# Site Plans

Issued for Site Plan Application

Date Issued May 15, 2018

Latest Issue June 14, 2018

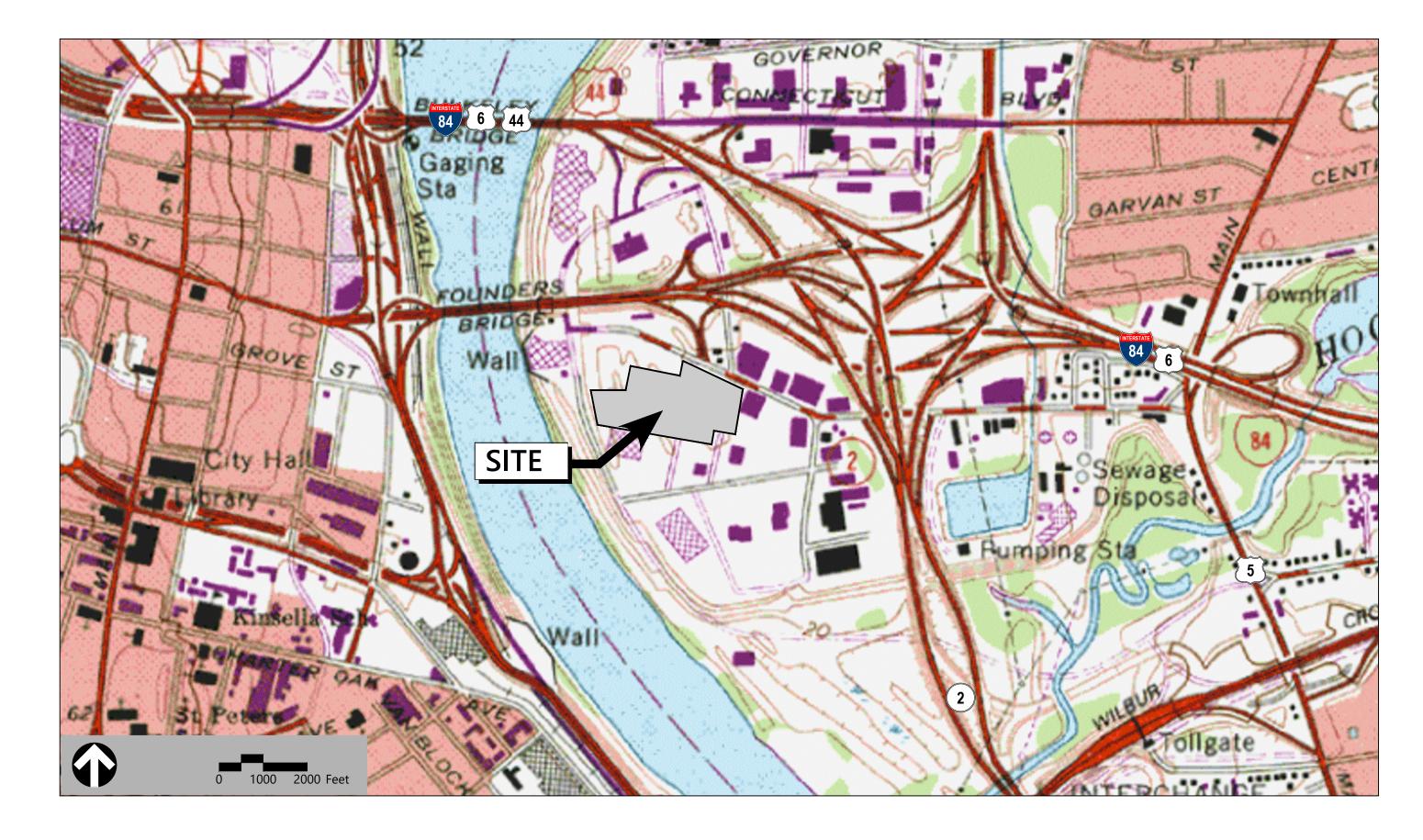
# 111 Founders Plaza Parking Lot Improvements

323 & 321 Pitkin Street
East Hartford, Connecticut

# Owner:

Merchant 99-111 Founders LLC One Hartfield Boulevard Suite 102 East Windsor, Connecticut 06088

Lots: 4-38 & 4-38c (323 & 321 Pitkin Street)



Sheet	Sheet Index						
No.	Drawing Title	Latest Issue					
C-1.0	Legend, Abbreviations And General Notes	June 14, 2018					
C-2.0	Demolition Plan	June 14, 2018					
C-2.1	Layout and Materials Plan	June 14, 2018					
C-3.0	Grading and Drainage Plan	June 14, 2018					
C-4.0	Erosion and Sediment Control Plan	June 14, 2018					
C-5.0	Site Details 1	June 14, 2018					
C-5.1	Site Details 2	June 14, 2018					

	Reference Drawings				
<b>-</b>	No.	Drawing Title	Latest Issue		
8	Sv-1	Existing Conditions Compiled Base Plan	May 15, 2018		
8	Ph-1	Photometric Plan	May 15, 2018		
8					
^					



Exist.	Prop.		Exist.	Prop.	
		PROPERTY LINE			CONCRETE
		PROJECT LIMIT LINE	1		HEAVY DUTY PAVEMENT
		RIGHT-OF-WAY/PROPERTY LINE			BUILDINGS
					RIPRAP
		EASEMENT			CONSTRUCTION ENTRANCE
		BUILDING SETBACK		%//// //////	CONSTRUCTION ENTRANCE
10 <u>+</u> 00	10+00	PARKING SETBACK	27.35 TC×	27.35 TC×	TOP OF CURB ELEVATION
— † ——	+	BASELINE	26.85 BC×	26.85 BC×	BOTTOM OF CURB ELEVATION
		CONSTRUCTION LAYOUT	26.85 FC×	26.85 FC×	FLUSH CURB ELEVATION
		ZONING LINE	132.75 ×	132.75 ×	SPOT ELEVATION
		TOWN LINE	45.0 TW _	45.0 TW 🗸	TOP & BOTTOM OF WALL ELEVATION
		LIMIT OF DISTURBANCE	38.5 BW^	38.5 BW^	BORING LOCATION
<u>A</u>		WETLAND LINE WITH FLAG			
			₩W	MANA	TEST PIT LOCATION
		FLOODPLAIN		→ MW	MONITORING WELL
BLSF		BORDERING LAND SUBJECT TO FLOODING	——UD——	——UD ——	UNDERDRAIN
———ВZ——		WETLAND BUFFER ZONE	12"D	12″D—►	DRAIN
NDZ		NO DISTURB ZONE	6"RD	6″RD—►	ROOF DRAIN
200/84			12"S	1 <u>2</u> "S	SEWER
200′RA		200' RIVERFRONT AREA	FM	<u>FM</u>	
		GRAVEL ROAD	OUW	OUW	FORCE MAIN
<u>EOP</u>		EDGE OF PAVEMENT			OVERHEAD WIRE
BB	BB	BITUMINOUS BERM	6"W	6"W	WATER
BC	BC		4"FP	4*FP	FIRE PROTECTION
CC	CC	BITUMINOUS CURB		2"DW	DOMESTIC WATER
	CG	CONCRETE CURB	3"G	———G——	GAS
		CURB AND GUTTER	———E———	——Е——	ELECTRIC
CC	<u>ECC</u>	EXTRUDED CONCRETE CURB	STM	STM	STEAM
CC	<u>MCC</u>	MONOLITHIC CONCRETE CURB	———Т	——T——	TELEPHONE
CC	PCC	PRECAST CONC. CURB	——FA——	——FA——	FIRE ALARM
SGE	SGE	SLOPED GRAN. EDGING		—— CATV——	CABLE TV
VGC	VGC	VERT. GRAN. CURB			
		LIMIT OF CURB TYPE			CATCH BASIN
		SAWCUT			DOUBLE CATCH BASIN
	<u> </u>			<b>===</b>	GUTTER INLET
11/1///		BUILDING	(1)	•	DRAIN MANHOLE
	<b>]</b> ⊲en	BUILDING ENTRANCE	=TD=	<del></del>	TRENCH DRAIN
	<b>]</b> √⊔	LOADING DOCK	Ľ	ŗ	PLUG OR CAP
	<b>.</b>	BOLLARD	CO	©O ●	CLEANOUT
D	D	DUMPSTER PAD	<b>&gt;</b>	•	FLARED END SECTION
	<u> </u>	SIGN		<u></u>	HEADWALL
	• =	DOUBLE SIGN	<u> </u>	•	CEWED MANILOLE
					SEWER MANHOLE
т т		STEEL GUARDRAIL	CS ⊚	CS ●	CURB STOP & BOX
		WOOD GUARDRAIL	₩V	WV ●	WATER VALVE & BOX
			TSV	TSV	TAPPING SLEEVE, VALVE & BOX
		PATH	**	•	SIAMESE CONNECTION
	$\sim$	TREE LINE	HYD	HYD •	FIRE HYDRANT
×	<del>-x</del>	WIRE FENCE	WM	WM ⊡	WATER METER
		FENCE	PIV	PIV ●	POST INDICATOR VALVE
		STOCKADE FENCE	(W)	<b>@</b>	WATER WELL
DOOOOO.	·	STONE WALL	GG ◎	GG O	GAS GATE
		RETAINING WALL	GM GM	GM GM	GAS METER
	···	STREAM / POND / WATER COURSE	E	<b>●</b> EMH	ELECTRIC MANHOLE
	·-	DETENTION BASIN	EM	EM ⊡	
0 0 0 0 0 0 0 0 0 0		HAY BALES			ELECTRIC METER
×	——×——	SILT FENCE	<b>\$</b>	<b>≭</b> TMH	LIGHT POLE
<pre>&lt;:::::::&gt; ·</pre>	· c::::::> ·	SILT SOCK / STRAW WATTLE		● <sup>TMH</sup>	TELEPHONE MANHOLE
4	4	MINOR CONTOUR	T	T	TRANSFORMER PAD
—20— —	20		^	•	
	20	MAJOR CONTOUR	-0-	•	UTILITY POLE
10	10	PARKING COUNT	0-	•-	GUY POLE
	©10	COMPACT PARKING STALLS	$\downarrow$	<u> </u>	GUY WIRE & ANCHOR
DYL	DYL	DOUBLE AELLOW LIVIE	•	□	HAND HOLE
SL	SL		PB ⊡	PB ⊡	PULL BOX
111111111111		STOP LINE	N 1 - 1	chline	
		CROSSWALK	iviato	JIIIII IC	MATCHLINE
		ACCESSIBLE CURB RAMP			
Ł	گِ	ACCESSIBLE PARKING			
DYL SL	(10) (C10) DYL SL	PARKING COUNT COMPACT PARKING STALLS DOUBLE YELLOW LINE STOP LINE CROSSWALK ACCESSIBLE CURB RAMP	O− ↓ HH ⊡ PB	↓ HH ⊡ PB	GUY POLE GUY WIRE & ANCHOR HAND HOLE PULL BOX

VAN-ACCESSIBLE PARKING

	Abbreviations
General	
ABAN	ABANDON
ACR	ACCESSIBLE CURB RAMP
ADJ	ADJUST
APPROX	
BIT	BOTTOM OF SLOPE
BWLL	BROKEN WHITE LANE LINE
CONC	CONCRETE
DYCL	DOUBLE YELLOW CENTER LINE
EL	ELEVATION
ELEV	ELEVATION
EXIST	EXISTING
FDN	FOUNDATION
FFE	FIRST FLOOR ELEVATION
GRAN	GRANITE
GTD	GRADE TO DRAIN
LA	LANDSCAPE AREA
LOD	LIMIT OF DISTURBANCE
MAX	MAXIMUM
MIN	MINIMUM
NIC	NOT TO SCALE
NTS PERF	NOT TO SCALE PERFORATED
PROP	PROPOSED
REM	REMOVE
RET	RETAIN
R&D	REMOVE AND DISPOSE
R&R	REMOVE AND RESET
SWEL	SOLID WHITE EDGE LINE
SWLL	SOLID WHITE LANE LINE
TS	TOP OF SLOPE
TYP	TYPICAL
Utility	
СВ	CATCH BASIN
СМР	CORRUGATED METAL PIPE
СО	CLEANOUT
DCB	DOUBLE CATCH BASIN
DMH	DRAIN MANHOLE
CIP	CAST IRON PIPE
COND	CONDUIT
D P	DUCTILE IRON PIPE
FES	FLARED END SECTION
FM F&G	FORCE MAIN FRAME AND GRATE
F&C	FRAME AND COVER
GI	GUTTER INLET
GT	GREASE TRAP
HDPE	HIGH DENSITY POLYETHYLENE PIPE
НН	HANDHOLE
HW	HEADWALL
HYD	HYDRANT
INV	INVERT ELEVATION
l=	INVERT ELEVATION
LP	LIGHT POLE
MES	METAL END SECTION
PWW	PAVED WATER WAY
PVC	POLYVINYLCHLORIDE PIPE
PIV	POST INDICATOR VALVE
RCP	REINFORCED CONCRETE PIPE
R=	RIM ELEVATION
SMH	SEWER MANHOLE
TSV	TAPPING SLEEVE, VALVE AND BOX UNDERGROUND
UG	0.4551/01/00145

UTILITY POLE

### Notes

### General

APPROPRIATE PERMITS.

- 1. CONTRACTOR SHALL NOTIFY "CALL-BEFORE-YOU-DIG" (811 OR 1-800-922-4455) AT LEAST 72 HOURS BEFORE EXCAVATING
- 2. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.
- 3. ACCESSIBLE ROUTES, PARKING SPACES, RAMPS, SIDEWALKS AND WALKWAYS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE FEDERAL AMERICANS WITH DISABILITIES ACT AND WITH STATE AND
- 4. AREAS DISTURBED DURING CONSTRUCTION AND NOT RESTORED WITH IMPERVIOUS SURFACES (BUILDINGS, PAVEMENTS, WALKS, ETC.) SHALL RECEIVE 4 INCHES LOAM AND SEED.

LOCAL LAWS AND REGULATIONS (WHICHEVER ARE MORE STRINGENT).

- 5. WORK WITHIN THE LOCAL RIGHTS-OF-WAY SHALL CONFORM TO LOCAL MUNICIPAL STANDARDS. WORK WITHIN STATE RIGHTS-OF-WAY SHALL CONFORM TO THE LATEST EDITION OF THE STATE HIGHWAY DEPARTMENTS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.
- 6. UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH THE WORK INDICATED ON THE DRAWINGS, IN THE SPECIFICATIONS, AND IN THE CONTRACT DOCUMENTS. DO NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALKS, AND FIRE HYDRANTS, WITHOUT
- 7. TRAFFIC SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- 8. AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
- 9. IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER, AND OTHER MEDIA ARE ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECT MATERIAL TO AVOID FURTHER SPREADING OF THE MATERIAL, AND SHALL NOTIFY THE OWNER IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN.
- CONTRACTOR SHALL PREVENT DUST, SEDIMENT, AND DEBRIS FROM EXITING THE SITE AND SHALL BE RESPONSIBLE FOR CLEANUP, REPAIRS AND CORRECTIVE ACTION IF SUCH OCCURS.
- 11. DAMAGE RESULTING FROM CONSTRUCTION LOADS SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO OWNER.
- 12. CONTRACTOR SHALL CONTROL STORMWATER RUNOFF DURING CONSTRUCTION TO PREVENT ADVERSE IMPACTS TO OFF SITE AREAS, AND SHALL BE RESPONSIBLE TO REPAIR RESULTING DAMAGES, IF ANY, AT NO COST TO OWNER.
- 13. THIS PROJECT DOES NOT DISTURB MORE THAN 5 ACRES OF LAND AND THEREFORE DOES NOT FALL WITHIN THE NPDES CONSTRUCTION GENERAL PERMITS (CGP) PROGRAM OR CONNECTICUT DEEP JURISDICTION.

### Utilitie

- 1. THE LOCATIONS, SIZES, AND TYPES OF EXISTING UTILITIES ARE SHOWN AS AN APPROXIMATE REPRESENTATION ONLY. THE OWNER OR IT'S REPRESENTATIVE(S) HAVE NOT INDEPENDENTLY VERIFIED THIS INFORMATION AS SHOWN ON THE PLANS. THE UTILITY INFORMATION SHOWN DOES NOT GUARANTEE THE ACTUAL EXISTENCE, SERVICEABILITY, OR OTHER DATA CONCERNING THE UTILITIES, NOR DOES IT GUARANTEE AGAINST THE POSSIBILITY THAT ADDITIONAL UTILITIES MAY BE PRESENT THAT ARE NOT SHOWN ON THE PLANS. PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY AND DETERMINE THE EXACT LOCATIONS, SIZES, AND ELEVATIONS OF THE POINTS OF CONNECTIONS TO EXISTING UTILITIES AND, SHALL CONFIRM THAT THERE ARE NO INTERFERENCES WITH EXISTING UTILITIES AND THE PROPOSED UTILITY ROUTES, INCLUDING ROUTES WITHIN THE PUBLIC RIGHTS OF WAY.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, OR EXISTING CONDITIONS DIFFER FROM THOSE SHOWN SUCH THAT THE WORK CANNOT BE COMPLETED AS INTENDED, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED IN WRITING TO THE OWNER'S REPRESENTATIVE FOR THE RESOLUTION OF THE CONFLICT AND CONTRACTOR'S FAILURE TO NOTIFY PRIOR TO PERFORMING ADDITIONAL WORK RELEASES OWNER FROM OBLIGATIONS FOR ADDITIONAL PAYMENTS WHICH OTHERWISE MAY BE WARRANTED TO RESOLVE THE CONFLICT.
- 3. SET CATCH BASIN RIMS, AND INVERTS OF SEWERS, DRAINS, AND DITCHES IN ACCORDANCE WITH ELEVATIONS ON THE GRADING AND UTILITY PLANS.
- 4. RIM ELEVATIONS FOR DRAIN AND SEWER MANHOLES, WATER VALVE COVERS, GAS GATES, ELECTRIC AND TELEPHONE PULL BOXES, AND MANHOLES, AND OTHER SUCH ITEMS, ARE APPROXIMATE AND SHALL BE SET/RESET AS FOLLOWS:
- A. PAVEMENTS AND CONCRETE SURFACES: FLUSH
- B. ALL SURFACES ALONG ACCESSIBLE ROUTES: FLUSH
- C. LANDSCAPE, LOAM AND SEED, AND OTHER EARTH SURFACE AREAS: ONE INCH ABOVE SURROUNDING AREA AND TAPER EARTH TO THE RIM ELEVATION.
- 5. THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY, AND APPROVED BY, THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE, ELECTRIC, FIRE ALARM, ETC.). FINAL DESIGN LOADS AND LOCATIONS TO BE COORDINATED WITH OWNER AND ARCHITECT.
- CONTRACTOR SHALL MAKE ARRANGEMENTS FOR AND SHALL BE RESPONSIBLE FOR PAYING FEES FOR POLE RELOCATION AND FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE, FIRE ALARM, AND ANY OTHER PRIVATE UTILITIES, WHETHER WORK IS PERFORMED BY CONTRACTOR OR BY THE UTILITIES COMPANY.
- 7. UTILITY PIPE MATERIALS SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED ON THE PLAN:
  - A. STORM DRAINAGE PIPES SHALL BE REINFORCED CONCRETE PIPE (RCP) OR HIGH DENSITY
- POLYETHYLENE PIPE (HDPE), AS NOTED ON THE PLANS.

  8. CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR AND SHALL FURNISH EXCAVATION,
- INSTALLATION, AND BACKFILL OF ELECTRICAL FURNISHED SITEWORK RELATED ITEMS SUCH AS PULL BOXES, CONDUITS, DUCT BANKS, LIGHT POLE BASES, AND CONCRETE PADS. SITE CONTRACTOR SHALL FURNISH CONCRETE ENCASEMENT OF DUCT BANKS IF REQUIRED BY THE UTILITY COMPANY AND AS INDICATED ON THE DRAWINGS.
- 9. ALL DRAINAGE AND SANITARY STRUCTURE INTERIOR DIAMETERS (4' MIN.) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS AND LOCAL MUNICIPAL STANDARDS. FOR MANHOLES THAT ARE 20 FEET IN DEPTH AND GREATER, THE MINIMUM DIAMETER SHALL BE 5 FEET.

### **Layout and Materials**

- 1. DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.
- 2. CURB RADII ARE 3 FEET UNLESS OTHERWISE NOTED.
- 3. CURBING SHALL BE PRECAST CONCRETE CURB WITHIN THE SITE UNLESS OTHERWISE INDICATED ON THE PLANS.
- 4. PROPOSED BOUNDS AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A PROFESSIONAL LICENSED SURVEYOR.
- PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTING PAVEMENT ELEVATIONS AT INTERFACE WITH PROPOSED PAVEMENTS, AND EXISTING GROUND ELEVATIONS ADJACENT TO DRAINAGE OUTLETS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES.

### **Erosion Control**

- 1. PRIOR TO STARTING ANY OTHER WORK ON THE SITE, THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES AND SHALL INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE PLANS AND AS IDENTIFIED IN FEDERAL, STATE, AND LOCAL APPROVAL DOCUMENTS PERTAINING TO THIS PROJECT.
- 2. CONTRACTOR SHALL INSPECT AND MAINTAIN EROSION CONTROL MEASURES ON A WEEKLY BASIS (MINIMUM) OR AS REQUIRED PER THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP). THE CONTRACTOR SHALL ADDRESS DEFICIENCIES AND MAINTENANCE ITEMS WITHIN TWENTY-FOUR HOURS OF INSPECTION. CONTRACTOR SHALL PROPERLY DISPOSE OF SEDIMENT SUCH THAT IT DOES NOT ENCUMBER OTHER DRAINAGE STRUCTURES AND PROTECTED AREAS.
- CONTRACTOR SHALL BE FULLY RESPONSIBLE TO CONTROL CONSTRUCTION SUCH THAT SEDIMENTATION SHALL NOT AFFECT REGULATORY PROTECTED AREAS, WHETHER SUCH SEDIMENTATION IS CAUSED BY WATER, WIND, OR DIRECT DEPOSIT.
- 4. CONTRACTOR SHALL PERFORM CONSTRUCTION SEQUENCING SUCH THAT EARTH MATERIALS ARE EXPOSED FOR A MINIMUM OF TIME BEFORE THEY ARE COVERED, SEEDED, OR OTHERWISE STABILIZED TO PREVENT EROSION.
- 5. UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER, CONTRACTOR SHALL REMOVE AND DISPOSE OF EROSION CONTROL MEASURES AND CLEAN SEDIMENT AND DEBRIS FROM ENTIRE DRAINAGE AND SEWER SYSTEMS.

### **Existing Conditions Information**

- 1. BASEMAP COMPILED FROM VARIOUS SOURCES:
- 1.1. ALTA/ACSM LAND TITLE SURVEY FOR PITKIN STREET, EAST RIVER DRIVE AND HARTLAND STREET, EAST HARTFORD, CT BY VHB, INC. DATED JUNE 19, 2006 REVISED THROUGH JULY 28, 2006.
   1.2. CONSTRUCTION PLANS FOR PROPOSED DEVELOPMENT PITKIN STREET, EAST HARTFORD,
- CONNECTICUT BY VHB, INC. DATED MAY 2, 2006 REVISED THROUGH FEBRUARY 19, 2009.
- 2. TOPOGRAPHY: ELEVATIONS ARE BASED ON NAVD 88.
- 3. GEOTECHNICAL DATA INCLUDING TEST PIT AND BORING LOCATIONS AND ELEVATIONS WERE OBTAINED FROM A REPORT BY JGI EASTERN, INC. DATED SEPTEMBER 30, 2005, PREPARED FOR THE ADJACENT PROPERTY (HAMPTON INN AND SUITES).

### Document Use

- 1. THESE PLANS AND CORRESPONDING CADD DOCUMENTS ARE INSTRUMENTS OF PROFESSIONAL SERVICE, AND SHALL NOT BE USED, IN WHOLE OR IN PART, FOR ANY PURPOSE OTHER THAN FOR WHICH IT WAS CREATED WITHOUT THE EXPRESSED, WRITTEN CONSENT OF VHB. ANY UNAUTHORIZED USE, REUSE, MODIFICATION OR ALTERATION, INCLUDING AUTOMATED CONVERSION OF THIS DOCUMENT SHALL BE AT THE USER'S SOLE RISK WITHOUT LIABILITY OR LEGAL EXPOSURE TO VHB.
- CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS, BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.
- SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.



100 Great Meadow Road Suite 200 Wethersfield, CT 06109 860.807.4300

# 111 Founders Plaza Parking Lot Improvements

323 & 321 Pitkin Street East Hartford, Connecticut

No.	Revision	Date	Appvo
1.	TOWN COMMENTS - PARKING	G 6/14/18	

Designed by KJT/SJK PV
Issued for Date

Site Plan Application May 15, 2018

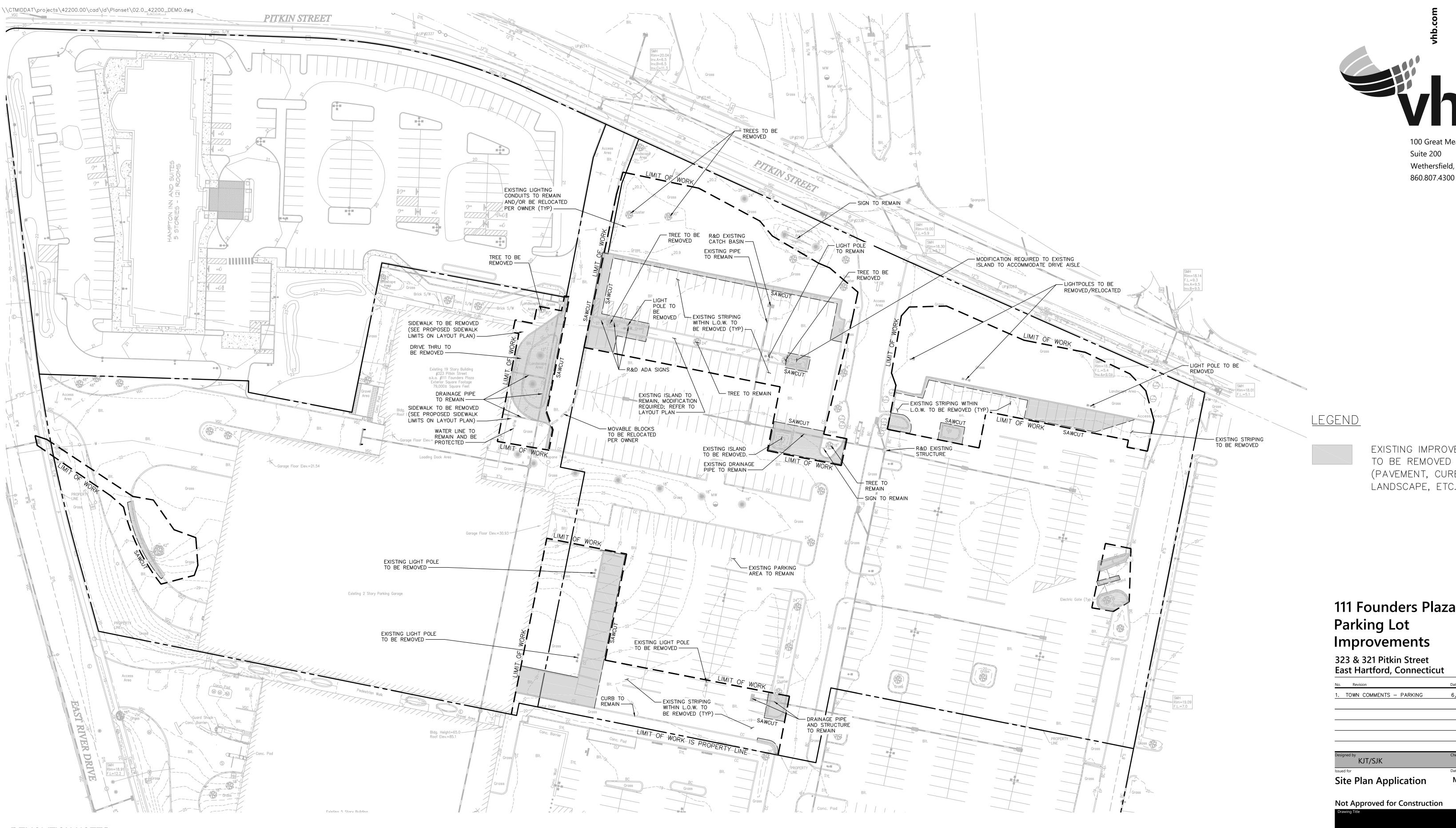
Not Approved for Construction

Legend, Abbreviations and General Notes

Drawing Numb

Sheet of 7

Project Number **42200.00** 



### **DEMOLITION NOTES:**

- 1. THE DEMOLITION PLAN IS PROVIDED SOLELY FOR INFORMATIONAL PURPOSES ONLY AND IS INTENDED TO AID THE CONTRACTOR DURING THE BIDDING AND CONSTRUCTION PROCESS AND IS NOT INTENDED TO DEPICT EACH AND EVERY ELEMENT OF DEMOLITION. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING THE DETAILED SCOPE OF DEMOLITION BEFORE SUBMITTING ITS BID/PROPOSAL TO PERFORM THE WORK AND SHALL MAKE NO CLAIMS AND SEEK NO ADDITIONAL COMPENSATION FOR CHANGED CONDITIONS OR UNFORESEEN OR LATENT SITE CONDITIONS RELATED TO ANY CONDITIONS DISCOVERED DURING EXECUTION OF THE WORK.
- UNLESS OTHERWISE SPECIFICALLY PROVIDED ON THE PLANS OR IN THE SPECIFICATIONS, THE ENGINEER HAS NOT PREPARED DESIGNS FOR AND SHALL HAVE NO RESPONSIBILITY FOR THE PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF HAZARDOUS MATERIALS, TOXIC WASTES OR POLLUTANTS AT THE PROJECT SITE. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY CLAIMS OF LOSS, DAMAGE, EXPENSE, DELAY, INJURY OR DEATH ARISING FROM THE PRESENCE OF HAZARDOUS MATERIAL AND CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE ENGINEER FROM ANY CLAIMS MADE IN CONNECTION THEREWITH. MOREOVER, THE ENGINEER SHALL HAVE NO ADMINISTRATIVE OBLIGATIONS OF ANY TYPE WITH REGARD TO ANY CONTRACTOR AMENDMENT INVOLVING THE ISSUES OF PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF ASBESTOS OR OTHER HAZARDOUS MATERIALS.
- 3. CONTRACTOR SHALL REMOVE AND DISPOSE OF EXISTING MANMADE SURFACE FEATURES WITHIN THE LIMIT OF WORK INCLUDING BUILDINGS, STRUCTURES, PAVEMENTS, SLABS, CURBING, FENCES, UTILITY POLES, SIGNS, ETC. UNLESS INDICATED OTHERWISE ON THE DRAWINGS.
- 4. CONTRACTOR SHALL APPLY FOR AND OBTAIN ALL NECESSARY PERMITS FROM LOCAL AND STATE AUTHORITIES TO COMPLETE THE WORK.
- 5. CONTRACTOR SHALL NOTIFY "CALL BEFORE YOU DIG" (1-800-922-4455 OR 811) AT LEAST 72 HOURS BEFORE EXCAVATING.

- CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.
- 7. THE LOCATIONS, SIZES, AND TYPES OF EXISTING UTILITIES ARE SHOWN AS AN APPROXIMATE REPRESENTATION ONLY. THE OWNER OR ITS REPRESENTATIVE(S) HAVE NOT INDEPENDENTLY VERIFIED THIS INFORMATION AS SHOWN ON THE PLANS. THE UTILITY INFORMATION SHOWN DOES NOT GUARANTEE THE ACTUAL EXISTENCE, SERVICEABILITY, OR OTHER DATA CONCERNING THE UTILITIES, NOR DOES IT GUARANTEE AGAINST THE POSSIBILITY THAT ADDITIONAL UTILITIES MAY BE PRESENT THAT ARE NOT SHOWN ON THE PLANS. PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY AND DETERMINE THE EXACT LOCATIONS, SIZES, AND ELEVATIONS OF THE POINTS OF CONNECTIONS TO EXISTING UTILITIES AND, SHALL CONFIRM THAT THERE ARE NO INTERFERENCES WITH EXISTING UTILITIES AND THE PROPOSED UTILITY ROUTES, INCLUDING ROUTES WITHIN THE PUBLIC RIGHTS OF WAY.
- 8. EXISTING UTILITIES SHALL BE TERMINATED, AS NOTED, IN CONFORMANCE WITH LOCAL, STATE AND INDIVIDUAL UTILITY COMPANY STANDARD SPECIFICATIONS AND DETAILS. THE CONTRACTOR SHALL COORDINATE UTILITY SERVICE DISCONNECTS WITH THE UTILITY REPRESENTATIVES. EXISTING UTILITIES TO REMAIN SHALL BE MAINTAINED & PROTECT AGAINST DAMAGE DURING DEMOLITION OPERATIONS.
- 9. ALL EXISTING UTILITIES ALONG THE SITE FRONTAGE WITHIN THE RIGHT OF WAY SHALL REMAIN UNLESS OTHERWISE DIRECTED BY THE UTILITY OWNER. CONTRACTOR SHALL PROTECT AND MAINTAIN ALL EXISTING UTILITIES ALONG THE SITE FRONTAGE WITHIN THE RIGHT OF WAY AND SHALL COORDINATE TEMPORARY PROTECTIONS, RELOCATIONS OR MODIFICATIONS WITH THE UTILITY OWNERS.
- 10. CONTRACTOR SHALL DISPOSE OF DEMOLITION DEBRIS IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, ORDINANCES AND STATUTES.

- 11. CONTRACTOR SHALL IDENTIFY ANY TREES WITHIN THE LIMIT OF WORK NOT IDENTIFIED ON THE EXISTING CONDITIONS PLANS. THE LOCATION AND SPECIES OF THESE TREES SHALL BE PROVIDED TO THE ENGINEER IN ORDER TO DETERMINE IF TREES SHALL REMAIN.
- 12. FURNISH, ERECT AND MAINTAIN ALL TEMPORARY BARRICADES, FENCES, COVERINGS, ENCLOSURES, SIGNS AND LIGHTING AS MAY BE REQUIRED TO CARRY ON DEMOLITION WORK IN A SAFE AND LEGAL
- 13. INSTALL EROSION CONTROLS PRIOR TO DEMOLITION AS SHOWN ON "SITE EROSION & SEDIMENTATION CONTROL PLAN"; MAINTAIN EROSION CONTROLS THROUGHOUT DURATION OF THE PROJECT.
- 14. DO NOT USE EXPLOSIVES. 15. CONTRACTOR SHALL PREVENT DUST, SEDIMENT, AND DEBRIS FROM EXITING THE SITE AND SHALL BE RESPONSIBLE FOR CLEANUP, REPAIRS AND CORRECTIVE ACTION IF SUCH OCCURS. ADJOINING
- STREETS AND PROPERTIES TO BE KEPT FREE OF DEBRIS RESULTING FROM THE DEMOLITION AND SHALL BE CLEANED ON A DAILY BASIS OR AS NEEDED. 16. DUST CONTROL TREATMENTS SHALL BE APPLIED AS NECESSARY TO CONTROL AND REDUCE THE

AMOUNT OF DUST WHICH MAY CAUSE OFF SITE DAMAGE, BE A HEALTH HAZARD TO HUMANS,

- WILDLIFE AND PLANT LIFE, OR POSE A HAZARD TO TRAFFIC SAFETY. CONTRACTOR SHALL CONTROL STORMWATER RUNOFF DURING CONSTRUCTION TO PREVENT ADVERSE IMPACTS TO OFF SITE AREAS, AND SHALL BE RESPONSIBLE TO REPAIR RESULTING DAMAGES, IF
- 18. E&S CONTROLS MUST BE INSPECTED AND REPAIRED OR REPLACED WITHIN 24 HOURS OF A SIGNIFICANT PRECIPITATION EVENT (>0.5") THROUGHOUT CONSTRUCTION.

ANY, AT NO COST TO OWNER.

- 19. HOURS OF OPERATION TO BE AS PER LOCAL ORDINANCE. CONTRACTOR TO VERIFY PRIOR TO
- 20. AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S
- 21. IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER, AND OTHER MEDIA ARE ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECT MATERIAL TO AVOID FURTHER SPREADING OF THE MATERIAL, AND SHALL NOTIFY THE OWNER AND OWNER'S REPRESENTATIVE IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT
- 22. DAMAGE RESULTING FROM CONSTRUCTION LOADS SHALL BE REPAIRED BY THE CONTRACTOR AT NO





Not Approved for Construction

**East Hartford, Connecticut** 

TOWN COMMENTS - PARKING

KJT/SJK

6/14/18

May 15, 2018

100 Great Meadow Road

Wethersfield, CT 06109

Suite 200

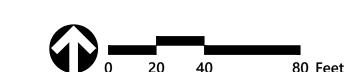
860.807.4300

EXISTING IMPROVEMENTS

TO BE REMOVED

(PAVEMENT, CURB,

LANDSCAPE, ETC.)



**Zoning Summary Chart** Zoning District: B-4 - Business Zone Zoning Regulation Requirements Required Provided FRONT YARD SETBACK **EXISTING EXISTING** SIDE YARD SETBACK **EXISTING** REAR YARD SETBACK FRONT YARD PARKING SETBACK 26 Feet 42 Feet SIDE YARD PARKING SETBACK REAR YARD PARKING SETBACK PARCEL 2: 77.8% MAXIMUM IMPERVIOUS

10 SF PER PARKING

PARCEL 3: 80.3% SEE AREA SUMMARY

CHART BELOW

8 9

PARCEL 1

78 PARKING SPACES SHARED BULD, WITH PARCEL 2

BOLLARD MOUNTED
ADA SIGN (CUSTOM 1)
& 31-0648

FLUSH MCC (TYP)

BOLLARD MOUNTED ADA SIGN (CUSTOM 1)

BOLLARD LIGHTS 5FT

Existing 19 Story Building #323 Pitkin Street BOLLARD MOUNTED ADA SIGN (CUSTOM 1

REMOVAL OF 25 EXISTING PARKING SPACES ADDITION OF 41 PROPOSED PARKING SPACES PARKING INCREASE = 16 PARKING SPACES —

PARCEL 2

STRIPING FOR PEDESTRIAN ACCESS

Existing 2 Story Parking Garage

Existing 5 Story Building #20 Hartland Street a.k.a. #99 Founders Plaza Exterior Square Footage 56,900± Square Feet

Bldg. Height=66.4 Roof Elev.=86.4

TRANSITION CURB —

 $^{
m 1}$  TWO SIDE YARDS SHALL HAVE A TOTAL OF 25 FT BUT NO SIDE YARD SHALL BE LESS THAN 10 FEET

# **Interior Landscaping Summary Chart**

INTERIOR PARKING LANDSCAPING

	Parking	Interior Landscape			
Lot	Provided, Count	Required, SF	Provided, SF		
AREA A	173	1,730	9,550		
AREA B	240	2,400	3,645		
AREA E	120	1,200	6,055		
AREA HOTEL	78	780	3,365		
GARAGE	331	N/A	N/A		
TOTAL	942	5,330	19,250		

# **Parking Summary Chart**

Description	Required	Existing	Proposed
STANDARD SPACES	872	827	923
STANDARD ACCESSIBLE SPACES *	16	13	16
VAN ACCESSIBLE SPACES	3	2 (	3
TOTAL SPACES	891	842	942
		\	. 1

\* ADA/STATE/LOCAL REQUIREMENTS: FOR 501 TO 1,000 SPACES PROVIDED, 2% OF TOTAL PARKING SHALL BE ACCESSIBLE

# Parking Requirements For 111 Founders:

OFFICE	245,000 SF *	Χ	1 SPACES	/	275	=	891 SPACES
			TOTAL PARKI	NG	REQUIRED	=	891 SPACES

\* BUILDING AREA FOR 111 FOUNDERS PROVIDED BY PROPERTY MANAGER

# **Sign Summary**

			<u> </u>
CONNDOT	Specif	Desc.	
Number	Width Heigl		
CUSTOM 1	12"	18"	RESERVED PARKING PERMIT REQUIRED
31-0648	12"	6"	VAN

PITKINSTREET

— PROPOSED 20'HEIGHT LIGHT (TYP)

21)

— PROPOSED 20' HEIGHT LIGHT (TYP)

— ADDITION OF 10 PARKING SPACES

— STANDARD DUTY FLEXIBLE PAVEMENT

- REMOVAL OF 31 EXISTING PARKING PARKING SPACES ADDITION OF 71 PROPOSED PARKING SPACES PARKING INCREASE = 40 PARKING SPACES

— PROPOSED TREE 3" DIA. 6' HT. (TYP) REMOVAL OF 25 EXISTING PARKING SPACES
ADDITION OF 54 PROPOSED PARKING SPACES
PARKING INCREASE = 29 PARKING SPACES

LIGHTING PACKAGE OF MATERIALS AND DETAILS TO BE PROVIDED UNDER SEPARATE CORRESPONDENCE

PROPOSED
20' HEIGHT
LIGHT (TYP)

ADDITION OF 5
PARKING SPACES —

PARCEL 3

111 Founders Plaza Parking Lot **Improvements** 

323 & 321 Pitkin Street East Hartford, Connecticut

TOWN COMMENTS - PARKING 6/14/18

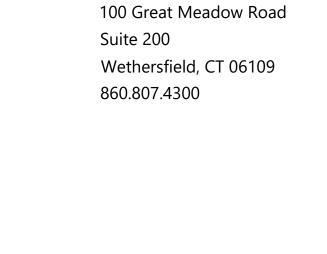
KJT/SJK Site Plan Application May 15, 2018

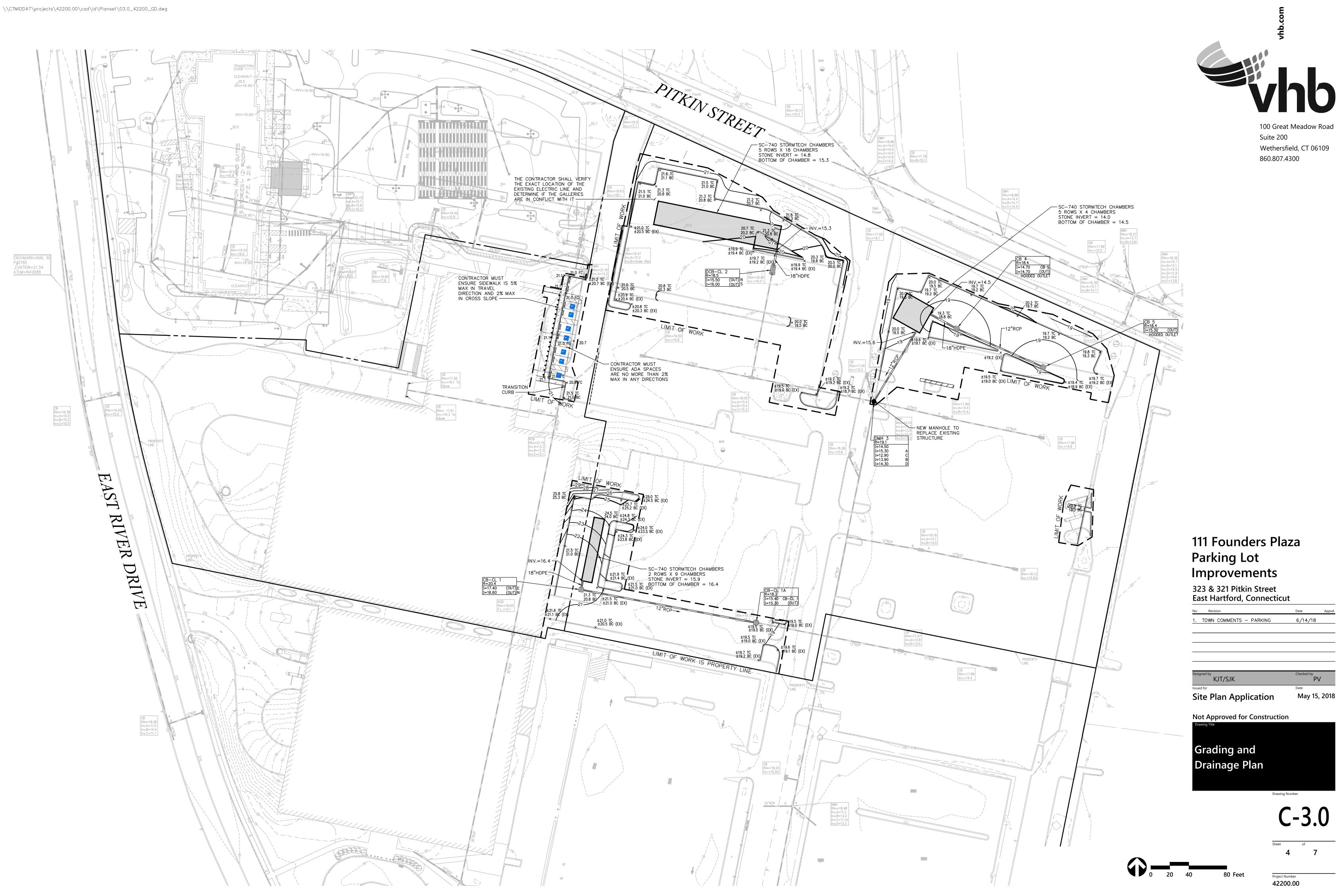
Not Approved for Construction

Layout and **Materials Plan** 

Project Number 42200.00



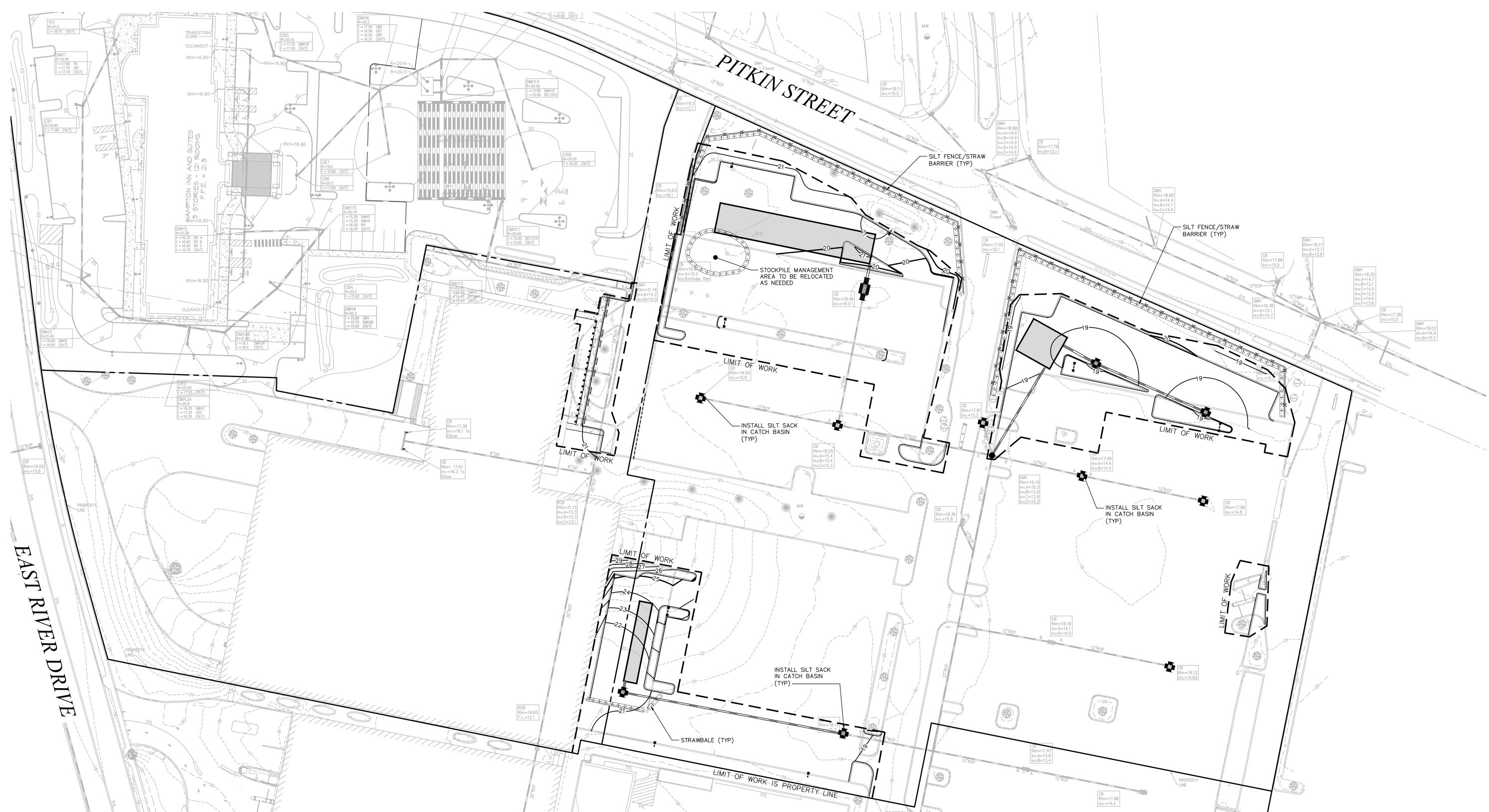




100 Great Meadow Road

١٥.	INCVIS	1011	Date	Аррис
1.	TOWN	COMMENTS - PARKING	6/14/18	

Designed by KJT/SJK	Checked by PV		
Issued for	Date		
Cita Dlan Application	May 15 2018		



Site S&E Narrative:

THE PROPOSED PROJECT CONSISTS OF EXPANDING THE EXISTING PARKING LOT BY APPROXIMATELY 26,400 SF TO ADD ±107 NEW PARKING SPACES. MINOR LANDSCAPING AND DRAINAGE IMPROVEMENTS WILL BE PART OF THE PROPOSED EXPANSION. APPROXIMATELY 2.5 ACRES WILL BE DISTURBED DURING CONSTRUCTION. THE DISTURBED SECTIONS ARE COMPRISED OF 4 AREAS: A, B, D, AND E. TO CONTROL SEDIMENT EROSION DURING EARTH FILLING OPERATIONS, THE CONTRACTOR SHALL EMPLOY TECHNIQUES OUTLINED IN THE CONSTRUCTION SEQUENCE AND EROSION CONTROL NOTES TO ENSURE THAT EROSION DOES NOT OCCUR AND THAT SEDIMENT IS NOT TRANSPORTED OFF. THE EARTHWORK IS PLANNED TO START SUMMER 2018 AND BE COMPLETED FALL 2018. THE EROSION AND SEDIMENTATION CONTROLS SHALL BE EMPLOYED BY THE CONTRACTOR DURING THE EARTHWORK AND CONSTRUCTION PHASES OF THE PROJECT IN ACCORDANCE WITH THE CONNECTICUT DEPARTMENT OF ENVIRONMENTAL PROTECTION 2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL. REFER TO THE DRAINAGE/STORMWATER MANAGEMENT REPORT FOR MORE INFORMATION.

### Temporary Erosion and Sedimentation Control Maintenance (throughout construction) THE SITE CONTRACTOR WILL BE RESPONSIBLE FOR IMPLEMENTING EACH CONTROL SHOWN ON THE SEDIMENTATION AND EROSION CONTROL PLAN.

THE SITE CONTRACTOR WILL INSPECT ALL E&S CONTROL MEASURES WEEKLY AND AFTER RAINFALL OF 0.5 INCHES IN 24 HOURS. RECORDS OF THE INSPECTIONS WILL BE PREPARED AND MAINTAINED ON-SITE BY THE CONTRACTOR.

### SILT SHALL BE REMOVED FROM BEHIND BARRIERS IF GREATER THAN 6-INCHES DEEP OR AS NEEDED.

DAMAGED OR DETERIORATED ITEMS WILL BE REPAIRED IMMEDIATELY AFTER IDENTIFICATION.

THE UNDERSIDE OF STRAW BAYLES SHOULD BE KEPT IN CLOSE CONTACT WITH THE EARTH AND RESET AS NECESSARY.

SEDIMENT THAT IS COLLECTED IN STRUCTURES SHALL BE DISPOSED OF PROPERLY AND COVERED IF STORED ON-SITE.

EROSION CONTROL STRUCTURES SHALL REMAIN IN PLACE UNTIL ALL DISTURBED EARTH HAS BEEN SECURELY STABILIZED. AFTER REMOVAL OF STRUCTURES, DISTURBED AREAS SHALL BE REGRADED AND STABILIZED AS SOON AS PRACTICAL.

MAINTAIN THE CONSTRUCTION ENTRANCE IN A CONDITION WHICH WILL PREVENT TRACKING AND WASHING OF SEDIMENTS ONTO PAVED SURFACES.

### **Construction Sequence**

AND/OR SILT SACKS.

AND THEIR DRAINAGE SYSTEM, NEIGHBORING PROPERTIES, AND REGULATORY PROTECTED AREAS, WHETHER SUCH SEDIMENTATION IS CAUSED BY WATER, WIND, OR DIRECT DEPOSIT. PRIOR TO CONSTRUCTION, THE APPLICANT SHALL PROVIDE THE TOWN OF EAST HARTFORD WITH THE NAME OF CONTACT AND 24 HOUR CONTACT INFORMATION.

2. CONTRACTOR SHALL ADHERE TO CONNECTICUT GUIDELINES FOR EROSION AND SEDIMENT CONTROL. 3. FLAG THE LIMITS OF CONSTRUCTION NECESSARY TO FACILITATE THE PRECONSTRUCTION MEETING. 4. HOLD PRECONSTRUCTION MEETING. (REMEMBER TO CALL BEFORE YOU DIG 1-800-922-4455).

5. NOTIFY THE TOWN OF EAST HARTFORD AGENT, ZONING ENFORCEMENT OFFICER AND ENGINEERING DEPARTMENT, 48 HOURS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY.

6. INSTALL STABILIZED VEHICLE CONSTRUCTION EXIT. 7. PRIOR TO INSTALLING SURFACE WATER CONTROLS SUCH AS TEMPORARY DIVERSION SWALES, INSPECT EXISTING CONDITIONS TO ENSURE DISCHARGE LOCATIONS ARE STABLE. IF NOT STABLE, REVIEW DISCHARGE CONDITIONS WITH THE DESIGN ENGINEER AND IMPLEMENT ADDITIONAL STABILIZATION MEASURES PRIOR TO INSTALLING SURFACE WATER CONTROLS.

8. INSTALL EROSION AND SEDIMENT CONTROLS IN ACCORDANCE WITH THE E&S PLAN FOR THE SITE INCLUDING SILTFENCE BARRIERS, STRAW BALES,

9. COMPLETE CLEARING AND GRUBBING. 10. ESTABLISH ROUGH GRADE ON THE SITE. 11. CONSTRUCT UNDERGROUND UTILITIES. INSTALL SILT SAC SEDIMENT TRAPS IN ALL NEW CATCH BASINS.

12. INSTALL PAVEMENT WITHIN LIMIT OF WORK AS SPECIFIED ON THE DESIGN PLANS.
13. INSTALL LANDSCAPING & LOAM AND SEED ALL DISTURBED AREAS.
14. AFTER SITE IS STABILIZED REMOVE TEMPORARY EROSION AND SEDIMENT CONTROLS.

15. LOAM AND SEED ALL DISTURBED AREAS. 16. WHEN ALL OTHER WORK HAS BEEN COMPLETED, REPAIR AND SWEEP ALL PAVED AREAS FOR THE FINAL COURSE OF PAVING. INSPECT THE DRAINAGE SYSTEM AND CLEAN AS NEEDED.

17. INSTALL FINAL COURSE OF PAVEMENT. 18. PAINT PAVEMENT MARKINGS AND COMPLETE SITE WORK.

### **Erosion and Sedimentation Control Tecniques**

THE FOLLOWING EROSION AND SEDIMENTATION CONTROLS SHALL BE EMPLOYED BY THE CONTRACTOR DURING THE EARTHWORK AND CONSTRUCTION 1. THE SITE CONTRACTOR SHALL BE FULLY RESPONSIBLE TO CONTROL CONSTRUCTION SUCH THAT SEDIMENTATION SHALL NOT AFFECT ROADS/HIGHWAYS

PHASES OF THE PROJECT IN ACCORDANCE WITH THE CONNECTICUT DEPARTMENT OF ENVIRONMENTAL PROTECTION 2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL.

> SILT FENCING
> IN AREAS WHERE HIGH RUNOFF VELOCITIES OR HIGH SEDIMENT LOADS ARE EXPECTED, HAY BALE BARRIERS WILL BE BACKED UP WITH SILT FENCING. THIS SEMI-PERMEABLE BARRIER MADE OF A SYNTHETIC POROUS FABRIC WILL PROVIDE ADDITIONAL PROTECTION. THE SILT FENCES AND HAY BALE BARRIER WILL BE REPLACED AS DETERMINED BY PERIODIC FIELD INSPECTIONS.

GRAVEL AND CONSTRUCTION ENTRANCE/EXIT

A TEMPORARY CRUSHED-STONE CONSTRUCTION ENTRANCE/EXIT WILL BE CONSTRUCTED. A CROSS SLOPE WILL BE PLACED IN THE ENTRANCE TO DIRECT

## CATCH BASIN PROTECTION NEWLY CONSTRUCTED AND EXISTING CATCH BASINS WILL BE PROTECTED WITH SILT SACKS THROUGHOUT CONSTRUCTION.

STABILIZATION OF OPEN SOIL SURFACES WILL BE IMPLEMENTED WITHIN 14 DAYS AFTER GRADING OR CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, UNLESS THERE IS SUFFICIENT SNOW COVER TO PROHIBIT IMPLEMENTATION. VEGETATIVE SLOPE STABILIZATION WILL BE USED TO MINIMIZE EROSION ON SLOPES OF 3:1 OR FLATTER. ANNUAL GRASSES, SUCH AS ANNUAL RYE, WILL BE USED TO ENSURE RAPID GERMINATION AND PRODUCTION OF ROOTMASS. PERMANENT STABILIZATION WILL BE COMPLETED WITH THE PLANTING OF PERENNIAL GRASSES OR LEGUMES. ESTABLISHMENT OF TEMPORARY AND PERMANENT VEGETATIVE COVER MAY BE ESTABLISHED BY HYDRO-SEEDING OR SODDING. A SUITABLE TOPSOIL, GOOD SEEDBED PREPARATION, AND ADEQUATE LIME, FERTILIZER AND WATER WILL BE PROVIDED FOR EFFECTIVE ESTABLISHMENT OF THESE VEGETATIVE STABILIZATION METHODS. MULCH WILL ALSO BE USED AFTER PERMANENT SEEDING TO PROTECT SOIL FROM THE IMPACT OF FALLING RAIN AND TO INCREASE THE CAPACITY OF THE SOIL TO ABSORB WATER.

STOCKPILE MANAGEMENT
SIDESLOPES OF STOCKPILED MATERIAL SHALL BE NO STEEPER THAN 2:1. STOCKPILES NOT USED WITHIN 30 DAYS NEED TO BE SEEDED AND MULCHED IMMEDIATELY AFTER FORMATION OF THE STOCKPILE. STRAW BALES AND SILT FENCE ARE TO BE PLACED AROUND THE STOCKPILE AREA APPROXIMATELY 10

<u>DUST CONTROL</u>

PERIODICALLY MOISTEN EXPOSED SURFACES ON UNPAVED TRAVELWAYS TO KEEP THE TRAVELWAY DAMP AND REDUCE DUST.

### Post Construction Stormwater Management

THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ENSURING THAT STORMWATER MANAGEMENT SYSTEMS BE INSPECTED AND MAINTAINED. THE FOLLOWING PLAN COMPONENTS SHALL BE ADHERED TO:

A COMPREHENSIVE SOURCE CONTROL PROGRAM WILL BE IMPLEMENTED AT THE SITE, WHICH INCLUDES REGULAR PAVEMENT SWEEPING AT A MINIMUM 2 TIMES PER YEAR, CATCH BASIN CLEANING, AND MAINTENANCE AND CLEARING OF LITTER FROM PARKING AREAS AND PERIMETER LANDSCAPED AREAS. CLEAN ALL CATCH BASINS AND STRUCTURES TWICE ANNUALLY TO REMOVE ACCUMULATED SAND, SEDIMENT, AND FLOATABLE PRODUCTS OR AS NEEDED

# DEEP SUMP CATCH BASINS CATCH BASINS CATCH BASINS AT THE SITE ARE TO BE CONSTRUCTED WITH SUMPS (MINIMUM 4-FEET) TO TRAP DEBRIS AND SEDIMENTS. CATCH BASINS WILL BE CLEANED

SUBSURFACE DETENTION SYSTEM

THE SUBSURFACE DETENTION SYSTEM IS AN UNDERGROUND DETENTION SYSTEM TO BE USED FOR SURFACE RUNOFF. INSPECT THE UNDERGROUND

INSPECT SNOW SHELVES ONCE ANNUALLY, IN THE SPRING, FOR ACCUMULATED SEDIMENT. NECESSARY SEDIMENT REMOVAL, EARTH REPAIR, AND/OR RESEEDING WILL BE PERFORMED IMMEDIATELY UPON IDENTIFICATION.

ALL E&S CONTROL MEASURES WILL BE INSPECTED WEEKLY AND AFTER RAINFALL OF 0.5 INCHES IN 24 HOURS.

# 111 Founders Plaza Parking Lot **Improvements**

323 & 321 Pitkin Street East Hartford, Connecticut

No.	Revision		Date App		
1.	TOWN	COMMENTS - PARKING	6/14/18		
_					

100 Great Meadow Road

Wethersfield, CT 06109

Suite 200

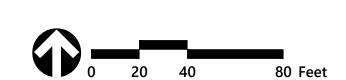
860.807.4300

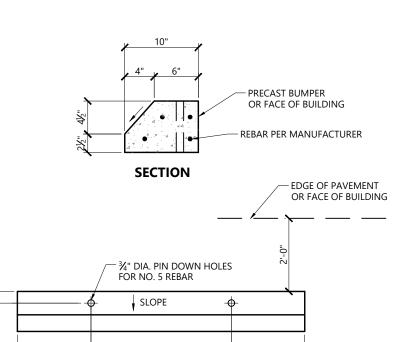
Checked by
PV

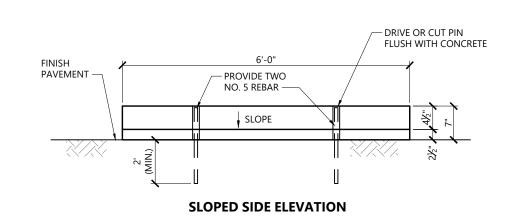
Site Plan Application May 15, 2018

Not Approved for Construction

**Erosion and Sediment Control Plan** 

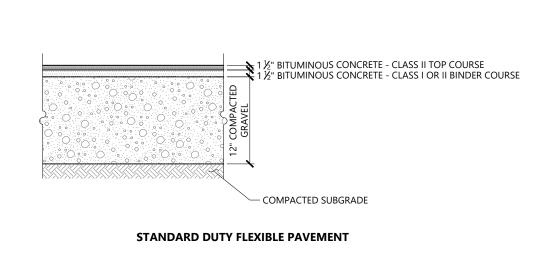






**PLAN VIEW** 





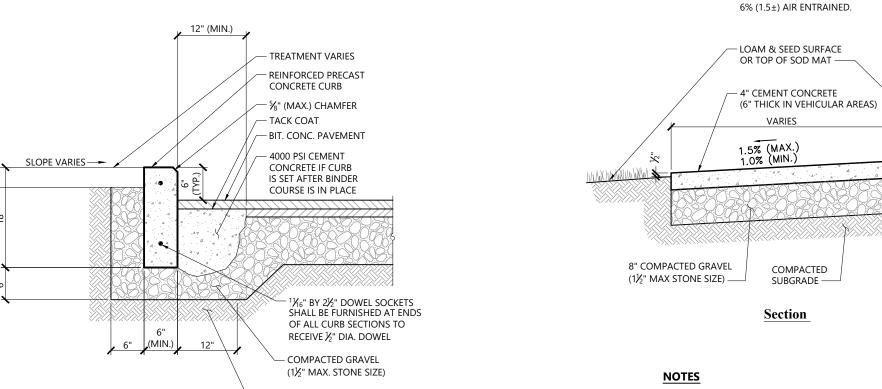
N.T.S.

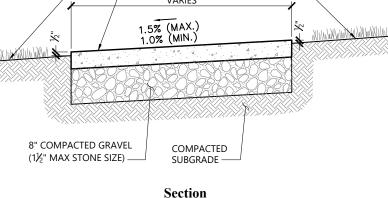
- 1. PAVEMENT SECTIONS ARE SUBJECT TO CHANGE AND WILL BE BASED ON THE RESULTS OF FURTHER GEOTECHNICAL INVESTIGATIONS.
- 2. PAVEMENT SECTION MEETS OR EXCEEDS MINIMUM REQUIREMENTS AS NOTED IN THE TOWN OF EAST HARTFORD STANDARD DETAILS

Source: VHB

**Bituminous Concrete Pavement Section** 







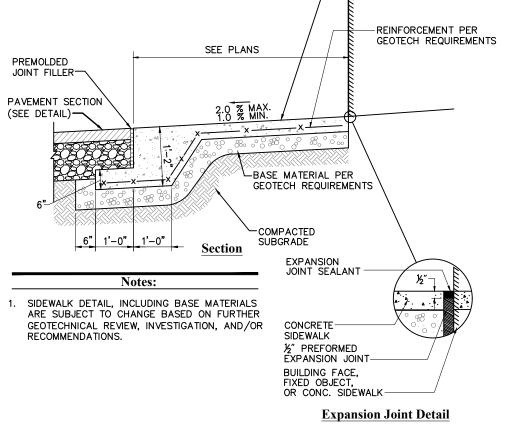
NOTE: CONCRETE FOR SIDEWALKS TO BE 4000 PSI AND FOR DRIVEWAYS 5000 PSI. BOTH MIXES

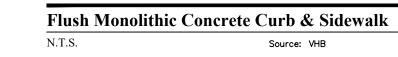
1. PROVIDE EXPANSION JOINTS AT MIN. 30 FT. O.C. WITH PRE- FORMED JOINT FILLER.

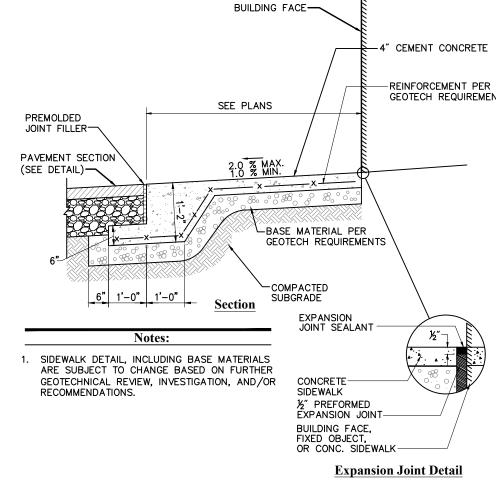
**Concrete Sidewalk in Landscape Area** 

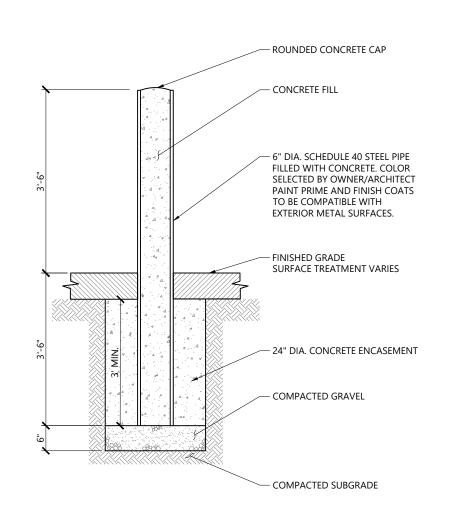
- 2. PROVIDE TOOLED CONTROL JOINTS AT 6' O.C.
- 3. PROVIDE BROOM FINISH IN DIRECTION PERPENDICULAR TO SIDEWALK DIRECTION.

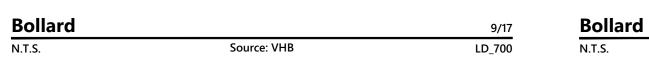
LD\_426

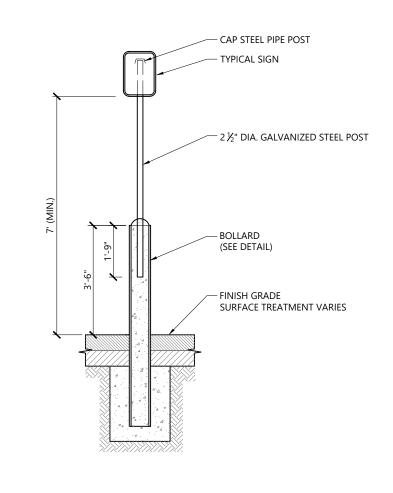












<b>Bollard Mounted Sign</b>		1/16
N.T.S.	Source: VHB	LD_703

- 1" REBAR FOR

**BAG REMOVAL** 

CATCH BASIN GRATE —

CATCH BASIN GRATE -

PLACED AND HAY BALES HAVE BEEN REMOVED.

2. GRATE TO BE PLACED OVER SILTSACK.

SILTSACK —

**PLAN VIEW** 

SECTION VIEW

1. INSTALL SILTSACK IN ALL CATCH BASINS WHERE INDICATED ON THE PLAN

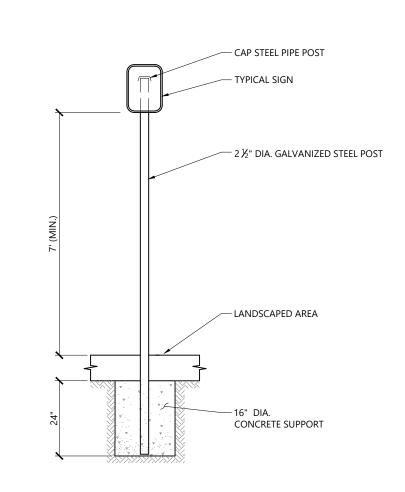
3. SILTSACK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM

EVENTS AND CLEANING OR REPLACEMENT SHALL BE PERFORMED

PROMPTLY AS NEEDED. MAINTAIN UNTIL UPSTREAM AREAS HAVE BEEN

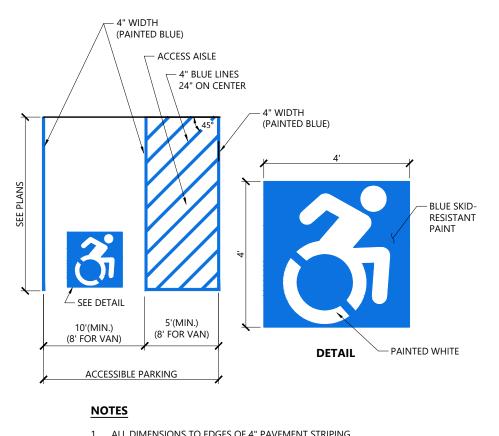
BEFORE COMMENCING WORK OR IN PAVED AREAS AFTER BINDER COURSE IS

SILTSACK —



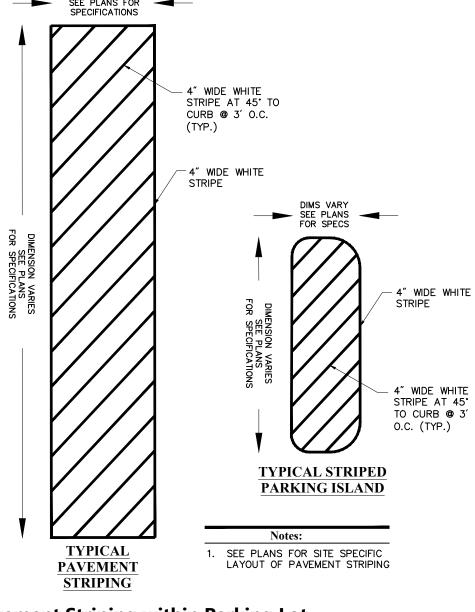
— COMPACTED SUBGRADE

Sign Post - Type 'A'			1/16
N.T.S.	Source: VHB	REV	LD_701

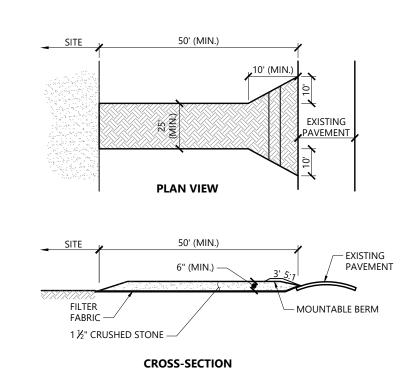


- 1. ALL DIMENSIONS TO EDGES OF 4" PAVEMENT STRIPING.
- 2. 8' STALL WIDTH REFERS TO 8' CLEAR BETWEEN INSIDE EDGES OF
- 3. ALL SLOPES THROUGHOUT THE ACCESSIBLE PARKING AND AISLE AREAS SHALL NOT EXCEED 2.0%.
- 4. TO BE COORDINATED/APPROVED BY THE BUILDING OFFICIAL.





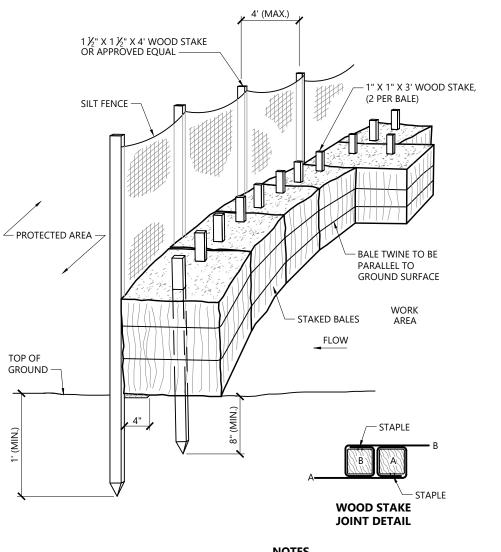
**Pavement Striping within Parking Lot** 



1. EXIT WIDTH SHALL BE A TWENTY-FIVE (25) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS

- 2. THE EXIT SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. BERM SHALL BE PERMITTED. PERIODIC INSPECTION AND MAINTENANCE SHALL BE
- 3. STABILIZED CONSTRUCTION EXIT SHALL BE REMOVED PRIOR TO FINAL

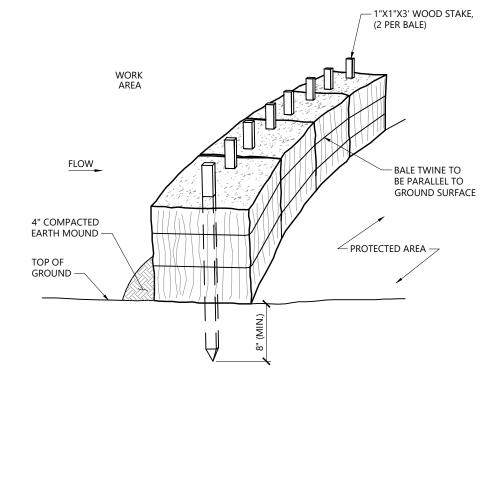
**Stabilized Construction Exit** Siltsack Sediment Trap LD\_682 LD\_674



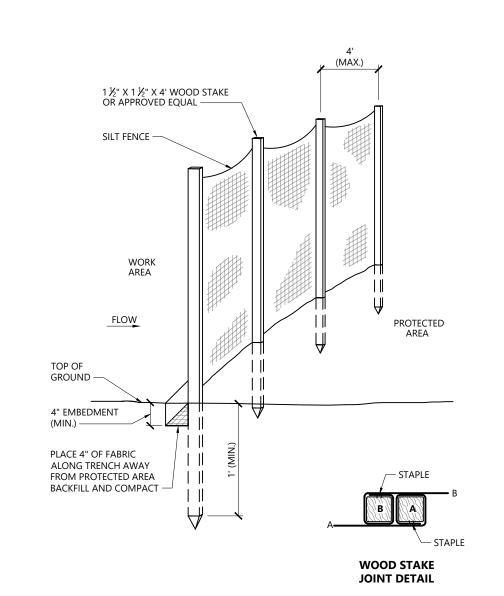
PLACE ONE BALE PERPENDICULAR ALONG BALE BARRIER (100' O.C.).

**Silt Fence / Straw Bale Barrier** 

N.T.S.



<b>Straw Bale Barrier</b>		1/16
N.T.S.	Source: VHB	LD_653



Silt Fence Barrier		1/16
N.T.S.	Source: VHB	LD_650

# 111 Founders Plaza Parking Lot **Improvements**

100 Great Meadow Road

Wethersfield, CT 06109

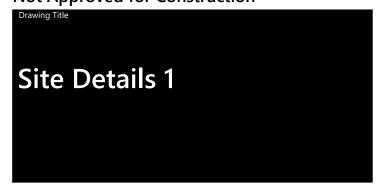
Suite 200

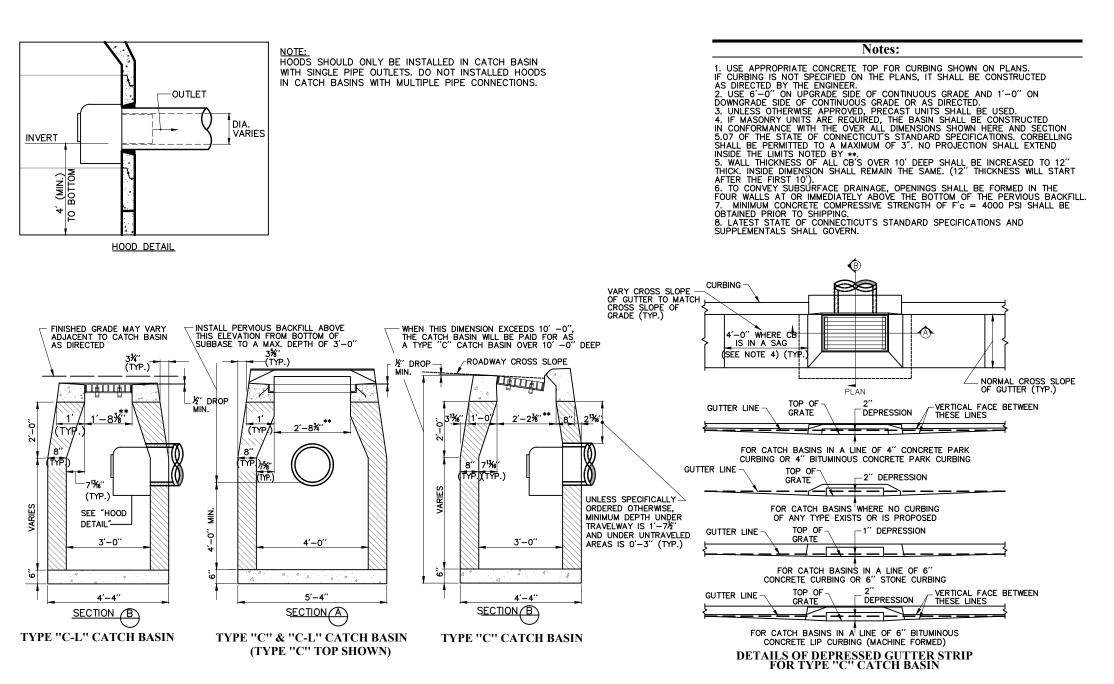
860.807.4300

323 & 321 Pitkin Street East Hartford, Connecticut

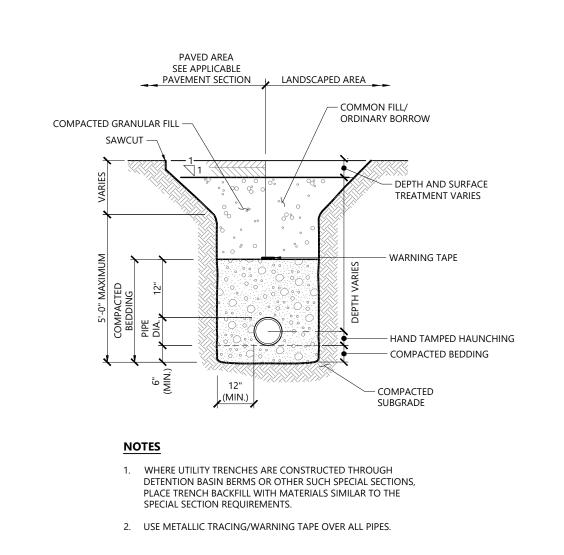
Site Plan Application	May 15, 2018
Issued for	Date
Designed by KJT/SJK	Checked by PV
1. TOWN COMMENTS — PARKING	6/14/18

Not Approved for Construction



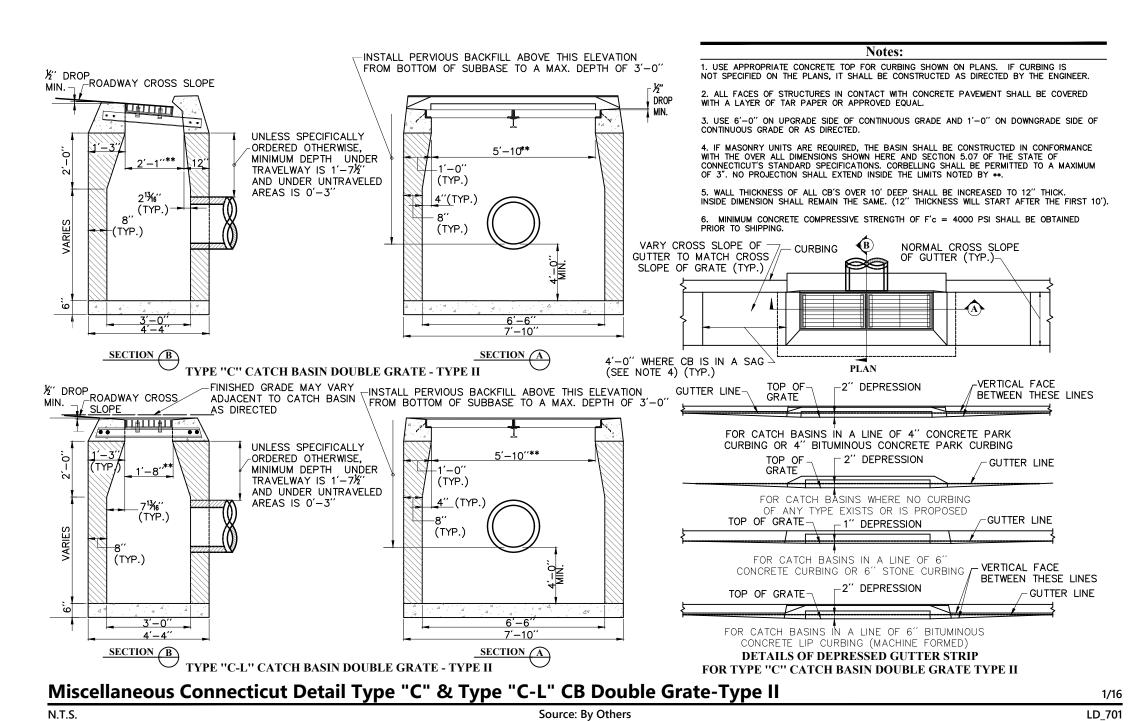


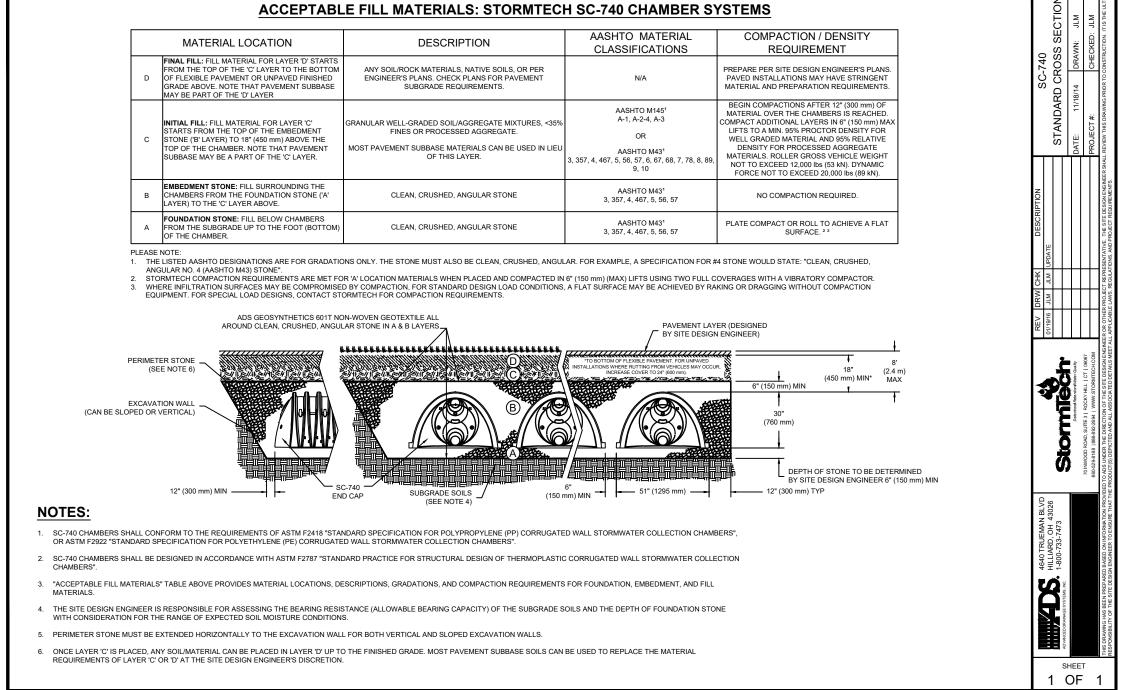
Miscellaneous Connecticut Detail Type "C" & "C-L" Catch Basins



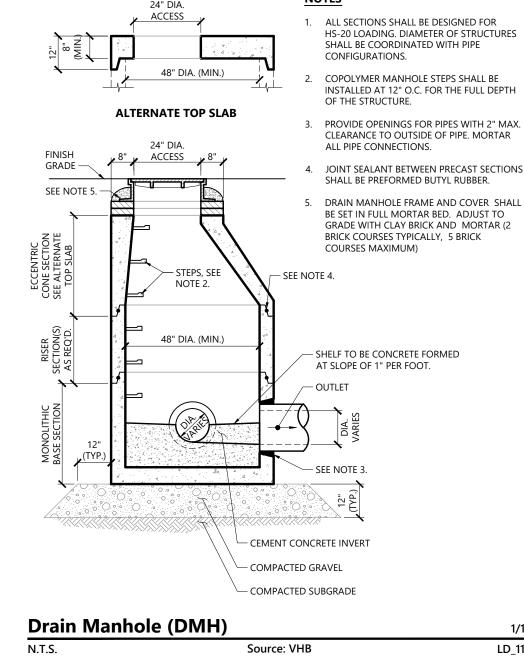
LD\_701

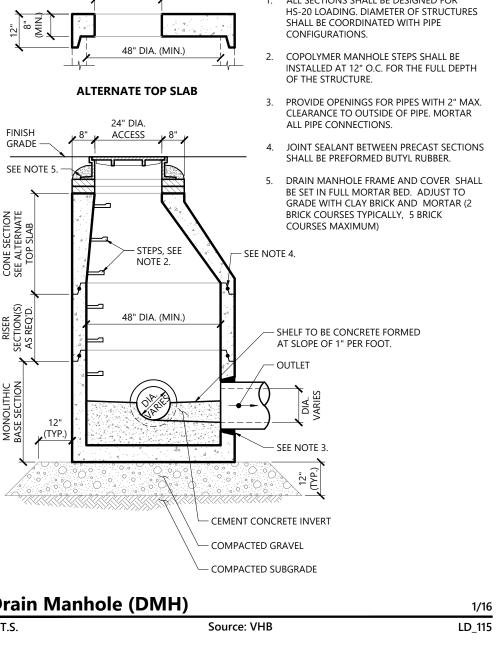
Utility Trench		1/16
N.T.S.	Source: VHB	LD_300





Source: VHB





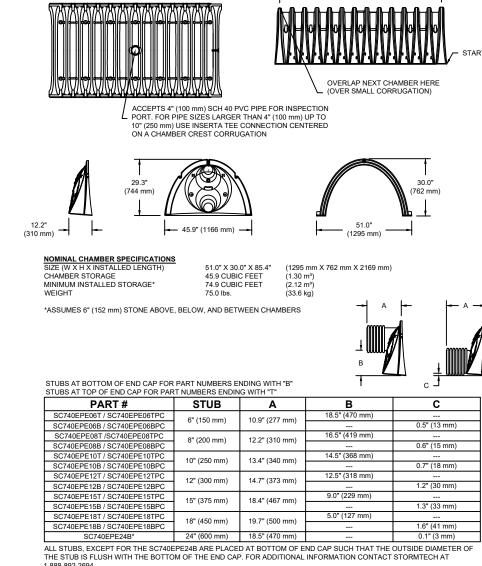
SC-740 TECHNICAL SPECIFICATION

90.7" (2304 mm) ACTUAL LENGTH ———

NOTE: ALL DIMENSIONS ARE NOMINAL

85.4" (2169 mm) INSTALLED LENGTH -

BUILD ROW IN THIS DIRECTION



\* FOR THE SC740EPE24B THE 24" (600 mm) STUB LIES BELOW THE BOTTOM OF THE END CAP APPROXIMATELY 1.75" (44 mm). BACKFILL MATERIAL SHOULD BE REMOVED FROM BELOW THE N-12 STUB SO THAT THE FITTING SITS LEVEL.

Parking Lot **Improvements** 

111 Founders Plaza

323 & 321 Pitkin Street East Hartford, Connecticut

1. TOWN COMMENTS - PARKING

	, ,
Destance I lead	Charles de la c

100 Great Meadow Road

Wethersfield, CT 06109

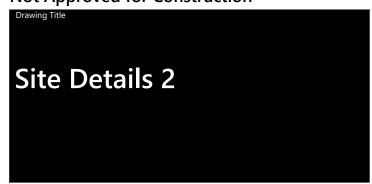
Suite 200

860.807.4300

**Site Plan Application** May 15, 2018

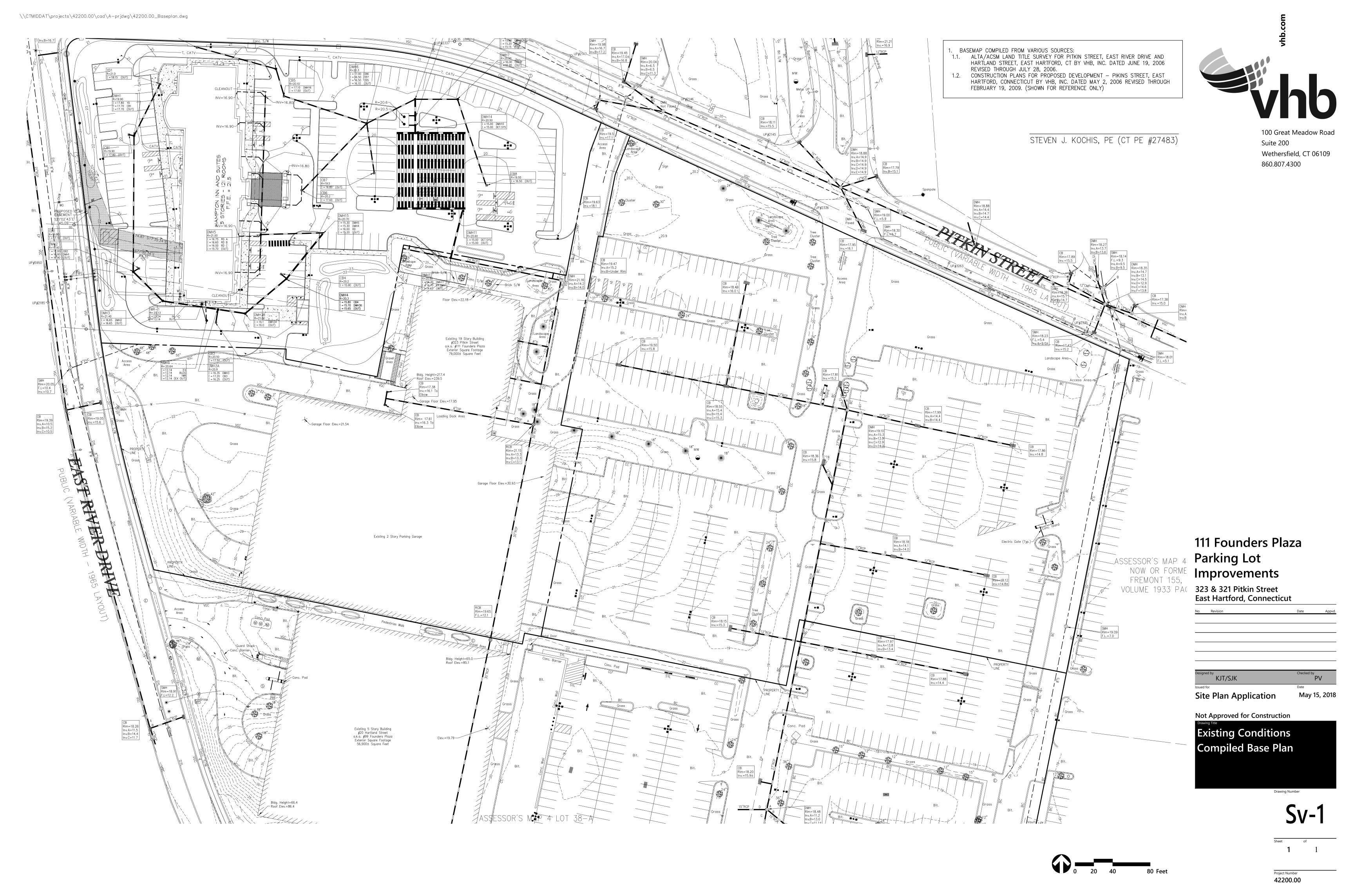
**Not Approved for Construction** 

KJT/SJK



6/14/18





Filename: 111 Founders Plaza Parking Lot Improvments - East Hartford.AGI Luminaire Schedule Lum. Watts Lum. Lumens Arrangement 0.900 Lithonia DSX1 LED P4 40K T3M MVOLT SPA PER DDBXD - SSS 20 4C DM19AS DDBXD 20FT POLE SINGLE BACK-BACK 0.900 Lithonia DSX1 LED P4 40K T5W MVOLT SPA PER DDBXD - SSS 20 4C DM28AS DDBXD 20FT POLE 14941 0.900 Lithonia DSXB LED 16C 350 40K SYM DDBXD SINGLE 1674 Calculation Summary Greg Loda / Scott Dubey Lighting Affiliates 1208 Cromwell Ave AREA A Rocky Hill, CT 06067 15.40 47.00 216.00 website: www.lightingaffiliates.com Illuminance 43.60 AREA E Voice Number: (860) 721-1171 x 219 4.7 16.30 Illuminance 0.1 47.00 Email Address : gloda@lightingaffiliates.com \\CTMIDDAT\projects\42200.00\cad\Id\Planset\02.1\_42200\_LM.dwg **Zoning Summary Chart** Zoning District: B-4 - Business Zone PARKING TARED WITH PARCE \_\_\_\_4 4 4 Zoning Regulation Requirements uired Provided **EXISTING** 25 Feet FRONT YARD SETBACK 25 Feet1 SIDE YARD SETBACK **EXISTING** 20 Feet **EXISTING** REAR YARD SETBACK FRONT YARD PARKING SETBACK 26 Feet SIDE YARD PARKING SETBACK REAR YARD PARKING SETBACK /%rg/ss// PARCEL 2: 78.6 **MAXIMUM IMPERVIOUS** PARCEL 3: 80.3 10 SF PER PARKING SEE AREA SUMMARY INTERIOR PARKING LANDSCAPING **CHART BELOW** 1 TWO SIDE YARDS SHALL HAVE A TOTAL OF 25 FT BUT NO SIDE YARD SHALL BE LESS THAN 10 FEET Interior Landscaping Summary Chart Parking Interior Landscape Provided, Provided, Parking Summary Chart Required Provided Description STANDARD SPACES DE YARD BUILDING PARKING SETBACK **VAN ACCESSIBLE SPACES** TOTAL SPACES PPROXIMATE LOCATION OF PROPOSED SUBDIVISION LINE \* ADASTATELOCAL REQUIREMENTS Parking Requirements For 111 Founders:  $245,000 \text{ SF} \times 1 \text{ SPACES}$  275 = 891 SPACESTOTAL PARKING REQUIRED 891-SPACES \* BUILDING AREA FOR 111 FOUNDERS PROVIDED BY PROPERTY MANAGER SUSAN STOLARCZYK Sign Summary Pitkin Street East Hartford, Connecticus AREA IS NOT INCLUDED AS PART OF THE PROJECT AND THEREFORE CONNDOT Specification Number Width Height CUSTOM 1 31-0648 Grass Parking Lot Improvments 28 0.4 0.3 0.2 (28) 0 May 15, 2018 **Client Review Not Approved for Construction** Existing 5 Story Building #20 Hartland Street a.k.a. #99 Founders Plaza Exterior Square Footage 56,900± Square Feet Layout and Materials Plan Drawing Number Project Number 42200.00