, but shows the minimum information needed.

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REPAIRS FOR EACH VALUE PLEASE DESCRIBE PROPERTY CONDITION:	Boarded up; located on a busy street surrounded by commercial business in disrepair.
DESCRIBE AREA/NEIGHBORHOOD:	Busy commercial street.

At minimum, the above information is to be completed along with pictures of the subject property and at least 3 of the comparable sales and sold properties. If available, the computer printout of all comparable properties for sale and sold, within a reasonable distance to the subject property is to be attached to the BPO. Note: This form is not a replacement of a Realtors current BPO form, but shows the minimum information needed.

1259 SILVER LN

BILL#	TAXPAYER NAME	TAX	AUG INT	LIEN	TOTAL
2009-01-0006579	HEALTHWATCHERS SAFE CARE PLAN INC	19.17	14.67	24	57.84
2010-01-0006579	HEALTHWATCHERS SAFE CARE PLAN INC	975.12	862.98	24	1,862.10
2011-01-0006579	HEALTHWATCHERS SAFE CARE PLAN INC	965.34	680.56	24	1,669.90
2012-01-0006579	HEALTHWATCHERS SAFE CARE PLAN INC	990.38	519.95	24	1,534.33
2013-01-0006579	HEALTHWATCHERS SAFE CARE PLAN INC	1,024.22	353.35	24	1,401.57
2014-01-0006579	HEALTHWATCHERS SAFE CARE PLAN INC	1,034.60	170.71	24	1,229.31
2015-01-0006579	HEALTHWATCHERS SAFE CARE PLAN INC	517.30	15.52	0	532.82
TOTAL		5,526.13	2617.74	144	8,287.87

The subject property is a 13.49 acre vacant lot impacted by wetlands. The adjacent lot at 1377 Silver Lane is owned in the name of Jody Futtner L/U who died in 2012. The owner cannot be located on any corporate search database. In addition, it appears from the assessor map that there is an improvement on the next door parcel at 1375 Silver that encroaches on the subject lot. A BPO was not completed due to lack of reasonable comparables.

RECOMMENDATION: A review of the historical payment records of the Tax Collector in order to identify who paid the taxes through 2009 should be completed. The adjacent lot at 1377 Silver Lane (assessed to Jody Futtner as described in another disposition review included herein) could provide street access to the subject property and the City should consider simultaneous action against both lots. As there is no ability to locate the taxpayer, a tax deed sale is recommended.

Attached:

- 1) Assessor Card
- 2) Map of Subject Lot
- 3) Map of 1375 Silver Lane showing encroachment



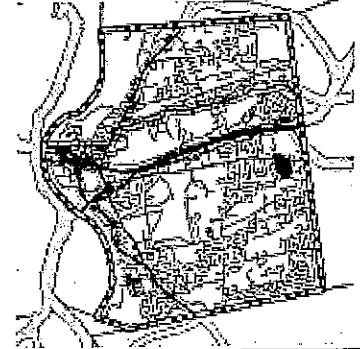
Town of East Hartford Property Summary Report

1259 SILVER LN

MAP LOT:	56-312	CAMA PID:	13111
LOCATION:	1259 SILVER LN		
OWNER NAME:	HEALTHWATCHERS SAFE CARE PLAN INC		



OWNER OF RECORD
 HEALTHWATCHERS SAFE CARE PLAN INC
 85 CARTER AVE EXT
 MERIDEN, CT 06451



LIVING AREA:	null	ZONING:	R2	ACREAGE:	13.49
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SALES HISTORY

OWNER	BOOK / PAGE	SALE DATE	SALE PRICE
HEALTHWATCHERS SAFE CARE PLAN INC	1672/ 254	14-Apr-1997	\$30,055.00
FDIC	1511/ 66	25-Apr-1994	\$120,000.00
EAST HARTFORD NURSERY CORP	1289/ 128	02-Jul-1990	\$120,000.00
HARTZ, GEORGE E., JR. ROBINSON, DOROTHY HARTZ	751/ 173	01-Jan-1900	\$0.00
HARTZ, GEORGE	469/ 331		\$0.00

CURRENT PARCEL ASSESSMENT

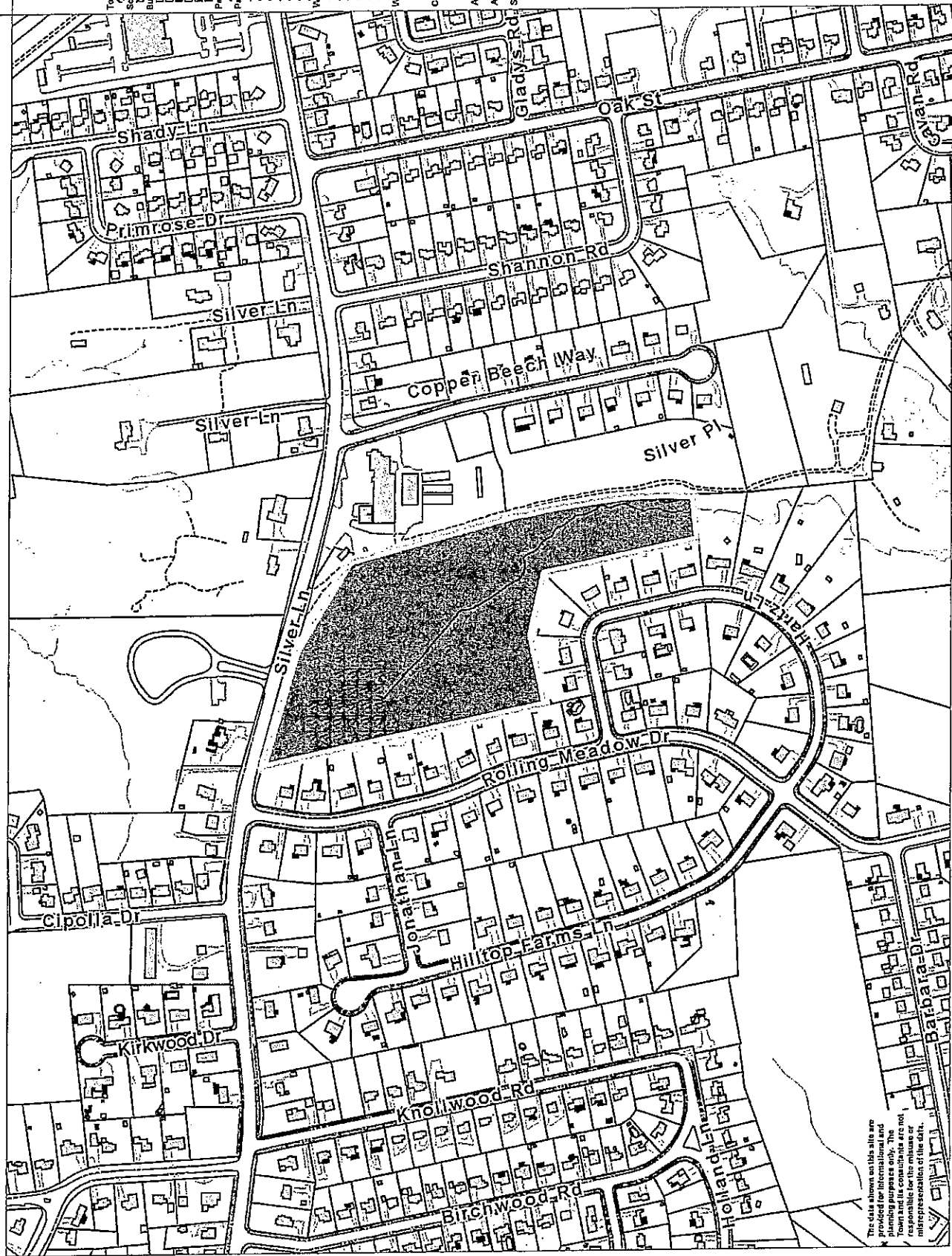
TOTAL:	\$22,560.00	IMPROVEMENTS:	\$0.00	LAND:	\$22,560.00
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ASSESSING HISTORY

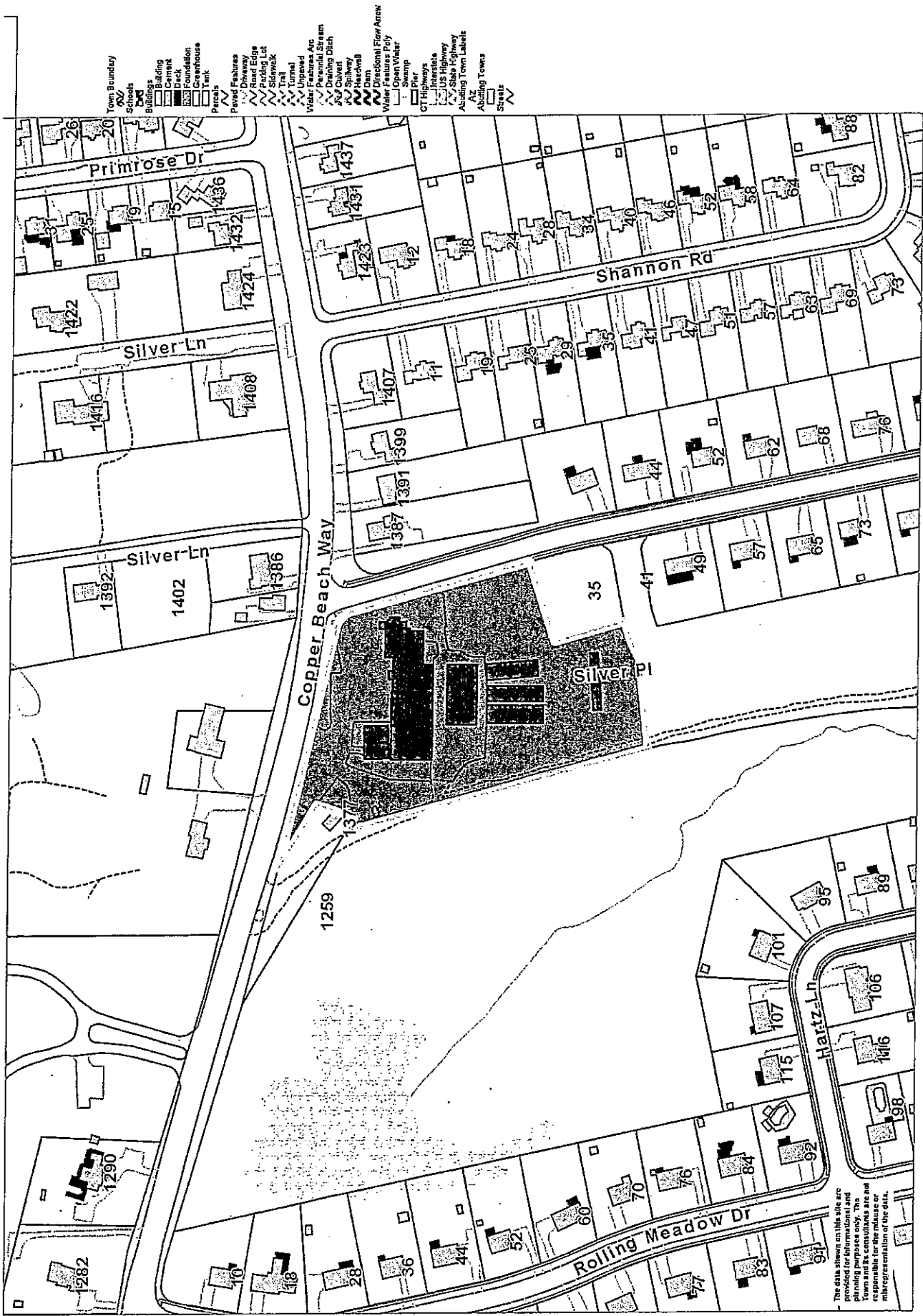
FISCAL YEAR	TOTAL VALUE	IMPROVEMENT VALUE	LAND VALUE
2015	\$22,560.00	\$0.00	\$22,560.00
2014	\$22,560.00	\$0.00	\$22,560.00
2013	\$22,560.00	\$0.00	\$22,560.00
2012	\$22,560.00	\$0.00	\$22,560.00
2011	\$22,560.00	\$0.00	\$22,560.00

75

- Town Boundary
- City
- State
- Building
- Commut
- Deck
- Driveway
- Garagehouse
- Porch
- Prep'd Features
- Prep'd Ditch
- Road Edge
- Parking Lot
- Sidewalk
- Terrace
- Trunk
- Unimproved
- Water Features Arc
- Perennial Stream
- Draining Ditch
- Culvert
- Swamp
- Drum
- Directional Flow Arrow
- Water Features Poly
- Open Water
- Pump
- OT Highways
- Interstate
- US Highway
- State Highway
- Along Town Labels
- Along Towns
- Sheets



The data shown on this site are provided for informational and reference purposes only. Town and its consultants are not responsible for the misuse or misrepresentation of the data.



The data shown on this site are provided for informational and planning purposes only. The town and its computers are not responsible for any errors or misrepresentation of the data.

Inquiry Report TOWN OF EAST HARTFORD Interest Date : 11/01/2016 Page : 1

Bill#	Name	Address	City/State/zip	Flags	MBL/LINK #	Prop Loc/Veh. Info./Plan-Sew	TOT Inst	TOT Adj	L/F/Bint Due	Tax Due	Balance
Unique_id							PAID			Int Due	Due Now
Dist										Discout	
2011-01-0005447-00	FUTTNER JODY ETAL L/U	115 ROYAL OAK CIR	MERIDEN CT 06450		1377 SILVER LN		13.69	0.00	13.69	10.88	48.57
00013126				Lien	66 67		0.00	0.00	24.00	48.57	0.00
2012-01-0005447-00	FUTTNER JODY ETAL L/U	115 ROYAL OAK CIR	MERIDEN CT 06450		1377 SILVER LN		14.05	0.00	14.05	8.64	46.69
00013126				Back Taxes/Lien	66 67		0.00	0.00	24.00	46.69	0.00
2013-01-0005447-00	FUTTNER JODY ETAL L/U	115 ROYAL OAK CIR	MERIDEN CT 06450		1377 SILVER LN		14.53	0.00	14.53	6.32	44.85
00013126				Back Taxes/Lien	66 67		0.00	0.00	24.00	44.85	0.00
2014-01-0005447-00	FUTTNER JODY ETAL L/U	115 ROYAL OAK CIR	MERIDEN CT 06450		1377 SILVER LN		14.68	0.00	14.68	3.74	42.42
00013126				Back Taxes/Lien	66 67		0.00	0.00	24.00	42.42	0.00
2015-01-0005447-00	FUTTNER JODY ETAL L/U	115 ROYAL OAK CIR	MERIDEN CT 06450		1377 SILVER LN		14.68	0.00	14.68	2.00	16.68
00013126				Back Taxes	66 67		0.00	0.00	0.00	16.68	0.00

OF Acct (s) : 5 71.63 71.63 199.21

0.00 0.00 31.58 199.21

0.00 0.00 96.00 0.00

78



TOWN OF EAST HARTFORD OFFICE OF THE MAYOR

DATE: December 6, 2016
TO: Richard F. Kehoe, Chair
FROM: Mayor Marcia A. Leclerc *M*
RE: COMMUNICATION: Sec, 10-10 (b) of our Town Ordinances

Pursuant to Sec, 10-10 (b) of our Town Ordinances, I am forwarding to the Town Council the attached information from our Purchasing Agent on bid opening #17-03 Custodial Services for the East Hartford Town Hall and Public Safety Complex.

The lowest bidder has asked to withdraw due to an error in the rates they had bid with respect to the required union wages. The committee has now chosen to contract with Performance Environmental Services.

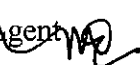
Please place on the Town Council agenda for the December 13, 2016 meeting.

Thank you.

C: T. Bockus, Department of Public Works Director

PURCHASING DEPARTMENT

INTEROFFICE MEMORANDUM

DATE: November 23, 2016
TO: Mayor Marcia A. Leclerc
FROM: Michelle A. Enman, Purchasing Agent 
SUBJECT: Ordinance Sec.10-10(B), notify the Town Council when not accepting lowest bidder.

Please place this item on the Council Agenda that will allow for documentation within the minutes.

DATE OF BID OPENING: 08/31/16

BID # 17-03

BID ITEM:

Custodial Services or the East Hartford Town Hall and Public Safety Complex

BIDDER SUBMITTING LOWEST PRICE:

**S.J. Services Inc.
235 Newberry Street
Danvers, MA 01923**

BIDDER SUBMITTING LOWEST RESPONSIBLE PRICE:

**Performance Environmental Services, LLC
111 Court Street
New Haven, CT 06511**

BASIS OF REJECTION:

Per the attached evaluation by the Public Works Director, Tim Bockus and Facilities Manager, Gregg Verallis, the low responsible bidder has been determined to be Performance Environmental Services based on Sec. 10-10 (a) of the Town of East Hartford Code of Ordinances.

Attachment: Evaluation & Bid Results

C: Mike Walsh, Director of Finance

Enman, Michelle

From: Bockus, Tim
Sent: Monday, November 14, 2016 12:07 PM
To: Enman, Michelle
Cc: Verallis, Gregg; Syble, Al; Walsh, Mike; Gentile, Richard
Subject: FW: Cleaning Contract

Michelle,

The low bidder SJS has asked to withdraw from the bid (see message below). They are claiming an error in estimating with respect to the required union wages at Town Hall and they feel they cannot successfully perform the work at the rates they bid. As we all know, they are currently working in Town Hall and the PSC and they have agreed to assist until such time that we can have the next qualified bidder in place. I've suggested a date of 11/28 which would allow us to have a contract in place.

Seven bids were received for RFP #17-03 on 8/31/16 and reference checks were made of the top three bidders. Since the low bidder SJS is asking to withdraw and the second bidder KeeClean Management, Inc. had horrible references and was deemed unqualified by DPW, we recommend moving to bidder #3 Performance Environmental Services. Gregg Verallis has contacted them to determine their availability and willingness to honor their 8/31 bid as submitted and they have indicated that they are willing to do so.

Pleased proceed with award to Performance Environmental Services with a target start date of 11/28/16.

Thank you,
Tim

Tim Bockus
Director of Public Works



Town of East Hartford
740 Main Street
East Hartford, CT 06108

Phone (860)291-7372
tbockus@easthartfordct.gov

From: David J. Shea [<mailto:dshea@sj-services.com>]
Sent: Monday, November 14, 2016 11:43 AM
To: Bockus, Tim
Subject: Cleaning Contract

Hi Tim,

Thank you for speaking to me about our cleaning contract. Due to an error in estimating, SJS is respectfully requesting to withdraw from this contract.

We would withdraw in an orderly fashion so that there is a smooth transition to another contractor. Whatever schedule works you and your team is fine. You mentioned that it could possibly on November 28 and that date is fine or any other date if that works better for East Hartford.

We are disappointed in this occurring as all of your staff have been a pleasure to work with and have been very professional.

As we discussed, it is our hope that this withdrawal can be done in an amicable manner. Wishing you all the best.

Thanks you.

David

David J. Shea
President
S.J. Services Inc.



Danvers, MA Hartford, CT Manchester, NH

MEMORANDUM

To: Tim Bockus, DPW

From: Gregory Verallis, Facilities Manager

Re: Custodial Bid Recommendation

Date: 9/27/2016

The three lowest bids received for the custodial services bid, have been reviewed and the following recommendations are made:

Lowest Bidder: S J Services, Danvers MA; **Accept and Recommend.**

Based on our research which consisted of review of their references, site visits to several of their accounts, and an interview of their management. I found them to be a viable contractor which fulfilled the requirements of the bid and I expect can fulfill the requirements of the contract.

Second Lowest Bidder: KeeClean Management Inc, Shelton CT; **Do Not Accept.**

Based on our research which consisted of review of their references and a site visit to a former account, I discovered the quality of their services was unacceptable to their clients. Based on this information I make my recommendation.

Third Lowest Bidder: Performance Environmental Services LLC, New Haven Ct; **Recommend**

Based on results and performance of their contract with the Town of East Hartford over the last ten years I find the quality and workmanship of their services to be acceptable.

Enman, Michelle

From: Bockus, Tim
Sent: Tuesday, September 27, 2016 3:30 PM
To: Enman, Michelle
Cc: Walsh, Mike
Subject: FW: Custodial bid recommendation 2016.docx
Attachments: Custodail bid recommendation 2016.docx

Michelle,
Gregg and Al have performed an evaluation of the submitted bids to include reference checks, interviews, and site inspections of current work. Attached are their recommendations for your file.

I concur with their recommendation to award the bid to S J Services of Danvers, MA.

Thank you,
Tim

Tim Bockus
Director of Public Works



Town of East Hartford
740 Main Street
East Hartford, CT 06108

Phone (860)291-7372
tbockus@easthartfordct.gov


From: Verallis, Gregg
Sent: Tuesday, September 27, 2016 2:22 PM
To: Bockus, Tim
Cc: Syble, Al
Subject: Custodial bid recommendation 2016.docx

Tim,
Attached is the custodial bid recommendation.

GV



TOWN OF EAST HARTFORD OFFICE OF THE MAYOR

DATE: December 6, 2016
TO: Richard F. Kehoe, Chair
FROM: Mayor Marcia A. Leclerc 
RE: CONTRACT AUTHORIZATION

As part of RFQ #12-01 the Department of Public Works has chosen GEI Consultants, Inc. to provide professional services for the Rehabilitation for the Town's Flood Protection System - Professional Design Services.

Attached is detailed information as it relates to funding and Connecticut Department of Energy and Environmental Protection (DEEP) requirements of the Town's Flood Protection System. This contract will allow the Town to enter into a professional services contract in the amount of \$39,519 with GEI Consultants, Inc.

Please place on the Town Council agenda for the December 13, 2016 meeting.

Thank you.

C: T. Bockus, Department of Public Works Director

MEMORANDUM

TO: Mayor Marcia A. Leclerc

FROM: Tim Bockus, Public Works Director



DATE: November 30, 2016

**RE: Referral to Council
Flood Protection System Rehabilitation Project
Contract Authorization – CT DEEP Dam Safety – Inundation Map Development
- CT DEP Pump Station Air Quality Compliance –
“Permit by Rule”**

Attached is a request for the Town Council to approve funding for professional services to ensure the Town’s Flood Protection System (System) meets the current Connecticut Department Energy and Environmental Protection (CT DEEP) regulations related to air quality compliance and the updated dam safety regulations.

State of Connecticut Air Quality Compliance

The stormwater pump facilities for the System consist of a total of 9 diesel powered engines utilized to run 8 pumps and 1 backup electrical generator. Public Works with the assistance of GEI Consultants determined that the current engines are not subject to Federal air quality reporting. It was determined that the Town’s engines are covered by the State of Connecticut’s CT DEEP Permit-by-Rule regulations. GEI Consultants will assist the Town in the development of the appropriate registration, record keeping and reporting system associated with permit-by-rule requirements.

Cost of the State Air Quality Compliance – Permit by Rule \$ 5,306

Inundation Map Development

The Connecticut dam safety regulations were modified in 2016. The current regulations require the development of an Emergency Action Plan for various dams and flood protection systems throughout the State. The Emergency Action Plans ensure that the appropriate emergency management response and plan is in place in the event of a catastrophic failure of the levee system or dam. Both the Federal and State governments are in the process of modifying their levee safety philosophy from strict inspection based methodology to a risk based approach. The management of risk including the reduction of risk associated with life safety will be utilized as components of the operation and maintenance of all flood protection systems. It is expected that the United States Army Corps of Engineers (USACE) will implement this approach over the next few years.

Public Works has been working with Emergency Management to coordinate the Town’s existing Emergency Operation Plan and the Levee System’s Operation & Maintenance Plan with the

State's requirements for the System's Emergency Action Plan (EAP). Inundation mapping based on a catastrophic failure of the System is a component of the EAP. The inundation mapping will be based on two hypothetical failure scenarios of the System and will identify the area of inundation located behind the levee based on the 500 year (0.2 annual percent chance) flood event. The mapping will identify the impacts to significant facilities, roadways, excavation routes, emergency shelters, etc. Public Works anticipates that the mapping will benefit the Town's public safety agencies in the event of a significant flood event of the Connecticut River. The deadline for the submission of the proposed EAP and inundation mapping is February 2017.

Cost of the Inundation Map Development

\$ 34,213

The professional services for both Tasks will be provided by GEI Consultants, Inc. as part RFQ #12-01 for the Rehabilitation of the Town's Flood Protection System – Professional Design Services.

Please request that these items be placed on the upcoming Town Council agenda. Town Council action is required to authorize the Town to enter into the professional services contracts in the amount of \$39,519 for the two project initiatives noted above.

PW transmittal for authorization



Geotechnical
Environmental
Water Resources
Ecological

November 1, 2016

Mr. Nick Casparino, PE
Town of East Hartford
740 Main Street
East Hartford, CT 06108

Dear Mr. Casparino:

**Re: Pump Station Air Compliance
Engine/Generator Permitting Review & "Permit by Rule" Applicability**

Thank you for the opportunity to provide this proposal for a permitting assessment of the Town's flood control pump stations. The Town of East Hartford currently maintains a total of nine diesel engines/generators at the three pumping stations in the East Hartford flood control system. This consists of eight diesel engine powered pumps and one diesel powered generator. The three pumping stations are:

- Cherry Street Pumping Station (2 pump engines)
- Pitkin Street Pumping Station (2 pump engines)
- Meadow Hill Pumping Station (4 pump engines plus 1 generator)

For this project GEI plans to subcontract a portion of the work to the firm of Fuss & O'Neill, Inc., who has considerable experience with the air permitting issues for flood control pump stations, specifically in Connecticut. Together we will evaluate and render a professional opinion about each the station's permitting status using information contained in GEI's RICE report on the engines/generators dated April 26, 2016. This will include additional guidance regarding the applicable air permitting and regulatory requirements for the generators, known specifically as the "Permit by Rule" category of compliance. We have assumed that a site visit is not required.

The evaluation will include a review of the current engine/generator operations, and will include substantiation of Department of Energy and Environmental Protection (DEEP) standards necessary to render an opinion that would confirm that the engines/generators can be considered as "emergency" equipment. The engines/generators will be evaluated in accordance with applicable state and federal regulations. Based on the manufacture date of the engines/generators this will include 40 CFR 63 Subpart ZZZZ – National Emission Standards for Hazardous Air Pollutants (NESHAP) for Stationary Reciprocating Internal Combustion Engines (RICE). The evaluation will include calculating the potential air emissions of the engines/generators noted above.

Based on a review of available information, and specific regulations for Connecticut, we believe that these engines/generators are likely covered under the DEEP's Permit-by-Rule regulations and, as such, do not need to be registered under the general permit known as the General Permit to Limit the Potential to Emit (GPLPE). The primary advantage in qualifying under the Permit by Rule category is reduced registration costs, and greatly simplified record keeping and reporting requirements for the Town in the future.

Pump Station Air Compliance
Engine/Generator Permitting Review & "Permit by Rule" Applicability

In order to complete the evaluation, actual fuel usage for each engine is not required. Rather, the criteria is based on the *potential* to emit based on hours of run time, and the engine age and specifications.

Following the evaluation we will prepare a memorandum summarizing our opinion about the air permitting options and regulatory requirements for the engines/generators, which will include a confirming opinion about whether the engines fall under the Permit by Rule criteria. We will look at each of the three stations separately and will provide an opinion about each station's individual status with regard to the Permit by Rule applicability.

In addition to the opinion memoranda noted above, we will also develop and provide the Town with appropriate tracking forms that can be used to assist with air quality compliance record keeping, including engine run times and other pertinent information. The tracking forms will be tailored to each station separately to fit the specific engine configurations present.

As an additional service, we will also provide a brief training session on the use of the forms and the Permit by Rule parameters which will be geared toward the Town's operations staff. We propose to conduct one training session of up to 2 hours in length, during normal business hours, which will cover general background of the Permit by Rule criteria, maintaining the tracking forms, and overall guidance on pump station air compliance issues.

We propose to conduct the above services for the lump sum fee schedule noted below:

• Task 1: Provide Opinion Memoranda about Permit by Rule and Develop Tracking Forms	\$3,450
• <u>Task 2: Develop Training Outline and Provide On Site Training</u>	<u>\$1,856</u>
Total Lump Sum Fee Proposal	\$5,306

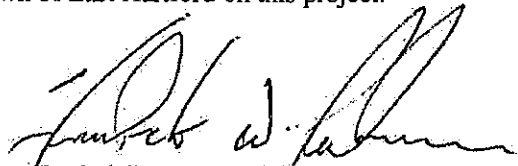
We anticipate initiating this project within one week of authorization. We will provide a summary memorandum within approximately three weeks of authorization, assuming all data required for the review is contained in GEI's previous RICE report.

Thanks once again for the opportunity to serve the Town of East Hartford on this project.

Sincerely,



John McGrane, P.E.
Project Manager



Frederick Johnson, LEP
Senior Vice President



August 15, 2016

John McGrane, P.E.
Project Manager
GEI Consultants, Inc.
455 Winding Brook Drive, Suite 201
Glastonbury, CT 06033

RE: Proposal for Engine/Generator Permitting Review
Three Stormwater Pumping Stations in East Hartford, CT

Dear Mr. McGrane:

Thank you for soliciting a proposal for our services for the review of a permitting assessment for the eight existing diesel engines and one generator currently operating at the stormwater pumping stations for the Town of East Hartford, Connecticut flood control system. Our scope of services, schedule, and fees are provided below.

Scope of Services

The Town of East Hartford currently maintains a total of nine diesel engines/generators at the three pumping stations in the East Hartford flood control system. The three pumping stations are:

- Cherry Street Pumping Station
- Pitkin Street Pumping Station
- Meadow Hill Pumping Station

We understand that GEI Consultants, Inc. (GEI) desires our services to review the GEI summary report on the engines/generators dated April 26, 2016 and provide additional guidance regarding the applicable air permitting and regulatory requirements for the generators.

Our evaluation will include a review of the current engine/generator operations including discussions with the Department of Energy and Environmental Protection (DEEP) to confirm that the engines/generators can be considered as “emergency” equipment. The engines/generators will be evaluated in accordance with applicable county, state and federal regulations. Based on the manufacture date of the engines/generators this will include 40 CFR 63 Subpart ZZZZ – National Emission Standards for Hazardous Air Pollutants (NESHAP) for Stationary Reciprocating Internal Combustion Engines (RICE). Our evaluation will include calculating the potential air emissions of the engines/generators.

146 Hartford Road
Manchester, CT
06040

t 860.646.2469
800.286.2469
f 860.533.5143

www.fando.com

Connecticut
Massachusetts
Rhode Island
South Carolina



FUSS & O'NEILL

John McGrane, P.E.

August 15, 2016

Page 2

Based on a preliminary review of available information, we feel that these engines/generators may be covered under the DEEP Permit-by-Rule regulations and as such may not need to be permitted.

However, if based on our evaluation, we determine that air permitting such as a DEEP New Source Review (NSR) Permit and/or a General Permit to Limit the Potential to Emit (GPLPE) is required, we will provide an estimate of the anticipated costs.

Fuss & O'Neill will prepare a memorandum summarizing our review and the air permitting options and regulatory requirements for the engines/generators. We have assumed that a site visit is not required.

Schedule

We anticipate initiating this project within one week of authorization. We will provide GEI with a summary memorandum within two to three weeks of authorization assuming any additional data required for the review will be readily available.

Lump Sum Fees

Fuss & O'Neill proposes to provide these professional services on a lump sum basis for a fee of \$1,900.

The attached terms and conditions of our previous agreement dated July 8, 2015 will also apply to the services described above. Receipt of a signed copy of this proposal or issuance of a purchase order referencing this proposal will serve to authorize the work outlined in the Scope of Services.

Thank you for requesting engineering service from Fuss & O'Neill. We look forward to working with you on this project.

Sincerely,

Neil P. Hickey, P.E.
Project Manager

Adam M. Barbash, P.E., CHMM
Vice President



Consulting Revised November 17, 2016
Engineers and October 10, 2016
Scientists Proposal 1610668

Mr. Nick Casparino, P.E.
Town Engineer
The Town of East Hartford
740 Main Street
East Hartford, CT 06108

Dear Mr. Casparino:

**Re: Proposal for Engineering Services
 Levee Inundation Mapping
 East Hartford Flood Control System
 East Hartford, Connecticut**

GEI Consultants, Inc. appreciates the opportunity to submit this proposal to provide engineering services to develop flood inundation mapping as a result of hypothetical levee failure at the East Hartford Flood Control System. We base this proposal on our understanding of the Connecticut dam regulations and our experience performing work of this nature.

In 2013 Connecticut's dam safety statutes were modified to require owners of Class C High Hazard dams to prepare Emergency Action Plans (EAPs). "Dams" in Connecticut are defined as barriers capable of impounding or controlling the flow of water including the flood control structures and levees such as those that serve as an integral part of East Hartford Flood Control System. A Class C dam is a high hazard potential dam which, if it were to fail, would result in probable loss of life, major damage to property, utilities, and roadways, and great economic loss. The regulations indicate the EAP and inundation maps must be submitted to the Connecticut Department of Energy & Environmental Protection (CT DEEP) Dam Safety division by February 3, 2017.

The Town's existing Emergency Operations Plan and levee Operation & Maintenance (O&M) manual may satisfy certain requirements of the EAP. We understand the Town is currently discussing the requirements of the EAP with CT DEEP and whether the existing plans are adequate. However, a requirement of the EAP that is not covered in the Town's existing emergency plan and O&M Manual is an analysis of hypothetical levee breach and inundation mapping.

The purpose of this scope of work is to perform levee failure analysis, flood wave routing, and inundation mapping for the levee system.

Scope of Service

We propose the following scope of service:

1. Data Compilation and Review: We will research available digital elevation model (DEM) data for the region and download the highest resolution terrain data that is readily available. We will review topographic features on the DEM and other available online sources such as USGS topographic mapping in the area of the levee system and select up to two locations for assumed levee failure. Based on our initial review and understanding of the levee system, we anticipate one location for an assumed breach is north of the Bulkeley Bridge (also referred to as the Hartford Bridge) and one location is south of the Founder's Bridge.

We have budgeted for a day in the field to verify or supplement the DEM data at critical connection (bridge crossing, etc.).

2. Inundation Mapping based on Levee Failure: GEI will use the DEM compiled in Task 1 above to develop a model of the flood zone for the two proposed levee failure locations. GEI will perform the evaluation using the U.S. Army Corps of Engineers (USACE) Hydrologic Engineering Center - River Analysis System (HEC-RAS) software, Version 5.0.3 (2016). To guide our analysis and develop inundation maps we will use Chapter II of the Federal Energy Regulatory Commission (FERC, August 2015) Engineering Guidelines and the FEMA Federal Guidelines for Dam Safety (FEMA 64, July 2013).

We will evaluate the wet weather scenario at the two proposed breach locations. The initial water surface elevations will be input as the FEMA 500-yr (0.02% annual chance) river water surface elevations at the proposed breach locations. We will assume the breach occurs through a piping type of failure at the approximate levee foundation. The characteristics of the breach (size, development time, etc.) will be developed as part of our analysis.

We understand the levee crest has about at least 2 feet of freeboard for the 500-year flood condition and consistently greater than 3 feet along the area of interest for this study. Based on this understanding, we have not included levee overtopping as a failure method in our analysis.

Based on our failure analysis, we will prepare flood inundation maps using ArcGIS (Version 10.3.1) for each proposed failure location. The inundation maps will include:

- Breach location
- Timeline of flooding
- Maximum Depth of flooding (2-ft contours)
- Pertinent Features (bridges, major roads, shelter locations, etc.)

Additionally, we will prepare a table inventory of streets, roads, and highways subject to flooding and associated parcel data for properties on those streets that flood.

We will prepare a summary letter report presenting our methods, analyses, and inundation maps. Our calculations and supporting documentation will be presented as an attachment to our letter report. We have budgeted to provide a draft electronic copy to the Town and, based on your comments, we will provide three final hard copies for the Town's use and for the Town to submit to CT DEEP. In addition to the hardcopies of the final report, we will transmit electronic files of our report, HEC-RAS, and mapping files via our sharefile site. The electronic files for the report will be pdf. The HEC-RAS and mapping files will be based on their corresponding program.

3. CT DEEP Coordination: We anticipate the CT DEEP will review the analysis and provide general feedback regarding the inundation maps and methodology used. We

have budgeted for GEI to coordinate with the CT DEEP during one conference call, and for GEI to make revisions to the maps based on CT DEEP comments.

Project Team

Our proposed team includes John McGrane, P.E. as the Project Manager. Mike Flynn will assist with project coordination. Lissa Robinson, Civil Engineer and Hydrogeologist, will develop the model and perform the hydraulic analysis. Kristen Ponak and Brenda Pinkham will assist the team with DEM data compilation GIS and the preparation of the report.

Assumptions

Our proposal assumes the following in addition to the assumptions described in our scope description above:

- Coordination between GEI and the Town will be primarily via conference calls, and that meetings will not be required.
- Communication with the CTDEEP would happen outside of the schedule identified below (i.e. after submission of the deliverable).
- We will use readily available online terrain data and are assuming that the terrain is hydro-enforced and will not need to be modified to create, for example, openings and culverts beneath bridges.
- For modeling purposes, we will assume the pump stations are not functioning and the levee closure structures are in the closed position.
- We will use the river elevation for the 500-yr flood based on readily available FEMA Flood Insurance Studies (FIS).
- We have not included an evaluation of the 100-yr flood. We have confirmed the use of the 500-yr flood with Art Christian of CTDEEP to meet regulatory requirements.
- Two levee breach models will be developed for the “wet weather” condition, which will be represented with the river at the 500-yr flood elevation.
- No site visits will be required.
- GEI will provide draft submittal in electronic (PDF) format. We will provide three (3) hardcopies of the final submittal. We will provide electronic files for the final report, modelling, and inundation mapping in the corresponding program file format.

Cost

We will perform tasks 1 through 3 from the above scope of service for a lump sum fee of \$34,213. The breakdown of our proposed costs is included in Table 1. Invoices will be submitted monthly based on the estimated percent complete at the end of the billing period.

Schedule

We are prepared to begin work within one week of receiving the notice to proceed (NTP). We anticipate it will take on the order of six weeks to develop the model, prepare draft inundation maps, and submit the draft summary letter to the Town. Upon receiving comments from the Town on the draft report we estimate it will take about one week to finalize the report. We understand submittal is required to CT DEEP by February 3, 2017 and will work with Town toward this submittal schedule provided there are no unforeseen obstacles.

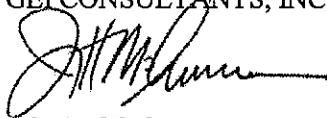
Conditions

Our services will be provided under the Conditions of Engagement previously negotiated with the Town of East Hartford (Attachment A).

Thank you for the opportunity to submit this proposal. We look forward to continuing our work with you on this project. Please call me (860-368-5426) or Michael Flynn (781-721-4055) if you have any questions.

Sincerely,

GEI CONSULTANTS, INC.



John H. McGrane, P.E.

Project Manager

MTF/JHM:mrp

Enclosures

Table 1 – Man-Hour Projection and Cost Estimate

Attachment A – Conditions of Engagement

Attachment B – Certificate of Insurance



Michael Flynn

Project Engineer

IN WITNESS WHEREOFF, the parties hereto have set their hands and seals on the day and year indicated

Witnesses

Witnesses

Signature

Signature

Name

Name

Signature

Signature

Name:

Name

Town of East Hartford

GEI Consultants, Inc.

Signature

Signature

Marcia A. Leclerc

John McGrane

Title

Project Manager

Date

Date

Connecticut Corporate Engineering Practice -- Certificate of Authorization No. 393

Approved by Form by _____
Richard Gentile, Assistant Corporation Counsel

Table 1 - Cost Estimate

Project: Inundation Mapping
 Client: Town of East Hartford
 City/State: East Hartford, Connecticut
 Proposal Number: 1610668
 Date: 10-Oct-16

Task	Estimated Hours										Labor Totals		
	Office CADD	Admin Staff	Engineer 1	Engineer 2	Engineer 3	Engineer 4	Engineer 5	Engineer 6	Engineer 7	Line Item Hours	Task Hours	Line Item Cost	Task Cost
Staff Level Rate	\$117	\$96	\$107	\$117	\$125	\$145	\$171	\$195	\$218				
1 - Data Review and Breach Location Review and Select Locations	8				16		8		8	40	40	\$6,048	\$6,048
2 - Breach Analysis and Inundation Mapping										170			\$26,713
Breach Analysis	20				40		12		40	112		\$18,112	
Inundation Mapping	16				8					24		\$2,872	
Letter Summary	1	2			4		12		8	27		\$4,605	
Respond to TOEH comments		1			2		2		2	7		\$1,124	
3 - CT DEEP Coordination										8			\$1,452
Coordinate with CT DEEP / Respond to Comments						4			4	8		\$1,452	
Total GEI Hours	45	3	0	0	70	4	34	0	62	218			
GEI Labor Subtotal	\$5,265	\$288	\$0	\$0	\$8,750	\$580	\$5,814	\$0	\$13,516			\$34,213	

Total Labor \$34,213
 Total Direct Costs = \$0
 Estim. Total Cost = \$34,213

Attachment A

Conditions of Engagement

CONDITIONS OF ENGAGEMENT

Where referenced below, "Client" is the Town of East Hartford; "GEI" includes GEI Consultants, Inc. and its subcontractors.

1. **CONTRACT.** The Contract is the Proposal, Agreement or other Project document that is signed and dated by GEI Consultants, Inc. (GEI) and is signed and dated or accepted in writing by the Client, and that includes by reference these **Conditions for Engagement**. These Conditions shall apply to any and all subsequent amendments, additions, or modifications to the scope of work performed under this Contract unless specifically agreed in writing by both parties.
2. **COMPENSATION FOR SERVICES AND PAYMENT TERMS.** Client agrees to pay GEI in accordance with the fee schedule and payment terms provided in the Contract. GEI will submit invoices monthly or upon completion of a specified scope of service, as described in the Contract. Payment is due within 30 days after receipt of the invoice.
3. **RIGHT OF ENTRY.** Client agrees to furnish GEI with the right-of-entry to Town Property where GEI will perform its services. GEI's subcontractor will obtain Public Works Permits and post bonds according to the requirements of Addendum 1 of these Terms and Conditions.
4. **UNDERGROUND STRUCTURES.** (Text Deleted)
5. **CONSTRUCTION SERVICES.** If included in the scope of services in the Contract, GEI will provide personnel to observe the specific aspects of construction stated in the Contract and to ascertain that construction is being performed, in general, in accordance with the plans and specifications.
6. **RENEGOTIATION OF CONTRACT FOR PRESENCE OF HAZARDOUS MATERIALS.** This paragraph will not apply if the scope of services for this Contract includes services relating to hazardous waste, oil, asbestos, or other hazardous materials, as defined by federal, state and/or local laws or regulations. If the scope of services does not include such hazardous materials and if such materials are discovered during GEI's work, Client agrees to negotiate appropriate revisions to the scope of services, the budget estimate, and the terms and conditions of the Contract. When such hazardous materials are suspected, GEI will have the option to stop work until a new Contract is reached without financial penalty. If a mutually satisfactory Contract cannot be reached between both parties, the Contract will be terminated. Client agrees to pay GEI for all services rendered.
7. **DISPOSAL OF SAMPLES AND WASTES CONTAINING REGULATED CONTAMINANTS.** In the event that samples collected by GEI or provided by Client or wastes generated as a result of site investigation activities contain or potentially contain substances or constituents which are or may be regulated contaminants as defined by federal, state, or local statutes, regulations, or ordinances, including but not limited to samples or wastes containing hazardous materials, said samples or wastes remain the property of the Client and the Client will have responsibility for them as a generator. If set forth in the Contract, GEI will, at Client's expense, perform necessary testing, and either (a) return said samples and wastes to Client, or (b) using a manifest signed by Client as generator, have said samples and/or wastes transported to a location selected by Client for disposal. Client agrees to pay all costs associated with the storage, transport, and disposal of said samples and/or wastes. Unless otherwise agreed upon in the Contract, GEI will not transport, handle, store or dispose of waste or samples or arrange or subcontract for waste or sample transport, handling, storage, or disposal. Client recognizes and agrees that GEI is working as a bailee and at no time assumes title to said waste or samples or any responsibility as generator of said waste or samples.

8. INSURANCE. GEI will maintain/provide the following:

- A. Comprehensive General Liability Insurance, including Contractual Liability Insurance issued by an insurance company licensed to conduct business in the State of Connecticut with combined single limits of \$1,000,000 per occurrence with a \$2,000,000 aggregate limit. All, if any, deductibles are the sole responsibility of the Engineer to pay and/or indemnify.
- B. Automobile Liability Insurance issued by an insurance company license to conduct business in the State of Connecticut with a combined single limit of \$1,000,000 per occurrence with a \$2,000,000 aggregate limit. All, if any, deductibles are the sole responsibility of the Consultant to pay and/or indemnify.
- C. Professional Liability Insurance: Issued on an occurrence basis; for the term of the contract with a \$1,000,000 Combined Single Limit, or Professional Liability Insurance: Issued on a claims-made basis and extended for two years following completion date, with \$1,000,000 Combined Single Limit.
- D. Workers' Compensation Insurance in accordance with Connecticut State Statues
- E. Certificate of insurance, with the following wording in the comments section, must be forwarded to the Town's Risk Manager within 10 days from notification of award. "The Town of East Hartford is named as an additional insured on the insurance coverage named above for claims arising out of the Consultant's performance of the contract herein."
This provision is required for:
 - 1. Comprehensive General Liability
 - 2. Auto Liability Insurance

9. INDEMNIFICATION AND HOLD HARMLESS. GEI hereby covenants and agrees to and shall, at all times, indemnify, protect and save harmless the Town from and against all costs or expenses resulting from any and all losses, damages, detriment, suits, claims, demands, costs and charges, including reasonable attorney's fees, if any, which the Town may directly or indirectly suffer, sustain or be subjected to, to the extent caused by or resulting from the negligent acts, errors, or omissions or willful misconduct of GEI related to the work to be performed pursuant to this Contract or any activities in connection with said Contract, whether such losses and damages be suffered or sustained by the Town directly or by its employees, licenses or invitees, or be suffered or sustained by other persons or corporations who may seek to hold the Town liable therefore. The existence (or non-existence) of any insurance coverage purchased by GEI shall in no way affect the Town's rights pursuant to the terms hereof.

10. HAZARDOUS MATERIALS. Client agrees that GEI has not contributed to the presence of hazardous wastes, oils, asbestos, biological pollutants such as molds, fungi, spores, bacteria and viruses, and by-products of any such biological organisms, or other hazardous materials that may exist or be discovered in the future at the site. GEI does not assume any liability for the known or unknown presence of such materials. GEI's scope of work does not include the investigation or detection of biological pollutants such as molds, fungi, spores, bacteria and viruses, and by-products of any such biological organisms. Client also agrees to indemnify and hold harmless GEI, its subconsultants, subcontractors, agents, and employees from and against all claims, damages, losses, and costs (including reasonable attorneys' fees) that result from the detection, failure to detect or from the actual, alleged, or threatened discharge, dispersal, release, escape or exposure to any solid, liquid, gaseous or thermal irritant, asbestos in any form, or contaminants including smoke, vapor, soot, fumes, acids, alkalies, chemicals, waste, oil, hazardous materials, or biological pollutants. Client's obligations under this paragraph apply unless such claims, damages, losses, and expenses are caused by GEI's sole negligence or willful misconduct.

11. CONFIDENTIALITY. Unless compelled by law, a governmental agency or authority, or an order of a court of competent jurisdiction, or unless required pursuant to a subpoena deemed by GEI to be duly issued, or unless requested to do so by Client pursuant to the Proposal or otherwise, GEI agrees it will not convey to others any proprietary non-public information, knowledge, data or property relating to the business or affairs of the Client or of any of its affiliates, which is in any way obtained by GEI during its association with the Client. GEI further agrees to strive to limit, to a "need to know" basis, access by its employees to all information referred to above.

12. OWNERSHIP OF DOCUMENTS. Work products produced under this agreement are to become the property of the Town of East Hartford, and be turned over to the Town original documents upon completion or demand.

13. ELECTRONIC FILES. All documents including drawings, data, plans, specifications, reports or other information recorded on or transmitted as Electronic Files are subject to undetectable alteration, either intentional or unintentional, due to transmission, conversion, media degradation, software error, human alteration or other causes.

a. Electronic Files are provided for convenience and informational purposes only and are not a finished product or Contract Document. The actual signed and sealed hardcopy Contract Documents including stamped drawings, together with any addenda or revisions, are and will remain the official copies of all documents. GEI makes no representation regarding the accuracy or completeness of any accompanying Electronic Files. GEI may, at its sole discretion, add wording to this effect on electronic file submissions.

14. SUSPENSION OF WORK. Client may, at any time, by a 10-day written notice, suspend further work by GEI.

a. Client will remain fully liable for and will promptly pay GEI the full amount for all services rendered by GEI to the date of suspension of services, including all retained billings, if applicable

15. DISPUTE RESOLUTION. Both parties agree to submit any claims, disputes, or controversies arising out of or in relation to the interpretation, application, or enforcement of this Contract to non-binding mediation pursuant to the Rules for Commercial Mediation of the American Arbitration Association, as a condition precedent to litigation or any other form of dispute resolution.

16. APPLICABLE LAWS. GEI and its subconsultants agree to conform to all applicable laws and ordinances and statutes of the Federal Government, State of Connecticut, and Town of East Hartford.

Attachment B

Certificate of Insurance



GEICONS-01

DGHIGLIAZZA

CERTIFICATE OF LIABILITY INSURANCEDATE (MM/DD/YYYY)
11/15/2016

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Ames & Gough 859 Willard Street Suite 320 Quincy, MA 02169	CONTACT NAME: PHONE (A/C, No, Ext): (617) 328-6555	FAX (A/C, No): (617) 328-6888
	E-MAIL ADDRESS: boston@amesgough.com	
INSURER(S) AFFORDING COVERAGE		NAIC #
INSURER A : National Union Fire Insurance Company of Pittsburgh, PA		19445
INSURER B : Continental Casualty Company (CNA) A, XV		20443
INSURER C : Steadfast Insurance Company		26387
INSURER D :		
INSURER E :		
INSURER F :		

INSURED

 GEI Consultants, Inc.
 400 Unicorn Park Drive
 Woburn, MA 01801

COVERAGES**CERTIFICATE NUMBER:****REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input checked="" type="checkbox"/> PROJECT <input checked="" type="checkbox"/> LOC OTHER:			5180276	03/01/2016	03/01/2017	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 300,000 MED EXP (Any one person) \$ 25,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMPI/OP AGG \$ 2,000,000 \$
A	<input checked="" type="checkbox"/> AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO OWNED AUTOS ONLY <input checked="" type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS ONLY			2961705	03/01/2016	03/01/2017	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ \$
B	<input checked="" type="checkbox"/> UMBRELLA LIAB <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED RETENTION \$ 0			6011396137	03/01/2016	03/01/2017	EACH OCCURRENCE \$ 1,000,000 AGGREGATE \$ 1,000,000 \$
A	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) <input type="checkbox"/> Y <input checked="" type="checkbox"/> N If yes, describe under DESCRIPTION OF OPERATIONS below		N/A	012016047	03/01/2016	03/01/2017	<input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTHER E.L. EACH ACCIDENT \$ 1,000,000 E.L. DISEASE - EA EMPLOYEE \$ 1,000,000 E.L. DISEASE - POLICY LIMIT \$ 1,000,000
C	Professional Liab			PEC023359500	03/01/2016	03/01/2017	Per Claim 1,000,000
C				PEC023359500	03/01/2016	03/01/2017	Aggregate 1,000,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)
 All coverages are in accordance with the policy terms and conditions.

Project Manager: John H. McGrane, P.E. Project Refer. #Levee Inundation Mapping. GEI Project # 1610668. Mr. Nick Casparino, P.E., Town Engineer


A 30 Day Notice of Cancellation is provided in accordance with the policy terms and conditions.

CERTIFICATE HOLDER**CANCELLATION**

The Town of East Hartford 740 Main Street East Hartford, CT 06108	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE <i>Michael Hestley</i>
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TOWN OF EAST HARTFORD OFFICE OF THE MAYOR

DATE: December 6, 2016
TO: Richard F. Kehoe, Chair
FROM: Mayor Marcia A. Leclerc 
RE: RESOLUTION: Urban Act Grant Application to DECD

In July the State Bond Commission approved \$12 million in state bonds for public infrastructure improvements for the redevelopment of Silver Lane and Rentschler Field Corridor.

Attached is the corresponding draft resolution. Please place this information on the agenda for the December 13, 2015 meeting. I recommend that the Town Council approve this request as submitted and adopt the attached resolution authorizing my signature on documents associated with this grant application.

Thank you.

C: E. Buckheit, Development Director

I, Angela M. Attenello, the duly appointed Clerk of the Town Council of the Town of East Hartford, a corporation organized and existing under the laws of the State of Connecticut, hereby certify that the following is a true copy of a resolution duly adopted at a meeting of the East Hartford Town Council of said corporation, duly held on the 13th day of December, 2016

R E S O L U T I O N

WHEREAS; pursuant to Urban Act C.G.S. 4066c (OPM), the Connecticut Department of Economic and Community Development is authorized to extend financial assistance for economic development projects; and

WHEREAS; it is desirable and in the public interest that the Town of East Hartford make an application to the State for \$12,000,000 in order to undertake the Rentschler Field/Silver Lane Corridor Public Infrastructure Improvement Project and to execute an Assistance Agreement.

NOW THEREFORE LET IT BE RESOLVED; by the Town Council that it is cognizant of the conditions and prerequisites for the state financial assistance imposed by Urban Act C.G.S. 4-66c (OPM). That the filing of an application for State financial assistance by the Town of East Hartford in an amount not to exceed \$12,000,000 is hereby approved and that Mayor Marcia A. Leclerc is directed to execute and file such application with the Connecticut Department of Economic and Community Development, to provide such additional information, to execute such other documents as may be required, to execute an Assistance Agreement with the State of Connecticut for State financial assistance if such an agreement is offered, to execute any amendments, decisions, and revisions thereto, and to act as the authorized representatives of the Town of East Hartford.

AND I DO CERTIFY that the above resolution has not been rescinded or modified in any way whatsoever and is at present in full force and effect.

IN WITNESS WHEREOF, I do hereunto set my hand and affix the corporate seal of said Town of East Hartford the ____ day of December, 2016.

Seal

Signed: _____
Angela M. Attenello, Council Clerk

TOWN COUNCIL RESOLUTION
GRANT INFORMATION FORM

Grant Description: Urban Act Grant application for the Redevelopment of the Silver Lane and Rentschler Field Corridor

Funder: State of CT Dept. of Economic and Community Development (DECD)

Grant Amount: \$12 million

Frequency: One time Annual Biennial Other _____

First year received:	<u>Not applicable</u>		
Last 3 years received:	_____	_____	_____
Funding level by year:	\$ _____	\$ _____	\$ _____

Is a local match required? Yes No

If yes, how much? Not applicable

From which account? Not applicable

Grant purpose: Funding for public infrastructure improvements for the redevelopment of the Silver Lane and Rentschler Field Corridor.

Results achieved: Improvements to the public infrastructure in the Silver Lane and Rentschler Field Corridor

Duration of grant: To be determined

Status of application: Drafted

Meeting attendee: Development Director Eileen Buckheit, x7303

Comments: Copy of application and related exhibits attached

GRANTS ADMINISTRATION
MEMORANDUM

TO: Mayor Marcia A. Leclerc

FROM: Paul O'Sullivan, Grants Manager

SUBJECT: Council Resolution – Urban Act Grant Application to DECD for the
Redevelopment of the Silver Lane and Rentschler Field Corridor

DATE: December 6, 2016

Attached is a draft resolution authorizing you as Mayor to sign an application to the state Department of Economic and Community Development (DECD) for \$12 million in funding for public infrastructure improvements for the redevelopment of the Silver Lane and Rentschler Field Corridor.

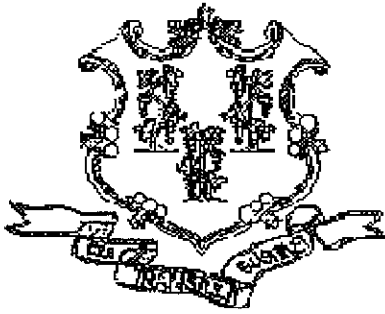
In July, the State Bond Commission approved \$12 million in state bond funds for the Silver Lane and Rentschler Field Corridor Redevelopment Project. A copy of the relevant section of the meeting minutes is attached.

Also attached is a copy of your Office's news release describing the project and the exhibits required as part of the application. These include a list of East Hartford Town Council members, a brief history of the Town and a Project Narrative. Please note that DECD has informed us that the Town does not have to submit the "Required Documents" listed in Section IV on page 3.

I respectfully request that this item be placed on the Town Council agenda for their meeting to be held on December 13, 2016. Please contact me at extension 7206 if you have any questions.

Attachments: as stated

Cc: Eileen Buckheit, Development Director



State of Connecticut

Department of Economic and Community Development

Urban Action Grant Program

Application

Application Instructions

General Description:

This Application is a brief outline to enable the DECD to determine the eligibility and strength of the applicant and/or project to apply for the Urban Action Grant Program. *If the entity submitting this request will not be the final recipient of the funds, please complete the slip sheet entitled "Application for Pass-through".* All information accompanying this Application is confidential and exempt from the Freedom of Information Act.

1. **Applicant Name:** List the full legal name of the applicant for financial assistance.
 2. **Address:** Mailing address where correspondence should be sent. If different from the applicant location, so indicate.
 3. **Contact Person:** If appropriate, include title.
 4. **Project Name:** Full title of project. If unsure of title, check with DECD staff.
 5. **Project Location:** Give the location where financing will be used. The municipality is the jurisdiction to whom property taxes are paid.
 6. **Federal Employer ID # and SIC Code:** Please list both numbers (if applicable.)
 7. **Form of Business/Organization:** Indicate if organization is for-profit, not-for-profit or a municipality. Attach copy of corporate certificate if applicable.
 8. **Ownership:** Indicate form of corporation if applicable. Minority or woman ownership must be 51% to be considered for this status. Minority includes a variety of categories such as racial, ethnic, gender and disability status. Check with DECD staff for confirmation.
 9. **Nature of Business/Organization:** Indicate what type of industry the business/organization is engaged in as well as the Business Activity (section B) and Type of Product or service (section C).
 10. **Gross Sales/Receipts:** Gross/Sales receipts of the organization during the last calendar or fiscal year.
 11. **Ownership and Subsidiaries:** If not practical to list every business owner, include owners holding 10% or more of the organization. If ownership of the recipient of the funds is different from the organization, please list on a separate sheet the owners of the recipient.
 19. **Employment:** Projected employment is the anticipated number of employees in the organization within 2-5 years. Please classify full-time or part-time.
 20. **Required documents:** (for pre-application phase):
 - A. **Business Plan:** Include a copy of the organization's current business plan.
 - B. **Business Financial Statements:** If available, CPA prepared financial statements for the most recent three years with 5 year projections. Otherwise, federal tax returns.
 - C. **Cash Flow:** Please include, as a part of the financial statements, a summary of cash flow covering prior year's operations.
 - D. **Payroll, Sales, Corporate Taxes** paid to Connecticut (past 3 years and projected for 5 years).
 - E. **Personal financial statements** of owners of 10% or more of the company.
 - F. **Schedule of related affiliated companies.**
 - G. If the project involves the purchase of a business, please provide the following:
 - I. **Purchase Agreement or memorandum between the parties.**
 - II. **Current balance sheet of business being acquired.**
 - III. **Appraisal, or estimate of value, of real estate and equipment.**
 21. **Project Narrative:** Describe the project for which funding is being requested (i.e., type of equipment to be purchased, nature of inventory and uses for working capital). For a building, include address, acres of land, building's square feet, and size of any building addition. List any tenants. If project involves refinancing, describe who will be refinanced and the purpose for the loan.
 22. **Assistance Requested:** Under "Amount of Financing Requested" specify amount and nature of assistance. For "Services Requested" identify type of service requested.
 23. **Conventional Financing:** Outline the amount and terms of any funds from conventional sources that are available to fund all, or a portion of the project. If applicable, indicate reasons for denial.
 25. **Public Disclosure:** The DECD is required by law to include in its final approval consideration the extent to which the applicant has included community and employee participation, *unless* this question is answered "Yes", and an explanation is provided.
-



SECTION I

APPLICANT IDENTIFICATION

- 1. Applicant's Full Legal Name: Town of East Hartford
- 2. Applicant Mayor Marcia A. Leclerc
- 3. Contact Person: Eileen Buckheit
Telephone: 860-291-7303 Fax: _____
- 4. Project Name: Silver Lane Revitalization and Rentschler Field Development
- 5. Project Location: Rentschler Field Municipality: East Hartford
- 6. Federal Employer Identification # 066001989 SIC Code: N/A

SECTION II

APPLICANT INFORMATION

- 7. Form of Organization (attach copy of corporate certificate)
 - Private for Profit
 - Municipality
 - Non-Profit 501(c)3
 - Other
 - Other non-profit

- 8. Form of Ownership
 - Corporation
 - Partnership
 - Proprietorship
 - Sub-Chapter "S" corp.
 - Other

Date acquired/Established 1783 State where created: CT
 Minority Owned N/A Woman Owned N/A
 (Minority as defined in §32-9e sub-section 3 of Connecticut General Statutes)

- 9. Nature of Business/Organization
 - A. Industry
 - Manufacturer
 - Retailer
 - Wholesaler
 - Service
 - Construction
 - Finance, Insurance or Real Estate
 - Other (Please describe) Municipal Services
 - B. Business Activity (e.g. research and development, production, headquarters, etc.)
Municipal Services
 - C. Type of product or service (e.g. pharmaceuticals, computer software, etc.)
Municipal Services

10. Gross Sales/Receipts/Revenues

Total Sales Receipts N/A Approximate % sales in CT N/A
 Approximate % sales outside of N/A Approximate % sales outside of US N/A

11. Ownership and subsidiaries:

Please attach as Exhibit "A" a list of the names, titles, and percent of ownership of all stockholders. If there are more than ten stockholders, list only those with 10% or more ownership. Also list all business organizations, including but not limited to, corporations, partnerships, limited partnerships, sole proprietors, trusts and syndications which are subsidiaries or affiliates of the Applicant along with their address and the nature of their interest or connection. If the Applicant is a subsidiary or affiliate, then list the owning or holding organization and all subsidiaries or affiliates. If there are none, please so indicate.

See Exhibit A: Town Council of East Hartford Members

12. Business/Organization History

Please provide a brief description of the business/organization's history and attach. If the organization is non-profit, please state your organization's purpose.

See Exhibit B: History of East Hartford

SECTION III FINANCIAL INFORMATION

13. Unpaid Taxes (List any below)

	Type	Amount	Past Due	Payment Terms
Federal	None			
State	None			
Local	None			

14. Are there any outstanding, pending or anticipated claims or litigation against your business or organization?

Yes (If yes, please attach explanation) No

There are no known actions or claims against the Town concerning the described project. With respect to other pending litigation or known claims against the Town, none will materially impact the Town's ability to perform its obligations with respect to this grant.

15. Have you ever personally declared bankruptcy or been an officer of a business or organization where bankruptcy has been declared?

Yes (If yes, please attach explanation) No

16. Have you ever received prior State financing for this project?

Yes DECD CDA CII

Amount \$1,000,000 Date 2007
 Program Connecticut Environmental Policy Act/Urban Act Grant

17. Environmental Compliance

A. Has any state, including Connecticut, federal administrative agency or federal court issued any order or entered any judgement to the business/organization concerning a violation of any environmental law? If yes, please include the type of enforcement action, date, jurisdiction, order/case/docket number and description of violation.

Not to our knowledge

B. Is there any property transfer filing pending with the DEP? If yes, attach the applicable forms and responsible party's obligations.

No.

C. Is there any Environmental Site Assessment (ESA) conducted by any party on this site, i.e., Phase I, II or III ESA? If yes, please enclose a copy.

Yes. State DECD has copies of the reports completed during the Environmental Impact Evaluation (EIE) of the site.

18. OSHA Compliance

Do you have any outstanding orders from the federal Occupational Safety and Health Administration? If yes, please describe on an additional sheet and give the name, address and telephone number of the individual handling your case.

No

19. Employment (Full-time employment is a minimum of 35 hours per week as reported to the Department of Labor)

Present Employment Town of East Hartford		Projected Employment by end of two years		Projected Employment by end of five years	
Full time:	484	Full time	Same	Full time	Same
Part time:	123	Part time:	Same	Part time:	Same
Total:	607	Total:	Same	Total:	Same

Of the present employment listed above, how many would be lost if the State did not provide the proposed funding?

Project is a key part of the Rentschler Field Development Master Plan.

SECTION IV

PROJECT INFORMATION

20. Required Documents (Please refer to the instruction page)

- A. Business/Strategic Plan
- B. Financial statements of the Business/Organization (includes notes and projection)
- C. Cash Flow Summary for prior year
- D. Payroll, Sales, Corporate Taxes Paid to CT (past 3 years, projected for 5 years)
- E. Personal financial statement(s) (owners of 10% or more of company)
- F. Schedule of related affiliated companies
- G. Information regarding a business acquisition

21. Project Narrative

Please attach a brief project description including use of funds and complete the Project Plan and Budget included with this package.

See **Exhibit C: Project Narrative**

22. Assistance Requested

Amount of financial assistance \$12,000,000

Services Requested: None

23. Conventional Financing

Please describe on an additional sheet what steps, if any, you have taken to obtain financing from conventional sources.

See Exhibit D: Conventional Financing

24. Security /Collateral for DECD State Financial Assistance (check appropriate):

Real Property Corporate Guarantee Machinery and Equipment
 Personal Guarantee Not Required Other

25. Public Disclosure

Will informing the municipality and employee representatives of the proposed request for financial assistance prior to DECD/CDA's final approval be considered a disclosure of confidential or proprietary information or trade secret?

Yes (If yes, please attach an explanation) No

Certification by Applicant

It is hereby represented by the undersigned, that to the best of my knowledge and belief no information or data contained in the application, the financial statements or in the attachments are in any way false or incorrect and that no material information has been omitted. The undersigned agrees that banks, credit agencies, the Connecticut Department of Labor, the Connecticut Department of Revenue Services, the Connecticut Department of Environmental Protection, and other references are hereby authorized now, or anytime in the future, to give the Department of Economic and Community Development any and all information in connection with matters referred to in this application, including information concerning the payment of taxes by the applicant. In addition, the undersigned agrees that any funds provided pursuant to this application will be utilized exclusively for the purposes represented in this application, as may be amended. The undersigned understands that the Department of Economic and Community Development's agreement to review this application is in no way a commitment to provide funding. Such a commitment can be provided only following the approval of the application by the Department and the State Bond Commission and the execution of a contract between the applicant and the State of Connecticut. As such, any funds expended by the applicant prior to these approvals will be done so entirely at the risk of the applicant.

Please be sure to include the additional attachments required.

Signature _____ Title Mayor Date _____

Return to:
DEPARTMENT OF ECONOMIC AND COMMUNITY DEVELOPMENT
505 Hudson Street
Hartford, CT 06106
Phone (860) 270-8419
Fax (860) 270-8157



This application should be completed by the business/organization that will pass Urban Action Grant funds onto another entity.

1. Name Town of East Hartford

2. Address 740 Main Street
East Hartford, CT Zip Code 06108

3. Contact Person Eileen Buckheit
 Telephone: 860-291-7303 Fax: _____

4. Project Name Silver Lane & Rentschler Field Corridor Municipality East Hartford
Redevelopment

5. Project Location Silver Lane & Rentschler Field Corridor

6. Federal Employer Identification # 066001989 SIC Code: N/A

7. Form of Organization

- Municipality
- Non-Profit 501(c) 3
- Other Non-Profit
- Other

Date Established _____
 Where created _____

8. Have you received prior state financing for this project?

No
 Yes DECD _____ CDA _____ CII

Amount \$ \$1,000,000 Date 2007
 Program Connecticut Environmental Policy Act/Urban Act Grant

SCHEDULE C - Silver Lane Revitalization & Rentschler Field Development



CONNECTICUT DEPARTMENT OF ECONOMIC AND COMMUNITY DEVELOPMENT			
Project Financing Plan & Budget - Urban Act Grant			
Original (X):		X	Revision#:
Applicant: Town of East Hartford	Fed ID#:		06-6001989
Project: Silver Lane Revitalization & Rentschler Field Development	Project #:		
Program: Urban Act Grants	Budget Start:	Budget End:	

SOURCES OF FUNDS	DECD		NON-DECD	TOTAL
	GRANT	LOAN		
DECD: (Urban Act Grant)	\$ 12,000,000			\$ 12,000,000
DECD: Program 2				\$ -
Other: Applicant, Private, Bank, Fed., Local etc.				\$ -
Other: Applicant, Private, Bank, Fed., Local etc.				\$ -
Other: Applicant, Private, Bank, Fed., Local etc.				\$ -
Total Sources	\$ 12,000,000	\$ -	\$ -	\$ 12,000,000

USES OF FUNDS	DECD FUNDS		NON-DECD FUNDS	TOTAL
	PROGRAM #1	PROGRAM #2		
DECD Legal Costs	\$ 5,000.00		\$ -	\$ 5,000.00
Land Acquisition (including appraisals & legal)				\$ -
Relocation (only if approved)*				\$ -
Planning Studies (pre-dev work, CEPA, historic etc.)				\$ -
Haz. Building Material Survey (asbestos, lead, etc.)				\$ -
Env. Site Assessment (Ph. I,II,III, RAP etc.)				\$ -
Design/Architectural/Engineering Work				\$ -
Env. Remediation (soil, groundwater etc.)				\$ -
Abatement (lead, asbestos, PCBs etc.)				\$ -
Demolition				\$ -
Construction Admin./Management	\$ 600,000.00			\$ 600,000.00
Gen.Const./Rehab (permit, mtl.-test. insurance etc.)	\$ 11,395,000.00			\$ 11,395,000.00
Revolving Loan Fund				\$ -
Office/Computer Equipment (only if approved)*				\$ -
Machinery & Equipment (only if approved)*				\$ -
Salaries (only if approved - complete Sched. A)*				\$ -
Other Administration Costs (only if approved)*				\$ -
Other - please include DECD line item & code* / **				\$ -
Contingency- (only budgetary, no charge to line item)				\$ -
Total Uses	\$ 12,000,000.00	\$ -	\$ -	\$ 12,000,000.00

*Note: These line items are not eligible for funding through most DECD programs unless specifically approved by the State Bond Commission or is an approved use under the Funding Program. Please discuss with DECD PM regarding eligibility. Additional schedules may be requested.

Applicant Name: **Town of East Hartford**
 I request approval of this Project Financing Plan and Budget in accordance with the terms and conditions of the Assistance Agreement and as the duly authorized individual representing the applicant, affirm that the project will be operated in accordance with this budget:

Marcia A. Leclerc, Mayor _____
Date

The Project Financing Plan and Budget is hereby approved in the amounts and for the time period indicated.
 (Please Note: Budget revisions only require the Unit Director's signature):

 Director/Executive Director/CD Director, DECD _____
Date

Date

MARCIA A. LECLERC
MAYOR



Exhibit A: Town Council Membership

Phone: 860 291-7364
Fax: 860 289-8394

**East Hartford
Town Council Members
Terms End 11/2017**

Rich Kehoe, Chair
8 Knollwood Rd

Bill Horan, Vice Chair
25 Rustic Lane

Linda A. Russo, Majority Leader
235 East River Drive

Patricia Harmon
49 Roxbury Road

Ram Aberasturia
132 Langford Lane

Joseph Carlson
1392 Silver Lane

Marc Weinberg
514 Silver Lane

Esther Clarke, Minority Leader
197 Langford Lane

Michael Kurker
38 Prasser Drive

MARCIA A. LECLERC
MAYOR

TOWN OF EAST HARTFORD

Phone: 860 291-7364
Fax: 860 289-8394

East Hartford, Connecticut 06108



History of East Hartford

The part of the land known as East Hartford was once inhabited by the Podunk Indians, in 1635 the town saw its first permanent colonists when Thomas Hooker and his followers came from Cambridge, Massachusetts to found Hartford. The east side of the Connecticut River was at that time part of Hartford. Initially settled about 1640, early settlers included William Goodwin, Thomas Burnham and William Pitkin.

The first petition by residents to establish a separate Town apart from Hartford was rejected by the General Assembly in 1726. Several more petitions were submitted between that year and 1783, when the Assembly at last gave its approval to the incorporation of East Hartford. The Town then received its Charter from the State of Connecticut on the land area taken from the City of Hartford.

Today, the Town of East Hartford is governed by a strong Mayor form of government. The Charter empowers the Mayor to govern the Town in cooperation with an elected nine-member Town Council and Town Treasurer. The Chairman of the Town Council is also the Deputy Mayor, and his powers include the power to approve and adopt the Annual Budget, the power to enact ordinances, the power to fix penalties and fines, and the powers of subpoena and investigation.

MARCIA A. LECLERC
MAYOR

TOWN OF EAST HARTFORD

740 Main Street
East Hartford, Connecticut 06108



Exhibit C: Project Narrative

Phone: 860 291-7364
Fax: 860 289-8394

Silver Lane Revitalization and Rentschler Field Development Project Narrative

The ultimate goal of this project is to leverage public infrastructure improvements to develop a solid basis for renewed economic growth in the Silver Lane area.

The Silver Lane corridor, which includes the 400-acre Rentschler Field complex, has seen erosion in its retail base over the past twenty years. Building upon successes including the UConn football stadium, Cabela's, the construction of the new world headquarters for Pratt & Whitney and expansion of the United Technology Research Center, this funding will give added strength to the effort to bring positive development to this key area of East Hartford.

The town has been working with United Technologies Corporation for over ten years to assist with the development of a mixed-use project on an area of Rentschler Field located to the south of the UConn football stadium and Cabela's. The build-out is part of a 2006 Rentschler Field Master Plan which includes retail, housing and entertainment venues. Chicago developer Horizon Group Properties has broken ground on the 425,000-square-foot Outlet Shoppes at Rentschler Field, set to open in 2017. The area's retail and entertainment venues will be a strong compliment to Hartford's Front Street area, convention center, science museum and the UConn football stadium.

This project also takes advantage of other planning efforts underway in the Silver Lane corridor. The Town of East Hartford was recently awarded a Brownfield Area-Wide Revitalization grant from the Department of Economic and Community Development to study many aspects of the Silver Lane corridor including market studies, zoning regulations, full-build-out scenarios, and others. In addition, the Capitol Region Council of Governments is conducting a transportation study of the same area to determine where and what type of traffic and safety improvements should be implemented.

MARCIA A. LECLERC
MAYOR

TOWN OF EAST HARTFORD

Phone: 860 291-7364
Fax: 860 289-8394

740 Main Street
East Hartford, Connecticut 06108



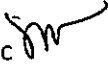
Silver Lane Revitalization and Rentschler Field Development Conventional Financing

Hartford Outlet Shoppes, LLC has an executed loan term and conditions sheet with US Bank for The Outlet Shoppes at Rentschler Field. US Bank is performing its due diligence review of the project and providing loan documents which transaction closing should be completed by the end of the 2016\ beginning of 2017. The Outlet Shoppes at Rentschler Field will be the tenth Outlet Shoppes development which US Bank has provided construction financing to the owners

CBL Properties will be joint venture partner of Horizon Group for The Outlet Shoppes at Rentschler Field. CBL has developed four Outlet Shoppes projects with Horizon Group totaling 1.4million square feet, and five expansions comprising 183,000 square feet. In addition, CBL has invested in two other Horizon outlet centers consisting of 628,000 square feet.



TOWN OF EAST HARTFORD OFFICE OF THE MAYOR

DATE: December 6, 2016
TO: Richard F. Kehoe, Chair
FROM: Mayor Marcia A. Leclerc 
RE: RESOLUTION: DEEP CT Recreational Trails Program

The Town of East Hartford has an opportunity to apply for funding as it becomes available through the state Department of Energy and Environmental Protection (DEEP) under the 2017-18 Recreational Trails Grant Program.

The Town intends to use the grant for repair/construction along the Hockanum linear Trail entrance near Town Hall.

Please place this information on the agenda for the December 13, 2015 meeting. I recommend that the Town Council approve this request as submitted and adopt the attached resolution authorizing my signature on documents associated with this program.

Thank you.

C: P. O'Sullivan, Grants Manager
E. Buckheit, Development Director
W. Perez, Assistant Fire Chief

I, Angela M. Attenello, Clerk of the Town Council of the Town of East Hartford, a corporation organized and existing under the laws of the State of Connecticut, hereby certify that the following is a true copy of a Resolution adopted at a meeting of the Town Council of said corporation, duly held on the 13th day of December, 2016.

WHEREAS, the CT Dept. of Energy and Environmental Protection (DEEP), has made funding available under the 2017 Recreational Trails Grants Program; and

WHEREAS, Recreational Trails Program funds may be requested for uses including maintenance and restoration of existing trails; and

WHEREAS, a section of the boardwalk that makes up the Hockanum Linear Trail near Town Hall requires significant repair,

NOW THEREFORE LET IT BE RESOLVED; that Marcia A. Leclerc, Mayor of the Town of East Hartford, is authorized to make application to, and execute and approve on behalf of this corporation, any and all documents, contracts, and amendments as may be required under the Recreational Trails Grants Program.

AND I DO CERTIFY that the above resolution has not been in any way altered, amended, or repealed, and is now in full force and effect.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Town of East Hartford, Connecticut this ____ day of December, 2016.

Signed: _____
Angela M. Attenello
Town Council Clerk

seal

TOWN COUNCIL RESOLUTION
GRANT INFORMATION FORM

Grant Description: 2017 Recreational Trails Grants

Funder: CT Dept. of Energy and Environmental Protection (DEEP)

Grant Amount: Maximum of \$200,000

Frequency: One time Annual Biennial Other _____

First year received:	<u>N/A</u>		
Last 3 years received:	_____	_____	_____
Funding level by year:	\$_____	\$_____	\$_____

Is a local match required? Yes No

If yes, how much? 20 percent of project cost

From which account? To the extent practicable, matching funds will be provided as in-kind services. If these are not sufficient, funding will be sought under the 2016-17 Capital Improvement Plan

Grant purpose: Connecticut Recreational Trails Program funds may be requested for uses including:
Planning, design and construction of new trails.
Maintenance and restoration of existing trails.
Access to trails by persons with disabilities.

Results achieved: Funds will be sought to repair/reconstruct a section of the boardwalk on the Hockanum River Trail near Town Hall.

Duration of grant: To be determined

Status of application: Under development

Meeting attendee: Public Works Director Timothy Bockus, x7372

Comments: It is uncertain at this time if there will be 2017-18 state funds available for this program. The purpose of this application is to get this work on the list of eligible projects should funds be made available. DEEP has indicated that it may make partial awards to fund smaller parts of projects, where it makes sense to do so.

GRANTS ADMINISTRATION
MEMORANDUM

TO: Mayor Marcia A. Leclerc
FROM: Paul O'Sullivan, Grants Manager *PMO*
SUBJECT: Council Resolution – DEEP CT Recreational Trails Program
DATE: December 6, 2016

Attached is a draft resolution and supporting materials authorizing you as Mayor to apply for funding from the state Department of Energy and Environmental Protection (DEEP) under the 2017-18 Recreational Trails Grant Program.

Connecticut Recreational Trails Program funds may be requested for a variety of uses including the planning, design and construction of new trails, maintenance and restoration of existing trails and access to trails by persons with disabilities.

If successful in this application, the Town intends to use these funds for the repair and/or reconstruction of a section of the boardwalk of the Hockanum Liner Trail entrance near Town Hall.

Please note that DEEP does not know if there will be funds available for this grant round. The purpose of this application is to get on the list of possible projects so that, if funds are made available, this project will be among those eligible for selection.

I respectfully request that this item be placed on the Town Council agenda for their meeting to be held on December 13, 2016. Please contact me at extension 7206 if you have any questions.

Attachments: as stated

Cc: Eileen Buckheit, Development Director
Timothy Bockus, Public Works Director



Department of ENERGY & ENVIRONMENTAL PROTECTION

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ENERGY ENVIRONMENTAL QUALITY NATURAL RESOURCES OUTDOOR RECREATION PURA

Outdoor Recreation

- Boating
- Fishing
- Hunting & Trapping
- State Parks & Forests
- Camping
- Other Activities
- Outdoor Recreation Main Page
- Main Menu



Connecticut Recreational Trails



Connecticut has over 4000 miles of trails and bike paths that crisscross some of the state's most picturesque terrain. There's bound to be a trail near you.

Funding Information - Our 2017-18 Grant Round is now open!

The Connecticut Department of Energy and Environmental Protection (DEEP) is accepting proposals for Connecticut's Recreational Trails Program Grants. Applications will be accepted through December 15, 2016. Pending availability of funds during 2017-2018, grants may be made to any private nonprofit organizations, municipalities, state departments and tribal governments. Grant amounts vary.

Connecticut Recreational Trails Program funds may be requested for uses including:

- Planning, design and construction of new trails (motorized and non-motorized).
- Maintenance and restoration of existing trails (motorized and non-motorized).
- Access to trails by persons with disabilities.
- Purchase and lease of trail construction and maintenance equipment.
- Acquisition of land or easements for a trail, or for trail corridors.
- Operation of educational programs to promote safety and environmental protection as related to recreational trails.

Recreational Trails Program Grant Application: Word version; PDF

Contact Laurie Giannotti, Trails & Greenways Program Coordinator by phone (860-424-3578) or email with any questions.





**Connecticut Department of
Energy & Environmental Protection**
Bureau of Outdoor Recreation
State Parks & Public Outreach Division

Connecticut Recreational Trails Program Grant Application Information

(For any State funds that may become available in 2017-18)

Deadline for Submission is December 15, 2016

Eligible Applicants: Eligible sponsors include private organizations; municipalities; federal, state and regional agencies and other government entities such as tribal.

Eligible Uses: Grants to be used for planning/design, trail corridor acquisition, construction, construction administration, maintenance equipment, amenities and publications/outreach related to bikeways, multi-use trails (including motorized) and water trails (blueways).

Guidelines: The CT Department of Energy and Environmental Protection (DEEP) staff and its advisory committee The CT Greenways Council review proposals based upon the following criteria:

Point Value	Project Attribute
15	This is a project that is noted in <u>DEEP's Recreational Trails Plan</u>
15	This project will connect to and extend trail(s) on state owned land.
10	This project is included in a local and/or regional plan.
10	This project will be located in more than one town or provide a link to one or more towns.
15	This is the Next Phase of a project previously completed and funded by CT Recreational Trails Program (CRTP)
5	This project is part of an alternative transportation plan (bike ped, etc)
15	This project is part of a CT Greenways Council designated greenway.
5	This project is receiving funding from other State or Federal agencies.
5	This project incorporates a Safe Routes to School program
5	This project serves an urbanized area
10	Pedestrian Use (hiking, running, xc skiing, snowshoe) (scoring based upon SCORP)
8	Biking (scoring based upon SCORP)
6	Motorized Use (scoring based upon SCORP)
8	Equestrian Use (scoring based upon SCORP)
15	Adequate Maintenance Plan
15	Statewide support demonstrated through letters
10	Regional support demonstrated through letters
5	Local support demonstrated through letters
10	Public meetings held regarding trail development or land acquisition
10	Sponsorship from local or regional group, agency or organization
Educational Projects	
15	Statewide audience
10	or Regional audience
8	or Local audience
5	Public/non-profit involvement in outreach and maintenance of program
5	Public/non-profit endorsement and involvement in creation of program
5	Need demonstrated
5	Effectiveness will be demonstrated

Connecticut Recreational Trails Program Grant Application

Grant Making Process: The following outlines the general grant making process. Once program funds have been secured by DEEP, the process can take up to 6 months or more; please plan accordingly. The grant requires a 20% match which can be accrued up to 18 months prior to your contract document finalization. Match can be provided as cash or in-kind services.

1. You will receive an email or letter acknowledging receipt of your application.
2. Applications will be assessed for eligibility and given a score according to the program guidelines on page 1 of this application.
3. The program's Advisory Committee will advise DEEP on scores and ultimate rankings.
4. A short list of projects recommended for potential funding will be created. Applicants on this short list will be contacted and will be required to provide the following relevant items:
 - a. Copies of permits obtained and time-frames for necessary, but still outstanding permits (Part III, Item 1);
 - b. Copies of relevant excerpts of local and/or regional plan documents that reference your project (Part III, Item 3);
 - c. Evidence of public participation, such as public notices, news releases, public surveys, minutes and news articles (Part III, Item 6);
5. A final list of applications to be funded will be generated. You will be notified by DEEP via email that our contracting process has begun. You must not begin any project work that you intend to be reimbursed for prior to your receipt of a DEEP authorized contract number.

Submission and Deadline: Proposals must be received by **December 15, 2016**.

- a. Email to laurie.giannotti@ct.gov

OR

- b. Mail reports **on a CD** or other electronic storage device as appropriate to:

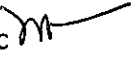
Laurie Giannotti, Trails & Greenways Program Coordinator
Department of Energy and Environmental Protection
79 Elm Street
Hartford, CT 06106-5127

OR

- c. If you must send a paper proposal, include color maps and send to the above address.



TOWN OF EAST HARTFORD OFFICE OF THE MAYOR

DATE: December 6, 2016
TO: Richard F. Kehoe, Chair
FROM: Mayor Marcia A. Leclerc 
RE: RESOLUTION: Homeland Security Grant Program

The Town of East Hartford is once again eligible for funding under the Homeland Security Grant Program (HSGP) through the of the State of Connecticut Department of Emergency Services & Public Protection (DESSP), Division of Emergency Management and Homeland Security (DEMHS).

The program provides funding to the Town of East Hartford and the Capital Region Council of Governments (CROG) to support emergency management and homeland security projects and programs. The Town has participated in this program since 2003.

Please place this information on the agenda for the December 13, 2015 meeting. I recommend that the Town Council approve this request as submitted and adopt the attached resolution authorizing my signature on documents associated with this program

Thank you.

C: P. O'Sullivan, Grants Manager
E. Buckheit, Development Director
W. Perez, Assistant Fire Chief

RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF EAST HARTFORD, CT.

I, Angela M. Attenello, the duly appointed Clerk of the Town Council of the Town of East Hartford, a corporation organized and existing under the laws of the State of Connecticut, do hereby certify that the following is a true and correct copy of a resolution adopted by the East Hartford Town Council of said corporation, at its duly called and held meeting on December 13, 2016, at which a quorum was present and acting throughout, and that the resolution has not been modified, rescinded, or revoked and is at present in full force and effect:

RESOLVED: that the Town of East Hartford may enter into with and deliver to the State of Connecticut Department of Emergency Services and Public Protection, including the Division of Emergency Management and Homeland Security any and all documents which it deems to be necessary or appropriate for the Federal Fiscal Year 2016 Homeland Security Grant Program; and

FURTHER RESOLVED that Marcia A. Leclerc, Mayor of the Town of East Hartford, is authorized and directed to execute and deliver any and all documents on behalf of the Town of East Hartford and to do and perform all acts and things which she deems to be necessary or appropriate to carry out the terms of such documents, including, but not limited to, executing and delivering all agreements and documents contemplated by such documents.


The undersigned further certifies that Marcia A. Leclerc now holds the office of Mayor and that she has held that office since January 10, 2011.

IN WITNESS WHEREOF, I do hereunto set my hand and affixed the corporate seal of said Town of East Hartford this ____ day of December, 2016.

Angela M. Attenello
Town Council Clerk

seal

GRANTS ADMINISTRATION
MEMORANDUM

TO: Mayor Marcia A. Leclerc
FROM: Paul O'Sullivan, Grants Manager 
SUBJECT: Council Resolution – FFY 2016 Homeland Security Grant Program
DATE: December 2, 2016

Attached is a draft resolution authorizing you to sign documents to be submitted to the state Department of Emergency Services and Public Protection (DESPP), Division of Emergency Management and Homeland Security (DEMHS), related to the Federal Fiscal Year 2016 State Homeland Security Grant Program (HSGP).

The Town of East Hartford is again eligible to participate in annual grant opportunities from the federal government under the HSGP through CT DESPP/DEMHS. A resolution must be passed by the Town Council authorizing you to sign any grant documents for submission to DEMHS.

Participating with these programs will allow the Town of East Hartford and the Capitol Region Council of Governments (CRCOG) to receive Federal funds to support emergency management and homeland security projects and programs that benefit the Town.

The HSGP helps fulfill one of the core missions of the Department of Homeland Security by enhancing the country's ability to prepare for, prevent, respond to and recover from potential attacks and other hazards. The Town has participated in this program since its inception.

I respectfully request that this item be placed on the Town Council agenda for their meeting to be held on December 13, 2016. Please contact me at extension 7206 if you have any questions.

Attachments: as stated

Cc: Eileen Buckheit, Development Director
William Perez, Assistant Fire Chief



FEMA

Fiscal Year 2016 Homeland Security Grant Program

The Homeland Security Grant Program (HSGP) plays an important role in the implementation of the National Preparedness System by supporting the building, sustainment, and delivery of core capabilities essential to achieving the National Preparedness Goal (the Goal) of a secure and resilient Nation. The building, sustainment, and delivery of these core capabilities require the combined effort of the whole community, rather than the exclusive effort of any single organization or level of government. The HSGP supports efforts to build and sustain core capabilities across the five mission areas of Prevention, Protection, Mitigation, Response, and Recovery based on allowable costs.

DESPP Set-Aside Projects

- a. Expand Regional Collaboration;
- b. Connecticut Intelligence Center/Fusion Center/Critical Infrastructure;
- c. Chemical, Biological, Radiological, Nuclear, and Explosives (CBRNE) Detection;
- d. National Incident Management System (NIMS)/ Incident Command System (ICS) Training and Exercise;
- e. Metropolitan Medical Response System;
- f. Citizen Corps. Program; and
- g. Medical Preparation and Response

TOWN COUNCIL RESOLUTION
GRANT INFORMATION FORM

Grant Description: Federal Fiscal Year 2016 State Homeland Security Grant Program

Funder: CT Department of Emergency Services and Public Protection (DESPP)

Grant Amount: To be determined

Frequency: One time Annual Biennial Other _____

First year received:	<u>2003</u>		
Last 3 years received:	<u>2015</u>	<u>2014</u>	<u>2013</u>
Funding level by year:	<u>\$N/A</u>	<u>\$N/A</u>	<u>\$N/A</u>

Is a local match required? Yes No

If yes, how much? Not applicable

From which account? Not applicable

Grant purpose: The resolution authorizes the Mayor to execute a **Memorandum of Agreement (MOA)** with DESPP and the Capitol Region Council of Governments (CRCOG) regarding the use of Federal Homeland Security Grant funds to support regional emergency management efforts.

Results achieved: MOA serves to provide a coordinated and integrated program of emergency management and homeland security with state and regional entities.

Duration of grant: One year


Status of application: Under development

Meeting attendee: Assistant Fire Chief William Perez, (860) 291-7401

Comments: Essentially, these grant funds are divided into two streams. Under the first, larger stream, the Town becomes eligible to participate in seven set-aside projects **chosen by DESPP** to be funded by the grant (list of projects attached). Under the second, smaller stream, the allocation of funds to towns is decided on a regional basis **by CRCOG** and a regional emergency planning team. The allocation of the smaller stream of funds has yet to be determined.



TOWN OF EAST HARTFORD OFFICE OF THE MAYOR

DATE: December 6, 2016
TO: Richard F. Kehoe, Chair
FROM: Mayor Marcia A. Leclerc 
RE: RESOLUTION: Local Prevention Council Grant

The Town is once again eligible to apply for funding through the Local Regional Action Council-East of the River Action for Substance Abuse Elimination (ERASE). This grant program facilitates the development of alcohol, tobacco, and other drug (ATOD) abuse prevention initiatives at the local level with the support of chief elected officials and the community. The specific goal of this grant initiative is to increase public awareness focused on the prevention of ATOD abuse, and to stimulate the development and implementation of local substance abuse prevention activities.

The Town has received this grant on an annual basis since 2003. This year's grant amount of \$7,142 reflects an increase of \$24 from last year. There is no matching requirement for this grant. This annual grant from ERASE will help provide funding to various programs in our community that focus on the prevention of substance use.

Please place this information on the agenda for the December 13, 2016 meeting. I recommend that the Town Council approve this request as submitted by adopting the attached resolution in support thereof.

Thank you.

C: P. O'Sullivan, Grants Manager
E. Buckheit, Development Director
C. Nolen, Youth Services Director

RESOLUTION OF MUNICIPAL LEGISLATIVE BODY

I, Angela M. Attenello, the duly appointed Clerk of the Town Council of the Town of East Hartford, a municipal corporation organized and existing under the laws of the State of Connecticut, hereby certify that the following is a true and correct copy of the Resolutions, duly adopted and ratified by the Town Council of the Town of East Hartford on the 13th of December, 2016.

RESOLVED, that Marcia A. Leclerc Mayor of the Town of East Hartford, is hereby authorized to execute on behalf of this municipality a grant application in an amount not to exceed \$7,142 with the State of Connecticut Department of Mental Health and Addiction Services to support the activities of a local alcohol, tobacco, and other drug abuse Prevention Council, and to execute and file any contracts, amendments or reports as may be required to successfully complete the terms of the grant contract.

BE IT FURTHER RESOLVED that Mayor Marcia A. Leclerc's term of office began on January 10, 2011 and will continue until November 9, 2017. As Mayor, Marcia A. Leclerc serves as the Chief Executive Officer for the Town of East Hartford, and is duly authorized to enter into agreements and contracts on behalf of the Town of East Hartford.

AND I DO FURTHER CERTIFY that the above resolution has not been in any way altered, amended, or repealed, and is now in full force and effect.

IN WITNESS WHEREOF, I do hereunto set my hand and affix the corporate seal of said Town of East Hartford this ____ day of December, 2016.

Angela M. Attenello, Town Council Clerk

Seal

GRANTS ADMINISTRATION
MEMORANDUM

TO: Mayor Marcia A. Leclerc

FROM: Paul O'Sullivan, Grants Manager *POS*

SUBJECT: Council Resolution – 2016-17 Local Prevention Council Grant

DATE: December 2, 2016

Attached is a draft resolution authorizing you as Mayor to apply for the Local Prevention Council Grant for 2016-2017.

East Hartford's Local Prevention Council, through the East Hartford Youth Services, is once again applying for funding from our Local Regional Action Council, East of the River Action for Substance Abuse Elimination (ERASE). The "Local Alcohol, Tobacco and Other Drug Abuse Prevention Council Grant Program" is a one-year initiative to support the activities of local, municipal-based alcohol, tobacco, and other drug (ATOD) abuse prevention.

This grant program facilitates the development of ATOD abuse prevention initiatives at the local level with the support of chief elected officials and the community. The specific goal of this grant initiative is to increase public awareness focused on the prevention of ATOD abuse, and to stimulate the development and implementation of local substance abuse prevention activities.

This grant from ERASE for \$7,142 (an increase of \$26.00 from last year) will help provide funding to various programs in the community that focus on the prevention of substance use by children & youth. The various programs that are nominated will help to reach over 2,500 East Hartford youth and their families.

My records indicate that the Town has received this grant annually since at least 2003.

I respectfully request that this item be placed on the Town Council agenda for their meeting to be held on December 13, 2016. Please contact me at extension 7206 if you have any questions.

Attachments (2)

Cc: Eileen Buckheit, Development Director
Cephus Nolen Jr., Youth Services Director

TOWN COUNCIL RESOLUTION
GRANT INFORMATION FORM

Grant Description: 2016-2017 Local Youth Prevention Council Grant

Funder: Connecticut Department of Mental Health and Addiction Services

Grant Amount: \$7,142

Frequency: One time Annual Biennial Other _____

First year received:	<u>2003*</u>		
Last 3 years received:	<u>2016</u>	<u>2015</u>	<u>2014</u>
Funding level by year:	<u>\$7,116</u>	<u>\$5,675</u>	<u>\$5,675</u>

Is a local match required? Yes No

If yes, how much? Not applicable

From which account? Not applicable

Grant purpose: Grant facilitates the development of local, municipal-based alcohol, tobacco, and other drug (ATOD) abuse prevention initiatives aimed at youth at the local level with the support of chief elected officials and the community.

Results achieved: Grant provides funding to various programs in the community that focus on the prevention of substance use by children & youth. The various programs that are nominated will help to reach over 2,500 East Hartford youth and their families.

Duration of grant: One year

Status of application: Drafted, ready to be submitted

Meeting attendee: Youth Services Director Cephus Nolen, x7181

Comments: *Grants Office records show applications for this grant go back to 2003. The Town may have applied for/received the grant earlier.

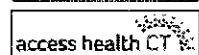
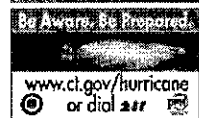
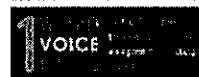
dmhas Department of MENTAL HEALTH & ADDICTION SERVICES

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- Programs & Services
- Finding Services
- Prevention Services
- Problem Gambling
- Advocacy & Support
- Agency Directories

Language Assistance



DMHAS Prevention and Health Promotion Unit

Local Prevention Councils

Purpose: This initiative supports 150 plus local, municipal-based alcohol, tobacco and other drug (ATOD) abuse prevention councils. The intent of this grant program is to facilitate the development of ATOD abuse prevention initiatives at the local level with the support of the Chief Elected Officials. The specific goals of Local Prevention Councils (LPCs) are to increase public awareness of ATOD prevention and stimulate the development and implementation of local prevention activities primarily focused on youth.

Funded Programs: 150 plus Local municipalities and town councils throughout the state.

Target Populations: Universal targets in selected communities in the 169 cities and towns throughout Connecticut.


Strategy Type: LPC programs utilize at least two of the six CSAP identified prevention strategies (information dissemination, education, community-based processes, alternative programming, environmental, and program identification and referral) in their community programs.

/ Prevention Unit /

Content Last Modified on 8/19/2010 10:01:23 AM



TOWN OF EAST HARTFORD OFFICE OF THE MAYOR

DATE: December 1, 2016
TO: Richard F. Kehoe, Chair
FROM: Mayor Marcia A. Leclerc 
RE: Refund of Taxes

I recommend that the Town Council approve a total refund of taxes in the amount of \$7612.95 as detailed in the attached listing from our Assistant Collector of Revenue.

Please place on the Town Council agenda for the December 13, 2016 Town Council meeting.

Cc: I. Laurenza, Tax Collector
M. Walsh, Finance Director

INTEROFFICE MEMORANDUM

TO: MARCIA A LECLERC, MAYOR ✓
MICHAEL WALSH, DIRECTOR OF FINANCE

FROM: KRISTY FORAN, ASSISTANT COLLECTOR OF REVENUE



SUBJECT: REFUND OF TAXES

DATE: 11/30/2016

Under the provisions of Section 12-129 of the Connecticut General Statutes, the following persons are entitled to the refunds as requested. The total amount to be refunded is \$7,612.95. Please see attached listing.

Bill	Name	Address	City/State/Zip	Prop Loc/Vehicle Info.	Int Paid	Over Paid
2015-03-0050025	A CAR LEASING LTD	PO BOX 1990	FORT WORTH, TX 76101	2015/1GYS4NKJ9FR707306	0	-969.40
2015-03-0051383	ANOSIKE EZEIBE C	1629 S PRAIRIE AVE APT 1004	CHICAGO, IL 60616	2007/WVWFR71K87W254986	0	-35.78
2015-03-0052714	BASKERVILLE LOIS	61 GREENLAWN ST	EAST HARTFORD, CT 06108-2952	2002/KNAFB16122S077305	0	-21.79
2014-03-0055467	CAPOBIANCO ROCCO	17 ARAWAK DR	E HARTFORD, CT 06118-2532	2005/2FMZAS22058A70132	0	-150.15
2015-03-0055575	CARINI ROBERT J	314 COOL SPRINGS BLVD STE 218	FRANKLIN, TN 37067-6245	2003/KMHWF35H53A835191	0	-16.50
2015-03-0057146	COLLIBEE KIMBERLY T	113 WINDING LN	EAST HARTFORD, CT 06118-3231	1998/4T1BF28K9WU062289	0	-5.11
2014-03-0058072	COWAN EQUIPMENT LEASING	4555 HOLLINS FERRY RD	BALTIMORE, MD 21227-4501	2012/3HSDJISIR0CN674837	0	-534.74
2014-03-0058073	COWAN EQUIPMENT LEASING	4555 HOLLINS FERRY RD	BALTIMORE, MD 21227-4501	2012/3HSDJISIR4CN674839	0	-534.74
2014-03-0058074	COWAN EQUIPMENT LEASING	4555 HOLLINS FERRY RD	BALTIMORE, MD 21227-4501	2012/3HSDJISIR0CN665555	0	-357.20
2014-03-0058075	COWAN EQUIPMENT LEASING	4555 HOLLINS FERRY RD	BALTIMORE, MD 21227-4501	2012/3HSDJISIR8CN658143	0	-357.20
2014-03-0058076	COWAN EQUIPMENT LEASING	4555 HOLLINS FERRY RD	BALTIMORE, MD 21227-4501	2012/3HSDJISIR5CN665549	0	-357.20
2014-03-0058077	COWAN EQUIPMENT LEASING	4555 HOLLINS FERRY RD	BALTIMORE, MD 21227-4501	2012/3HSDJISIR2CN665556	0	-534.74
2015-03-0081986	DEJESUS ANGEL	661 CRANE DR	KISSIMMEE, FL 34744-9408	2002/1CAGJ2S322B511016	0	-23.90
2015-03-0060289	DRENNEN NORMA I	37 HERITAGE LN	EAST HARTFORD, CT 06118-3346	1994/1N4BUJ1DXRC245468	0	-18.68
2015-01-0008801	FIDELITY NATIONAL TITLE	111 FOUNDERS PLAZA SUITE 1403	EAST HARTFORD, CT 06108	720 SILVER LN	0	-15.10
2015-03-0063486	GENTILE RICHARD	1871 MAIN ST	EAST HARTFORD, CT 06108-1024	2009/SJGRE48709L058245	0	-32.15
2015-03-0090310	GILLESPIE JENNIFER R	43 BOUNDARY AVE	PROVIDENCE, RI 02909	2005/JTLKT324554008519	0	-48.80
2015-03-0066373	HONDA LEASE TRUST	600 KELLY WAY	HOLYOKE, MA 01040	2013/1HGCR2F83DA214073	0	-44.84
2015-03-0066530	HOPKINS JOSEPH E 3RD	207 SABIN ST APT 59	PUTNAM, CT 06260	2001/1FTRX18W31NB06464	0	-37.00
2015-03-0066538	HORAN LAURELA	25 RUSTIC LN	EAST HARTFORD, CT 06118-3556	2003/4JGAB54E93A391225	0	-5.08
2015-03-0067560	JIMENEZ FORTUNATO T	25 LAWRENCE ST	EAST HARTFORD, CT 06118-1511	1998/1B4H528Y2WF104818	0	-23.79
2015-03-0068038	JP MORGAN CHASE BANK N A	PO BOX 901076 TX1-1300	FORT WORTH, TX 76101-9810	2015/JF1GJAC62FH005976	0	-434.28
2015-03-0068068	JULIEN MIKE S	39 HAMILTON RD APT 2A	EAST HARTFORD, CT 06118-2157	1995/1P3AAA46385F538682	0	-23.31

2015-03-0068744	KISNER DAVID M	525 HILLS ST	EAST HARTFORD, CT 06118-3029	2004/5A3U508S44L000412	0	-1.41
2015-03-0068745	KISNER DAVID M	525 HILLS ST	EAST HARTFORD, CT 06118-3029	2002/1GNEK13Z82R141050	0	-30.41
2015-03-0069827	LAWRENCE STEPHEN L	80 HILLS ST	EAST HARTFORD, CT 06118-2820	2009/3TMLU42NX9M021787	0	-33.00
2015-03-0071675	MARINO ANGEL V	45 GOLD ST	EAST HARTFORD, CT 06118-1115	2000/1FTZR15V4YTA20950	0	-12.54
2015-03-0072042	MARTINEZ LUCIANO JR	51 CHAPEL ST	EAST HARTFORD, CT 06108-3005	2004/2GCEK19N341114928	0	-58.83
2014-03-0075543	NISSAN INFINITI LT	P O BOX 650214	DALLAS, TX 75265-0214	2013/1N4AL3AP0DC173312	0	-45.82
2014-03-0075547	NISSAN INFINITI LT	P O BOX 650214	DALLAS, TX 75265-0214	2011/1N4AA5AP8BC858754	0	-298.55
2015-03-0075142	NISSAN INFINITI LT	P O BOX 650214	DALLAS, TX 75265-0214	2013/1N4AL3AP3DC163583	0	-380.73
2015-03-0075247	NISSAN INFINITI LT	P O BOX 650214	DALLAS, TX 75265-0214	2013/1N4AL3APXDN483312	0	-221.96
2015-03-0075478	NORTEY EMMANUEL	111 JEFFERSON LN	EAST HARTFORD, CT 06118-2110	2004/3N1CB51D14L484293	0	-16.43
2014-03-0076264	ORLOWSKI STANLEY M	110 SENATE BROOK DR	AMSTON, CT 06231	2014/1HGCR3F87EA016068	0	-432.92
2014-03-0076958	PARKER JAY P	76 GOODWIN ST	E HARTFORD, CT 06108-1127	1998/1B3ES47V4WD510793	0	-52.54
2015-03-0078423	PRIGNANO MATTHEW C	252 NH ROUTE 12A	CORNISH, NH 03745-4124	2005/1J8GL58K35W726022	0	-15.32
2015-03-0078424	PRIGNANO MATTHEW C	252 NH ROUTE 12A	CORNISH, NH 03745-4124	2009/JF2SH63679H719850	0	-25.79
2015-03-0079538	RICHARDS-PARNELL A	539 BURNSIDE AVE APT	EAST HARTFORD, CT 06108-3558	2011/1HGCP2F688A136729	0	-5.31
2015-03-0079627	RINEHART MICHAEL J	21 CHENEY LN	EAST HARTFORD, CT 06118-3064	2012/1C4PJMCK3CW106606	0	-135.71
2015-03-0080146	ROBERTS DORESE	1454 SILVER LN	EAST HARTFORD, CT 06118-1335	2000/2B3HD46R9YH441025	0	-5.70
2015-03-0081072	ROSARIO TENNILLE M	114 ARBUTUS ST	EAST HARTFORD, CT 06108-2905	2008/1GYEE637580118652	0	-55.50
1999-03-0081547	SANTIAGO RITA	116 MONTAUK DR	VERNON, CT 06066	1983/1MEBP95F3DZ679039Q	121.66	-168.04
2014-03-0084687	SYKES MANDILYNN	141 TERRACE DR	VERNON, CT 06066	2009/JN8A558V69W182796	0	-57.83
2015-03-0085746	TOYOTA MOTOR CREDIT CORP.	20 COMMERCE WAY #800	WOBURN, MA 01801-1057	2015/4T1BK1FKXFU556931	0	-229.40
2015-03-0085747	TOYOTA MOTOR CREDIT CORP.	20 COMMERCE WAY #800	WOBURN, MA 01801-1057	2012/4T4BF1FK4CR254587	0	-216.34
2015-03-0085819	TOYOTA MOTOR CREDIT CORP.	20 COMMERCE WAY #800	WOBURN, MA 01801-1057	2013/2T3BFREV4DW043046	0	-41.12
2015-02-0040437	UNILEVER UNITED STATES INC	800 SYLVAN AVE	ENGLEWOOD CLIFFS, NJ 07632	VARIOUS	0	-395.59

2015-03-0088753 WIREDU GEORGE 5716 TRELIS ARCH APT 101 VIRGINIA BEACH, VA 23462-1557 2006/2G1WT58K369399479 0 -94.68

TOTAL \$ (7,612.95)

MARCIA A. LECLERC
MAYOR

TOWN OF EAST HARTFORD
Police Department

TELEPHONE
(860) 528-4401

SCOTT M. SANSOM
CHIEF OF POLICE

31 School Street
East Hartford, Connecticut 06108-2638

FAX (860) 289-1249

www.easthartfordct.gov

November 16, 2016

Richard F. Kehoe, Chairman
East Hartford Town Council
740 Main Street
East Hartford, CT 06108

**Re: Outdoor Amusement Permit Application -
"25th Annual Aselton Memorial Snow Dash"**

Dear Chairman Kehoe:

Attached please find a copy of the amusement permit application submitted by **East Hartford Police Department and the East Hartford Parks & Recreation Department by Ted Fravel, its Director**. The applicants seek to conduct a 5K road race (Snow Dash) to be held in the vicinity of the Langford School in East Hartford on **Sunday, January 8, 2017 between the hours of 11 AM and approximately 3 PM**. The use of public streets should occur between the hours of 1:30 PM and should cease by 2:15 PM. The race will begin and end at the Langford School, 61 Alps Drive. The school gymnasium will be used as a staging area and for registration.

Pursuant to Town Ordinance (TO) 5-3, a review of the application was completed by the Directors of the Fire, Health, Parks & Recreation, Public Works Departments and the Offices of the Corporation Counsel and Finance.

The **Offices of Corporation Counsel and Finance** along with the **Fire, Health and Parks & Recreation Departments** approve the application as submitted and state **there are no anticipated costs to their Departments for these events**.

The **Public Works Department** approves the application as submitted and states **the anticipated cost to the Department is \$1,500.00**.

The **Police Department** conducted a review of the application and the following comments/recommendations are made:

- The Police Department can provide police protection for the event. The site is suitable for the outdoor amusement, the expected crowds are of small to moderate size, and the area has sufficient parking available.
- **The anticipated cost to the Department for this event is \$2,448.17**, which includes an *estimated* 2% contractual raise.

Respectfully submitted for your information.

Sincerely,



Scott M. Sansom
Chief of Police

TOWN OF EAST HARTFORD POLICE DEPARTMENT



Marcia A. Leclerc
Mayor

OUTDOOR AMUSEMENT PERMITS
31 SCHOOL STREET
EAST HARTFORD, CT 06108-2638
(860) 528-4401

OUTDOOR AMUSEMENT PERMIT APPLICATION



Scott M. Sansom
Chief of Police

THIS APPLICATION IS DUE NOT LESS THAN 30 DAYS PRIOR TO THE EVENT APPLIED FOR

1. Name of Event:
25th Annual Officer Brian A. Aselton Memorial Snow Dash 5K
2. Date(s) of Event:
Sunday, January 8, 2017
3. Applicant's name, home & work phone numbers, home address, and e-mail address (NOTE: If applicant is a partnership, corporation, limited liability company, club or association give the full legal name of the Applicant) :
Kristine Vincent, Recreation Supervisor
Cell: 860-324-4175, work: 860-291-7160
kvincent@easthartfordct.gov
East Hartford Parks & Recreation Department, 50 Chapman Place
and East Hartford Police Department, 31 School Street are co-sponsors
4. If Applicant is a partnership, corporation, limited liability company , club, or association, list the names of all partners, members, directors and officers AND provide their business address.
East Hartford Parks & Recreation Department
50 Chapman Place,
East Hartford, CT 06108
Ted Fravel: Parks & Recreation Director
5. List the location of the proposed amusement: (Name of facility and address)
Start/Finish Langford School, 61 Alps Drive, Course is on neighborhood streets
6. List the dates and hours of operation for each day (if location changes on a particular day, please list):
Sunday, Jan. 8, 2017. Start 1:30 PM, Registration 11:00 AM, last runner 2:15 P
7. Provide a detailed description of the proposed amusement:
5K road race which utilizes Town streets. Starts and ends at Langford School.
Gym used for staging area and registration. Proceeds benefit Officer Brian Aselton Memorial Scholarship and EHPD Youth Crime Prevention.

8. Will music or other entertainment be provided wholly or partially outdoors?

Yes No

a. If 'YES,' during what days and hours will music or entertainment be provided (note: this is different from hours of operation)?

9. What is the expected age group(s) of participants?

Ages 8 - 80 plus years of age.

10. What is the expected attendance at the proposed amusement:

(If more than one performance, indicate time / day / date and anticipated attendance for each.)

300 runners

11. Provide a detailed description of the proposed amusement's anticipated impact on the surrounding community. Please comment on each topic below:

a. Crowd size impact:

Traffic will be controlled until final runners pass on clockwise loop course

b. Traffic control and flow plan at site & impact on surrounding / supporting streets:

Traffic will be controlled by East Hartford Police Department

c. Parking plan on site & impact on surrounding / supporting streets:

Parking on site at Langford School and on Harvard Drive.

d. Noise impact on neighborhood:

N/A

e. Trash & litter control plan for the amusement site and surrounding community during and immediately after the proposed amusement:

Trash & litter will be maintained by Parks Maintenance personnel.

f. List expected general disruption to neighborhood's normal life and activities:

Course will be marked with portable directional signs by P&R staff on race day

g. Other expected influence on surrounding neighborhood:

Minimal traffic impact. As soon as runners pass, streets will reopen.

12. Provide a detailed plan for the following:

a. Accessibility of amusement site to emergency, police, fire & medical personnel and vehicles:

Course is accessible to emergency personnel.

b. Provisions for notification of proper authorities in the case of an emergency:

Cell phones and two-way radios will be used in the vent of emergencies.

c. Any provision for on-site emergency medical services:

No

d. Crowd control plan:

Crowd will be controlled by EHPD and Parks & Recreation staff.

e. If on town property, the plan for the return of the amusement site to pre-amusement condition:

Parks Maintenance will clean-up outside areas, school custodians inside areas

f. Provision of sanitary facilities:

PLavatoires located inside Langford School.

13. Will food be provided, served, or sold on site:

Pre-packaged food, water and sports drinks will be provided

Food available Yes No AND contact has been made with the East Hartford Health

Department Yes No.

14. Does the proposed amusement involve the sale and/or provision of alcoholic beverages to amusement attendees,

Yes No Alcoholic beverages will be served / provided.

If 'YES', describe, in detail, any and all arrangements and what procedures shall be employed:

- a. For such sale or provision,
- b. To ensure that alcohol is not sold or provided to minors or intoxicated persons.

Check if copy of the liquor permit, as required by State law, is included with application.

15. Include any other information which the applicant deems relevant (ie: time waivers and fee waiver requests should go here):

CGS Sec. 53a-157. False Statement: Class A Misdemeanor.

A person is guilty of False Statement when he intentionally makes a false written statement under oath or pursuant to a form bearing notice, authorized by law, to the effect that false statements made therein are punishable, which he does not believe to be true and which statement is intended to mislead a public servant in the performance of his official duties.

- a. False Statement is a Class A Misdemeanor.
- b. The penalty for a Class A Misdemeanor is imprisonment for a term not to exceed one (1) year, or a fine not to exceed \$1,000, or both a fine and imprisonment.

I declare, under the penalties of False Statement, that the information provided in this application is true and correct to the best of my knowledge:

Theodore Fravel

(Legal Name of Applicant)

Theodore Fravel
(Applicant Signature)

Theodore Fravel

(Printed Name)

10/25/2016

(Date Signed)

Director - Parks & Recreation Dept
(Capacity in which signing)

(Send application electronically to cfrank@easthartfordct.gov)

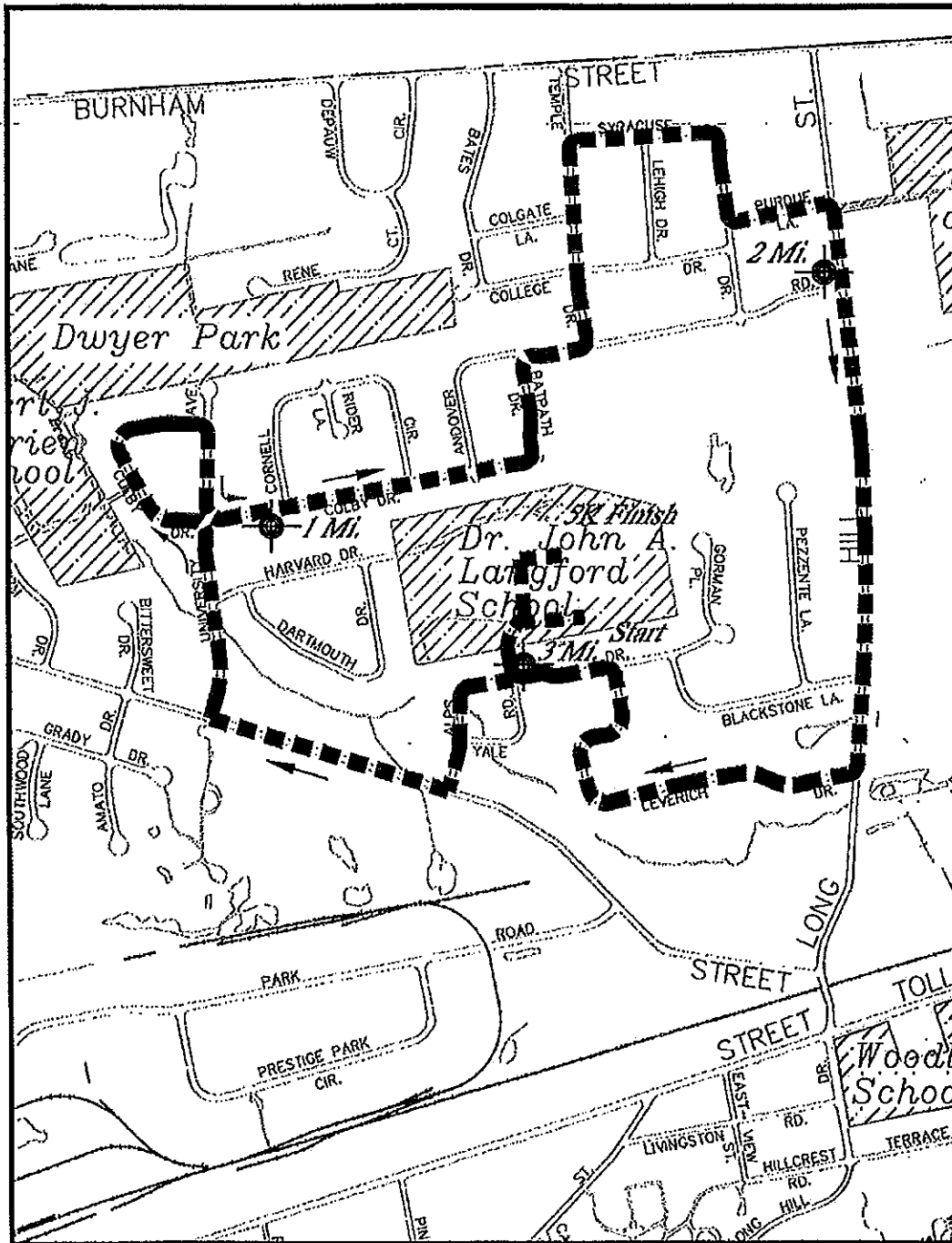
FOR OFFICE USE

Insurance Certificate Included:	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO
Liquor Permit Included:	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO
Certificate of Alcohol Liability Included:	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO <i>3N1A</i>
Time Waiver Request Included:	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO
Fee Waiver Request Included:	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO

Received By: Carmel Steant
Employee Number: 9019
Date & Time Signed: October 28, 2016 7:15 ~~AM~~ PM
Time remaining before event: 930 days.

If roads or sidewalks will be closed to public use as a result of this event the applicant must comply with signage requirements per Section 5-4 and present a signed affidavit attesting to this at the Town Council meeting.

Officer Brian A. Aselton Memorial 5K



Prepared by the East Hartford
Engineering Division 10-21-08.
Scale 1"=800'

Fire Dept



Scott M. Sansom
Chief of Police

TOWN OF EAST HARTFORD
POLICE DEPARTMENT
Outdoor Amusement Permits
31 School Street
East Hartford, CT 06108
(860) 528-4401



Marcia A. Leclerc
Mayor

Administrative Review of Amusement Permit

Event Date: **January 8, 2017**

Event: **25th Annual Aselton Memorial Snow Dash**

Applicant: **East Hartford Police Department and the East Hartford Parks & Recreation Department by Ted Fravel, its Director**

Pursuant to Town Ordinance (TO) 5-3, a review of the application was completed and the following recommendation is made:

- 1. the application be approved as submitted.
- 2. the application be revised, approved subject to the condition(s) set forth in the attached comments.
- 3. the application be disapproved for the reason(s) set forth in the attached comments.

- Fire Department
- Health Department
- Parks & Recreation Department
- Public Works Department
- Corporation Counsel

Anticipated Cost(s) if known \$ _____ 0 _____

William Perez, Assistant Fire Chief
Signature

November 3, 2016
Date

Comments:

Health Dept



Scott M. Sansom
Chief of Police

TOWN OF EAST HARTFORD
POLICE DEPARTMENT
Outdoor Amusement Permits
31 School Street
East Hartford, CT 06108
(860) 528-4401



Marcia A. Leclerc
Mayor

Administrative Review of Amusement Permit

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-
- Fire Department
 - Health Department
 - Parks & Recreation Department
 - Public Works Department
 - Corporation Counsel
- Anticipated Cost(s) if known \$ _____ 0 _____

Michael Rowland
Signature

10/28/16
Date

Comments:



Scott M. Sansom
Chief of Police

TOWN OF EAST HARTFORD
POLICE DEPARTMENT
Outdoor Amusement Permits
31 School Street
East Hartford, CT 06108
(860) 528-4401



Marcia A. Leclerc
Mayor

Administrative Review of Amusement Permit

Event Date: **January 8, 2017**

Event: **25th Annual Aselton Memorial Snow Dash**

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-
- Fire Department
 - Health Department
 - Parks & Recreation Department
 - Public Works Department
 - Corporation Counsel
-
- Anticipated Cost(s) if known \$0.00

Ted Fravel

11/16/2016

Signature

Date

Comments:



Scott M. Sansom
Chief of Police

TOWN OF EAST HARTFORD
POLICE DEPARTMENT
Outdoor Amusement Permits
31 School Street
East Hartford, CT 06108
(860) 528-4401



Marcia A. Leclerc
Mayor

Administrative Review of Amusement Permit

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- Fire Department
- Health Department
- Parks & Recreation Department
- Public Works Department
- Corporation Counsel

Anticipated Cost(s) if known \$ 1,500

Signature T. Fravel Date 10/31/16

Comments:

Frank, Carol

From: Gentile, Richard
Sent: Wednesday, November 09, 2016 4:18 PM
To: Frank, Carol; Fravel, Theodore; Hawkins, Mack
Subject: RE: 25th Annual Brian Aselton Memorial Snow Dash

I have no comments or concerns.

Richard P. Gentile
Assistant Corporation Counsel
Town of East Hartford
740 Main Street
East Hartford, CT 06108
860-291-7217
rpgentile@easthartfordct.gov

From: Frank, Carol
Sent: Wednesday, November 09, 2016 8:59 AM
To: Fravel, Theodore; Gentile, Richard; Hawkins, Mack
Subject: 25th Annual Brian Aselton Memorial Snow Dash

Good morning Gentlemen.

Just a quick reminder that your review for the above captioned event is due tomorrow. Thank you.

Carol A. Frank
East Hartford Police Department
Support Services Bureau
31 School Street
East Hartford, CT 06108

Ph: 860-291-7631
Fax: 860-610-6290

RISK MGMT

Frank, Carol

From: Sullivan, Trent
Sent: Friday, October 28, 2016 11:36 AM
To: Frank, Carol
Cc: Walsh, Mike
Subject: RE: 25th Annual Brian Aselton Memorial Snow Dash

Hi Carol – Reviewed and approved from Finance/Risk.

Thanks, Trent

From: Frank, Carol
Sent: Friday, October 28, 2016 7:30 AM
To: Bockus, Tim; Cordier, James; Fravel, Theodore; Oates, John
Cc: Cohen, Bruce; Gentile, Richard; Grew, Greg; Hawkins, Mack; Horan, Denise; Leclerc, Marcia; Litwin, Joshua; McConville, Timothy; O'Connell, Michael; Perez, William; Sansom, Scott; Sullivan, Trent; Walsh, Mike
Subject: 25th Annual Brian Aselton Memorial Snow Dash

Good morning all.

Attached please find the **Outdoor Amusement Permit Application, map** and your Director's Review and Notice in connection with the above captioned event.

Please note the review is attached to the notice and your review can be sent via an e-mail response, through Outlook or print, sign, and interoffice review, TO MY ATTENTION AT THE POLICE DEPARTMENT by Thursday, November 10, 2016. Thank you.

Carol A. Frank
East Hartford Police Department
Support Services Bureau
31 School Street
East Hartford, CT 06108

Ph: 860-291-7631
Fax: 860-610-6290

Frank, Carol

From: Hawkins, Mack
Sent: Thursday, November 10, 2016 10:26 AM
To: Frank, Carol
Subject: RE: 25th Annual Brian Aselton Memorial Snow Dash

Carol,

I have reviewed the Outdoor Amusement Permit Application for the 25th Annual Brian Aselton Memorial Snow Dash. I approve the application as submitted. The anticipated cost to the Department for this event is \$2448.17, which includes an estimated 2% contractual raise.

Thank you,

Deputy Chief Mack S. Hawkins

Chief of Field Operations
East Hartford Police Department
31 School St.
East Hartford, CT 06108
Office 860 291-7597

Serving Our Community with Pride and Integrity



From: Frank, Carol
Sent: Friday, October 28, 2016 7:30 AM
To: Bockus, Tim; Cordier, James; Fravel, Theodore; Oates, John
Cc: Cohen, Bruce; Gentile, Richard; Grew, Greg; Hawkins, Mack; Horan, Denise; Leclerc, Marcia; Litwin, Joshua; McConville, Timothy; O'Connell, Michael; Perez, William; Sansom, Scott; Sullivan, Trent; Walsh, Mike
Subject: 25th Annual Brian Aselton Memorial Snow Dash

Good morning all.

Attached please find the **Outdoor Amusement Permit Application, map** and your Director's Review and Notice in connection with the above captioned event.

Insp. & Permits

Frank, Carol

From: Grew, Greg
Sent: Friday, October 28, 2016 9:48 AM
To: Frank, Carol
Subject: Re: 25th Annual Brian Aselton Memorial Snow Dash

Per Ordinance 5-3 my review and approval is not required. The applicant should be made aware that permits and inspections may be required for temporary installations.

MILTON GREGORY GREW, AIA
Director of Inspections & Permits
(Building / Zoning / Property Maint.)
TOWN OF EAST HARTFORD
740 Main Street
East Hartford, CT 06108
Direct [\(860\) 291-7345](tel:8602917345)
Mobile [\(860\) 874-8034](tel:8608748034)
<http://www.easthartfordct.gov/inspections-and-permits>

From: Frank, Carol
Sent: Friday, October 28, 2016 7:30 AM
To: Bockus, Tim; Cordier, James; Fravel, Theodore; Oates, John
Cc: Cohen, Bruce; Gentile, Richard; Grew, Greg; Hawkins, Mack; Horan, Denise; Leclerc, Marcia; Litwin, Joshua; McConville, Timothy; O'Connell, Michael; Perez, William; Sansom, Scott; Sullivan, Trent; Walsh, Mike
Subject: 25th Annual Brian Aselton Memorial Snow Dash

Good morning all.

Attached please find the **Outdoor Amusement Permit Application, map** and your Director's Review and Notice in connection with the above captioned event.

Please note the review is attached to the notice and your review can be sent via an e-mail response, through Outlook or print, sign, and interoffice review, **TO MY ATTENTION AT THE POLICE DEPARTMENT by Thursday, November 10, 2016.** Thank you.

Carol A. Frank
East Hartford Police Department
Support Services Bureau
31 School Street
East Hartford, CT 06108

Ph: 860-291-7631
Fax: 860-610-6290

MARCIA A. LECLERC
MAYOR

TOWN OF EAST HARTFORD
Police Department

31 School Street
East Hartford, Connecticut 06108-2638

TELEPHONE
(860) 528-4401

FAX (860) 289-1249

www.easthartfordct.gov

SCOTT M. SANSOM
CHIEF OF POLICE

November 22, 2016

Richard F. Kehoe, Chairman
East Hartford Town Council
740 Main Street
East Hartford, CT 06108

Re: Outdoor Amusement Permit Application
"Eversource Hartford Marathon - 2017"

Dear Chairman Kehoe:

Attached please find the amusement permit application from **The Hartford Marathon Foundation** submitted by its **Technical Director Josh Miller**. The applicant seeks to conduct a marathon, road races and outdoor musical entertainment with volunteers and several thousand spectators and runners on **Saturday, October 14, 2017** from **7:30 AM – 1:30 PM**, with music running between **9 AM and 1:30 PM**.

Pursuant to Town Ordinance (TO) 5-3, a review of the application was completed by the Directors of the Fire, Health, Parks & Recreation, Public Works Departments and the Offices of the Corporation Counsel and Finance.

The **Risk Management Department** approves the application as submitted.

The **Office of Corporation Counsel** states it has no issues with this application and that the applicant will need to work with the Parks & Recreation Department to execute a License Agreement with the Town since the Town's streets are being utilized.

The **Fire Department** approves the application as submitted and indicates the **anticipated cost for the Department's services is \$2,500.00**.

The **Health and Parks & Recreation Departments** approve the application as submitted and states **there are no anticipated costs to their Departments**.

The **Public Works Department** recommends the application be approved subject to the following conditions:

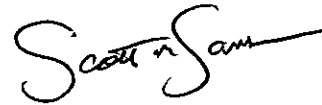
- Applicant shall obtain approvals for any road closures from the appropriate jurisdiction.
- The applicant will coordinate with the implementation of any road closures with EHPD and the Department of Public Works.
- **The anticipated cost to the Department for this event is \$11,500.00**.

The **Police Department** conducted a review of the application and the following comments/recommendations are made:

- There will be significant detours for several hours. Traffic on the adjacent streets can be maintained with a near-normal flow of traffic.
- Police manpower required for these events exceeds the Department's normal Patrol Complement and overtime hiring will be necessary. As an event that is not Town-sponsored, this expense will have to be borne by the applicant. **The *anticipated* cost to the Department for this event is \$33,750.62 which DOES NOT include a possible contractual raise.**

Respectfully submitted for your information.

Sincerely,

A handwritten signature in black ink that reads "Scott M. Sansom". The signature is written in a cursive style with a long horizontal stroke at the end.

Scott M. Sansom
Chief of Police

Cc: Applicant

TOWN OF EAST HARTFORD POLICE DEPARTMENT



Marcia A. Leclerc
Mayor

OUTDOOR AMUSEMENT PERMITS
31 SCHOOL STREET
EAST HARTFORD, CT 06108-2638
(860) 528-4401

OUTDOOR AMUSEMENT PERMIT APPLICATION



Scott M. Sansom
Chief of Police

THIS APPLICATION IS DUE NOT LESS THAN 30 DAYS PRIOR TO THE EVENT APPLIED FOR

1. Name of Event:
Eversource Hartford Marathon
2. Date(s) of Event:
Saturday, October 14, 2017
3. Applicant's name, home & work phone numbers, home address, and e-mail address (NOTE: If applicant is a partnership, corporation, limited liability company, club or association give the full legal name of the Applicant) :
Josh Miller, Technical Director. Cell 860-338-1781. Work 860-652-8866.
Josh@Hartfordmarathon.com. 41 Sequin Drive Glastonbury CT 06033
4. If Applicant is a partnership, corporation, limited liability company , club, or association, list the names of all partners, members, directors and officers AND provide their business address.
Hartford Marathon Foundation
41 Sequin Drive
Glastonbury, CT 06033
5. List the location of the proposed amusement: (Name of facility and address)
See Attached race course map
6. List the dates and hours of operation for each day (if location changes on a particular day, please list):
7:30 AM - 1:30 PM on 10/14/17. (Impact chart attached)
7. Provide a detailed description of the proposed amusement:
Marathon road race. Same route as 2016.

8. Will music or other entertainment be provided wholly or partially outdoors?

Yes No

a. If 'YES,' during what days and hours will music or entertainment be provided (note: this is different from hours of operation)? 9:00 AM - 1:30 PM

9. What is the expected age group(s) of participants?

19-80 years old

10. What is the expected attendance at the proposed amusement:

(If more than one performance, indicate time / day / date and anticipated attendance for each.)

3000 runners, several thousand spectators, 800 volunteers

11. Provide a detailed description of the proposed amusement's anticipated impact on the surrounding community. Please comment on each topic below:

a. Crowd size impact:

Runners will run on closed roads

b. Traffic control and flow plan at site & impact on surrounding / supporting streets:

We will work with police and DOT for street closures

c. Parking plan on site & impact on surrounding / supporting streets:

Runners will park and run to and from Hartford

d. Noise impact on neighborhood:

Minimal, music will not play until after 9:00 AM

e. Trash & litter control plan for the amusement site and surrounding community during and immediately after the proposed amusement:

Garbage truck sweeps the entire route at conclusion of event.

f. List expected general disruption to neighborhood's normal life and activities:

Road closures and detours. This is a great opportunity for the community

g. Other expected influence on surrounding neighborhood:

n/a

12. Provide a detailed plan for the following:

a. Accessibility of amusement site to emergency, police, fire & medical personnel and vehicles:

Roads will be accessible for emergency personnel to access all areas

b. Provisions for notification of proper authorities in the case of an emergency:

Command center for event will have representation from all departments.

c. Any provision for on-site emergency medical services:

Medical plan attached.

d. Crowd control plan:

Runners will stay on streets directed by volunteers.

e. If on town property, the plan for the return of the amusement site to pre-amusement condition:

Streets will be used and swept by volunteers and public works

f. Provision of sanitary facilities:

Portable toilets will be placed along the course.

13. Will food be provided, served, or sold on site:

Food available Yes No AND contact has been made with the East Hartford Health

Department Yes No.

14. Does the proposed amusement involve the sale and/or provision of alcoholic beverages to amusement attendees,

Yes No Alcoholic beverages will be served / provided.

If 'YES', describe, in detail, any and all arrangements and what procedures shall be employed:

a. For such sale or provision,

b. To ensure that alcohol is not sold or provided to minors or intoxicated persons.

Check if copy of the liquor permit, as required by State law, is included with application.

15. Include any other information which the applicant deems relevant (ie: time waivers and fee waiver requests should go here):

CGS Sec. 53a-157. False Statement: Class A Misdemeanor.

A person is guilty of False Statement when he intentionally makes a false written statement under oath or pursuant to a form bearing notice, authorized by law, to the effect that false statements made therein are punishable, which he does not believe to be true and which statement is intended to mislead a public servant in the performance of his official duties.

a. False Statement is a Class A Misdemeanor.

b. The penalty for a Class A Misdemeanor is imprisonment for a term not to exceed one (1) year, or a fine not to exceed \$1,000, or both a fine and imprisonment.

I declare, under the penalties of False Statement, that the information provided in this application is true and correct to the best of my knowledge:

Josh Miller

(Legal Name of Applicant)
Josh Miller
Digitally signed by Josh Miller
DN: cn=Josh Miller, postalAddress
=Framingham, postalCode=01901,
email=Josh.Miller@easthartfordct.gov, o=CGS
Date: 2016.11.19 14:02:11 -0500

Josh Miller

11/2/16

(Applicant Signature)

(Printed Name)

(Date Signed)

Technical Director

(Capacity in which signing)

(Send application electronically to cfrank@easthartfordct.gov)

FOR OFFICE USE

Insurance Certificate Included:

YES

NO

Liquor Permit Included:

YES

NO

Certificate of Alcohol Liability Included:

YES

NO

Time Waiver Request Included:

YES

NO

Fee Waiver Request Included:

YES

NO

N/A

Received By: Carroll Frank
Employee Number: 9019
Date & Time Signed: Nov. 7, 2016 8:15 AM ~~PM~~
Time remaining before event: 304 days.

If roads or sidewalks will be closed to public use as a result of this event the applicant must comply with signage requirements per Section 5-4 and present a signed affidavit attesting to this at the Town Council meeting.

MARATHON					
MILE	LOCATION	Lead Pack	Mid Pack	Last Runner	Road Reopens
0	Capitol Ave/Hartford	8:00	8:00	8:00	8:05
1	Pearl St., Hartford	8:05	8:10	8:13	8:15
2	Rev. Moody Overpass, Hartford	8:10	8:20	8:26	8:30
3	Entrance to Riverside Park, Hartford	8:15	8:30	8:39	8:40
4	Riverside Park	8:20	8:40	8:52	8:55
5	Sheldon St., Hartford	8:25	8:50	9:05	9:10
6	Founders Bridge, Hartford	8:30	9:00	9:18	9:20
7	East River Dr., EH	8:35	9:10	9:31	9:35
8	Great River Park	8:40	9:20	9:44	9:45
9	East River Dr. Ext, EH	8:45	9:30	9:57	10:00
10	S. Prospect St. (N. of Chapel St.), EH	8:50	9:40	10:10	10:15
11	Prospect St. (S. of Rt. 5), EH	8:55	9:50	10:23	10:25
12	King St, EH	9:00	10:00	10:36	10:40
13	King St. (S. of Mcquire Rd.), EH	9:05	10:10	10:49	10:50
14	Old Main (N. of Chapel St.), SW	9:10	10:20	11:02	11:05
15	Old Main @ Newberry Rd, SW	9:15	10:30	11:15	11:20
16	Old Main (S. of Strong Rd.), SW	9:20	10:40	11:28	11:30
17	Old Main, SW	9:25	10:50	11:41	11:45
18	Old Main, SW	9:30	11:00	11:54	11:55
19	Old Main @ 1st Congr. Church, SW	9:35	11:10	12:07	12:10
20	Old Main, SW	9:40	11:20	12:20	12:25
21	Old Main (S. of King St.), SW	9:45	11:30	12:33	12:35
22	Main St., EH	9:50	11:40	12:46	12:50
23	Prospect, EH	9:55	11:50	12:59	1:00
24	S. Prospect (S. of Tower Rd.), EH	10:00	12:00	1:12	1:15
25	Pitkin St. (W. of Darlin St.), EH	10:05	12:10	1:25	1:30
26	Pearl St., Hartford	10:10	12:20	1:38	1:40
26.2	Trinity Street	10:12	12:23	1:51	1:55

Fire Dept



Scott Sansom
Chief of Police

TOWN OF EAST HARTFORD
POLICE DEPARTMENT
SUPPORT SERVICES BUREAU
Outdoor Amusement Permits
31 School Street
East Hartford, CT 06108
(860) 528-4401



Marcia A. Leclerc
Mayor

Administrative Review of Amusement Permit

Event Date: **October 14, 2017**

Event: **Eversource Hartford Marathon**

Applicant: **The Hartford Marathon Foundation by Josh Miller, its Technical Director**

Pursuant to Town Ordinance (TO) 5-3, a review of the application was completed and the following recommendation is made:

- 1. the application be approved as submitted.
 - 2. the application be revised, approved subject to the condition(s) set forth in the attached comments.
 - 3. the application be disapproved for the reason(s) set forth in the attached comments.
-
- Fire Department
 - Health Department
 - Parks & Recreation Department
 - Public Works Department
 - Corporation Counsel
- Anticipated Cost(s) if known \$ 2500.00

William Perez, Assistant Fire Chief 11/14/2016

Signature

Date

Comments:

Heath Dept



Scott Sansom
Chief of Police

**TOWN OF EAST HARTFORD
POLICE DEPARTMENT
SUPPORT SERVICES BUREAU
Outdoor Amusement Permits
31 School Street
East Hartford, CT 06108
(860) 528-4401**



Marcia A. Leclerc
Mayor

Administrative Review of Amusement Permit

Event Date: **October 14, 2017**

Event: **Eversource Hartford Marathon**

Applicant: **The Hartford Marathon Foundation by Josh Miller, its Technical Director**

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- Fire Department
- Health Department
- Parks & Recreation Department
- Public Works Department
- Corporation Counsel

Anticipated Cost(s) if known \$ 0

Michael J. O'Connell

Signature

11/7/16

Date

Comments:

Parks



Scott Sansom
Chief of Police

TOWN OF EAST HARTFORD
POLICE DEPARTMENT
SUPPORT SERVICES BUREAU
Outdoor Amusement Permits
31 School Street
East Hartford, CT 06108
(860) 528-4401



Marcia A. Leclerc
Mayor

Administrative Review of Amusement Permit

Event Date: **October 14, 2017**
Event: **Eversource Hartford Marathon**
Applicant: **The Hartford Marathon Foundation by Josh Miller, its Technical Director**

Pursuant to Town Ordinance (TO) 5-3, a review of the application was completed and the following recommendation is made:

- 1. the application be approved as submitted.
 - 2. the application be revised, approved subject to the condition(s) set forth in the attached comments.
 - 3. the application be disapproved for the reason(s) set forth in the attached comments.
-
- Fire Department
 - Health Department
 - Parks & Recreation Department
 - Public Works Department
 - Corporation Counsel
-
- Anticipated Cost(s) if known \$0.00

Ted Fravel

11/18/2016

Signature

Date

Comments:

Frank, Carol

From: Bockus, Tim
Sent: Monday, November 07, 2016 10:49 AM
To: Frank, Carol
Subject: RE: 2017 Eversource Hartford Marathon
Attachments: SCAN20161107100340.pdf

Carol,

I have reviewed this application, and pursuant to Town Ordinance 5.3, I recommend this application be approved subject to the following conditions:

1. The applicant shall obtain approvals for any road closures from the appropriate jurisdiction.
2. The applicant will coordinate the implementation of any road closures with EHPD and the Department of Public Works.

The anticipated cost to the Department will be \$11,500.

Tim Bockus
Director of Public Works



Town of
EAST HARTFORD
CONNECTICUT

Town of East Hartford
740 Main Street
East Hartford, CT 06108

Phone (860)291-7372
tbockus@easthartfordct.gov

From: Frank, Carol
Sent: Monday, November 07, 2016 8:29 AM
To: Bockus, Tim; Cordier, James; Fravel, Theodore; Oates, John
Cc: Cohen, Bruce; Ficacelli, Joseph; Gentile, Richard; Grew, Greg; Hawkins, Mack; Horan, Denise; Leclerc, Marcia; Litwin, Joshua; McConville, Timothy; O'Connell, Michael; Perez, William; Sansom, Scott; Sullivan, Trent; Walsh, Mike
Subject: 2017 Eversource Hartford Marathon

Good morning all.

Attached please find the **Outdoor Amusement Permit Application, Course Map, time impact statement** and your Director's Review and Notice in connection with the above captioned event.

Please note the review is attached to the notice and your review can be sent via an e-mail response, through Outlook or print, sign, and interoffice review, TO MY ATTENTION AT THE POLICE DEPARTMENT by **Monday, November 21, 2016.** Thank you.

Frank, Carol

From: Gentile, Richard
Sent: Monday, November 21, 2016 4:31 PM
To: Frank, Carol; Fravel, Theodore; Sullivan, Trent; Hawkins, Mack
Subject: RE: 2017 Eversource Hartford Marathon

I have no legal concerns with the application. Parks Department will need to work with the marathon organization to execute a license agreement since the Town's Streets are being utilized.

Richard P. Gentile
Assistant Corporation Counsel
Town of East Hartford
740 Main Street
East Hartford, CT 06108
860-291-7217
rpgentile@easthartfordct.gov

From: Frank, Carol
Sent: Friday, November 18, 2016 7:58 AM
To: Fravel, Theodore; Gentile, Richard; Sullivan, Trent; Hawkins, Mack
Subject: 2017 Eversource Hartford Marathon

Good morning Gentlemen.

Just a quick reminder that your reviews for the above captioned event are due Monday, November 21st. Thank you.

Carol A. Frank
East Hartford Police Department
Support Services Bureau
31 School Street
East Hartford, CT 06108

Ph: 860-291-7631
Fax: 860-610-6290

Risk Mgmt

Frank, Carol

From: Sullivan, Trent
Sent: Friday, November 18, 2016 1:42 PM
To: Frank, Carol
Cc: Walsh, Mike
Subject: RE: 2017 Eversource Hartford Marathon

Hi Carol – Reviewed and approved from a Finance/Risk perspective. Thanks, Trent

From: Frank, Carol
Sent: Monday, November 7, 2016 8:29 AM
To: Bockus, Tim; Cordier, James; Fravel, Theodore; Oates, John
Cc: Cohen, Bruce; Ficacelli, Joseph; Gentile, Richard; Grew, Greg; Hawkins, Mack; Horan, Denise; Leclerc, Marcia; Litwin, Joshua; McConville, Timothy; O'Connell, Michael; Perez, William; Sansom, Scott; Sullivan, Trent; Walsh, Mike
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Good morning all.

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Carol A. Frank
East Hartford Police Department
Support Services Bureau
31 School Street
East Hartford, CT 06108

Ph: 860-291-7631
Fax: 860-610-6290

PD Review

Frank, Carol

From: Hawkins, Mack
Sent: Monday, November 21, 2016 11:45 AM
To: Frank, Carol
Subject: RE: 2017 Eversource Hartford Marathon

Carol,

I have reviewed the Outdoor Amusement Permit Application for 2017 Eversource Hartford Marathon. I approve the application as submitted. The anticipated cost to the Department for this event is \$33,750.62, which DOES NOT include a possible contractual raise.

Thanks in advance,

Deputy Chief Mack S. Hawkins

Chief of Field Operations
East Hartford Police Department
31 School St.
East Hartford, CT 06108
Office 860 291-7597

Serving Our Community with Pride and Integrity



From: Frank, Carol
Sent: Monday, November 07, 2016 8:29 AM
To: Bockus, Tim; Cordier, James; Fravel, Theodore; Oates, John
Cc: Cohen, Bruce; Ficacelli, Joseph; Gentile, Richard; Grew, Greg; Hawkins, Mack; Horan, Denise; Leclerc, Marcia; Litwin, Joshua; McConville, Timothy; O'Connell, Michael; Perez, William; Sansom, Scott; Sullivan, Trent; Walsh, Mike
Subject: 2017 Eversource Hartford Marathon

Good morning all.

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Frank, Carol

From: Grew, Greg
Sent: Monday, November 07, 2016 9:12 AM
To: Frank, Carol
Subject: Re: 2017 Eversource Hartford Marathon

Per Ordinance 5-3 my review and approval is not required. Permits and inspections may be required for temporary installations.

MILTON GREGORY GREW, AIA
Director of Inspections & Permits
(Building / Zoning / Property Maint.)
TOWN OF EAST HARTFORD
740 Main Street
East Hartford, CT 06108
Direct (860) 291-7345
Mobile (860) 874-8034
<http://www.easthartfordct.gov/inspections-and-permits>

From: Frank, Carol
Sent: Monday, November 07, 2016 8:29 AM
To: Bockus, Tim; Cordier, James; Fravel, Theodore; Oates, John
Cc: Cohen, Bruce; Ficacelli, Joseph; Gentile, Richard; Grew, Greg; Hawkins, Mack; Horan, Denise; Leclerc, Marcia; Litwin, Joshua; McConville, Timothy; O'Connell, Michael; Perez, William; Sansom, Scott; Sullivan, Trent; Walsh, Mike
Subject: 2017 Eversource Hartford Marathon

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Carol A. Frank
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31 School Street
East Hartford, CT 06108

Ph: 860-291-7631
Fax: 860-610-6290