

# Site Plans

Issued for	Site Plan Application
Date Issued	May 15, 2018
Latest Issue	June 14, 2018

## 111 Founders Plaza Parking Lot Improvements

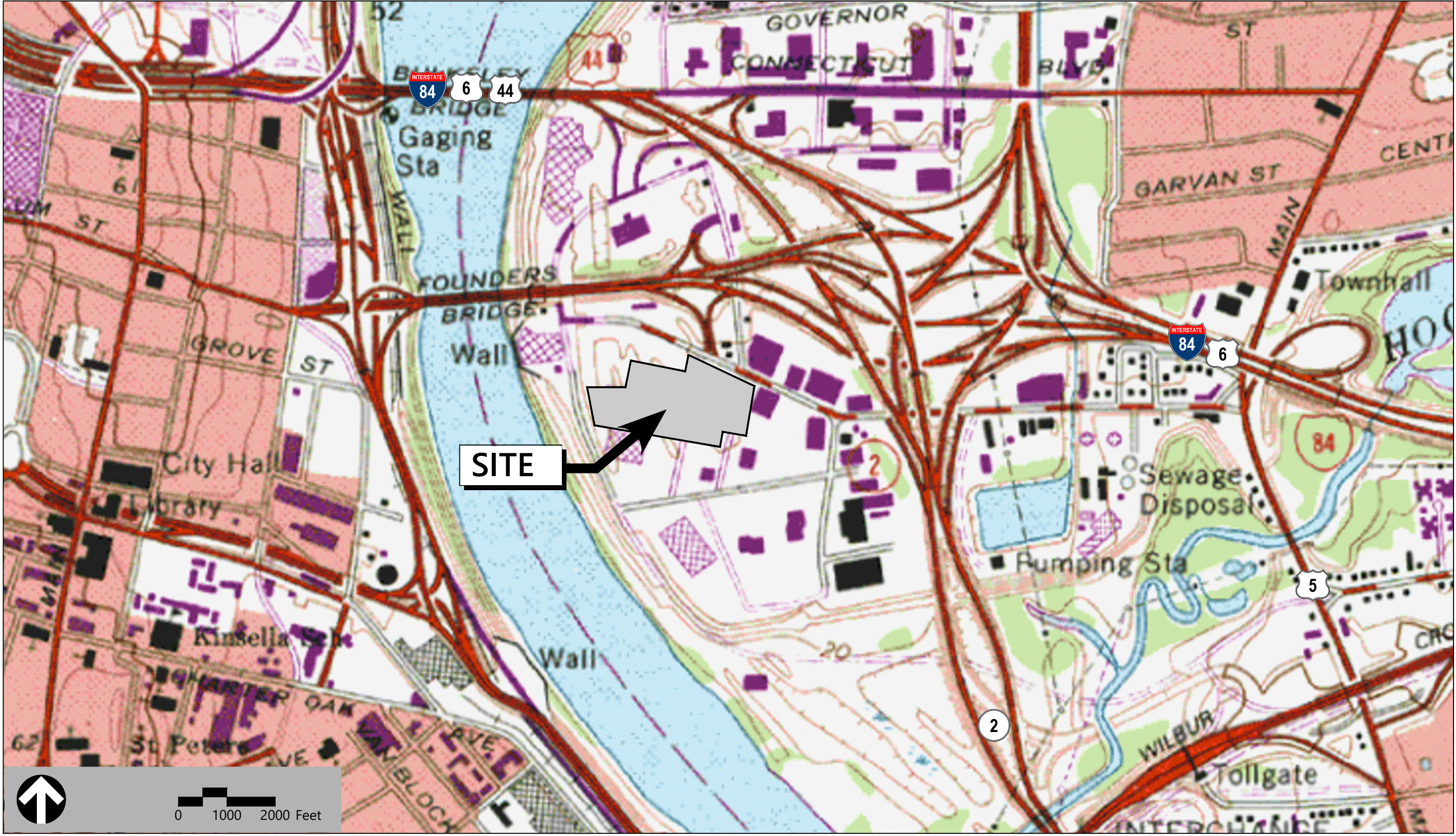
323 & 321 Pitkin Street  
East Hartford, Connecticut

**Owner:**

Merchant 99-111 Founders LLC  
One Hartfield Boulevard Suite 102  
East Windsor, Connecticut 06088

**Lots:**

4-38 & 4-38c  
(323 & 321 Pitkin Street)



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100 Great Meadow Road  
Suite 200  
Wethersfield, CT 06109  
860.807.4300

### Legend

Exist.	Prop.		Exist.	Prop.	
		PROPERTY LINE			CONCRETE
		PROJECT LIMIT LINE			HEAVY DUTY PAVEMENT
		RIGHT-OF-WAY/PROPERTY LINE			BUILDINGS
		EASEMENT			RIPRAP
		BUILDING SETBACK			CONSTRUCTION ENTRANCE
		PARKING SETBACK	27.35 TC x	27.35 TC x	TOP OF CURB ELEVATION
		BASELINE	26.85 BC x	26.85 BC x	BOTTOM OF CURB ELEVATION
		CONSTRUCTION LAYOUT	26.85 FC x	26.85 FC x	FLUSH CURB ELEVATION
		ZONING LINE	132.75 x	132.75 x	SLOT ELEVATION
		TOWN LINE	45.0 TW x 38.5 BW	45.0 TW x 38.5 BW	TOP & BOTTOM OF WALL ELEVATION
		LIMIT OF DISTURBANCE			BORING LOCATION
		WETLAND LINE WITH FLAG			TEST PIT LOCATION
		FLOODPLAIN			MONITORING WELL
		BORDERING LAND SUBJECT TO FLOODING			UNDERDRAIN
		WETLAND BUFFER ZONE			DRAIN
		NO DISTURB ZONE			ROOF DRAIN
		200' RIVERFRONT AREA			SEWER
		GRAVEL ROAD			FORCE MAIN
		EDGE OF PAVEMENT			OVERHEAD WIRE
		BITUMINOUS BERM			WATER
		BITUMINOUS CURB			FIRE PROTECTION
		CONCRETE CURB			DOMESTIC WATER
		CURB AND GUTTER			GAS
		EXTRUDED CONCRETE CURB			ELECTRIC
		MONOLITHIC CONCRETE CURB			STEAM
		PRECAST CONC. CURB			TELEPHONE
		SLOPED GRAN. EDGING			FIRE ALARM
		VERT. GRAN. CURB			CABLE TV
		LIMIT OF CURB TYPE			CATCH BASIN
		SAWCUT			DOUBLE CATCH BASIN
		BUILDING			GUTTER INLET
		BUILDING ENTRANCE			DRAIN MANHOLE
		LOADING DOCK			TRENCH DRAIN
		BOLLARD			PLUG OR CAP
		DUMPSTER PAD			CLEANOUT
		SIGN			FLARED END SECTION
		DOUBLE SIGN			HEADWALL
		STEEL GUARDRAIL			SEWER MANHOLE
		WOOD GUARDRAIL			CURB STOP & BOX
		PATH			WATER VALVE & BOX
		TREE LINE			TAPPING SLEEVE, VALVE & BOX
		WIRE FENCE			SIAMESE CONNECTION
		FENCE			FIRE HYDRANT
		STOCKADE FENCE			WATER METER
		STONE WALL			POST INDICATOR VALVE
		RETAINING WALL			WATER WELL
		STREAM / POND / WATER COURSE			GAS GATE
		DETENTION BASIN			GAS METER
		HAY BALES			ELECTRIC MANHOLE
		SILT FENCE			ELECTRIC METER
		SILT SOCK / STRAW WATTLE			LIGHT POLE
		MINOR CONTOUR			TELEPHONE MANHOLE
		MAJOR CONTOUR			TRANSFORMER PAD
		PARKING COUNT			UTILITY POLE
		COMPACT PARKING STALLS			GUY POLE
		DOUBLE YELLOW LINE			GUY WIRE & ANCHOR
		STOP LINE			HAND HOLE
		CROSSWALK			PULL BOX
		ACCESSIBLE CURB RAMP	Matchline		MATCHLINE
		ACCESSIBLE PARKING			
		VAN-ACCESSIBLE PARKING			

## Abbreviations

General	
ABAN	ABANDON
ACR	ACCESSIBLE CURB RAMP
ADJ	ADJUST
APPROX	APPROXIMATE
BIT	BITUMINOUS
BS	BOTTOM OF SLOPE
BWLL	BROKEN WHITE LANE LINE
CONC	CONCRETE
DYCL	DOUBLE YELLOW CENTER LINE
EL	ELEVATION
ELEV	ELEVATION
EXIST	EXISTING
FDN	FOUNDATION
FFE	FIRST FLOOR ELEVATION
GRAN	GRANITE
GTD	GRADE TO DRAIN
LA	LANDSCAPE AREA
LOD	LIMIT OF DISTURBANCE
MAX	MAXIMUM
MIN	MINIMUM
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
PERF	PERFORATED
PROP	PROPOSED
REM	REMOVE
RET	RETAIN
R&D	REMOVE AND DISPOSE
R&R	REMOVE AND RESET
SWEL	SOLID WHITE EDGE LINE
SWLL	SOLID WHITE LANE LINE
TS	TOP OF SLOPE
TYP	TYPICAL
Utility	
CB	CATCH BASIN
CMP	CORRUGATED METAL PIPE
CO	CLEANOUT
DCB	DOUBLE CATCH BASIN
DMH	DRAIN MANHOLE
CIP	CAST IRON PIPE
COND	CONDUIT
DIP	DUCTILE IRON PIPE
FES	FLARED END SECTION
FM	FORCE MAIN
F&G	FRAME AND GRATE
F&C	FRAME AND COVER
GI	GUTTER INLET
GT	GREASE TRAP
HDPE	HIGH DENSITY POLYETHYLENE PIPE
HH	HANDHOLE
HW	HEADWALL
HYD	HYDRANT
INV	INVERT ELEVATION
I=	INVERT ELEVATION
LP	LIGHT POLE
MES	METAL END SECTION
PWW	PAVED WATER WAY
PVC	POLYVINYLCHLORIDE PIPE
PIV	POST INDICATOR VALVE
RCP	REINFORCED CONCRETE PIPE
R=	RIM ELEVATION
SMH	SEWER MANHOLE
TSV	TAPPING SLEEVE, VALVE AND BOX
UG	UNDERGROUND
UP	UTILITY POLE

## Notes

## General

1. CONTRACTOR SHALL NOTIFY "CALL-BEFORE-YOU-DIG" (811 OR 1-800-922-4455) AT LEAST 72 HOURS BEFORE EXCAVATING.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.
3. ACCESSIBLE ROUTES, PARKING SPACES, RAMPS, SIDEWALKS AND WALKWAYS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE FEDERAL AMERICANS WITH DISABILITIES ACT AND WITH STATE AND LOCAL LAWS AND REGULATIONS (WHICHEVER ARE MORE STRINGENT).
4. AREAS DISTURBED DURING CONSTRUCTION AND NOT RESTORED WITH IMPERVIOUS SURFACES (BUILDINGS, PAVEMENTS, WALKS, ETC.) SHALL RECEIVE 4 INCHES LOAM AND SEED.
5. WORK WITHIN THE LOCAL RIGHTS-OF-WAY SHALL CONFORM TO LOCAL MUNICIPAL STANDARDS. WORK WITHIN STATE RIGHTS-OF-WAY SHALL CONFORM TO THE LATEST EDITION OF THE STATE HIGHWAY DEPARTMENTS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.
6. UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH THE WORK INDICATED ON THE DRAWINGS. IN THE SPECIFICATIONS, AND IN THE CONTRACT DOCUMENTS. DO NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALKS, AND FIRE HYDRANTS, WITHOUT APPROPRIATE PERMITS.
7. TRAFFIC SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
8. AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
9. IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER, AND OTHER MEDIA ARE ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECT MATERIAL TO AVOID FURTHER SPREADING OF THE MATERIAL, AND SHALL NOTIFY THE OWNER IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN.
10. CONTRACTOR SHALL PREVENT DUST, SEDIMENT, AND DEBRIS FROM EXITING THE SITE AND SHALL BE RESPONSIBLE FOR CLEANUP, REPAIRS AND CORRECTIVE ACTION IF SUCH OCCURS.
11. DAMAGE RESULTING FROM CONSTRUCTION LOADS SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO OWNER.
12. CONTRACTOR SHALL CONTROL STORMWATER RUNOFF DURING CONSTRUCTION TO PREVENT ADVERSE IMPACTS TO OFF SITE AREAS, AND SHALL BE RESPONSIBLE TO REPAIR RESULTING DAMAGES, IF ANY, AT NO COST TO OWNER.
13. THIS PROJECT DOES NOT DISTURB MORE THAN 5 ACRES OF LAND AND THEREFORE DOES NOT FALL WITHIN THE NPDES CONSTRUCTION GENERAL PERMITS (CGP) PROGRAM OR CONNECTICUT DEEP JURISDICTION.

## Utilities

1. THE LOCATIONS, SIZES, AND TYPES OF EXISTING UTILITIES ARE SHOWN AS AN APPROXIMATE REPRESENTATION ONLY. THE OWNER OR ITS REPRESENTATIVE(S) HAVE NOT INDEPENDENTLY VERIFIED THIS INFORMATION AS SHOWN ON THE PLANS. THE UTILITY INFORMATION SHOWN DOES NOT GUARANTEE THE ACTUAL EXISTENCE, RELIABILITY, OR OTHER DATA CONCERNING THE UTILITIES, NOR DOES IT GUARANTEE AGAINST THE POSSIBILITY THAT ADDITIONAL UTILITIES MAY BE PRESENT THAT ARE NOT SHOWN ON THE PLANS. PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY AND DETERMINE THE EXACT LOCATIONS, SIZES, AND ELEVATIONS OF THE POINTS OF CONNECTIONS TO EXISTING UTILITIES AND, SHALL CONFIRM THAT THERE ARE NO INTERFERENCES WITH EXISTING UTILITIES AND THE PROPOSED UTILITY ROUTES, INCLUDING ROUTES WITHIN THE PUBLIC RIGHTS OF WAY.
2. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, OR EXISTING CONDITIONS DIFFER FROM THOSE SHOWN SUCH THAT THE WORK CANNOT BE COMPLETED AS INTENDED, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED IN WRITING TO THE OWNER'S REPRESENTATIVE FOR THE RESOLUTION OF THE CONFLICT AND CONTRACTOR'S FAILURE TO NOTIFY PRIOR TO PERFORMING ADDITIONAL WORK RELEASES OWNER FROM OBLIGATIONS FOR ADDITIONAL PAYMENTS WHICH OTHERWISE MAY BE WARRANTED TO RESOLVE THE CONFLICT.
3. SET CATCH BASIN RIMS, AND INVERTS OF SEWERS, DRAINS, AND DITCHES IN ACCORDANCE WITH ELEVATIONS ON THE GRADING AND UTILITY PLANS.
4. RIM ELEVATIONS FOR DRAIN AND SEWER MANHOLES, WATER VALVE COVERS, GAS GATES, ELECTRIC AND TELEPHONE PULL BOXES, AND MANHOLES, AND OTHER SUCH ITEMS, ARE APPROXIMATE AND SHALL BE SET/RESET AS FOLLOWS:
  - A. PAVEMENTS AND CONCRETE SURFACES: FLUSH
  - B. ALL SURFACES ALONG ACCESSIBLE ROUTES: FLUSH
  - C. LANDSCAPE, LOAM AND SEED, AND OTHER EARTH SURFACE AREAS: ONE INCH ABOVE SURROUNDING AREA AND TAPED EARTH TO THE RIM ELEVATION.
5. THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY, AND APPROVED BY, THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE, ELECTRIC, FIRE ALARM, ETC.). FINAL DESIGN LOADS AND LOCATIONS TO BE COORDINATED WITH OWNER AND FIRE DEPARTMENT.
6. CONTRACTOR SHALL MAKE ARRANGEMENTS FOR AND SHALL BE RESPONSIBLE FOR PAYING FEES FOR POLE RELOCATION AND FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE, FIRE ALARM, AND ANY OTHER PRIVATE UTILITIES, WHETHER WORK IS PERFORMED BY CONTRACTOR OR BY THE UTILITIES COMPANY.
7. UTILITY PIPE MATERIALS SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED ON THE PLAN:
  - A. STORM DRAINAGE PIPES SHALL BE REINFORCED CONCRETE PIPE (RCP) OR HIGH DENSITY POLYETHYLENE PIPE (HDPE), AS NOTED ON THE PLANS.
8. CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR AND SHALL FURNISH EXCAVATION, INSTALLATION, AND BACKFILL OF ELECTRICAL FURNISHED SITEWORK RELATED ITEMS SUCH AS PULL BOXES, CONDUITS, DUCT BANKS, LIGHT POLE BASES, AND CONCRETE PADS. SITE CONTRACTOR SHALL FURNISH CONCRETE ENCASUREMENT OF DUCT BANKS IF REQUIRED BY THE UTILITY COMPANY AND AS INDICATED ON THE DRAWINGS.
9. ALL DRAINAGE AND SANITARY STRUCTURE INTERIOR DIAMETERS (4" MIN) SHALL BE DETERMINED BY THE CONTRACTOR ON THE PIPE CONFIGURATION SHOWN ON THESE PLANS AND LOCAL MUNICIPAL STANDARDS. FOR MANHOLES THAT ARE 20 FEET IN DEPTH AND GREATER, THE MINIMUM DIAMETER SHALL BE 5 FEET.

## Layout and Materials

1. DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.
2. CURB RADI ARE 3 FEET UNLESS OTHERWISE NOTED.
3. CURBING SHALL BE PRECAST CONCRETE CURB WITHIN THE SITE UNLESS OTHERWISE INDICATED ON THE PLANS.
4. PROPOSED BOUNDS AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A PROFESSIONAL LICENSED SURVEYOR.
5. PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTING PAVEMENT ELEVATIONS AT ITS INTERFACE WITH PROPOSED PAVEMENT AND EXISTING GROUND ELEVATIONS ADJACENT TO DRAINAGE OUTLETS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES.

## Erosion Control

1. PRIOR TO STARTING ANY OTHER WORK ON THE SITE, THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES AND SHALL INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE PLANS AND AS IDENTIFIED IN FEDERAL, STATE, AND LOCAL APPROVAL DOCUMENTS PERTAINING TO THIS PROJECT.
2. CONTRACTOR SHALL INSPECT AND MAINTAIN EROSION CONTROL MEASURES ON A WEEKLY BASIS (MINIMUM) OR AS REQUIRED PER THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP). THE CONTRACTOR SHALL ADDRESS DEFICIENCIES AND MAINTENANCE ITEMS WITHIN TWENTY-FOUR HOURS OF INSPECTION. CONTRACTOR SHALL PROPERLY DISPOSE OF SEDIMENT SUCH THAT IT DOES NOT ENCUMBER OTHER DRAINAGE STRUCTURES AND PROTECTED AREAS.
3. CONTRACTOR SHALL BE FULLY RESPONSIBLE TO CONTROL CONSTRUCTION SUCH THAT SEDIMENTATION SHALL NOT AFFECT REGULATORY PROTECTED AREAS, WHETHER SUCH SEDIMENTATION IS CAUSED BY WATER, WIND, OR DIRECT DEPOSIT.
4. CONTRACTOR SHALL PERFORM CONSTRUCTION SEQUENCING SUCH THAT EARTH MATERIALS ARE EXPOSED FOR A MINIMUM OF TIME BEFORE THEY ARE COVERED, SEED, OR OTHERWISE STABILIZED TO PREVENT EROSION.
5. UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER, CONTRACTOR SHALL REMOVE AND DISPOSE OF EROSION CONTROL MEASURES AND CLEAN SEDIMENT AND DEBRIS FROM ENTIRE DRAINAGE AND SEWER SYSTEMS.

### Existing Conditions Information

1. BASEMAP COMPILED FROM VARIOUS SOURCES:
  - 1.1. ALTA/CA&S LAND TITLE SURVEY FOR PITKIN STREET, EAST RIVER DRIVE AND HARTLAND STREET, EAST HARTFORD, CONNECTICUT, 1908, DATED 1906 REVISED THROUGH JULY 28, 1909.
  - 1.2. CONSTRUCTION PLANS FOR PROPOSED DEVELOPMENT - PITKIN STREET, EAST HARTFORD, CONNECTICUT BY VHB, INC. DATED MAY 2, 2006 REVISED THROUGH FEBRUARY 19, 2009.
2. TOPOGRAPHY: ELEVATIONS ARE BASED ON NAVD 88.
3. GEOTECHNICAL DATA INCLUDING TEST PIT AND BORING LOCATIONS AND ELEVATIONS WERE OBTAINED FROM A REPORT BY IGI EASTERN, INC. DATED SEPTEMBER 30, 2005, PREPARED FOR THE ADJACENT PROPERTY (HAMPTON INN AND SUITES).

## Document Use

1. THESE PLANS AND CORRESPONDING CADD DOCUMENTS ARE INSTRUMENTS OF PROFESSIONAL SERVICE, AND SHALL NOT BE USED, IN WHOLE OR IN PART, FOR ANY PURPOSE OTHER THAN FOR WHICH IT WAS CREATED WITH THE USER'S EXPRESSED, WRITTEN CONSENT OF VHB, AN UNAUTHORIZED USE, REVISION, MODIFICATION, REPRODUCTION, OR ANY OTHER AUTOMATIC CONVERSION OF THIS DOCUMENT SHALL BE AT THE USER'S SOLE RISK WITHOUT LIABILITY OR LEGAL EXPOSURE TO VHB.
2. CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS, BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.
3. SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS, AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.

# 111 Founders Plaza Parking Lot Improvements

323 & 321 Pitkin Street  
East Hartford, Connecticut

No.	Revision	Date	Appvd.
1.	TOWN COMMENTS - PARKING	6/14/18	

Designed by	Checked by
KJT/SJK	PV

## Site Plan Application

May 15, 2018

Not Approved for Construction

## Legend, Abbreviations and General Notes





EXISTING IMPROVEMENTS  
TO BE REMOVED  
(PAVEMENT, CURB,  
LANDSCAPE, ETC.)

## 111 Founders Plaza Parking Lot Improvements

323 & 321 Pitkin Street  
East Hartford, Connecticut

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1.	TOWN COMMENTS – PARKING	6/14/18	

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Drawing Title

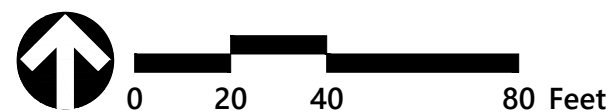
## Demolition Plan

Drawing Number

# C-2.0

Sheet 2 of 7

Project Number  
**42200.00**



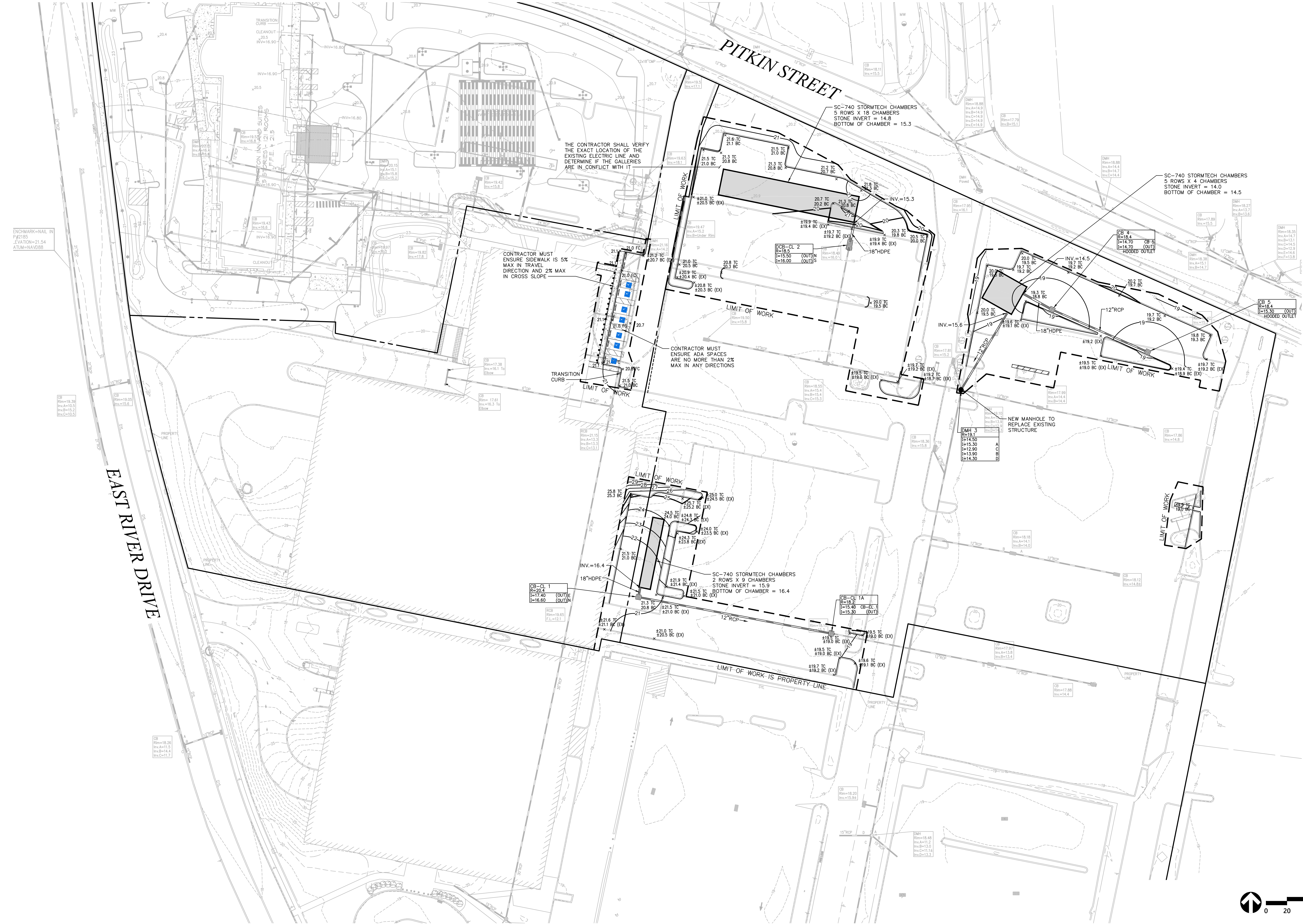
**DEMOLITION NOTES:**

- |  |  |  |   |
|--|--|--|---|
| 1. THE DEMOLITION PLAN IS PROVIDED SOLELY FOR INFORMATIONAL PURPOSES ONLY AND IS INTENDED TO AID THE CONTRACTOR DURING THE BIDDING AND CONSTRUCTION PROCESS AND IS NOT INTENDED TO DEPICT EACH AND EVERY ELEMENT OF DEMOLITION. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING THE DETAILED SCOPE OF DEMOLITION ACTIVITIES, INCLUDING, BUT NOT LIMITED TO, PERFORM THE WORK AND SHALL MAKE NO CLAIMS AND SEEK NO ADDITIONAL COMPENSATION FOR CHANGED CONDITIONS OR UNFORESEEN OR LATENT SITE CONDITIONS RELATED TO ANY CONDITIONS DISCOVERED DURING EXECUTION OF THE WORK.  | 6. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.  | 11. CONTRACTOR SHALL IDENTIFY ANY TREES WITHIN THE LIMIT OF WORK NOT IDENTIFIED ON THE EXISTING CONDITIONS PLANS. THE LOCATION AND SPECIES OF THESE TREES SHALL BE PROVIDED TO THE ENGINEER IN ORDER TO DETERMINE IF TREES SHALL REMAIN.   | 19. HOURS OF OPERATION TO BE AS PER LOCAL ORDINANCE. CONTRACTOR TO VERIFY PRIOR TO STARTING WORK.   |
| 2. UNLESS OTHERWISE SPECIFICALLY PROVIDED ON THE PLANS OR IN THE SPECIFICATIONS, THE ENGINEER HAS NOT PREPARED DESIGNS FOR AND SHALL HAVE NO RESPONSIBILITY FOR THE PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF HAZARDOUS MATERIALS, SOLID WASTES OR POLLUTANTS AT THE PROJECT SITE. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY CLAIMS OF LOSS, DAMAGE, EXPENSE, DELAY, INJURY OR DEATH ARISING FROM THE PRESENCE OF HAZARDOUS MATERIAL OR HAZARDOUS WASTES. THE CONTRACTOR SHALL HOLD HARMLESS THE ENGINEER FROM ANY CLAIMS MADE IN CONNECTION THEREWITH. MOREOVER, THE ENGINEER SHALL HAVE NO ADMINISTRATIVE OBLIGATIONS OF ANY TYPE WITH REGARD TO ANY CONTRACTOR AMENDMENT INVOLVING THE ISSUES OF PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF ASBESTOS OR OTHER HAZARDOUS MATERIALS. | 7. THE LOCATIONS, SIZES, AND TYPES OF EXISTING UTILITIES ARE SHOWN AS AN APPROXIMATE REPRESENTATION ONLY. THE OWNER OR ITS REPRESENTATIVE(S) HAVE NOT INDEPENDENTLY VERIFIED THIS INFORMATION AS SHOWN ON THE PLANS. THE UTILITY INFORMATION SHOWN DOES NOT GUARANTEE THE ACTUAL EXISTENCE, SERVICEABILITY, OR OTHER DATA CONCERNING THE UTILITIES, NOR DOES IT GUARANTEE AGAINST THE POSSIBILITY THAT ADDITIONAL UTILITIES MAY BE PRESENT THAT ARE NOT SHOWN ON THE PLANS. PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY AND DETERMINE THE EXACT LOCATIONS, SIZES, AND ELEVATIONS OF THE POINTS OF CONNECTIONS TO EXISTING UTILITIES AND SHALL CONFIRM THAT THERE ARE NO INTERFERENCES WITH EXISTING UTILITIES AND THE PROPOSED UTILITY ROUTES, INCLUDING ROUTES WITHIN THE PUBLIC RIGHTS OF WAY. | 12. FURNISH, ERECT AND MAINTAIN ALL TEMPORARY BARRICADES, FENCES, COVERINGS, ENCLOSURES, SIGNS AND LIGHTING AS MAY BE REQUIRED TO CARRY ON DEMOLITION WORK IN A SAFE AND LEGAL MANNER.   | 20. AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.   |
| 3. CONTRACTOR SHALL REMOVE AND DISPOSE OF EXISTING MANMADE SURFACE FEATURES WITHIN THE LIMIT OF WORK INCLUDING BUILDINGS, STRUCTURES, PAVEMENTS, SLABS, CURBS, FENCES, UTILITY POLES, SIGNS, ETC. UNLESS INDICATED OTHERWISE ON THE DRAWINGS.  | 8. EXISTING UTILITIES SHALL BE TERMINATED, AS NOTED, IN CONFORMANCE WITH LOCAL, STATE AND INDIVIDUAL UTILITY COMPANY STANDARD SPECIFICATIONS AND DETAILS. THE CONTRACTOR SHALL COORDINATE UTILITY SERVICE DISCONNECTS WITH THE UTILITY REPRESENTATIVES. EXISTING UTILITIES TO REMAIN SHALL BE MAINTAINED & PROTECT AGAINST DAMAGE DURING DEMOLITION OPERATIONS.  | 13. INSTALL EROSION CONTROLS PRIOR TO DEMOLITION AS SHOWN ON "SITE EROSION & SEDIMENTATION CONTROL PLAN"; MAINTAIN EROSION CONTROLS THROUGHOUT DURATION OF THE PROJECT.  | 21. IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER, AND OTHER MEDIA ARE ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECT MATERIAL TO AVOID FURTHER SPREADING OF THE MATERIAL, AND SHALL NOTIFY THE OWNER AND OWNER'S REPRESENTATIVE IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN. |
| 4. CONTRACTOR SHALL APPLY FOR AND OBTAIN ALL NECESSARY PERMITS FROM LOCAL AND STATE AUTHORITIES TO COMPLETE THE WORK.  | 9. ALL EXISTING UTILITIES ALONG THE SITE FRONTAGE WITHIN THE RIGHT OF WAY SHALL REMAIN UNLESS OTHERWISE DIRECTED BY THE UTILITY OWNER. CONTRACTOR SHALL PROTECT AND MAINTAIN ALL EXISTING UTILITIES ALONG THE SITE FRONTAGE WITHIN THE RIGHT OF WAY AND SHALL COORDINATE TEMPORARY PROTECTIONS, RELOCATIONS OR MODIFICATIONS WITH THE UTILITY OWNERS.  | 14. DO NOT USE EXPLOSIVES.   | 22. DAMAGE RESULTING FROM CONSTRUCTION LOADS SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO OWNER.  |
| 5. CONTRACTOR SHALL NOTIFY "CALL BEFORE YOU DIG" (1-800-922-4455 OR 811) AT LEAST 72 HOURS BEFORE EXCAVATING.  | 10. CONTRACTOR SHALL DISPOSE OF DEMOLITION DEBRIS IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, ORDINANCES AND STATUTES.   | 15. CONTRACTOR SHALL PREVENT DUST, SEDIMENT, AND DEBRIS FROM EXITING THE SITE AND SHALL BE RESPONSIBLE FOR CLEANUP, REPAIRS AND CORRECTIVE ACTION IF SUCH OCCURS, ADJOINING STREETS AND PROPERTIES TO BE KEPT FREE OF DEBRIS RESULTING FROM THE DEMOLITION AND SHALL BE CLEANED ON A DAILY BASIS OR AS NEEDED. |   |
|  |  | 16. DUST CONTROL TREATMENTS SHALL BE APPLIED AS NECESSARY TO CONTROL AND REDUCE THE AMOUNT OF DUST WHICH MAY CAUSE OFF SITE DAMAGE, BE A HEALTH HAZARD TO HUMANS, WILDLIFE AND PLANT LIFE, OR POSE A HAZARD TO TRAFFIC SAFETY.   |   |
|  |  | 17. CONTRACTOR SHALL CONTROL STORMWATER RUNOFF DURING CONSTRUCTION TO PREVENT ADVERSE IMPACTS TO OFF SITE AREAS, AND SHALL BE RESPONSIBLE TO REPAIR RESULTING DAMAGES, IF ANY, AT NO COST TO OWNER.  |   |
|  |  | 18. E&S CONTROLS MUST BE INSPECTED AND REPAIRED OR REPLACED WITHIN 24 HOURS OF A SIGNIFICANT PRECIPITATION EVENT (>0.5") THROUGHOUT CONSTRUCTION.  |   |









**111 Founders Plaza  
Parking Lot  
Improvements**

323 & 321 Pitkin Street  
East Hartford, Connecticut

No.	Revision	Date	App'd.
1.	TOWN COMMENTS - PARKING	6/14/18	

Designed by	Checked by
KJT/SJK	PV
Issued for	Date
Site Plan Application	May 15, 2018

Not Approved for Construction

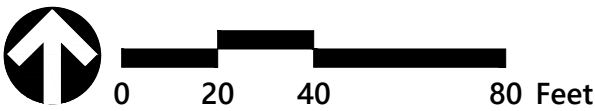
Drawing Title

**Grading and  
Drainage Plan**

Drawing Number

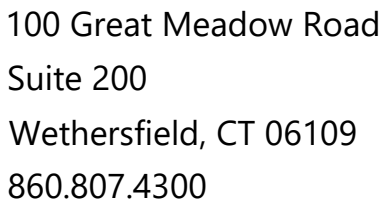
**C-3.0**

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Project Number  
42200.00





No.	Revision	Date	Appvd.
1.	TOWN COMMENTS - PARKING	6/14/18	

Site Plan Application May 15, 2018

Drawing Title

Drawing Number

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**42200.00**

MAINTAIN THE CONSTRUCTION ENTRANCE IN A CONDITION WHICH WILL PREVENT TRACKING AND WASHING OF SEDIMENTS ONTO PAVED SURFACES.

DUST CONTROL  
PERIODICALLY MOISTEN EXPOSED SURFACES ON UNPAVED TRAVELWAYS TO KEEP THE TRAVELWAY DAMP AND REDUCE DUST.

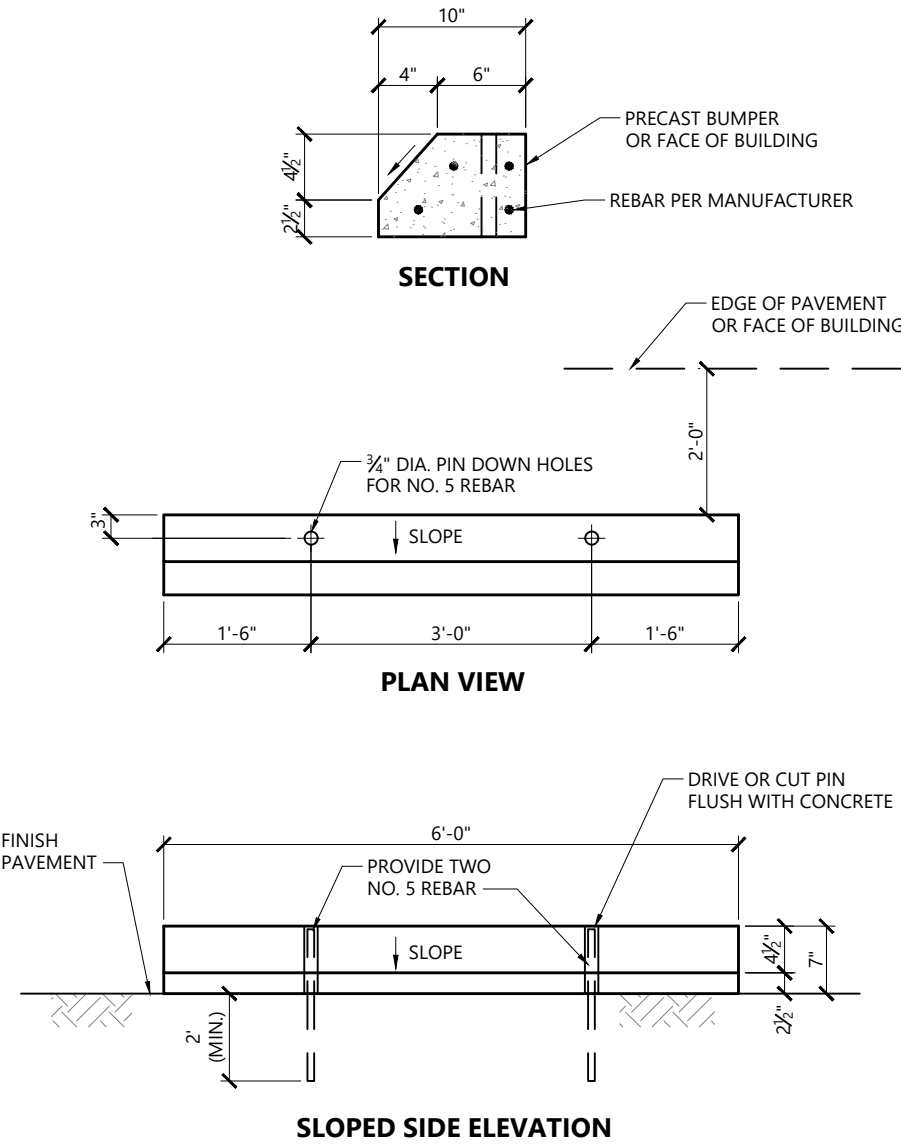
INSPECT SNOW SHELVES ONCE ANNUALLY, IN THE SPRING, FOR ACCUMULATED SEDIMENT. NECESSARY SEDIMENT REMOVAL, EARTH REPAIR, AND/OR RESEEDING WILL BE PERFORMED IMMEDIATELY UPON IDENTIFICATION.

ALL E&S CONTROL MEASURES WILL BE INSPECTED WEEKLY AND AFTER RAINFALL OF 0.5 INCHES IN 24 HOURS.

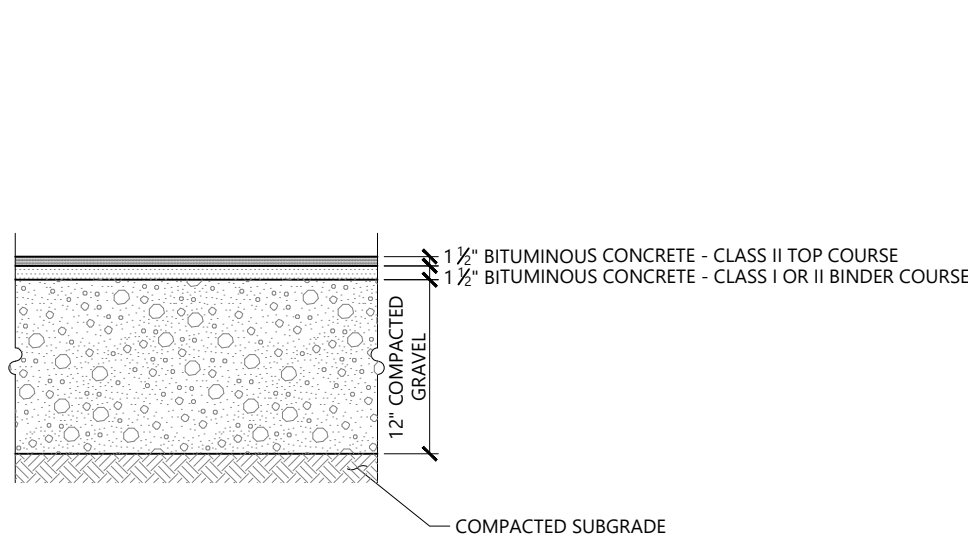




100 Great Meadow Road  
Suite 200  
Wethersfield, CT 06109  
860.807.4300

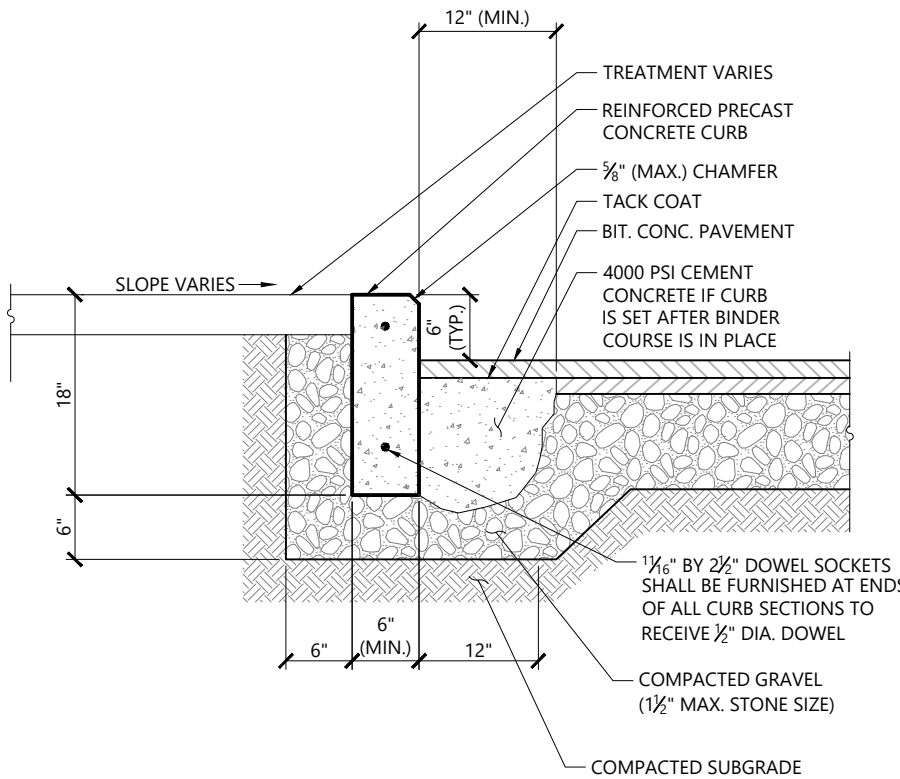


**Wheelstop** 1/16  
N.T.S. Source: VHB REV LD\_417

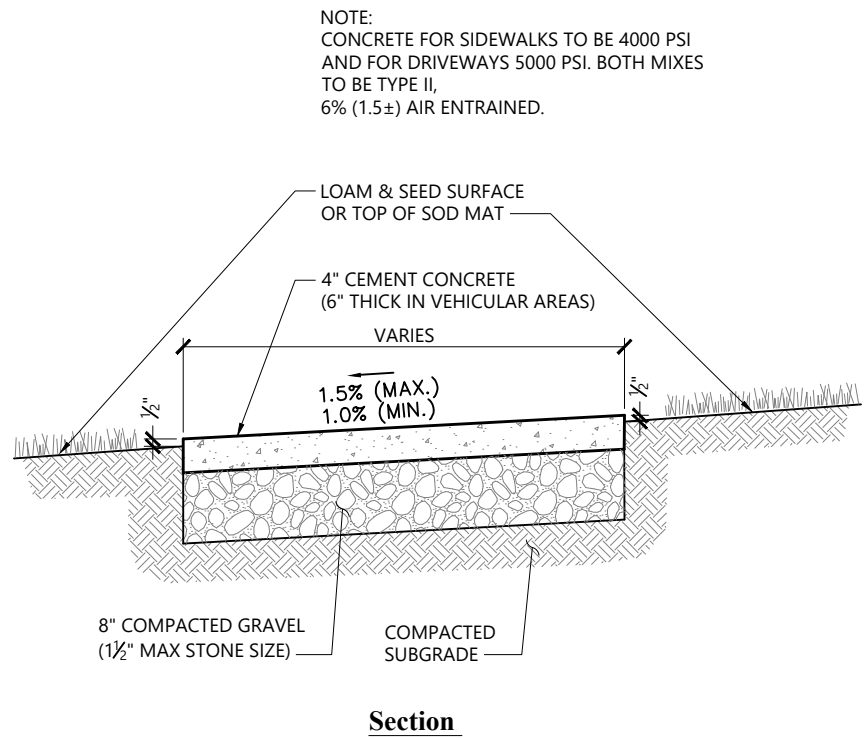


- NOTES**
1. PAVEMENT SECTIONS ARE SUBJECT TO CHANGE AND WILL BE BASED ON THE RESULTS OF FURTHER GEOTECHNICAL INVESTIGATIONS.
  2. PAVEMENT SECTION MEETS OR EXCEEDS MINIMUM REQUIREMENTS AS NOTED IN THE TOWN OF EAST HARTFORD STANDARD DETAILS

**Bituminous Concrete Pavement Section** 3/18  
N.T.S. Source: VHB REV LD\_430

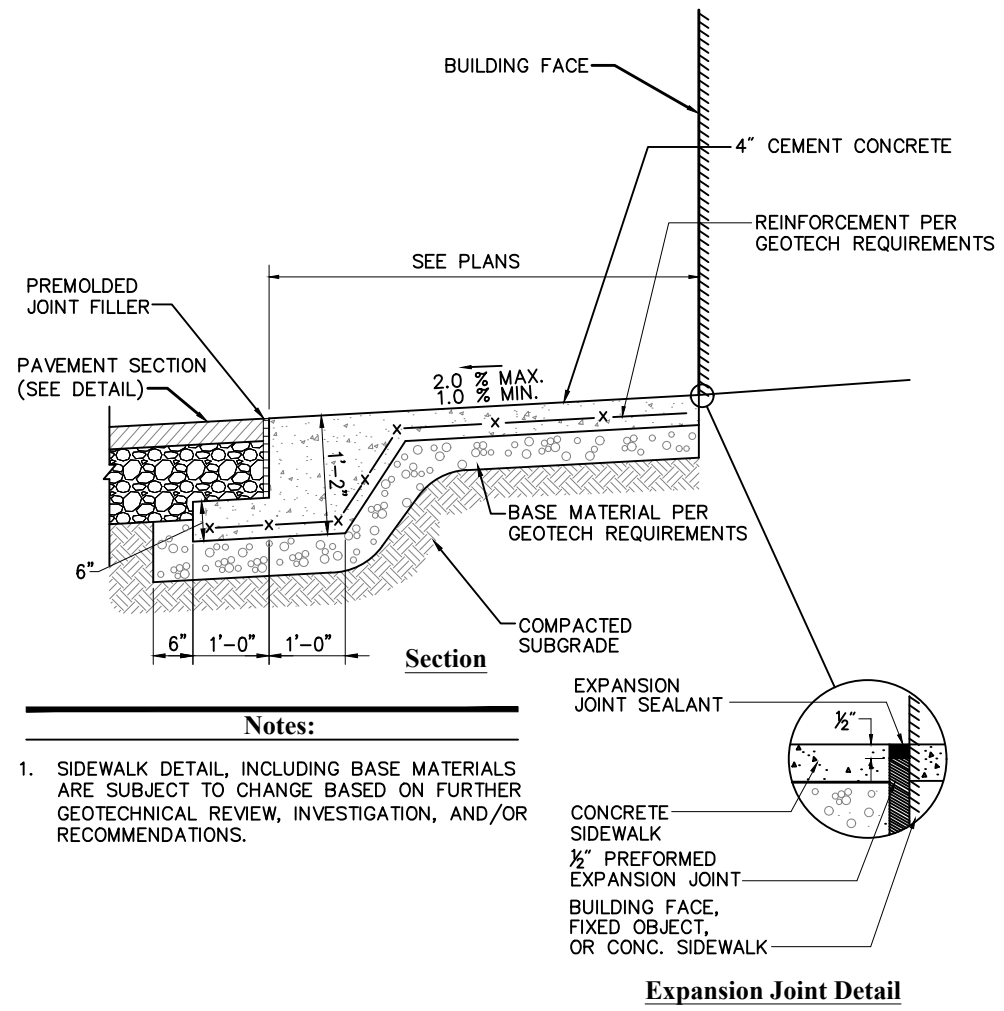


**Precast Concrete Curb (PCC)** 1/16  
N.T.S. Source: VHB LD\_404

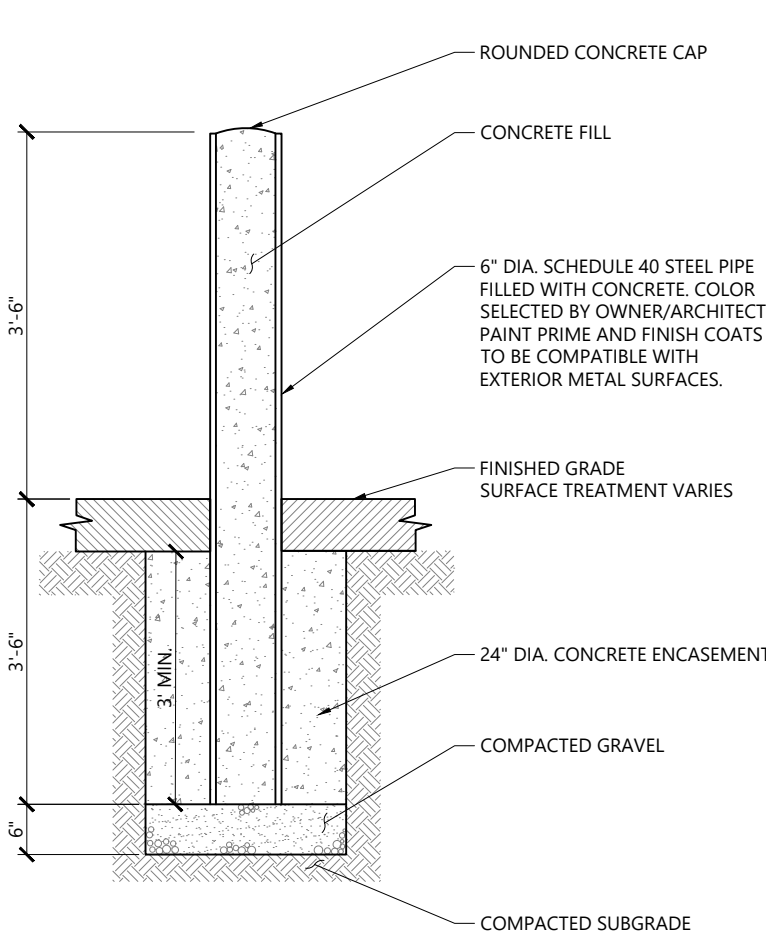


- NOTES**
1. PROVIDE EXPANSION JOINTS AT MIN. 30 FT. O.C. WITH PRE-FORMED JOINT FILLER.
  2. PROVIDE TOOLED CONTROL JOINTS AT 6' O.C.
  3. PROVIDE BROOM FINISH IN DIRECTION PERPENDICULAR TO SIDEWALK DIRECTION.

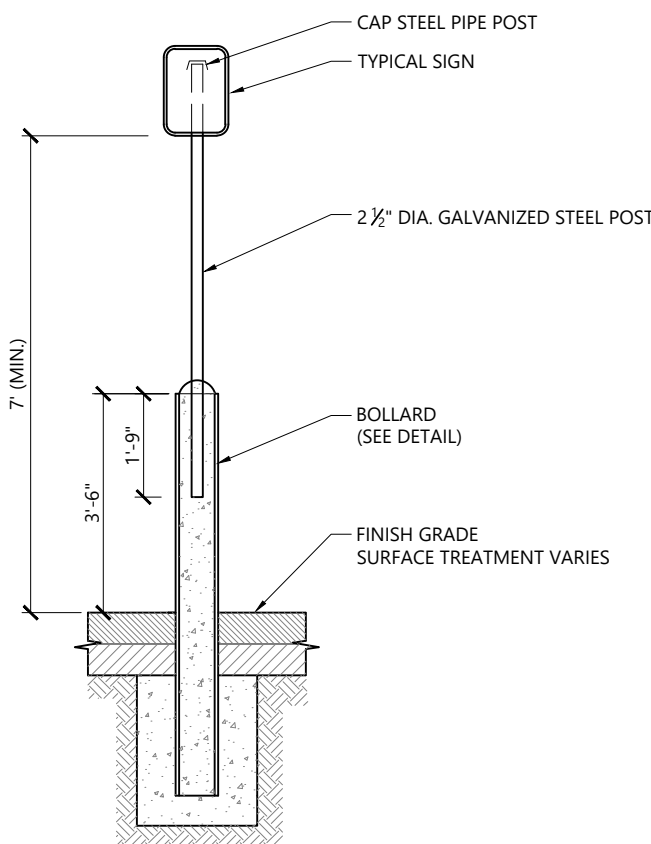
**Concrete Sidewalk in Landscape Area** 1/16  
N.T.S. Source: VHB LD\_426



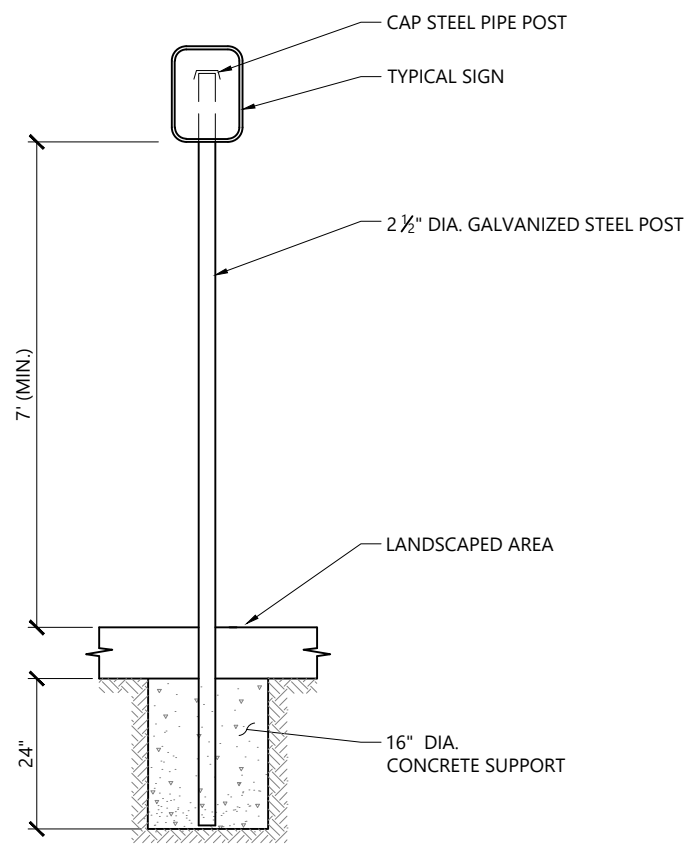
**Flush Monolithic Concrete Curb & Sidewalk**  
N.T.S. Source: VHB



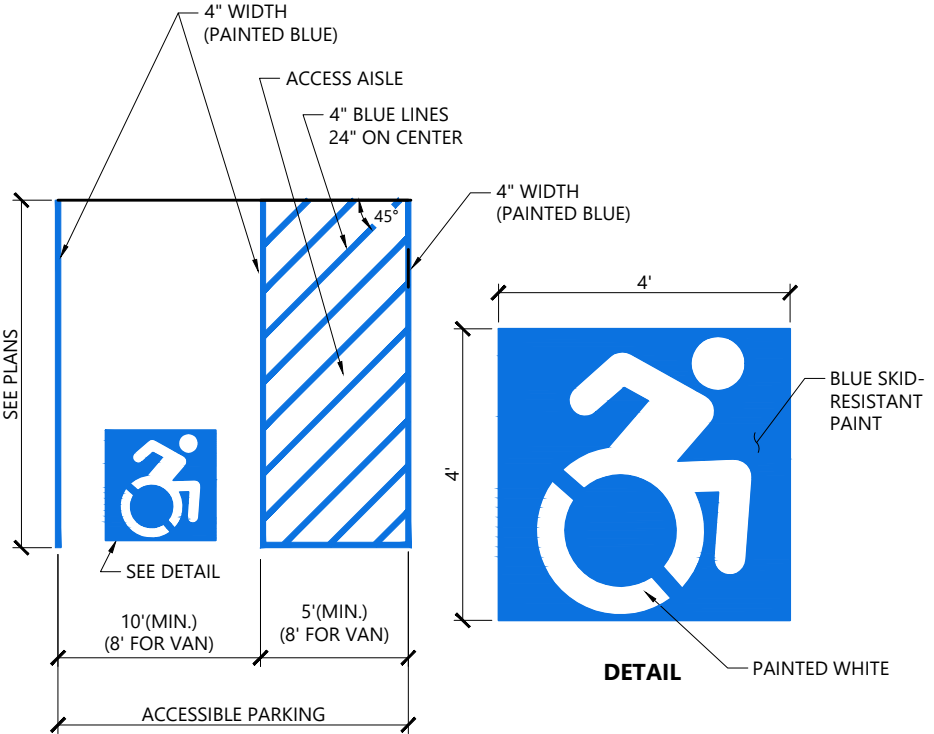
**Bollard** 9/17  
N.T.S. Source: VHB LD\_700



**Bollard Mounted Sign** 1/16  
N.T.S. Source: VHB LD\_703

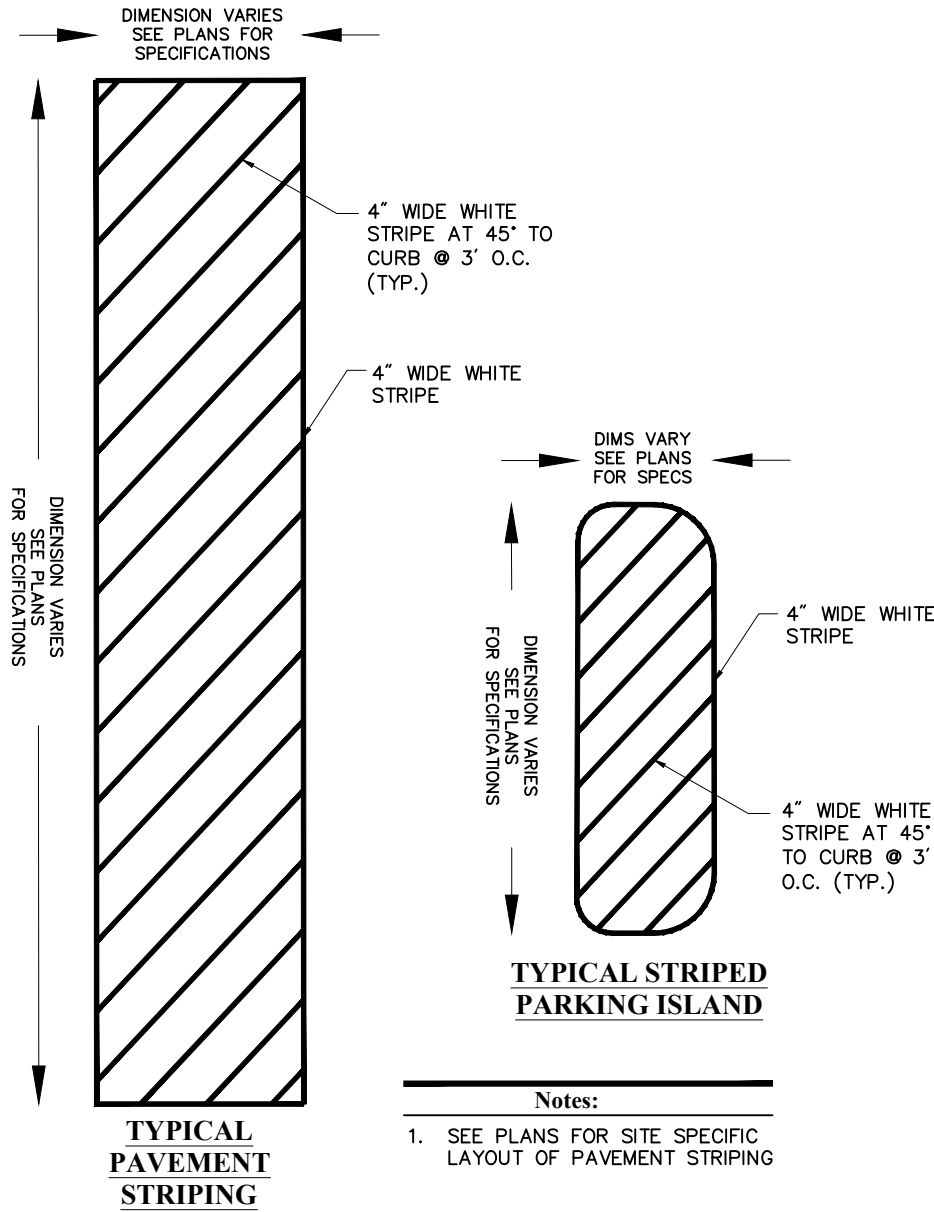


**Sign Post - Type 'A'** 1/16  
N.T.S. Source: VHB REV LD\_701

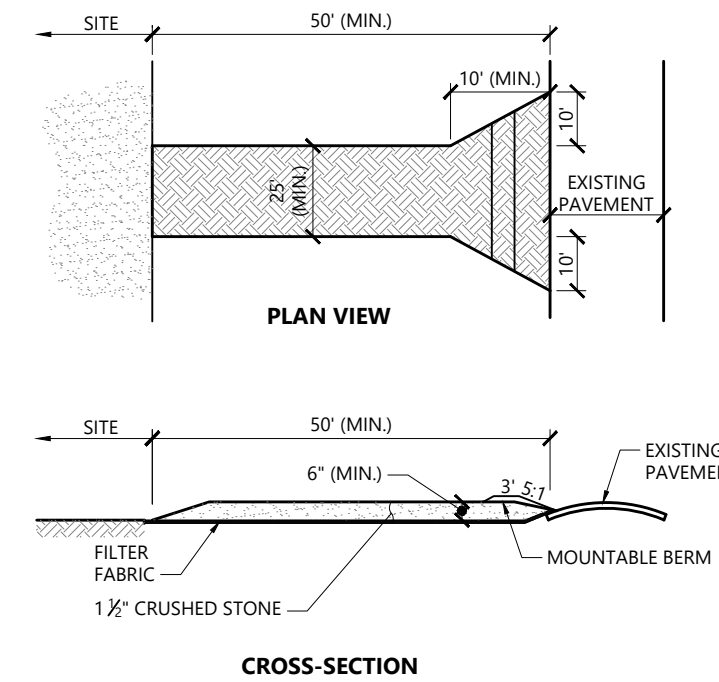


- NOTES**
1. ALL DIMENSIONS TO EDGES OF 4" PAVEMENT STRIPING.
  2. 8' STALL WIDTH REFERS TO 8' CLEAR BETWEEN INSIDE EDGES OF PAVEMENT MARKINGS.
  3. ALL SLOPES THROUGHOUT THE ACCESSIBLE PARKING AND AISLE AREAS SHALL NOT EXCEED 2.0%.
  4. TO BE COORDINATED/APPROVED BY THE BUILDING OFFICIAL.

**Accessible Parking Space** 4/18  
N.T.S. Source: VHB REV LD\_552d

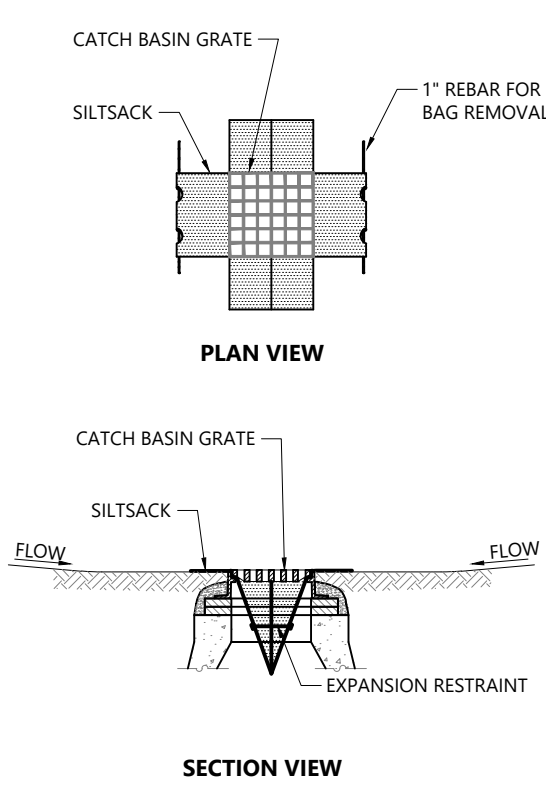


**Pavement Striping within Parking Lot** 1/16  
N.T.S. Source: VHB



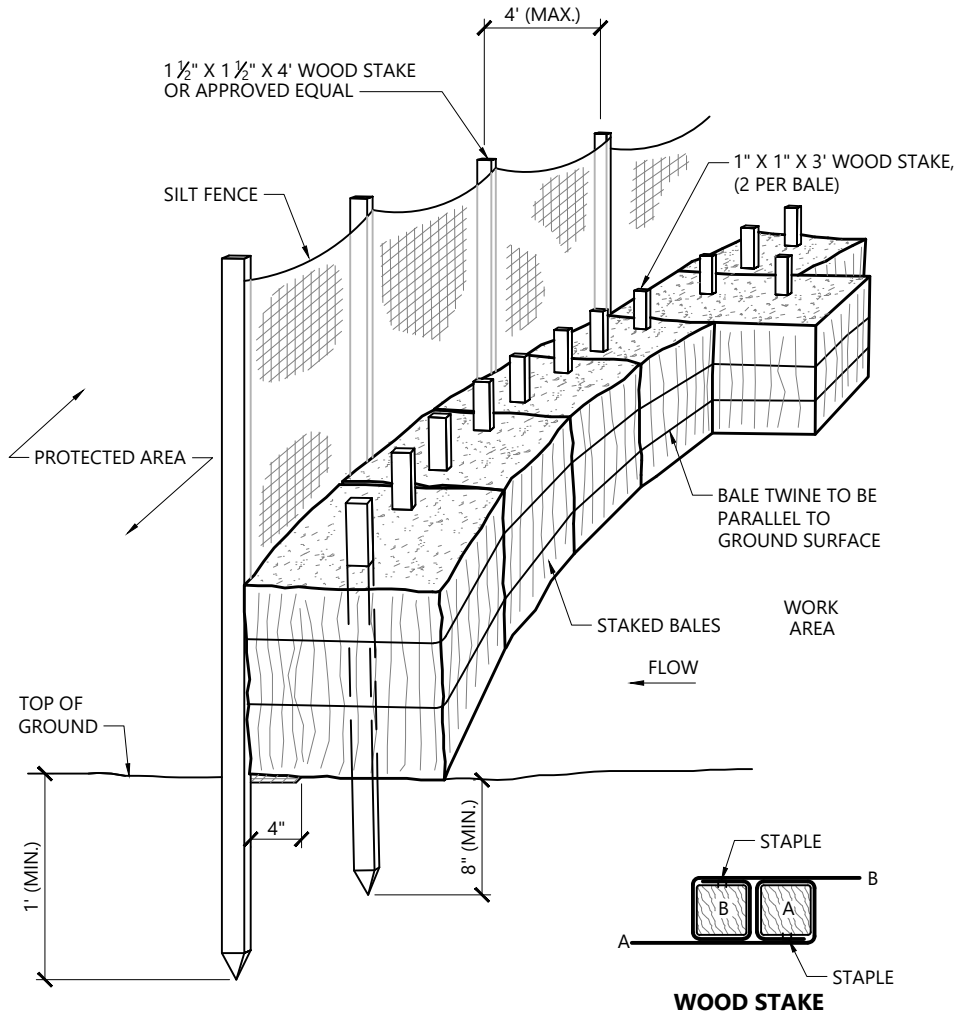
- NOTES**
1. EXIT WIDTH SHALL BE A TWENTY-FIVE (25) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
  2. THE EXIT SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. BERM SHALL BE PERMITTED. PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AS NEEDED.
  3. STABILIZED CONSTRUCTION EXIT SHALL BE REMOVED PRIOR TO FINAL FINISH MATERIALS BEING INSTALLED.

**Stabilized Construction Exit** 1/16  
N.T.S. Source: VHB REV LD\_682



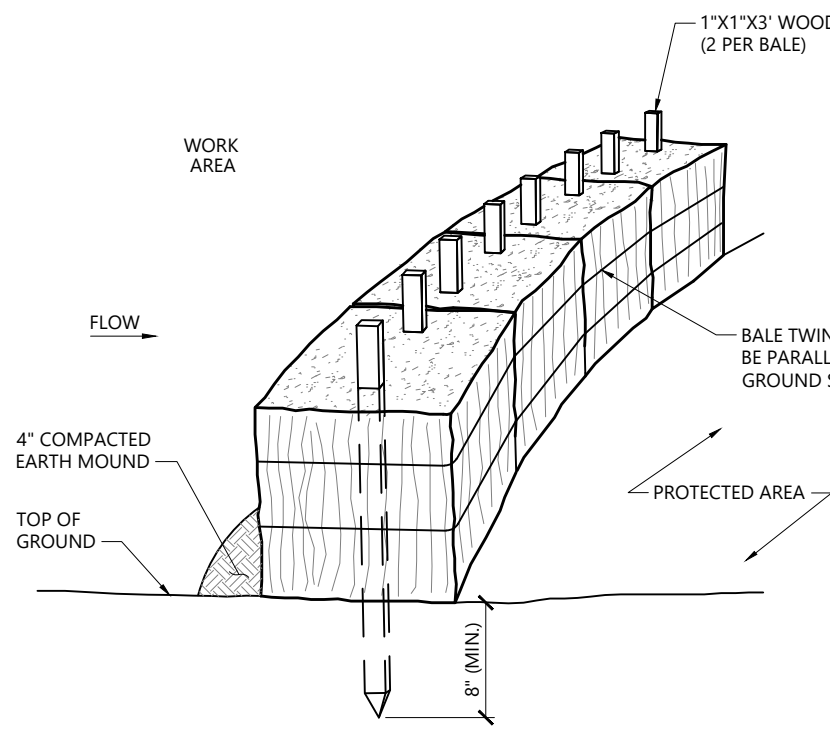
- NOTES**
1. INSTALL SILTSACK IN ALL CATCH BASINS WHERE INDICATED ON THE PLAN BEFORE COMMENCING WORK OR IN PAVED AREAS AFTER BINDER COURSE IS PLACED AND HAY BALES HAVE BEEN REMOVED.
  2. GRATE TO BE PLACED OVER SILTSACK.
  3. SILTSACK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS AND CLEANING OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED. MAINTAIN UNTIL UPSTREAM AREAS HAVE BEEN PERMANENTLY STABILIZED

**Siltsack Sediment Trap** 1/16  
N.T.S. Source: VHB LD\_674

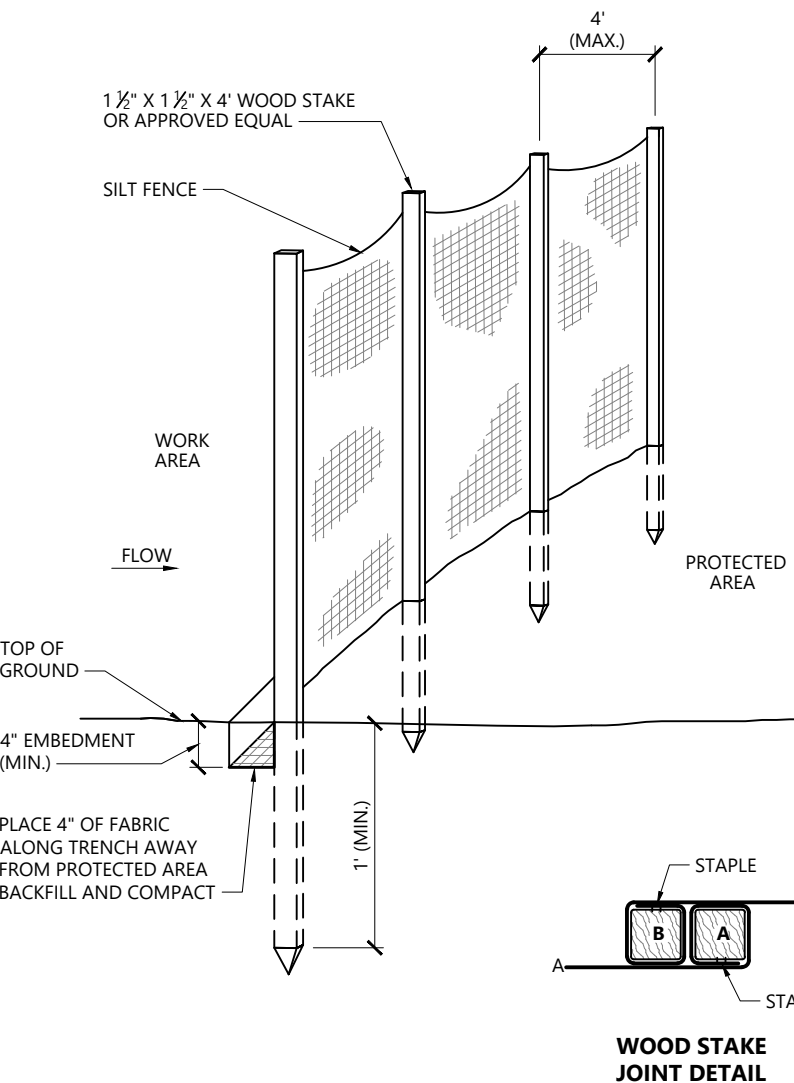


- NOTES**
1. PLACE ONE BALE PERPENDICULAR ALONG BALE BARRIER (100' O.C.).

**Silt Fence / Straw Bale Barrier** 1/16  
N.T.S. Source: VHB LD\_657



**Straw Bale Barrier** 1/16  
N.T.S. Source: VHB LD\_653



**Silt Fence Barrier** 1/16  
N.T.S. Source: VHB LD\_650

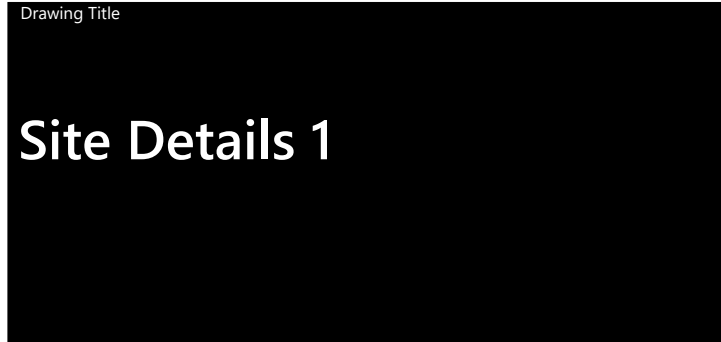
## 111 Founders Plaza Parking Lot Improvements

323 & 321 Pitkin Street  
East Hartford, Connecticut

No.	Revision	Date	Appd.
1.	TOWN COMMENTS - PARKING	6/14/18	

Designed by	Checked by
KJT/SJK	PV
Issued for	Date
Site Plan Application	May 15, 2018

Not Approved for Construction



Drawing Number

C-5.0

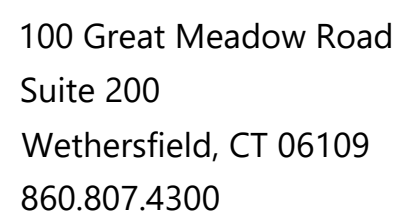
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42200.00









100 Great Meadow Road  
Suite 200  
Wethersfield, CT 06109  
860.807.4300

- STEVEN J. KOCHIS, PE (CT PE #27483)



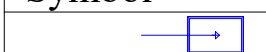
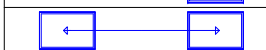

No.	Revision	Date	Approved

**Site Plan Application** **May 15, 2018**

# Existing Conditions Compiled Base Plan

# Sv-1



Luminaire Schedule									
Symbol	Qty	Label	Arrangement	Lum. Lumens	Lum. Watts	LLF	Description		
	4	SL-3	SINGLE	14073	125	0.900	Lithonia DSX1 LED P4 40K T3M MVOLT SPA PER DDBXD - SSS 20 4C DM19AS DDBXD 20FT POLE		
	5	SL-5A	BACK-BACK	14941	125	0.900	Lithonia DSX1 LED P4 40K T5W MVOLT SPA PER DDBXD - SSS 20 4C DM28AS DDBXD 20FT POLE		
	12	SB	SINGLE	1674	20	0.900	Lithonia DSXB LED 16C 350 40K SYM DDBXD		

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
SITE	Illuminance	Fc	0.61	21.6	0.0	N.A.	N.A.
AREA A	Illuminance	Fc	1.54	4.7	0.1	15.40	47.00
AREA B	Illuminance	Fc	1.52	4.5	0.4	3.80	11.25
AREA C	Illuminance	Fc	4.36	21.6	0.1	43.60	216.00
AREA E	Illuminance	Fc	1.63	4.7	0.1	16.30	47.00

Greg Loda / Scott Dubey  
Lighting Affiliates  
1208 Cromwell Ave  
Rocky Hill, CT 06067  
  
website: www.lightingaffiliates.com  
Voice Number : (860) 721-1171 x 219  
Email Address : gloda@lightingaffiliates.com

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## Zoning Summary Chart

Zoning District: B-4 - Business Zone

Zoning Regulation Requirement	Required	Provided
FRONT YARD SETBACK	25 Feet	EXISTING
SIDE YARD SETBACK	25 Feet1	EXISTING
REAR YARD SETBACK	20 Feet	EXISTING
FRONT YARD PARKING SETBACK	25 Feet	26 Feet
SIDE YARD PARKING SETBACK	10 Feet	42 Feet
REAR YARD PARKING SETBACK	10 Feet	NA
MAXIMUM IMPERVIOUS	85.0	PARCEL 2: 78.6 PARCEL 3: 80.3
INTERIOR PARKING LANDSCAPING	10 SF PER PARKING SPACE	SEE AREA SUMMARY CHART BELOW

1. TWO SIDE YARDS SHALL HAVE A TOTAL OF 25 FT BUT NO SIDE YARD SHALL BE LESS THAN 10 FEET

## Interior Landscaping Summary Chart

Lot	Parking Provided, Count	Interior Landscape SF, Required	Interior Landscape SF, Provided
AREA AC	173	1,710	9,550
AREA B	235	1,650	3,645
AREA E	120	1,200	6,055
AREA HOTEL	78	550	3,365
GARAGE	331	NA	NA
TOTAL	937	4,560	19,250

## Parking Summary Chart

Description	Required	Provided
STANDARD SPACES	872	918
STANDARD ACCESSIBLE SPACES *	16	16
VAN ACCESSIBLE SPACES	3	3
TOTAL SPACES	891	937


\* ADASTATELOCAL REQUIREMENTS

### Parking Requirements For 111 Founders:

OFFICE	245,000 SF x 1 SPACES	275	= 891 SPACES
TOTAL PARKING REQUIRED		891	SPACES

\* BUILDING AREA FOR 111 FOUNDERS PROVIDED BY PROPERTY MANAGER SUSAN STOLARCZYK

## Sign Summary

CONNDOT Number	Specification Width	Height	Desc.
CUSTOM 1	12"	18"	
31-0648	12"	6"	



## Founders Plaza Parking Lot Improvments

Pitkin Street  
East Hartford, Connecticut

No. Revision Date Appr.

Designed by KTSJK Checked by PV

Issued for Client Review Date May 15, 2018

Not Approved for Construction

Drawing Title

Layout and Materials Plan

Sheet 3 of 7

Project Number 42200.00