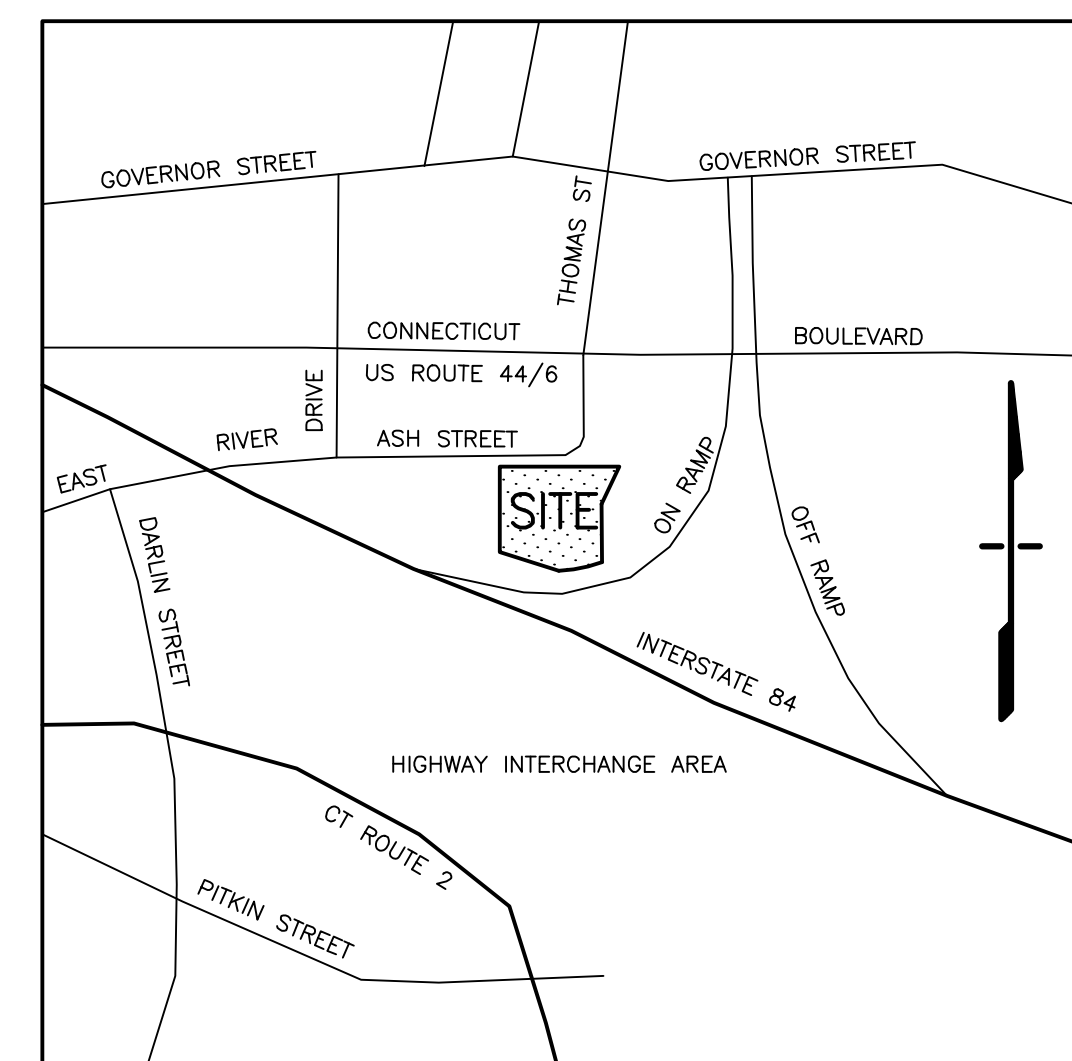


KIA OF EAST HARTFORD

SITE MODIFICATION PLANS

99 ASH STREET, EAST HARTFORD, CONNECTICUT

MAP 5, LOT 13



KEY MAP

NOT TO SCALE

APPLICANT

ASH STREET HOLDINGS LLC
687 ASH SWAMP ROAD
GLASTONBURY, CT 06033

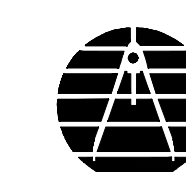
OWNER

ASH REALTY ASSOCIATES, LLC
1659 CODY AVENUE
RIDGEWOOD, NY 11385

ARCHITECT

DESIGN TWO ARCHITECTURE
188 LOVERS LANE
GUILFORD, CT 06437
(203) 458-3956

ENGINEERS/SURVEYORS



Meehan & Goodin Engineers – Surveyors, P.C.
387 North Main Street, Manchester, CT 06042
(860) 643-2520 FAX (860) 649-8806

internet: www.meehangoodin.com

Date: November 2, 2017

REVISED 11-20-2017 – CONDITIONS OF APPROVAL

TOWN OF EAST HARTFORD
PLANNING AND ZONING COMMISSION
SITE PLAN CERTIFICATE OF APPROVAL

APPROVAL DATE: _____

EXPIRATION DATE: _____

_____ CHAIRMAN

N/F
THE NGUYEN & CAI GROUP LLC
477 CONNECTICUT BLVD.
MAP 5, LOT 9
VOL.3313 PG.159
ZONE B-3

N/F
CONNECTICUT TUBERCULOSIS AND
RESPIRATORY DISEASE ASSOCIATION, INC.
45 ASH STREET
MAP 5, LOT 11
VOL. 447 PG. 269
ZONE B-3

N/F
NEW TESTAMENT
BAPTIST CHURCH
111 ASH STREET
MAP 5, LOT 14
VOL.1569 PG.243
ZONE B-3

N/F
CONNECTICUT LIGHT & POWER
(EVERSOURCE)
381 CONNECTICUT BLVD.
MAP 5, LOT 12/152
VOL.442 PG.175
ZONE B-3

N/F
STATE OF CONNECTICUT
INTERSTATE 84
ZONE B-3

ZONING TABLE

ZONE: B-3	REQUIRED	EXISTING
LOT AREA	40000 SF (1)	134590 SF
MIN. FRONTAGE	200 FT (1)	243.45 FT
MIN. FRONT YARD	50 FT (2)	90.74 FT
MIN. SIDE YARD	5 FT	39.51 FT
OTHER SIDE YARD	10 FT	113.82 FT
MIN. REAR YARD	N/A	86.30 FT
MAX. BLDG. HEIGHT	50 FT	27± FT
MAX. BLDG. COVERAGE	75%	19.3%
MAX. IMPV. COVERAGE	85%	82.0%

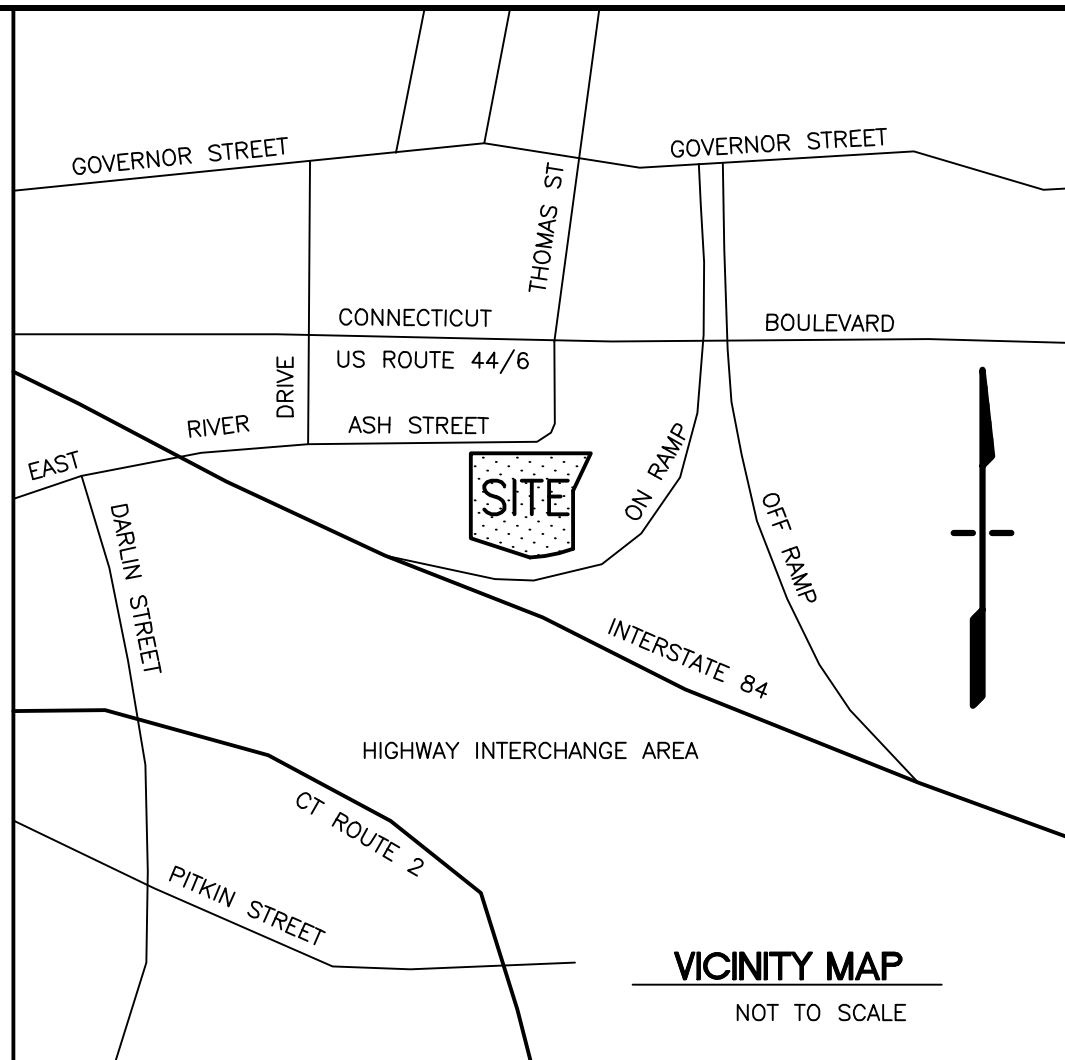
* DENOTES NON-CONFORMING TO CURRENT ZONING REGULATIONS

(1) NEW AUTOMOBILE SALES - SECTION 403.1.13

(2) FRONT YARD PER SECTION 212 (50 FT MAXIMUM)

PARKING TABLE

EXISTING PARKING	
REGULAR SPACES	151 SPACES
HANDICAPPED SPACES	8 SPACES
TOTAL EXISTING PARKING	159 SPACES



GENERAL NOTES:

CALL BEFORE YOU DIG - DIAL 811 (1-800-922-4455). EXISTING UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SOURCES. THE LOCATIONS ARE ONLY APPROXIMATE AND THERE MAY BE ADDITIONAL UTILITIES WITHIN THE PROJECT AREA. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES WITHIN THE WORK AREA, NOTIFY EACH AFFECTED UTILITY COMPANY AND DIG TEST PITS AS REQUIRED PRIOR TO COMMENCING CONSTRUCTION. MEEHAN & GOODIN MAKES NO STATEMENT AS TO THE CONDITION OR SUITABILITY OF ANY UTILITIES FOR ANY INTENDED USE.

THIS PARCEL IS NOT WITHIN A NATURAL DIVERSITY DATA BASE AREA AS SHOWN ON THE DEEP NDDDB MAP FOR EAST HARTFORD, CT, JUNE, 2017.

THERE ARE NO AQUIFER PROTECTION AREA ACCORDING TO THE INFORMATION ON THE DEEP AQUIFER PROTECTION AREAS MAP WEBSITE AS OF OCTOBER 2017.

THE ENTIRE PARCEL IS LISTED AS SOIL TYPE "307 URBAN LAND" ON THE NATIONAL COOPERATIVE SOIL SURVEY MAPPING FOR CONNECTICUT.

WETLAND BUFFER SHOWN BASED ON TOWN OF EAST HARTFORD INLAND WETLANDS AND WATERCOURSES MAP SHEET 15 OF 34, DATED 4-29-05.

GENERAL NOTES:

- ALL MONUMENTATION DEPICTED HEREON WAS FOUND IN THE FIELD UNLESS OTHERWISE NOTED.
- BASIS OF BEARINGS: MAP REFERENCE NO.1.
- VERTICAL INFORMATION BASED ON N.G.V.D.88 DATUM

MAP REFERENCES:

REFERENCE IS MADE TO THE FOLLOWING MAPS OR SURVEYS FROM WHICH DATA WAS USED IN THE PREPARATION OF THIS SURVEY AND MAP:

- "SOUTH MEADOWS URBAN RENEWAL AREA TOWN OF EAST HARTFORD, CONNECTICUT SUBDIVISION PLAT SCALE: 1"=100' DATE: NOV.6, 1964 REVISED THRU 4-73 SHEET 1 OF 2" BY JAMES P. PURCELL ASSOCIATES
- "PROPERTY/ BOUNDARY SURVEY FOR ASH REALTY ASSOCIATES LLC PROPERTY KNOWN AS ASSESSOR'S LOT #13 SUBDIVISION TRACT #9B-1 & 9B-2 99 ASH STREET EAST HARTFORD, CONNECTICUT SCALE 1"=40' DATE FEBRUARY 15, 2008 REV. FEB.26, 2008 SHEET 1 OF 1" BY MBA ENGINEERING, INC.
- "SITE PLAN NORTH CENTRAL CONN./H.M.O. SCALE: 1"=20' DATE: 3-31-79 PROJECT NO. 77-690 SHEET P-1" BY THE DEWOLFF PARTNERSHIP ARCHITECTS

NOTES AND DECLARATIONS:

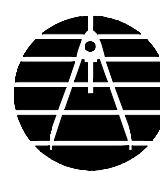
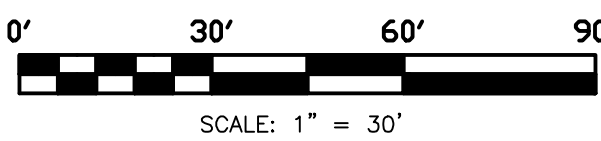
THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300B-1 THRU 20-300B-20. THE MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT ENDORSED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. THE TYPE OF SURVEY IS PROPERTY/BOUNDARY, THE BOUNDARY DETERMINATION CATEGORY IS RESURVEY, AND THE HORIZONTAL ACCURACY CONFORMS TO A-2, AND THE VERTICAL ACCURACY CONFORMS TO T-2.

NO DECLARATION IS EXPRESSED OR IMPLIED BY THIS MAP OR COPIES THEREOF UNLESS IT BEARS THE IMPRESSION TYPE SEAL AND ORIGINAL LINE SIGNATURE OF THE SURVEYOR WHOSE NAME AND REGISTRATION NUMBER APPEAR BELOW. ANY CHANGES MADE TO THIS PLAN WITHOUT THE KNOWLEDGE OF THE SIGNERS INVALIDATES THESE DECLARATIONS.

I HEREBY DECLARE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF:

- > THE PREMISES DEPICTED HEREON IS LOCATED WITHIN "ZONE X" (AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOODPLAIN) AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP NUMBER 03003C03696, EFFECTIVE DATE SEPTEMBER 16, 2011:
- > TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

RICHARD MEEHAN, L.L.S. 12330



Meehan & Goodin

Engineers - Surveyors, P.C.
387 North Main Street, Manchester, CT 06042
(860) 643-2520 FAX (860) 649-8806

PLAN PREPARED FOR

KIA OF EAST HARTFORD

99 ASH STREET

EAST HARTFORD, CONN.

EXISTING CONDITIONS PLAN

SCALE: 1" = 30'	DESIGN: OT	PROJECT: 17113	ACAD: 17113.DWG
DATE: 11-2-2017	DRAFT: ERJ	Q:/SC13/WORK	SHEET NO. 2 OF 11

TOWN OF EAST HARTFORD
PLANNING AND ZONING COMMISSION
SITE PLAN CERTIFICATE OF APPROVAL

APPROVAL DATE:_____

EXPIRATION DATE:_____

CHAIRMAN

LEGEND

---	PROPERTY LINE	TF	TOP OF FRAME
---	EASEMENT LINE	FL	FLOW LINE
---	SANITARY SEWER	U	UTILITY POLE
---	OVERHEAD WIRES	EM/GM	ELECTRIC METER/GAS METER
---	STORM DRAINAGE	WG	WATER GATE
---	WATER SERVICE	PIV	POST INDICATOR VALVE
---	GAS SERVICE	ET	ELECTRIC TRANSFORMER
---	ELECTRIC/TELEPHONE	FY/SY/RY	FRONT/SIDE/REAR YARDS
---	EXISTING CONTOUR	PT-1	PERMEABILITY TEST LOCATION
x 56.25	EXISTING SPOT GRADE	MW-1	TEMPORARY MONITORING WELL LOCATION
BC/GC	BIT CURB/GRANITE CURB	MBR	METAL BEAM GUIDERAIL
CB	CATCHBASIN		EDGE OF WOODS
DMH	DRAINAGE MANHOLE	IP	IRON PIN
SMH	SANITARY MANHOLE	CMS	CONCRETE MERESTONE
WMH	WATER MANHOLE	HC	HANDICAPPED PARKING SPACE
LT	LIGHT POLE		
GL	GROUND LIGHT		
FL	FLOOD LIGHT		

MAP REFERENCES:

1. SOUTH MEADOWS URBAN RENEWAL AREA, TOWN OF EAST HARTFORD, CONNECTICUT, SUBDIVISION PLAT, SCALE 1"=100', DATE NOV. 6, 1964, REVISED THRU 7-1973, SHEET 1 OF 2, PREPARED BY JAMES P. PARCELL ASSOCIATES.
2. SITE MODIFICATION PLANS, KIA OF EAST HARTFORD, 99 ASH STREET, EAST HARTFORD, CONNECTICUT, 10 SHEETS, DATE 11-2-2017, REV 11-20-2017, 10 SHEETS, PROJECT 17113, PREPARED BY MEEHAN & GOODIN.
3. SITE PLAN PROPOSED IMPROVEMENTS, ENTERPRISE RENT A CAR, 411 CONNECTICUT BOULEVARD, EAST HARTFORD, CONNECTICUT, DATE MAY 11, 2015, REVISED 6-12-2015, 5 SHEETS, PROJECT 2684-02, PREPARED BY MILONE & MACBROOM
4. "PROPERTY/BOUNDARY SURVEY FOR ASH REALTY ASSOCIATES LLC PROPERTY KNOWN AS ASSESSOR'S LOT #13 SUBDIVISION TRACT #9B-1 & 9B-2 99 ASH STREET EAST HARTFORD, CONNECTICUT SCALE 1"=40' DATE FEBRUARY 15, 2008 REV. FEB.26, 2008 SHEET 1 OF 1" BY MBA ENGINEERING, INC.

N/F
BENACQUISTA FAMILY REALTY L L C
411 CONNECTICUT BLVD
MAP 5 LOT 10
ZONE B-3

N/F
CONNECTICUT TUBERCULOSIS AND
RESPIRATORY DISEASE ASSOCIATION, INC.
45 ASH STREET
MAP 5 LOT 11
ZONE B-3

N/F
ASH REALTY ASSOCIATES, LLC
99 ASH STREET
MAP 5 LOT 13
ZONE B-3
PARCEL AREA 3.09 ACRES

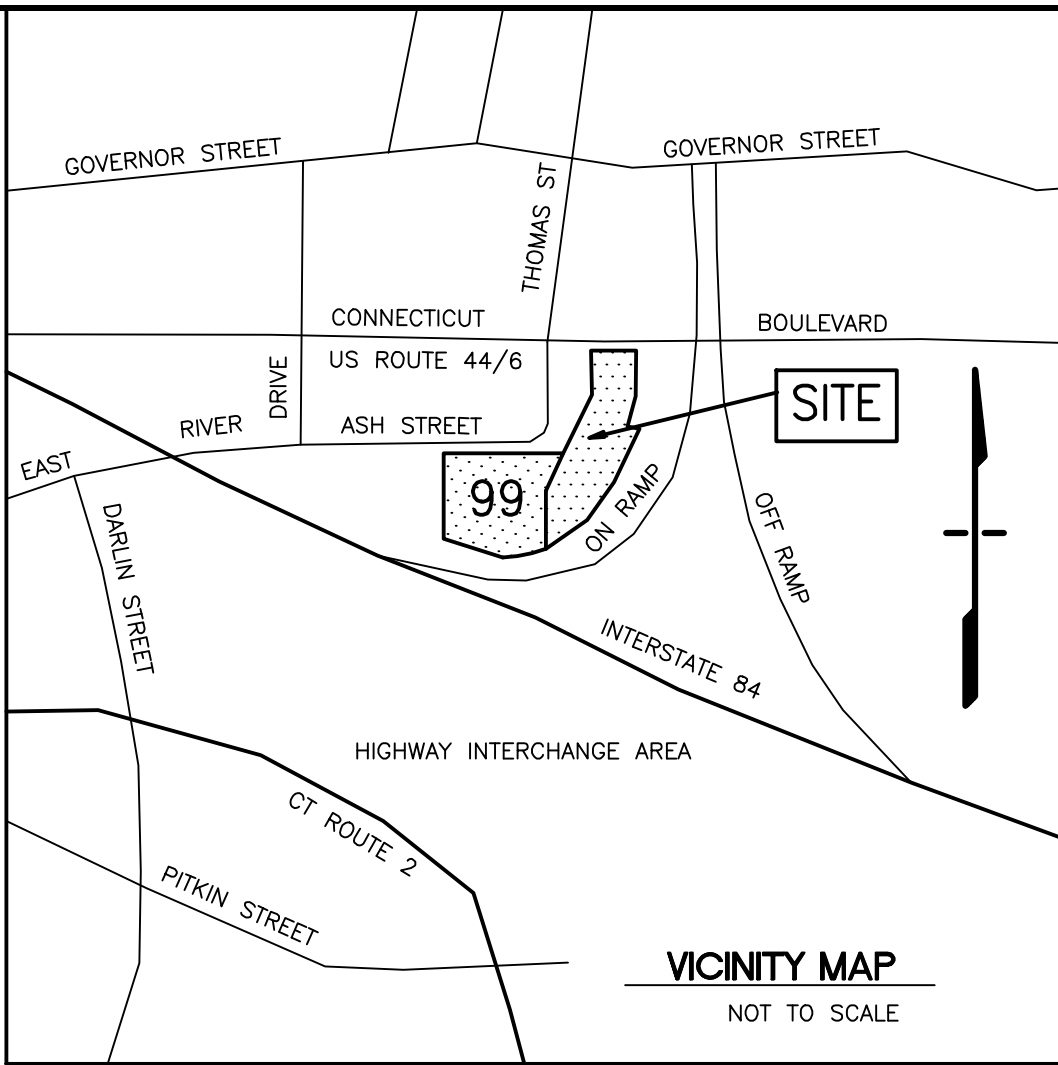
N/F
CONNECTICUT LIGHT & POWER
(EVERSOURCE)
381 CONNECTICUT BLVD.
MAP 5, LOT 12/152
ZONE B-3
PARCEL AREA 2.58± ACRES

PARKING TABLE

EXISTING PARKING ON 99 ASH ST. PARCEL:	
REGULAR SPACES	151 SPACES
ACCESSIBLE SPACES	8 SPACES
TOTAL EXISTING PARKING	239 SPACES

ZONING TABLE

EVERSOURCE PARCEL ONLY		
ZONE: B-3	REQUIRED	EXISTING
LOT AREA	10000 SF	2.58 AC±
MIN. FRONTAGE	60 FT	148.0 FT (2)
MIN. FRONT YARD	50 FT (1)	N/A
MIN. SIDE YARD	5 FT	N/A
OTHER SIDE YARD	10 FT	N/A
MIN. REAR YARD	N/A	N/A
MAX. BLDG. HEIGHT	50 FT	N/A
MAX. BLDG. COVERAGE	75%	N/A
MAX. IMPV. COVERAGE	85%	7% ± (3)
* DENOTES NON-CONFORMING TO CURRENT ZONING REGULATIONS		
(1) FRONT YARD PER SECTION 212 (50 FT MAXIMUM)		
(2) CONNECTICUT BOULEVARD		
(3) EXISTING PARKING LOT FOR 411 CONNECTICUT BLVD. PARCEL		



NOTES:

- CALL BEFORE YOU DIG 1-800-922-4455: EXISTING UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SOURCES. THE LOCATIONS ARE ONLY APPROXIMATE AND THERE ARE ADDITIONAL UTILITIES WITHIN THE PROJECT AREA. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES WITHIN THE WORK AREA, NOTIFY EACH AFFECTED UTILITY COMPANY AND DIG TEST PITS AS REQUIRED PRIOR TO COMMENCING CONSTRUCTION. MEEHAN & GOODIN MAKES NO STATEMENT AS TO THE CONDITION OR SUITABILITY OF ANY UTILITIES FOR ANY INTENDED USE.
- THIS PARCEL IS NOT WITHIN A NATURAL DIVERSITY DATA BASE AREA AS SHOWN ON THE DEEP NDDB MAP FOR EAST HARTFORD, CT, JUNE, 2017.
- THERE ARE NO AQUIFER PROTECTION AREA ACCORDING TO THE INFORMATION ON THE DEEP AQUIFER PROTECTION AREAS MAP WEBSITE AS OF OCTOBER 2017.
- THE 99 ASH STREET PARCEL IS LISTED AS SOIL TYPE "307 URBAN LAND" AND THE 381 CONNECTICUT BLVD. PARCEL IS LISTED AS SOIL TYPE "308 UDORTHENTS, SMOOTHED" ON THE NATIONAL COOPERATIVE SOIL SURVEY MAPPING FOR CONNECTICUT.
- WETLANDS AND WETLANDS BUFFER SHOWN BASED ON TOWN OF EAST HARTFORD INLAND WETLANDS AND WATERCOURSES MAP SHEET 15 OF 34, DATED 4-29-2005.

GENERAL NOTES:

1. ALL MONUMENTATION DEPICTED HEREON WAS FOUND IN THE FIELD UNLESS OTHERWISE NOTED.
2. BASIS OF BEARINGS: MAP REFERENCE NO.1.
3. VERTICAL INFORMATION BASED ON N.G.V.D.88 DATUM

NOTES AND DECLARATIONS:

- THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300B-1 THRU 20-300B-20, THE MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT ENDORSED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. THE TYPE OF SURVEY IS PROPERTY/BOUNDARY, THE BOUNDARY DETERMINATION CATEGORY IS RESURVEY, AND THE HORIZONTAL ACCURACY CONFORMS TO A-2 WITH REGARD TO #99 ASH STREET AND TO CLASS D WITH REGARD TO #381 CONNECTICUT BOULEVARD, AND THE VERTICAL ACCURACY CONFORMS TO T-2.
- NO DECLARATION IS EXPRESSED OR IMPLIED BY THIS MAP OR COPIES THEREOF UNLESS IT BEARS THE IMPRESSION TYPE SEAL AND ORIGINAL LIVE SIGNATURE OF THE SURVEYOR WHOSE NAME AND REGISTRATION NUMBER APPEAR BELOW. ANY CHANGES MADE TO THIS PLAN WITHOUT THE KNOWLEDGE OF THE SIGNERS INVALIDATES THESE DECLARATIONS.
- I HEREBY DECLARE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF:
- > THE PREMISES DEPICTED HEREON IS LOCATED WITHIN "ZONE X" (AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOODPLAIN) AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP NUMBER 09003C0369G, EFFECTIVE DATE SEPTEMBER 16, 2011:
 - > TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

RICHARD MEEHAN, L.L.S. 12330

LEGEND

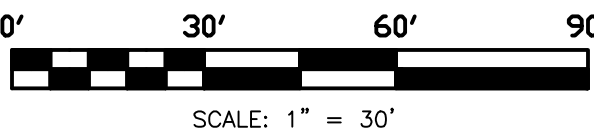
—	PROPERTY LINE	TF	TOP OF FRAME
—	EASEMENT LINE	FL	FLOW LINE
— S —	SANITARY SEWER	□ EM/GM	UTILITY POLE
— OHW —	OVERHEAD WIRES	□ WG	ELECTRIC METER/GAS METER
— D —	STORM DRAINAGE	○ PIV	WATER GATE
— W —	WATER SERVICE	○ ET	POST INDICATOR VALVE
— G —	GAS SERVICE	ET	ELECTRIC TRANSFORMER
— ET —	ELECTRIC/TELEPHONE	FY/SY/RY	FRONT/SIDE/REAR YARDS
— 56 —	EXISTING CONTOUR	◆ PT-1	PERMEABILITY TEST LOCATION
x 56.25	EXISTING SPOT GRADE	◆ MW-1	TEMPORARY MONITORING WELL LOCATION
BC/GC	BIT CURB/GRANITE CURB	MBR	METAL BEAM GUIDERAIL
■ CB	CATCHBASIN	—	EDGE OF WOODS
⊙ DMH	DRAINAGE MANHOLE	● IP	IRON PIN
⊙ SMH	SANITARY MANHOLE	■ CWS	CONCRETE MERESTONE
⊙ WMH	WATER MANHOLE	⊙	RESERVED PARKING SPACE
⊙ LT	LIGHT POLE		
⊙ GL	GROUND LIGHT		
△ FL	FLOOD LIGHT		

TOWN OF EAST HARTFORD
PLANNING AND ZONING COMMISSION
SITE PLAN CERTIFICATE OF APPROVAL


APPROVAL DATE:_____

EXPIRATION DATE:_____

CHAIRMAN



REVISION		DATE	
SEAL & SIGNATURE:		NOTE:	
		<p>THIS DRAWING IS AN INSTRUMENT OF SERVICE OF AND REMAINS THE PROPERTY OF MEEHAN & GOODIN. IT IS TO BE USED ONLY FOR THIS SPECIFIC PROJECT AND SHALL NOT BE MODIFIED WITHOUT THE WRITTEN CONSENT OF MEEHAN & GOODIN. ANY UNAUTHORIZED MODIFICATIONS WILL INVALIDATE ALL SIGNATURES, CERTIFICATIONS AND DECLARATIONS CONTAINED HEREON.</p>	

		<h1>Meehan & Goodin</h1> <p>Engineers – Surveyors, P.C. 387 North Main Street, Manchester, CT 06042 (860) 643-2520 FAX (860) 649-8806</p>	
PLAN PREPARED FOR			
<u>KIA OF EAST HARTFORD</u>			
99 ASH STREET & 381 CONNECTICUT BOULEVARD		EAST HARTFORD, CONN.	
<h2>EXISTING CONDITIONS PLAN</h2>			
SCALE: 1" = 30'	DESIGN: RM	PROJECT: 17113	17113.DWG
DATE: 7-30-2018	DRAFT: ERJ	Q://SC13/WORK	SHEET NO. <u>3</u> OF <u>10</u>

MAP REF. 1

LEGEND

N/F
STATE OF CONNECTICUT
INTERSTATE 84
ZONE B-3

L=160.12' WOODS
 R=485.00'
 Δ=18°55'03"
 CLEN=159.41'
 T=80.80'
 BRG=S 78°43'22" W

N/F
CONNECTICUT LIGHT & POWER
(EVERSOURCE)
381 CONNECTICUT BLVD.
MAP 5, LOT 12/152
VOL.442 PG.175
ZONE B-3

TOWN OF EAST HARTFORD
PLANNING AND ZONING COMMISSION
SITE PLAN CERTIFICATE OF APPROVAL
APPROVAL DATE: _____
EXPIRATION DATE: _____
_____ CHAIRMAN

N/F
THE NGUYEN & CAI GROUP LLC
477 CONNECTICUT BLVD.
MAP 5, LOT 9
VOL.3313 PG.159
ZONE B-3

N/F
CONNECTICUT TUBERCULOSIS AND
RESPIRATORY DISEASE ASSOCIATION, INC.
45 ASH STREET
MAP 5, LOT 11
VOL. 447 PG. 289
ZONE B-3

ZONING TABLE

ZONE: B-3	REQUIRED	PROPOSED
LOT AREA	40000 SF (1)	134590 SF
MIN. FRONTAGE	200 FT (1)	243.45 FT
MIN. FRONT YARD	50 FT (2)	90.74 FT
MIN. SIDE YARD	5 FT	25.25 FT
OTHER SIDE YARD	10 FT	113.82 FT
MIN. REAR YARD	N/A	80.16 FT
MAX. BLDG. HEIGHT	50 FT	27'± FT
MAX. BLDG. COVERAGE	75%	22.01%
MAX. IMPV. COVERAGE	85%	80.45%

* DENOTES NON-CONFORMING TO CURRENT ZONING REGULATIONS
(1) NEW AUTOMOBILE SALES - SECTION 403.1.13
(2) FRONT YARD PER SECTION 212 (50 FT MAXIMUM)

PARKING CALCULATIONS

REQUIRED PARKING:

167 INVENTORY CARS @ 1 SPACE/5 34 SPACES

PROPOSED PARKING (CUSTOMER/DISPLAY):

REGULAR SPACES 58 SPACES
RESERVED SPACES 3 SPACES
TOTAL PROPOSED PARKING 61 SPACES

GENERAL NOTES:

PROFESSIONAL ENGINEER'S SEAL/SIGNATURE: ORIGINAL DOCUMENT CONTAINS THE LIVE SEAL AND LIVE SIGNATURE OF THE PROFESSIONAL ENGINEER. THIS DOCUMENT SHALL BE CONSIDERED UNSEALED AND UNSIGNED BY THE PROFESSIONAL ENGINEER IF SUCH SEAL AND SIGNATURE ARE MISSING OR IF IT CONTAINS A SEAL AND/OR SIGNATURE THAT ARE COPIES.

CALL BEFORE YOU DIG - DIAL 811 (1-800-822-4455): EXISTING UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SOURCES. THE LOCATIONS ARE ONLY APPROXIMATE AND THERE MAY BE ADDITIONAL UTILITIES WITHIN THE PROJECT AREA. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES WITHIN THE WORK AREA, NOTIFY EACH AFFECTED UTILITY COMPANY AND DIG TEST PITS AS REQUIRED PRIOR TO COMMENCING CONSTRUCTION. MEEHAN & GOODIN MAKES NO STATEMENT AS TO THE CONDITION OR SUITABILITY OF ANY UTILITIES FOR ANY INTENDED USE.

WETLAND BUFFER SHOWN BASED ON TOWN OF EAST HARTFORD INLAND WETLANDS AND WATERCOURSES MAP SHEET 15 OF 34, DATED 4-29-05.

ALL PROPRIETARY PRODUCTS AND MATERIALS SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS.

ON ALL DISTURBED AREAS THAT WILL NOT BE COVERED BY BUILDING, PAVEMENT, OR OTHERWISE PERMANENTLY STABILIZED, PLACE TOPSOIL (6 INCH MINIMUM) AND ESTABLISH GRASS TURF UPON COMPLETION OF CONSTRUCTION.

THE CONTRACTOR SHALL ADJUST FINAL GRADES TO MEET FIELD CONDITIONS AND ALL AREAS SHALL BE GRADED TO DRAIN.

ANY IMPROVEMENTS SHOWN ON THIS PLAN OR REQUIRED RELATING TO PROPOSED WORK WITHIN THE TOWN OF EAST HARTFORD STREET LINES SHALL BE CARRIED OUT IN ACCORDANCE WITH THE STANDARDS AND REQUIREMENTS FOR WORK WITHIN THEIR STREET LINES.

ANY WORK WITHIN THE STATE OF CONNECTICUT PARCEL (INTERSTATE 84) RIGHT-OF-WAY) WILL REQUIRE REVIEW BY AND A PERMIT FROM THE CONNECTICUT DEPARTMENT OF TRANSPORTATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR APPLYING FOR THIS PERMIT PRIOR TO CONSTRUCTION. ALL WORK WITHIN THE STATE HIGHWAY LINES SHALL CONFORM TO THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROADS, BRIDGES AND INCIDENTAL CONSTRUCTION" FORM 816.

REFER TO THE ARCHITECTURAL DRAWINGS FOR ADDITIONAL INFORMATION, LAYOUT AND GRADES OF VARIOUS ITEMS.

ALL NEW TRANSITIONS FROM PAVEMENT AREAS TO FINISHED FLOORS WITHIN THE BUILDING SHALL BE FLUSH AT THE DOORS UNLESS SPECIFICALLY SHOWN OTHERWISE ON THE ARCHITECTURAL DRAWINGS.

THE DEVELOPER SHALL NOTIFY THE TOWN OF EAST HARTFORD ENGINEERING DIVISION 24 HOURS PRIOR TO BEGINNING ANY STORM DRAINAGE, ROADWAY PREPARATION, PAVING, SIDEWALK, CURBING, STREET LINE MONUMENTATION, PROPERTY CORNER PINS, ETC., TO SCHEDULE INSPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:30 AM - 4:30 PM AT 860-291-7380.

LANDSCAPING DATA

OWNER MAY SUBSTITUTE EQUIVALENT PLANTS (SIZE AND STYLE)

SYMBOL	LABEL	COMMON NAME	LATIN NAME	SIZE	QTY.
	A	CLEVELAND SELECT PEAR	PYRUS CALLERYANA 'CLEVELAND SELECT'	3" CAL	15

LEGEND

BC/GC	PROPERTY LINE	● IP	EDGE OF WOODS
CB	EASEMENT LINE	■ CMS	IRON PIN
CB	BIT CURB/GRANITE CURB	HC	CONCRETE MERESTONE
DMH	CATCHBASIN	(14)	RESERVED PARKING SPACE
SMH	DRAINAGE MANHOLE	WQU	NUMBER OF SPACES IN THE ROW
WMH	SANITARY MANHOLE	(19)	WATER QUALITY UNIT
LT	WATER MANHOLE	(25)	SEE EG--4,5
GL	LIGHT POLE		SEE-EG 6,7
FL	GROUND LIGHT		PROPOSED CURB
UT	FLOOD LIGHT		PROPOSED STORM PIPE
EM/GM	UTILITY POLE		PROPOSED SANITARY PIPE
WG	ELECTRIC METER/GAS METER		SILT FENCE
PV	WATER GATE		CUT AND MATCH LINE
ET	POST INDICATOR VALVE		PROPOSED CONTOUR
FY/SY/RY	ELECTRIC TRANSFORMER		PROPOSED SPOT GRADE
MBR	FRONT/SIDE/REAR YARDS		TOP OF FRAME
	METAL BEAM GUIDERAIL		INVERT
			VERIFY IN THE FIELD

N/F
STATE OF CONNECTICUT
INTERSTATE 84
ZONE B-3

TOWN OF EAST HARTFORD
PLANNING AND ZONING COMMISSION
SITE PLAN CERTIFICATE OF APPROVAL

APPROVAL DATE:_____

EXPIRATION DATE:_____

CHAIRMAN

REVISION	DATE
CONDITIONS OF APPROVAL	11-20-2017
DIRECTIONAL SIGN ADDED	06-11-2018
BUILDING, PARKING, AND UTILITIES	02-18-2019
COMBINED SET	03-05-2019
SEAL & SIGNATURE:	NOTE: THIS DRAWING IS AN INSTRUMENT OF SERVICE OF AND REMAINS THE PROPERTY OF MEEHAN & GOODIN. IT IS TO BE USED ONLY FOR THIS SPECIFIC PROJECT AND SHALL NOT BE MODIFIED WITHOUT THE WRITTEN CONSENT OF MEEHAN & GOODIN. ANY UNAUTHORIZED MODIFICATIONS WILL INVALIDATE ALL SIGNATURES, CERTIFICATIONS AND DECLARATIONS CONTAINED HEREON.



Meehan & Goodin

Engineers - Surveyors, P.C.
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(860) 643-2520 FAX (860) 649-8806

PLAN PREPARED FOR

KIA OF EAST HARTFORD

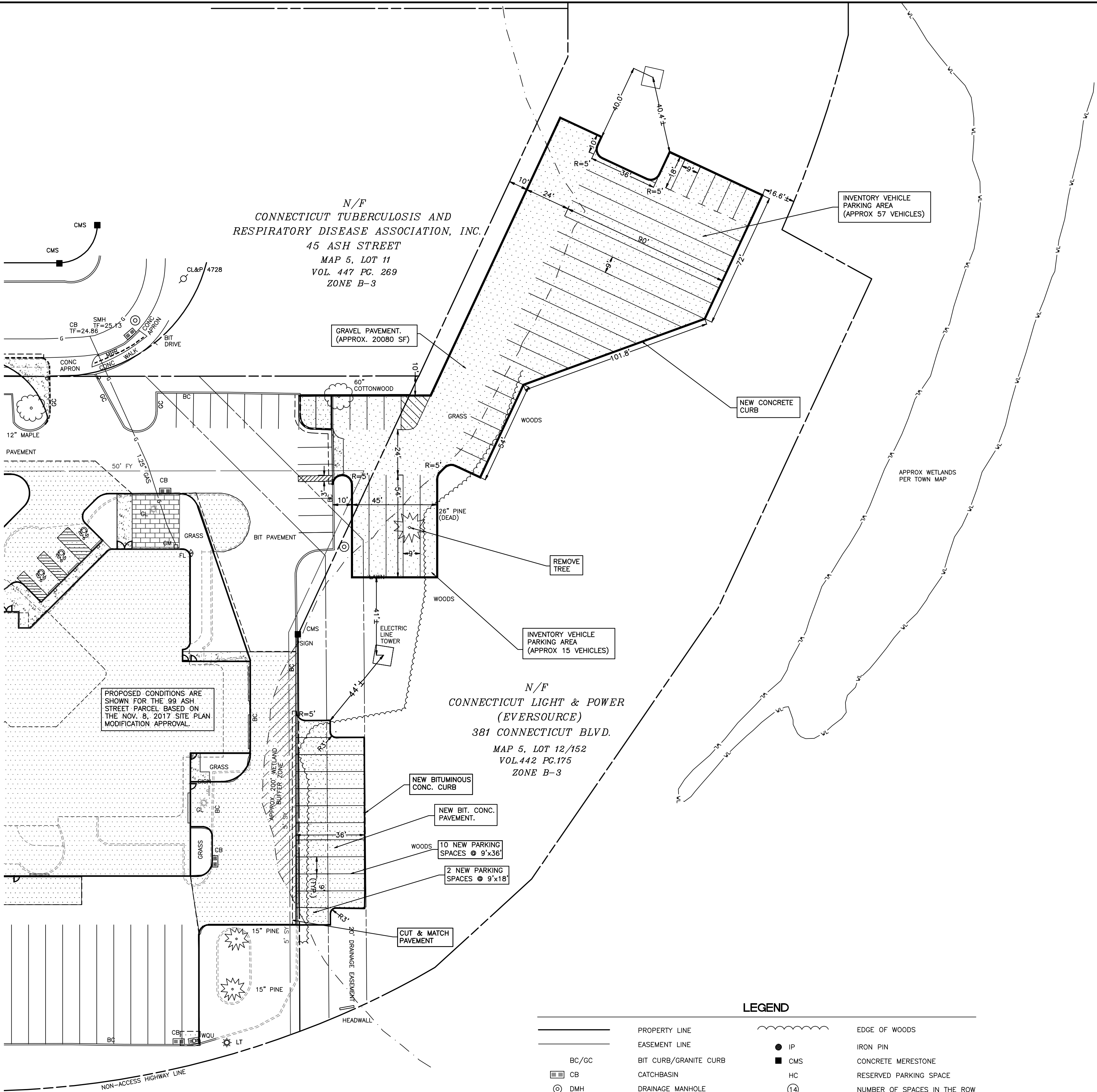
SITE LAYOUT PLAN

99 ASH STREET

EAST HARTFORD, CONN.

SITE LAYOUT PLAN

SCALE: 1" = 30'	DESIGN: OT	PROJECT: 17113	ACAD: 17113.DWG
DATE: 11-2-2017	DRAFT: ERJ	Q://SC13/WORK	SHEET NO. <u>5</u> OF <u>11</u>



ZONING TABLE		
EVERSOURCE PARCEL ONLY		
ZONE: B-3	REQUIRED	EXISTING
LOT AREA	40000 SF (1)	2.58 AC±
MIN. FRONTAGE	200 FT (1)	148.0 FT (3) *
MIN. FRONT YARD	50 FT (2)	N/A
MIN. SIDE YARD	5 FT	N/A
OTHER SIDE YARD	10 FT	N/A
MIN. REAR YARD	N/A	N/A
MAX. BLDG. HEIGHT	50 FT	N/A
MAX. BLDG. COVERAGE	75%	N/A
MAX. IMPV. COVERAGE	85%	20% ±
* DENOTES NON-CONFORMING TO CURRENT ZONING REGULATIONS		
(1) NEW AUTOMOBILE SALES - SECTION 403.1.13		
(2) FRONT YARD PER SECTION 212 (50 FT MAXIMUM)		
(3) CONNECTICUT BOULEVARD		

PARKING TABLE	
INVENTORY CAR PARKING:	
EXISTING ON 99 ASH ST. PARCEL	167 SPACES
PROPOSED ON EVERSOURCE PARCEL	72 SPACES
TOTAL INVENTORY CARS	239 SPACES
CUSTOMER/DISPLAY PARKING - 99 ASH STREET PARCEL:	
EXISTING REGULAR SPACES	151 SPACES
ELIMINATED REGULAR SPACES	-3 SPACES
NEW REGULAR SPACES	+6 SPACES
SUBTOTAL REGULAR SPACES	62 SPACES
RESERVED SPACES	3 SPACES
TOTAL PARKING	65 SPACES
REQUIRED PARKING:	
239 INVENTORY CARS @ 1 SPACE/5 CARS	48 SPACES
PROPOSED PARKING (CUSTOMER/DISPLAY):	
TOTAL PARKING SPACES	65 SPACES

GENERAL NOTES:

CALL BEFORE YOU DIG 1-800-922-4455: EXISTING UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SOURCES. THE LOCATIONS ARE ONLY APPROXIMATE AND THERE ARE ADDITIONAL UTILITIES WITHIN THE PROJECT AREA. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES WITHIN THE WORK AREA, NOTIFY EACH AFFECTED UTILITY COMPANY AND DIG TEST PITS AS REQUIRED PRIOR TO COMMENCING CONSTRUCTION. MEEHAN & GOODIN MAKES NO STATEMENT AS TO THE CONDITION OR SUITABILITY OF ANY UTILITIES FOR ANY INTENDED USE.

ALL PROPRIETARY PRODUCTS AND MATERIALS SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE MANUFACTURERS' RECOMMENDATIONS.

ON ALL DISTURBED AREAS THAT WILL NOT BE COVERED BY PAVEMENT, OR OTHERWISE PERMANENTLY STABILIZED, PLACE TOPSOIL (6 INCH MINIMUM) AND ESTABLISH GRASS TURF UPON COMPLETION OF CONSTRUCTION.

THIS PARCEL IS NOT WITHIN A NATURAL DIVERSITY DATA BASE AREA AS SHOWN ON THE DEEP NDOB MAP FOR EAST HARTFORD, CT, JUNE, 2017.

THERE ARE NO AQUIFER PROTECTION AREA ACCORDING TO THE INFORMATION ON THE DEEP AQUIFER PROTECTION AREAS MAP WEBSITE AS OF OCTOBER 2017.

THE DEVELOPER SHALL NOTIFY THE TOWN OF EAST HARTFORD ENGINEERING DIVISION 24 HOURS PRIOR TO BEGINNING ANY STORM DRAINAGE, ROADWAY PREPARATION, PAVING, SIDEWALK, CURBING, STREET LINE MONUMENTATION, PROPERTY CORNER PINS, ETC., TO SCHEDULE INSPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:30 AM - 4:30 PM AT 860-291-7380.

- SITE DEMOLITION NOTE:**
1. ALL SITE DEMOLITION/CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF EAST HARTFORD.
 2. THE UNDERGROUND UTILITIES SHOWN ON THIS PLAN HAVE BEEN OBTAINED FROM AVAILABLE RECORDS AND HAVE BEEN LOCATED IN THE FIELD WHERE POSSIBLE. THE ACTUAL LOCATION OF THESE UTILITIES SHOULD BE VERIFIED BY THE CONTRACTOR. THE CONTRACTOR MUST CONTACT "CALL BEFORE YOU DIG" 1-800-922-4455 FOR LOCATION AND MARKING OF ALL EXISTING UTILITIES PRIOR TO ANY EXCAVATION.
 3. INSTALL SILT FENCE OR HAY BALES AROUND ALL BASINS.
 4. SIGNS, STRUCTURES, UTILITIES, WALKS, LIGHTS, AND HYDRANTS THAT ARE TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION.
 5. TREES WITHIN THE CONSTRUCTION AREA THAT ARE TO REMAIN SHALL BE PROTECTED.
 6. THE CONSTRUCTION ENTRANCE SHALL BE OFF OF THE DRIVE TO THE SOUTHWEST OF THE PROPERTY AND NO OTHER ENTRANCE SHALL BE USED.

TOWN OF EAST HARTFORD
PLANNING AND ZONING COMMISSION
SITE PLAN CERTIFICATE OF APPROVAL
APPROVAL DATE: _____
EXPIRATION DATE: _____
CHAIRMAN

REVISION	DATE
CONDITIONS OF APPROVAL	11-20-2017
DIRECTIONAL SIGN ADDED	06-11-2018
BUILDING, PARKING, AND UTILITIES	02-18-2019
COMBINED SET	03-05-2019

SEAL & SIGNATURE:	NOTE: THIS DRAWING IS AN INSTRUMENT OF SERVICE OF AND REMAINS THE PROPERTY OF MEEHAN & GOODIN. IT IS TO BE USED ONLY FOR THIS SPECIFIC PROJECT AND SHALL NOT BE MODIFIED WITHOUT THE WRITTEN CONSENT OF MEEHAN & GOODIN. UNAUTHORIZED MODIFICATIONS WILL INVALIDATE ALL SIGNATURES, CERTIFICATIONS AND DECLARATIONS CONTAINED HEREON.
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Meehan & Goodin
Engineers - Surveyors, P.C.
387 North Main Street, Manchester, CT 06042
(860) 643-2520 FAX (860) 649-8806

PLAN PREPARED FOR
KIA OF EAST HARTFORD
99 ASH STREET EAST HARTFORD, CONN.

SITE LAYOUT PLAN

SCALE: 1" = 30'	DESIGN: OT	PROJECT: 17113	ACAD: 17113-SLP.DWG
DATE: 11-2-2017	DRAFT: ERJ	Q:/SC13/WORK	SHEET NO. _6_ OF _11_

GENERAL UTILITY NOTES

1. ALL SITE DEMOLITION/CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF EAST HARTFORD.
2. THE UNDERGROUND UTILITIES SHOWN ON THIS PLAN HAVE BEEN OBTAINED FROM AVAILABLE RECORDS AND HAVE BEEN LOCATED IN THE FIELD WHERE POSSIBLE. THE ACTUAL LOCATION OF THESE UTILITIES SHOULD BE VERIFIED BY THE CONTRACTOR. THE CONTRACTOR MUST CONTACT "CALL BEFORE YOU DIG" 1-800-922-4455 FOR LOCATION AND MARKING OF ALL EXISTING UTILITIES PRIOR TO ANY EXCAVATION.
3. SANITARY AND STORM SERVICE SHALL MEET THE REQUIREMENTS OF THE TOWN OF EAST HARTFORD.
4. ELECTRICAL, TELEPHONE, CABLE, AND COMMUNICATIONS SERVICE SHALL MEET THE REQUIREMENTS OF THE INDIVIDUAL UTILITY COMPANY.
5. ALL DAMAGE TO PUBLIC FACILITIES WITHIN THE STREET RIGHT OF WAY DURING SITE CONSTRUCTION SHALL BE REPAIRED BY THE APPLICANT.
6. ACCESS TO THE SITE DURING CONSTRUCTION SHALL BE THROUGH THE CONSTRUCTION ENTRANCES AS SHOWN ON THE PLAN AND NO OTHER ACCESS SHALL BE ALLOWED.
7. PIPE LENGTHS SHOWN ARE FROM CENTER TO CENTER OF STRUCTURES. CONTRACTOR IS TO CUT PIPES FLUSH WITH STRUCTURE WALLS.

LEGEND

BC/GC	PROPERTY LINE	●	IP	EDGE OF WOODS
CB	EASEMENT LINE	●	CMS	IRON PIN
DMH	BIT CURB/GRANITE CURB	■	CONCRETE MERESTONE	
SMH	CATCHBASIN	■	RESERVED PARKING SPACE	
WMH	DRAINAGE MANHOLE	14	NUMBER OF SPACES IN THE ROW	
LT	SANITARY MANHOLE	WOU	WATER QUALITY UNIT	
GL	WATER MANHOLE	15	SEE EG--4.5	
FL	LIGHT POLE	25	SEE-EG 6.7	
FL	GROUND LIGHT		PROPOSED CURB	
FL	FLOOD LIGHT		PROPOSED STORM PIPE	
FL	UTILITY POLE		PROPOSED SANITARY PIPE	
EM/GM	ELECTRIC METER/GAS METER		SILT FENCE	
WG	WATER GATE		CUT AND MATCH LINE	
PV	POST INDICATOR VALVE		PROPOSED CONTOUR	
ET	ELECTRIC TRANSFORMER		PROPOSED SPOT GRADE	
FY/SY/RY	FRONT/SIDE/REAR YARDS		TF	
MBR	METAL BEAM GUIDERAIL		INV.	
			V.I.F.	VERIFY IN THE FIELD

SEDIMENTATION AND EROSION CONTROL PLAN

- A. INTENT: IT IS THE INTENT OF THIS SEDIMENTATION AND EROSION CONTROL PLAN TO PROVIDE THE SITE CONTRACTOR THE MEANS TO CONTROL EROSION AND SEDIMENTS INTO EXISTING WATERCOURSES AND DRAINAGE SYSTEMS, AND ON TO SURROUNDING PROPERTIES AND ROADWAYS. THE CONTRACTOR SHALL USE THIS PLAN ALONG WITH THE GUIDELINES PROVIDED TO CONTAIN SEDIMENTS WITHIN SPECIFICALLY NOTED AREAS AS LISTED ON THIS PLAN.
- B. DESIGN CRITERIA: THE DESIGN CRITERIA USED TO PREPARE THIS PLAN WAS BASED ON THE "2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL," AS AMENDED, WHILE TAKING INTO CONSIDERATION THE EXISTING NATURE AND TOPOGRAPHY OF THE SITE, AS WELL AS THE SPECIFICS OF THE PROPOSED PROJECT.
- C. STARTING DATE OF CONSTRUCTION: APRIL, 2019
- D. COMPLETION DATE OF CONSTRUCTION: OCTOBER, 2019
- E. AGENT RESPONSIBLE FOR IMPLEMENTATION OF PLAN: OWNER.
- F. DISCUSSION OF SITE AND DEVELOPMENT: THE SITE IS LOCATED ON ASH STREET IN THE TOWN OF EAST HARTFORD, CONNECTICUT.

- THE DEVELOPMENT, AS PROPOSED, INVOLVES THE CONSTRUCTION OF ADDITIONAL BUILDING AND PARKING AREAS.
- THE SITE PRESENTLY DRAINS TO THE SOUTHEAST. THE EXISTING DRAINAGE SYSTEM WILL DRAIN TO THE SOUTHEAST.
- THE FOLLOWING ARE DEEMED POTENTIAL AREAS REQUIRING PROPER SEDIMENTATION AND EROSION CONTROL MEASURES:
1. LOWER SLOPE OF EXCAVATION AREAS
 2. BOTTOM OF SLOPE WITH EXCAVATION AREAS
 3. STORM SEWERS, INCLUDING EXISTING AND PROPOSED CATCH BASINS
 4. DUST AND MUD CONTROL ON SURROUNDING STREETS AND PROPERTIES
- THIS PLAN DEALS WITH THESE POTENTIAL SOURCES OF SEDIMENTS BY PROPOSED SILTATION FENCES AND CHECKS, AND REQUIRING PROMPT STABILIZATION OF EXPOSED SLOPES.
- ORGANIC MULCH ANCHORING WITH STRAW OR HAY MULCH MUST BE ANCHORED IMMEDIATELY AFTER SPREADING TO PREVENT WIND BLOWING. THE FOLLOWING METHODS AND/OR PROCEDURES SHOULD BE USED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND THE STATE OF CONNECTICUT SEDIMENTATION AND EROSION CONTROL GUIDELINES....
1. MULCH ANCHORING TOOL
 2. TRACKING
 3. LIQUID MULCH BINDERS
 4. MULCH NETTING
 5. PEG AND TWINE
 6. CHEMICAL MULCHES
 7. MATS
1. ALL EMBANKMENT SLOPES, DISTURBED OR REGRADED DURING CONSTRUCTION SHALL BE SODDED OR SEEDED AND MULCHED (AS REQUIRED), AS SOON AS PRACTICAL AFTER COMPLETION OF SLOPES.

TOWN OF EAST HARTFORD
PLANNING AND ZONING COMMISSION
SITE PLAN CERTIFICATE OF APPROVAL

APPROVAL DATE: _____
EXPIRATION DATE: _____
CHAIRMAN

2. SYNTHETIC FILTER FABRIC BARRIERS OR HAY BALES SHALL BE PLACED AS SHOWN ON THIS PLAN TO CONTROL SEDIMENTATION AND EROSION. REFER TO DETAIL FOR PROPER INSTALLATION REQUIREMENTS.
3. ALL PERIMETER SYNTHETIC FILTER CHECKS OR BARRIERS SHALL BE PLACED PRIOR TO STARTING OF ANY SITE CONSTRUCTION.
4. PRIOR TO CONSTRUCTION, ALL AREAS TO BE DISTURBED IN A PARTICULAR LOCATION SHALL BE STRIPPED OF TOPSOIL AND STOCKPILED IN AN APPROPRIATE LOCATION. HAY BALES OR SYNTHETIC FILTER BARRIERS SHALL BE PLACED AROUND THE PERIMETER OF THE PILE. TOPSOIL SHALL BE IMMEDIATELY SEEDED WITH A TEMPORARY COVER OF ANNUAL RYE GRASS.
5. HAY BALES OR SYNTHETIC FILTER BARRIERS SHALL BE PLACED AT ENDS OF ALL SWALES, EITHER PERMANENT OR TEMPORARY, IMMEDIATELY AFTER SWALE HAS BEEN COMPLETED.
6. HAY BALE CHECKS SHALL BE PLACED AROUND CATCH BASINS AFTER COMPLETION TO PREVENT SILTATION OF SUMPS. REFER TO DETAIL FOR PROPER INSTALLATION REQUIREMENTS.
7. AREAS SHALL BE SODDED OR SEEDED IMMEDIATELY AFTER FINAL GRADING BETWEEN APRIL 1 AND JUNE 15, AND BETWEEN AUGUST 15 AND SEPTEMBER 30.
8. WHEN GRADING IS NOT COMPLETED BY SEPTEMBER 30, OR AREAS TO BE EXPOSED FOR EXTENDED PERIODS OF TIME, A TEMPORARY COVER OF ANNUAL RYE GRASS SEEDED AT THE RATE OF 1.5 POUNDS PER 1,000 SQUARE FEET SHALL BE ESTABLISHED AND HAY SPREAD.
9. THE CITY/TOWN ENGINEER OR THEIR AGENT SHALL BE NOTIFIED BEFORE CONSTRUCTION BEGINS AND UPON COMPLETION.
10. ALL CONTROL MEASURES SHALL BE INSPECTED WEEKLY FOR EXCESSIVE ACCUMULATIONS OF SILT. THESE INSPECTIONS SHALL BE INCREASED TO DAILY DURING PERIODS OF RAIN OR WHEN EXCESSIVE EROSION WITHIN A PARTICULAR PORTION OF THE SITE IS OCCURRING WITH REGULARITY.
11. CONTROL MEASURES SHALL BE CLEANED OF SILT WHEN DEPTH ACCUMULATIONS REACH 1/2 THE OVERALL HEIGHT.
12. ALL CONTROL MEASURES ARE TO BE REMOVED FROM SITE IMMEDIATELY AFTER WORK HAS BEEN COMPLETED AND GROUND COVER HAS BEEN ESTABLISHED. PERIODIC REVIEW OF THE SITE MAY BE REQUIRED TO INSPECT THE SITE TO INSURE THAT GRADED EMBANKMENTS MAINTAIN VEGETATION AS ESTABLISHED IN A PARTICULAR AREA. ADDITIONAL MEASURES MAY NEED TO BE TAKE TO REESTABLISH THE GROUND COVER.
13. EXISTING STORM SEWERS, WATERCOURSES, AND CATCH BASINS SHALL BE CLEANED OF ANY ACCUMULATION OF SILT DUE TO CONSTRUCTION.
14. CONTRACTOR TO KEEP ROADWAY FREE AND CLEAR OF ANY ACCUMULATED MUD OR SILT DURING CONSTRUCTION. MEASURES TO BE USED MAY INCLUDE, EITHER SWEEPING, APPLICATION OF WATER SPRAYS, OR MULCHING TECHNIQUES.
15. DISTURBED AREAS SHALL BE SEEDED WITH THE FOLLOWING SEEDING MIXTURE: KENTUCKY BLUEGRASS 45%, CREEPING RED FESCUE 45%, AND PERENNIAL RYE GRASS 10%. SEED TO BE APPLIED AT A RATE OF 4 LBS./1,000 SF. PLANTING SEASONS ARE FROM APRIL 1 TO JUNE 1 AND FROM AUGUST 15 TO SEPTEMBER 15.
16. MULCHING SHALL BE REQUIRED IN ADDITION TO SEEDING AFTER SEPTEMBER 30TH.
 - A) SEED BED PREPARATION:
 1. APPLY FERTILIZER AT THE RATE OF 300 POUNDS PER ACRE OF 7.5 LBS/1,000 SF OR 10-10-10 OR EQUIVALENT.
 2. APPLY LIMESTONE (EQUIVALENT TO 50 PERCENT CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF 2 TONS / ACRE OR 135 LBS/1,000 SF AS PER EXISTING SOIL CONDITIONS. FOR SOIL CONDITIONS TEXTURES (CLAY, CLAY LOAM AND HIGH ORGANIC SOIL).
 18. AREAS WHICH HAVE BEEN TEMPORARILY OR PERMANENTLY SEEDED SHALL BE MULCHED IMMEDIATELY FOLLOWING SEEDING, MULCH ANCHORING WILL BE USED ON SLOPES GREATER THAN 5 PERCENT AND CONCENTRATED FLOW AREAS SUCH AS DIVERSIONS AND OUTLET WATERWAY CHANNELS.
 19. ORGANIC MULCH MAY BE USED IN AN AREA WHERE MULCH IS REQUIRED. THE USE OF STRAW OR HAY AT THE RATE OF 1.5 - 2 TONS PER ACRE OR 750-900 LBS/1,000 SF, AND BE FREE OF WEEDS AND COURSE MATTER. IT MUST BE ANCHORED AND SPREAD WITH A MULCH BLOWER OR BY HAND.
 20. ALL MULCHES MUST BE INSPECTED PERIODICALLY, IN PARTICULAR AFTER RAINSTORMS, TO CHECK FOR FILL EROSION. WHERE EROSION IS OBSERVED ADDITIONAL MULCH SHOULD BE APPLIED. NET SHOULD BE INSPECTED AFTER RAINSTORMS FOR DISLOCATION OR FAILURE. IF WASHOUTS OR BREAKAGE OCCURS, REINSTALL NET AS NECESSARY AFTER REPAIRING DAMAGE TO THE SLOPE(S). INSPECTIONS SHOULD TAKE PLACE UNTIL GRASSED AREAS ARE FIRMLY ESTABLISHED TO CONTROL SOIL EROSION AND TO SURVIVE SEVERE WEATHER CONDITIONS.
 21. WHERE SLOPES HAVE ERODED, AND SUBSEQUENT REPAIR MEASURES HAVE FAILED TO PROVIDE A STABILIZED EMBANKMENT, USE OF EROSION CONTROL BLANKETS SHALL BE SELECTED AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
 22. INSTALLATION OF ALL CONTROL MEASURES TO BE DONE IN ACCORDANCE WITH THE "2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL," AS AMENDED. ADDITIONAL CONTROL MEASURES MAY HAVE TO BE ADDED TO THE SITE CONSTRUCTION AREAS WHERE SURFACE EROSION OR SEDIMENT CONTROL IS A PROBLEM. THE ABOVE REFERENCED MANUAL SHALL BE USED AS THE BASIS FOR THESE ADDITIONAL CONTROL MEASURES.

G. SEQUENCE OF SITE DEVELOPMENT AND INSTALLATION OF CONTROL MEASURES:

1. INSTALL SILT FENCE AND EROSION PROTECTION AROUND THE LIMITS OF CONSTRUCTION.
2. BUILDING AND PARKING CONSTRUCTION TO BEGIN.
3. INSTALL UTILITIES. PROTECT INSTALLED CATCH BASINS/YARD DRAINS WITH SILT FENCE AND HAY BALES.
4. INSTALL FINAL GRADING, CURBING, WALKS, AND PAVEMENT. SILTATION CHECKS TO BE REINSTALLED AFTER PAVEMENT IS INSTALLED.
5. FINAL GRADING OF SLOPES TO BE COMPLETED, INCLUDING PLACING AND FINAL GRADING OF TOPSOIL AND SEEDING.
6. INSTALL FINAL LANDSCAPING AND LAWN AREAS AS REQUIRED BY OWNER.
7. SEDIMENTATION CONTROL MEASURES TO BE REMOVED AFTER VEGETATION IS FULLY ESTABLISHED ON SLOPES AND OTHER POTENTIAL AREAS OF EROSION HAVE BEEN CONTROLLED.
8. ROADWAYS, SIDEWALKS, AND ABUTTING PROPERTIES TO BE CLEARED OF SILT AND DIRT DUE TO CONSTRUCTION. CATCH BASINS AND STORM DRAINS TO BE CLEARED OF ANY ACCUMULATED SILT. DOWNSTREAM CULVERTS AND/OR WATERCOURSES TO BE INSPECTED AND CLEANED OF ANY DEPOSITED SILT DUE TO CONSTRUCTION.

WATER POLLUTION CONTROL PLAN

A. SITE DESCRIPTION

1. NATURE OF THE CONSTRUCTION ACTIVITY:

THE SITE IS BEING DEVELOPED INTO A BUILDING AND PARKING.
2. SEQUENCE OF MAJOR SOIL DISTURBANCE ACTIVITIES:

ACTIVITY	SCHEDULE 2019
INSTALL INITIAL EROSION CONTROL MEASURES	APRIL - MAY
CLEARING AND GRUBBING	APRIL - MAY
EXCAVATE AND INSTALL NEW PARKING	MAY - JUNE
INSTALL STORM SYSTEM	MAY - JUNE
SITE GRADING	JUNE - JULY
SITE PAVING	JUNE - JULY
TOPSOIL AND FINAL GRADING	JULY - AUGUST
STABILIZE EMBANKMENTS	JULY - AUGUST
LANDSCAPING	AUGUST - SEPTEMBER
CLEANING	SEPTEMBER - OCTOBER
3. SITE CONSTRUCTION AREA:

THE MAJORITY OF THE SITE WILL BE DISTURBED DURING CONSTRUCTION.
4. RUNOFF COEFFICIENT:

THE AVERAGE RUNOFF COEFFICIENT OF THE SITE AFTER CONSTRUCTION IS APPROXIMATELY 0.60.
5. SITE MAP:

THE PLAN INCLUDED HEREIN PROVIDES ALL INFORMATION ON SLOPES AND GRADING REQUIRED.
6. RECEIVING WATERS:

THE RUNOFF FROM THE SITE WILL BE DISCHARGED TO THE SOUTHEAST.

B. CONTROLS

1. EROSION AND SEDIMENT CONTROLS ARE SHOWN ON THIS PLAN.
2. STRUCTURAL PRACTICES:

THE PROPOSED STORM SYSTEM IS DESIGNED AS A MAIN SYSTEM OF MANHOLE TO MANHOLE WITH THE CATCH BASINS GOING TO MANHOLES ONLY. THE CATCH BASINS ARE EQUIPPED WITH TRAPS T ALLOW THE HEAVY SOILS AND SILT TO FALL OUT. FLOATABLES TO BE TRAPPED AND OILS TO REMAIN IN THE CATCH BASINS.
3. MAINTENANCE PLAN DURING CONSTRUCTION:

ALL CATCH BASINS SHALL BE CLEANED AND CLEARED OF DEBRIS, SAND OR SILT ON A BIWEEKLY BASIS. DEBRIS SHALL BE REMOVED FROM THE SITE ALONG WITH OTHER CONSTRUCTION DEBRIS. SILT OR SAND MAY BE SPREAD IN FLAT OR LEVEL AREAS LATER TO BE TOP SOILED OR GRADED. SILT FENCE OR HAY BALE PROTECTION SHALL BE REPAIRED AS NEEDED AND NOTED ABOVE. ACCUMULATED SILT SHALL BE REMOVED OR SPREAD PER THE EROSION CONTROL PLAN ELSEWHERE ON THIS SHEET.
4. DEWATERING WASTE WATERS:

ANY DEWATERING ON SITE SHALL BE TO A CONTROLLED FLAT AREA OR AN EXCAVATED SUMP AREA ENCLOSED WITH HAY BALES OR SILT FENCE. NO WATER SHALL BE ALLOWED TO ENTER THE STORM SYSTEM WITHOUT BEING DETAINED TO LET SILT DROP OUT.
5. POST CONSTRUCTION STORMWATER MANAGEMENT:

CATCH BASIN SUMPS WILL BE CLEANED ON A SIX MONTH BASIS. REMOVED MATERIAL WILL BE TAKEN OFF SITE. OILS WILL BE SKIMMED OFF THE WATER SURFACE ON A SIX MONTH BASIS OR A PROBLEM MAY DICTATE. PROPER REMOVAL OF OILS WILL BE CONDUCTED AS REQUIRED.
6. OTHER CONTROLS:

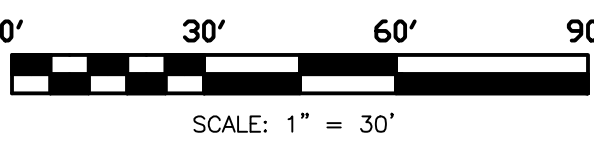
ALL CONSTRUCTION DEBRIS WILL BE REMOVED FROM THE SITE AS SOON AS POSSIBLE. NO DEBRIS WILL BE ALLOWED TO ENTER THE STORM SYSTEM. THE CONTRACTORS WILL REMOVE ANY DEBRIS ACCIDENTALLY OR OTHERWISE DEPOSITED IN THE STORM STRUCTURES.

WATER POLLUTION PREVENTION AND EROSION CONTROL MEASURES SHALL BE CHECKED FOR DAMAGE, DISREPAIR, OR REPLACEMENT BY AN INSPECTOR AT A MINIMUM INTERVAL OF ONCE A WEEK UNTIL THE SITE IS STABILIZED. AFTER THE SITE IS STABILIZED, INSPECTIONS SHALL BE CONDUCTED ONCE A MONTH FOR THREE MONTHS.

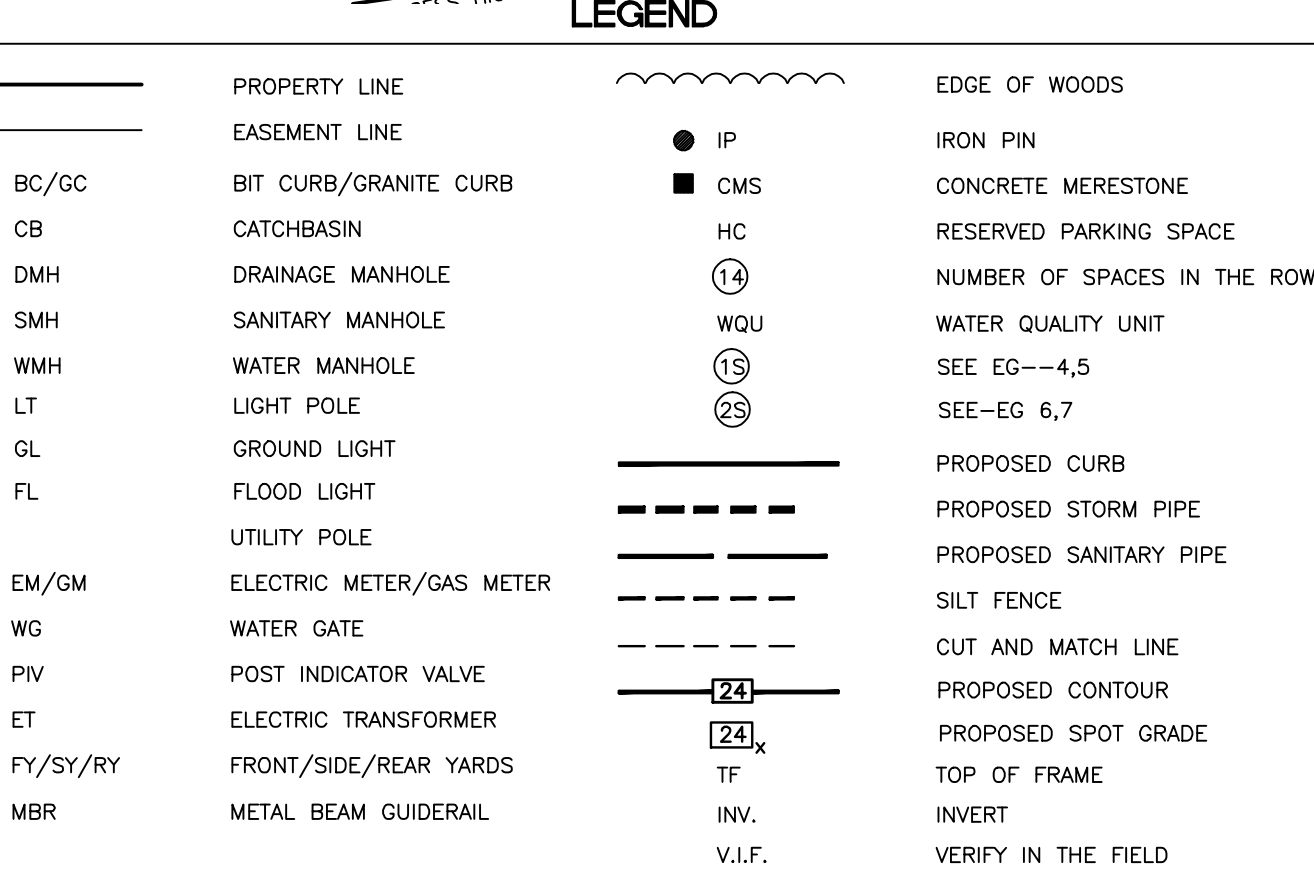
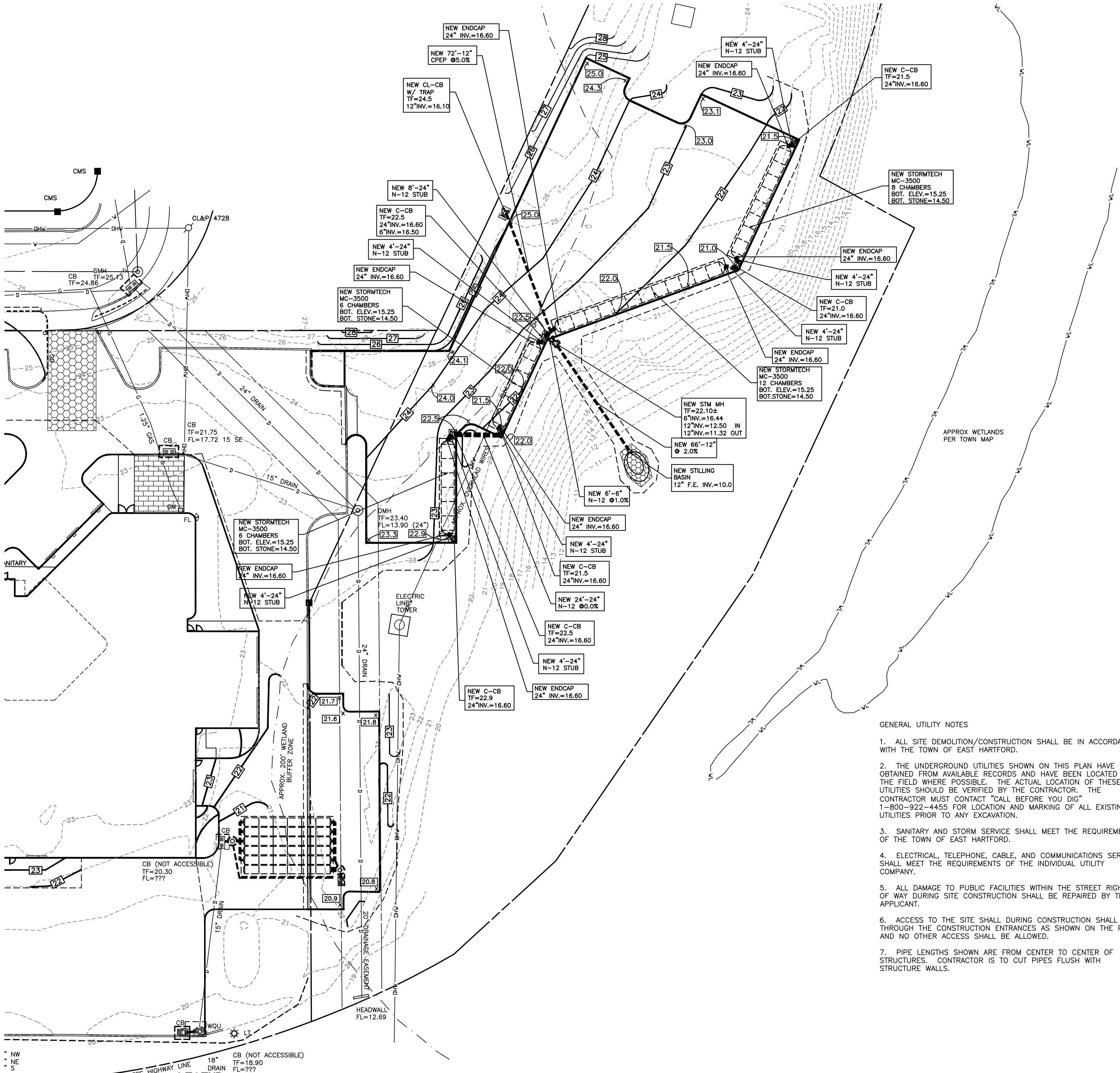
C. CONTRACTORS

- ALL CONTRACTORS AND SUBCONTRACTORS WORKING ON THIS PROJECT WHICH MAY REASONABLY BE EXPECTED TO CAUSE OR HAVE THE POTENTIAL TO CAUSE POLLUTION OF THE WATERS OF THE STATE, SHALL SIGN THE FOLLOWING CERTIFICATION:
- "I CERTIFY UNDER PENALTY OF THE LAW THAT I HAVE READ AND UNDERSTAND THE TERMS AT THE SITE. I AM COVERED BY THIS GENERAL PERMIT, AND MUST COMPLY WITH THE GENERAL CONDITIONS OF THIS PERMIT, INCLUDING BUT NOT LIMITED TO THE REQUIREMENTS OF THE STORMWATER POLLUTION CONTROL PLAN PREPARED FOR THIS SITE AND CONDITIONS OF THE GENERAL PERMIT FOR THE DISCHARGE OF STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITY"

NAME	DATE
NAME	DATE
NAME	DATE



REVISION		DATE	
CONDITIONS OF APPROVAL		11-20-2017	
BUILDING, PARKING, AND UTILITIES		02-18-2019	
COMBINED SET		03-05-2019	
SEAL & SIGNATURE:			
NOTE: THIS DRAWING IS AN INSTRUMENT OF SERVICE OF AND REMAINS THE PROPERTY OF MEEHAN & GOODIN. IT IS TO BE USED ONLY FOR THIS SPECIFIC PROJECT AND SHALL NOT BE MODIFIED WITHOUT THE WRITTEN CONSENT OF MEEHAN & GOODIN. ANY UNAUTHORIZED MODIFICATIONS WILL INVALIDATE ALL WARRANTIES, CERTIFICATIONS AND DECLARATIONS CONTAINED HEREON.			
PLAN PREPARED FOR KIA OF EAST HARTFORD			
99 ASH STREET EAST HARTFORD, CONN.			
GRADING AND UTILITIES WITH EROSION CONTROL PLAN			
SCALE: 1" = 30'	DESIGN: OT	PROJECT: 17113	17113.DWG
DATE: 10-24-2017	DRAFT: DT	Q:/SC13/WORK	SHEET NO. 7 OF 11



SEDIMENTATION AND EROSION CONTROL PLAN

A. INTENT: IT IS THE INTENT OF THIS SEDIMENTATION AND EROSION CONTROL PLAN TO PROVIDE THE SITE CONTRACTOR THE MEANS TO CONTROL EROSION AND SEDIMENTS INTO EXISTING WATERCOURSES AND DRAINAGE SYSTEMS, AND ON TO SURROUNDING PROPERTIES AND ROADWAYS. THE CONTRACTOR SHALL USE THIS PLAN ALONG WITH THE GUIDELINES PROVIDED TO CONTAIN SEDIMENTS WITHIN SPECIFICALLY NOTED AREAS AS LISTED ON THIS PLAN.

B. DESIGN CRITERIA: THE DESIGN CRITERIA USED TO PREPARE THIS PLAN WAS BASED ON THE "2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL," AS AMENDED, WHILE TAKING INTO CONSIDERATION THE EXISTING NATURE AND TOPOGRAPHY OF THE SITE, AS WELL AS THE SPECIFICS OF THE PROPOSED PROJECT.

C. STARTING DATE OF CONSTRUCTION: APRIL, 2019

D. COMPLETION DATE OF CONSTRUCTION: OCTOBER, 2019

E. AGENT RESPONSIBLE FOR IMPLEMENTATION OF PLAN: OWNER.

F. DISCUSSION OF SITE AND DEVELOPMENT:

THE SITE IS LOCATED ON 381 CONNECTICUT BOULEVARD IN THE TOWN OF EAST HARTFORD, CONNECTICUT.

THE DEVELOPMENT, AS PROPOSED, INVOLVES THE CONSTRUCTION OF ADDITIONAL PARKING AREAS.

THE SITE PRESENTLY DRAINS TO THE SOUTHEAST. THE EXISTING DRAINAGE SYSTEM WILL DRAIN TO THE SOUTHEAST.

THE FOLLOWING ARE DEEMED POTENTIAL AREAS REQUIRING PROPER SEDIMENTATION AND EROSION CONTROL MEASURES:

- LOWER SLOPE OF EXCAVATION AREAS
- BOTTOM OF SLOPE WITH EXCAVATION AREAS
- STORM SEWERS, INCLUDING EXISTING AND PROPOSED CATCH BASINS
- DUST AND MUD CONTROL ON SURROUNDING STREETS AND PROPERTIES

THIS PLAN DEALS WITH THESE POTENTIAL SOURCES OF SEDIMENTS BY PROPOSED SILTATION FENCES AND CHECKS, AND REQUIRING PROMPT STABILIZATION OF EXPOSED SLOPES.

ORGANIC MULCH ANCHORING WITH STRAW OR HAY MULCH MUST BE ANCHORED IMMEDIATELY AFTER SPREADING TO PREVENT WIND BLOWING. THE FOLLOWING METHODS AND/OR PROCEDURES SHOULD BE USED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND THE STATE OF CONNECTICUT SEDIMENTATION AND EROSION CONTROL GUIDELINES....

- MULCH ANCHORING TOOL
- TRACKING
- LIQUID MULCH BINDERS
- MULCH NETTING
- PEGS AND TWINE
- CHEMICAL MULCHES
- MATS

1. ALL EMBANKMENT SLOPES, DISTURBED OR REGRADED DURING CONSTRUCTION SHALL BE SODDED OR SEEDED AND MULCHED (AS REQUIRED), AS SOON AS PRACTICAL AFTER COMPLETION OF SLOPES.

2. SYNTHETIC FILTER FABRIC BARRIERS OR HAY BALES SHALL BE PLACED AS SHOWN ON THIS PLAN TO CONTROL SEDIMENTATION AND EROSION. REFER TO DETAIL FOR PROPER INSTALLATION REQUIREMENTS.

3. ALL PERIMETER SYNTHETIC FILTER CHECKS OR BARRIERS SHALL BE PLACED PRIOR TO STARTING OF ANY SITE CONSTRUCTION.

4. PRIOR TO CONSTRUCTION, ALL AREAS TO BE DISTURBED IN A PARTICULAR LOCATION SHALL BE STRIPPED OF TOPSOIL AND STOCKPILED IN AN APPROPRIATE LOCATION. HAY BALES OR SYNTHETIC FILTER BARRIERS SHALL BE PLACED AROUND THE PERIMETER OF THE PILE. TOPSOIL SHALL BE IMMEDIATELY SEEDED WITH A TEMPORARY COVER OF ANNUAL RYE GRASS.

5. HAY BALES OR SYNTHETIC FILTER BARRIERS SHALL BE PLACED AT ENDS OF ALL SWALES, EITHER PERMANENT OR TEMPORARY, IMMEDIATELY AFTER SWALE HAS BEEN COMPLETED.

6. HAY BALE CHECKS SHALL BE PLACED AROUND CATCH BASINS AFTER COMPLETION TO PREVENT SILTATION OF SUMPS. REFER TO DETAIL FOR PROPER INSTALLATION REQUIREMENTS.

7. AREAS SHALL BE SODDED OR SEEDED IMMEDIATELY AFTER FINAL GRADING BETWEEN APRIL 1 AND JUNE 15, AND BETWEEN AUGUST 15 AND SEPTEMBER 30.

8. WHEN GRADING IS NOT COMPLETED BY SEPTEMBER 30, OR AREAS TO BE EXPOSED FOR EXTENDED PERIODS OF TIME, A TEMPORARY COVER OF ANNUAL RYE GRASS SEEDED AT THE RATE OF 1.5 POUNDS PER 1,000 SQUARE FEET SHALL BE ESTABLISHED AND HAY SPREAD.

9. THE CITY/TOWN ENGINEER OR THEIR AGENT SHALL BE NOTIFIED BEFORE CONSTRUCTION BEGINS AND UPON COMPLETION.

10. ALL CONTROL MEASURES SHALL BE INSPECTED WEEKLY FOR EXCESSIVE ACCUMULATIONS OF SILT. THESE INSPECTIONS SHALL BE INCREASED TO DAILY DURING PERIODS OF RAIN OR WHEN EXCESSIVE EROSION WITHIN A PARTICULAR PORTION OF THE SITE IS OCCURRING WITH REGULARITY.

11. CONTROL MEASURES SHALL BE CLEANED OF SILT WHEN DEPTH ACCUMULATIONS REACH 1/2 THE OVERALL HEIGHT.

12. ALL CONTROL MEASURES ARE TO BE REMOVED FROM SITE IMMEDIATELY AFTER WORK HAS BEEN COMPLETED AND GROUND COVER HAS BEEN ESTABLISHED. PERIODIC REVIEW OF THE SITE MAY BE REQUIRED TO INSPECT THE SITE TO INSURE THAT GRADED EMBANKMENTS MAINTAIN VEGETATION AS ESTABLISHED IN A PARTICULAR AREA. ADDITIONAL MEASURES MAY NEED TO BE TAKE TO REESTABLISH THE GROUND COVER.

13. EXISTING STORM SEWERS, WATERCOURSES, AND CATCH BASINS SHALL BE CLEANED OF ANY ACCUMULATION OF SILT DUE TO CONSTRUCTION.

14. CONTRACTOR TO KEEP ROADWAY FREE AND CLEAR OF ANY ACCUMULATED MUD OR SILT DURING CONSTRUCTION. MEASURES TO BE USED MAY INCLUDE EITHER SWEEPING, APPLICATION OF WATER SPRAYS, OR MULCHING TECHNIQUES.

15. DISTURBED AREAS SHALL BE SEEDED WITH THE FOLLOWING SEEDING MIXTURE: KENTUCKY BLUEGRASS 45%, CREEPING RED FUSCUE 45%, AND PERENNIAL RYE GRASS 10%. SEED TO BE APPLIED AT A RATE OF 4 LBS./1,000 SF. PLANTING SEASONS ARE FROM APRIL 1 TO JUNE 1 AND FROM AUGUST 15 TO SEPTEMBER 15.

16. MULCHING SHALL BE REQUIRED IN ADDITION TO SEEDING AFTER SEPTEMBER 30TH.

17. SEED BED PREPARATION:

- APPLY FERTILIZER AT THE RATE OF 300 POUNDS PER ACRE OF 7.5 LBS./1,000 SF OR 10-10-10 OR EQUIVALENT.
- APPLY LIMESTONE (EQUIVALENT TO 50 PERCENT CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF 2 TONS / ACRE OR 135 LBS./ 1,000 SF AS PER EXISTING SOIL CONDITIONS. FOR SOIL CONDITIONS TEXTURES (CLAY, CLAY LOAM AND HIGH ORGANIC SOIL).

18. AREAS WHICH HAVE BEEN TEMPORARILY OR PERMANENTLY SEEDED SHALL BE MULCHED IMMEDIATELY FOLLOWING SEEDING, MULCH ANCHORING WILL BE USED ON SLOPES GREATER THAN 3 PERCENT AND CONCENTRATED FLOW AREAS SUCH AS DIVERSIONS AND OUTLET WATERWAY CHANNELS.

19. ORGANIC MULCH MAY BE USED IN AN AREA WHERE MULCH IS REQUIRED. THE USE OF STRAW OR HAY AT THE RATE OF 1.5 OR 2 TONS/ACRE OR 70-90 LBS./1,000 SF, AND BE FREE OF WEEDS AND COARSE MATTER. IT MUST BE ANCHORED AND SPREAD WITH A MULCH BLOWER OR BY HAND.

20. ALL MULCHES MUST BE INSPECTED PERIODICALLY, IN PARTICULAR AFTER RAINSTORMS, TO CHECK FOR FILL EROSION. WHERE EROSION IS OBSERVED ADDITIONAL MULCH SHOULD BE APPLIED. NET SHOULD BE INSPECTED AFTER RAINSTORMS FOR DISLOCATION OR FAILURE. IF WASHOUTS OR BREAKAGE OCCURS, REINSTALL NET AS NECESSARY AFTER REPAIRING DAMAGE TO THE SLOPE(S). INSPECTIONS SHOULD TAKE PLACE UNTIL GRASSSED AREAS ARE FIRMLY ESTABLISHED TO CONTROL SOIL EROSION AND TO SURVIVE SEVERE WEATHER CONDITIONS.

21. WHERE SLOPES HAVE ERODED, AND SUBSEQUENT REPAIR MEASURES HAVE FAILED TO PROVIDE A STABILIZED EMBANKMENT, USE OF EROSION CONTROL BLANKETS SHALL BE SELECTED AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

22. INSTALLATION OF ALL CONTROL MEASURES TO BE DONE IN ACCORDANCE WITH THE "2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL," AS AMENDED. ADDITIONAL CONTROL MEASURES MAY HAVE TO BE ADDED TO THE SITE CONSTRUCTION AREAS WHERE SURFACE EROSION OR SEDIMENT CONTROL IS A PROBLEM. THE ABOVE REFERENCED MANUAL SHALL BE USED AS THE BASIS FOR THESE ADDITIONAL CONTROL MEASURES.

G. SEQUENCE OF SITE DEVELOPMENT AND INSTALLATION OF CONTROL MEASURES:

1. INSTALL SILT FENCE AND EROSION PROTECTION AROUND THE LIMITS OF CONSTRUCTION.

2. PARKING CONSTRUCTION TO BEGIN.

3. INSTALL UTILITIES. PROTECT INSTALLED CATCH BASINS/YARD DRAINS WITH SILT FENCE AND HAY BALES.

4. INSTALL GRADING, CURBING, AND PAVEMENT. SILTATION CHECKS TO BE REINSTALLED AFTER PAVEMENT IS INSTALLED.

5. FINAL GRADING OF SLOPES TO BE COMPLETED, INCLUDING PLACING AND FINAL GRADING OF TOPSOIL AND SEEDING.

6. INSTALL FINAL LANDSCAPING AND LAWN AREAS AS REQUIRED BY OWNER.

7. SEDIMENTATION CONTROL MEASURES TO BE REMOVED AFTER VEGETATION IS FULLY ESTABLISHED ON SLOPES AND OTHER POTENTIAL AREAS OF EROSION HAVE BEEN CONTROLLED.

8. ROADWAYS, SIDEWALKS, AND ABUTTING PROPERTIES TO BE CLEARED OF SILT AND DIRT DUE TO CONSTRUCTION. CATCH BASINS AND STORM DRAINS TO BE CLEANED OF ANY ACCUMULATED SILT. DOWNSTREAM CULVERTS AND/OR WATERCOURSES TO BE INSPECTED AND CLEANED OF ANY DEPOSITED SILT DUE TO CONSTRUCTION.

WATER POLLUTION CONTROL PLAN

A. SITE DISCRPTION

1. NATURE OF THE CONSTRUCTION ACTIVITY:
THE SITE IS BEING DEVELOPED INTO PARKING.

2. SEQUENCE OF MAJOR SOIL DISTURBANCE ACTIVITIES:

ACTIVITY	SCHEDULE 2019
INSTALL INITIAL EROSION CONTROL MEASURES	APRIL - MAY
CLEARING AND GRUBBING	APRIL - MAY
EXCAVATE AND INSTALL NEW PARKING	MAY - JUNE
INSTALL STORM SYSTEM	MAY - JUNE
SITE GRADING	JUNE - JULY
SITE PAVING	JUNE - JULY
TOPSOIL AND FINAL GRADING	JULY - AUGUST
STABILIZE EMBANKMENTS	JULY - AUGUST
LANDSCAPING	AUGUST - SEPTEMBER
CLEANING	SEPTEMBER - OCTOBER

3. SITE CONSTRUCTION AREA

THE MAJORITY OF THE SITE WILL BE DISTURBED DURING CONSTRUCTION.

4. RUNOFF COEFFICIENT

THE AVERAGE RUNOFF COEFFICIENT OF THE SITE AFTER CONSTRUCTION IS APPROXIMATELY 0.60.

5. SITE MAP

THE PLAN INCLUDED HEREIN PROVIDES ALL INFORMATION ON SLOPES AND GRADING REQUIRED.

6. RECEIVING WATERS

THE RUNOFF FROM THE SITE WILL BE DISCHARGED TO THE SOUTHEAST

B. CONTROLS

1. EROSION AND SEDIMENT CONTROLS ARE SHOWN ON THIS PLAN.

2. STRUCTURAL PRACTICES
THE PROPOSED STORM SYSTEM IS DESIGNED AS A MAIN SYSTEM OF MANHOLE TO MANHOLE WITH THE CATCH BASINS GOING TO MANHOLES ONLY. THE CATCH BASINS ARE EQUIPPED WITH TRAPS T ALLOW THE HEAVY SOILS AND SILT TO FALL OUT. FLOATABLES TO BE TRAPPED AND OILS TO REMAIN IN THE CATCH BASINS.

3. MAINTENANCE PLAN DURING CONSTRUCTION
ALL CATCH BASINS SHALL BE CLEANED AND CLEARED OF DEBRIS, SAND OR SILT ON A BIWEEKLY BASIS. DEBRIS SHALL BE REMOVED FROM THE SITE ALONG WITH OTHER CONSTRUCTION DEBRIS. SILT OR SAND MAY BE SPREAD IN FLAT OR LEVEL AREAS LATER TO BE TOP SOLED OR GRADED. SILT FENCE OR HAY BALE PROTECTION SHALL BE REPAIRED AS NEEDED AND NOTED ABOVE. ACCUMULATED SILT SHALL BE REMOVED OR SPREAD PER THE EROSION CONTROL PLAN ELSEWHERE ON THIS SHEET.

4. DEWATERING WASTE WATERS
ANY DEWATERING ON SITE SHALL BE TO A CONTROLLED FLAT AREA OR AN EXCAVATED SUMP AREA ENCLOSED WITH HAY BALES OR SILT FENCE. NO WATER SHALL BE ALLOWED TO ENTER THE STORM SYSTEM WITHOUT BEING DETAINED TO LET SILT DROP OUT.

5. POST CONSTRUCTION STORMWATER MANAGEMENT

CATCH BASIN SUMPS WILL BE CLEANED ON A SIX MONTH BASIS. REMOVED MATERIAL WILL BE TAKEN OFF SITE. OILS WILL BE SKIMMED OFF THE WATER SURFACE ON A SIX MONTH BASIS OR A PROBLEM MAY DICTATE. PROPER REMOVAL OF OILS WILL BE CONDUCTED AS REQUIRED.

6. OTHER CONTROLS

ALL CONSTRUCTION DEBRIS WILL BE REMOVED FROM THE SITE AS SOON AS POSSIBLE. NO DEBRIS WILL BE ALLOWED TO ENTER THE STORM SYSTEM. THE CONTRACTORS WILL REMOVE ANY DEBRIS ACCIDENTALLY OR OTHERWISE DEPOSITED IN THE STORM STRUCTURES.

WATER POLLUTION PREVENTION AND EROSION CONTROL MEASURES SHALL BE CHECKED FOR DAMAGE, DISREPAIR, OR REPLACEMENT BY AN INSPECTOR AT A MINIMUM INTERVAL OF ONCE A WEEK UNTIL THE SITE IS STABILIZED. AFTER THE SITE IS STABILIZED, INSPECTIONS SHALL BE CONDUCTED ONCE A MONTH FOR THREE MONTHS.

C. CONTRACTORS

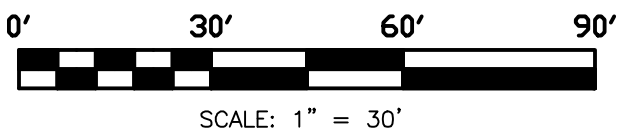
ALL CONTRACTORS AND SUBCONTRACTORS WORKING ON THIS PROJECT WHICH MAY REASONABLY BE EXPECTED TO CAUSE OR HAVE THE POTENTIAL TO CAUSE POLLUTION OF THE WATERS OF THE STATE, SHALL SIGN THE FOLLOWING CERTIFICATION:

"I CERTIFY UNDER PENALTY OF THE LAW THAT I HAVE READ AND UNDERSTAND THE TERMS AT THE SITE. I AM COVERED BY THIS GENERAL PERMIT, AND MUST COMPLY WITH THE GENERAL CONDITIONS OF THIS PERMIT, INCLUDING BUT NOT LIMITED TO THE REQUIREMENTS OF THE STORMWATER POLLUTION CONTROL PLAN PREPARED FOR THIS SITE AND CONDITIONS OF THE GENERAL PERMIT FOR THE DISCHARGE OF STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITY"

NAME DATE

NAME DATE

NAME DATE



Meehan & Goodin
Engineers - Surveyors, P.C.
387 North Main Street, Manchester, CT 06042
(860) 643-2520 FAX (860) 649-8806

PLAN PREPARED FOR

KIA OF EAST HARTFORD

99 ASH STREET EAST HARTFORD, CONN.

GRADING AND UTILITIES WITH EROSION CONTROL PLAN

SCALE: 1" = 30' DESIGN: OT PROJECT: 17113 17113.DWG

DATE: 10-24-2017 DRAFT: DT Q:/SC13/WORK SHEET NO. _8_ OF _11_

TOWN OF EAST HARTFORD
PLANNING AND ZONING COMMISSION
SITE PLAN CERTIFICATE OF APPROVAL

APPROVAL DATE: _____

EXPIRATION DATE: _____

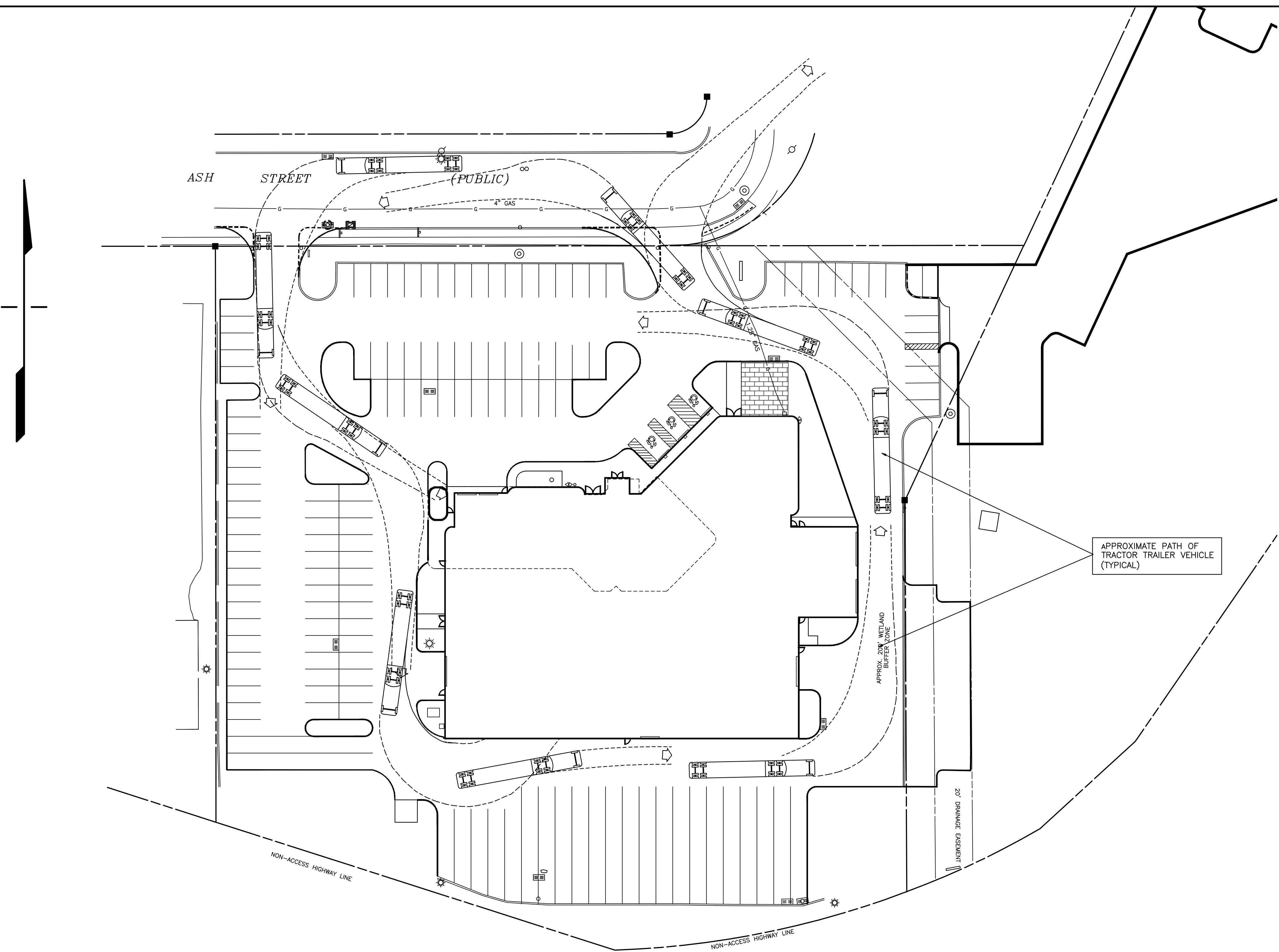
CHAIRMAN

GENERAL NOTES:

PROFESSIONAL ENGINEER'S SEAL/SIGNATURE: ORIGINAL DOCUMENT CONTAINS THE LIVE SEAL AND LIVE SIGNATURE OF THE PROFESSIONAL ENGINEER. THIS DOCUMENT SHALL BE CONSIDERED UNSEALED AND UNSIGNED BY THE PROFESSIONAL ENGINEER IF SUCH SEAL AND SIGNATURE ARE MISSING OR IF IT CONTAINS A SEAL AND/OR SIGNATURE THAT ARE COPIES.

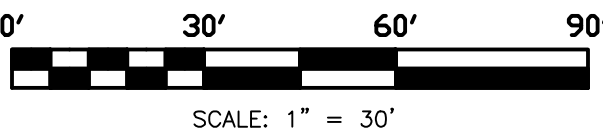
CALL BEFORE YOU DIG - DIAL 811 (1-800-922-4455): EXISTING UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SOURCES. THE LOCATIONS ARE ONLY APPROXIMATE AND THERE MAY BE ADDITIONAL UTILITIES WITHIN THE PROJECT AREA. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES WITHIN THE WORK AREA. NOTIFY EACH AFFECTED UTILITY COMPANY AND DIG TEST PITS AS REQUIRED PRIOR TO COMMENCING CONSTRUCTION. MEEHAN & GOODIN MAKES NO STATEMENT AS TO THE CONDITION OR SUITABILITY OF ANY UTILITIES FOR ANY INTENDED USE.

THIS DRAWING IS INTENDED TO PRESENT THE VEHICLE TURNING DIAGRAMS AND IS NOT TO BE USED FOR CONSTRUCTION. REFER TO THE OTHER SITE PLANS FOR CONSTRUCTION.




LEGEND

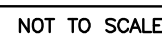
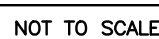
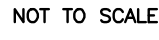
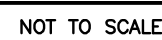
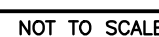
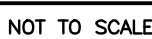
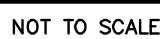
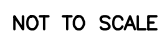
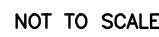
BC/GC	PROPERTY LINE	IP	EDGE OF WOODS
CB	EASEMENT LINE	CMS	IRON PIN
DMH	BIT CURB/GRANITE CURB	HC	CONCRETE MERESTONE
SMH	CATCHBASIN	14	RESERVED PARKING SPACE
WMH	DRAINAGE MANHOLE	WQU	NUMBER OF SPACES IN THE ROW
LT	SANITARY MANHOLE	15	WATER QUALITY UNIT
GL	WATER MANHOLE	25	SEE EG--4,5
FL	LIGHT POLE		SEE-EG 6,7
EM/GM	GROUND LIGHT		PROPOSED CURB
WG	FLOOD LIGHT		PROPOSED STORM PIPE
PV	UTILITY POLE		PROPOSED SANITARY PIPE
ET	ELECTRIC METER/GAS METER		SILT FENCE
FY/SY/RV	WATER GATE		CUT AND MATCH LINE
MBR	POST INDICATOR VALVE		PROPOSED CONTOUR
	ELECTRIC TRANSFORMER		PROPOSED SPOT GRADE
	FRONT/SIDE/REAR YARDS		TOP OF FRAME
	METAL BEAM GUIDERAIL		INVERT
			VERIFY IN THE FIELD



TOWN OF EAST HARTFORD
PLANNING AND ZONING COMMISSION
SITE PLAN CERTIFICATE OF APPROVAL
APPROVAL DATE: _____
EXPIRATION DATE: _____
_____ CHAIRMAN

REVISION		DATE	
CONDITIONS OF APPROVAL		11-20-2017	
BUILDING, PARKING, AND UTILITIES		02-18-2019	
COMBINED SET		03-05-2019	
SEAL & SIGNATURE:		NOTE:	
		THIS DRAWING IS AN INSTRUMENT OF SERVICE OF AND REMAINS THE PROPERTY OF MEEHAN & GOODIN. IT IS TO BE USED ONLY FOR THIS SPECIFIC PROJECT AND SHALL NOT BE MODIFIED WITHOUT THE WRITTEN CONSENT OF MEEHAN & GOODIN. ANY UNAUTHORIZED MODIFICATIONS WILL INVALUATE ALL SIGNATURES, CERTIFICATIONS AND DECLARATIONS CONTAINED HEREON.	

	Meehan & Goodin						
	Engineers – Surveyors, P.C.						
	387 North Main Street, Manchester, CT 06042						
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	PLAN PREPARED FOR						
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	99 ASH STREET EAST HARTFORD, CONN.						
VEHICLE TURNING DIAGRAMS							
SCALE: 1" = 30'		DESIGN: OT		PROJECT: 17113		ACAD: 17113.DWG	
DATE: 11-2-2017		DRAFT: ERJ		Q://SC13/WORK		SHEET NO. 9 OF 11	

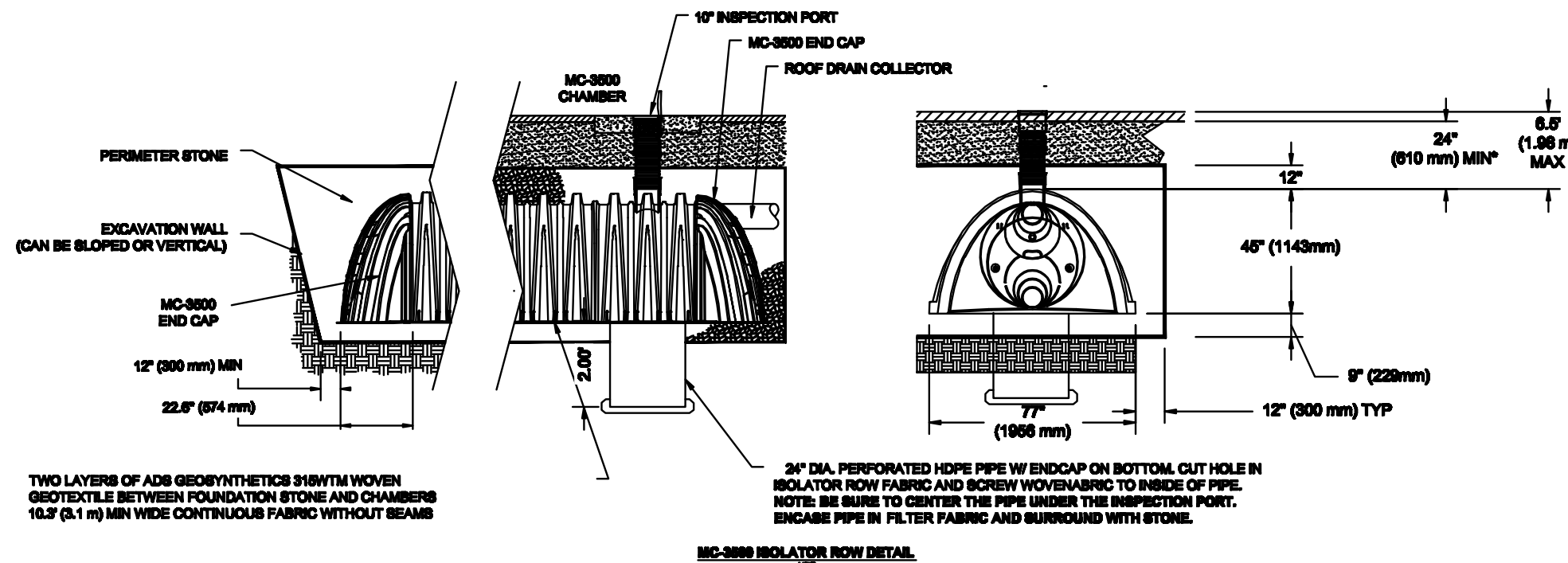


CHAIRMAN

DATE: 03-02-2018	DRAFT: DT	Q./ / SCTS/ WORK	SHEET NO. <u>10</u> OF <u>11</u>
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ACCEPTABLE FILL MATERIALS: STORMTECH MC-3500 CHAMBER SYSTEMS

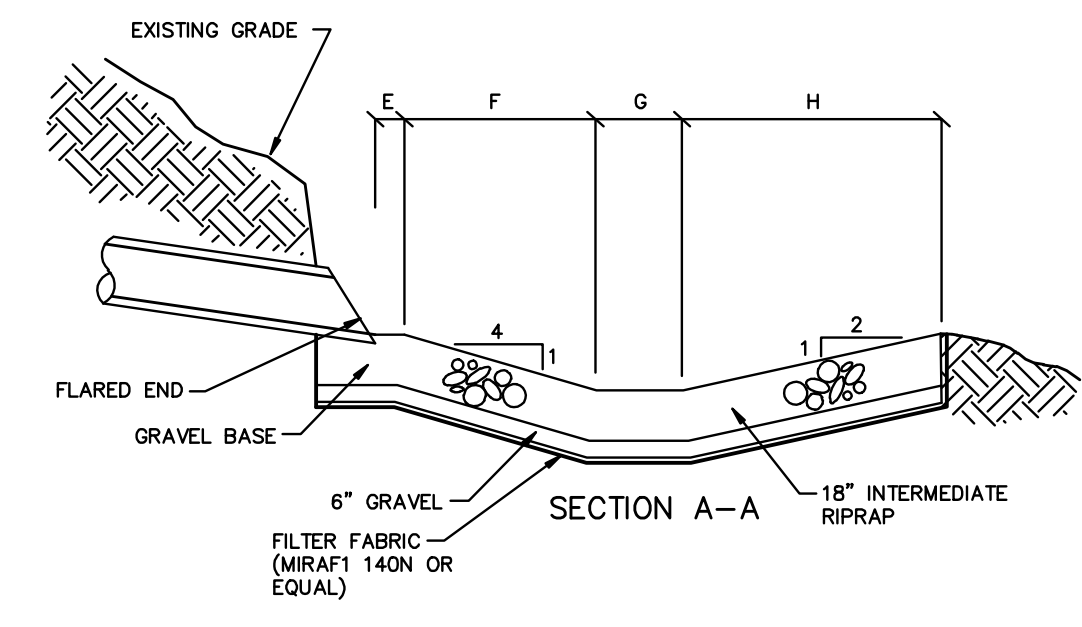
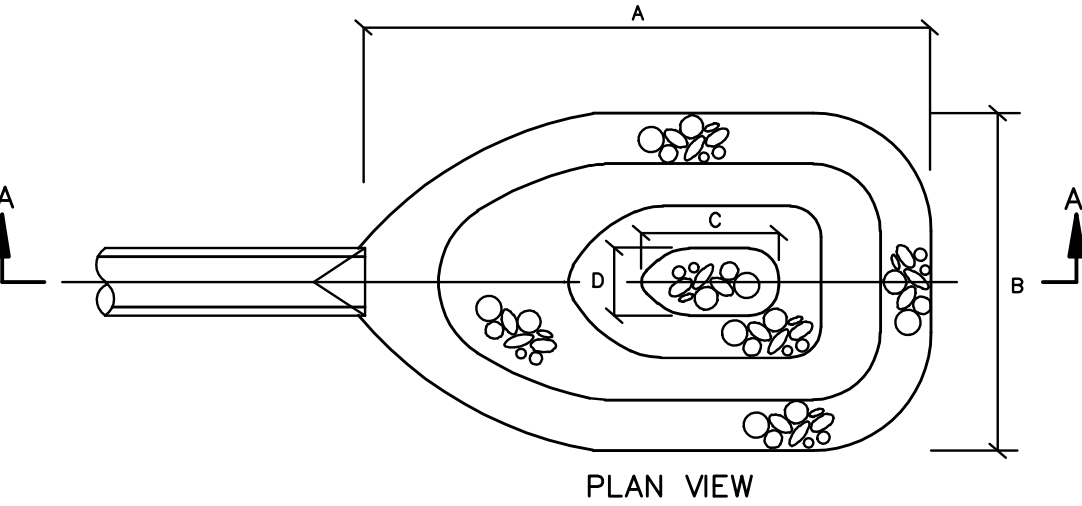
MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL FILL MATERIAL FOR LAYER 12 STARTS FROM THE TOP OF THE 12" LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 12" LAYER.	NA	PREPARE PER SITE DESIGN ENGINEER'S PLAN. PAVED INSTALLATIONS MAY HAVE STRONGER MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL FILL MATERIAL FOR LAYER 12 STARTS FROM THE TOP OF THE IMBEDMENT STONE (12" LAYER) TO 2" (50 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 12" LAYER.	AASHTO M145 ¹ A-1, A-2, A-3 OR AASHTO M45 ¹ 3, 4	BEGIN COMPACTIONS AFTER 2" (50 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 12" (300 mm) MAX LIFTS TO A MIN. 98% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROPOSED AGGREGATE MATERIALS.
B	IMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE (12" LAYER) TO THE 12" LAYER ABOVE.	CLEAN, CRUSHED, ANGULAR STONE, NOMINAL SIZE DISTRIBUTION BETWEEN 3/4-2 INCH (20-50 mm)	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	CLEAN, CRUSHED, ANGULAR STONE, NOMINAL SIZE DISTRIBUTION BETWEEN 3/4-2 INCH (20-50 mm)	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE.**



NOTES:

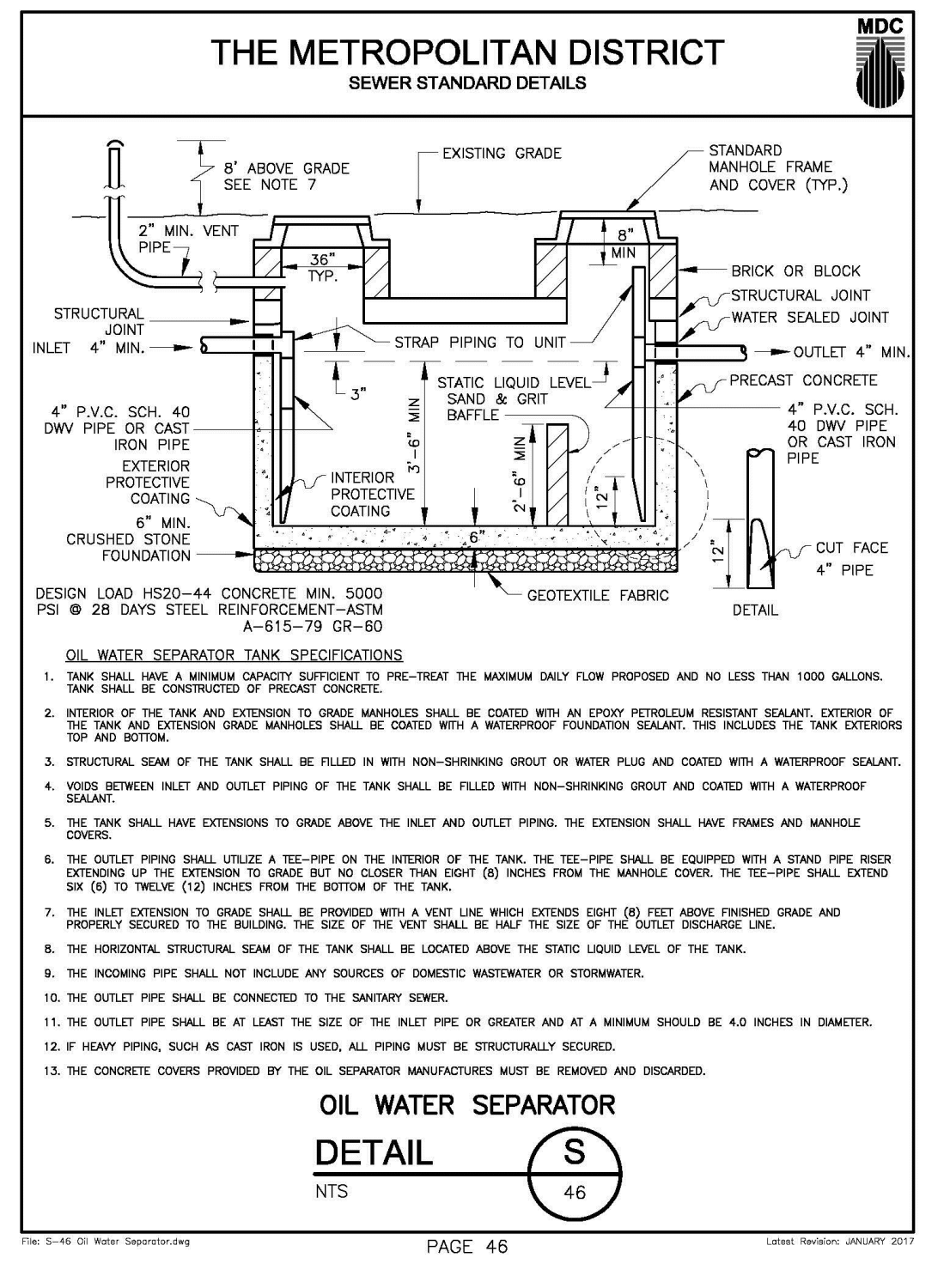
- MC-3500 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2416 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- MC-3500 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2416 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, IMBEDMENT, AND FILL MATERIALS.
- THE "SITE DESIGN ENGINEER" REFERS TO THE ENGINEER RESPONSIBLE FOR THE DESIGN AND LAYOUT OF THE STORMTECH CHAMBERS FOR THIS PROJECT.
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ADDRESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- ONCE LAYER 12 IS PLACED, ANY SOIL MATERIAL CAN BE PLACED IN LAYER 12 UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 12 OR 12" AT THE SITE DESIGN ENGINEER'S DISCRETION.

PIPE SIZE	A	B	C	D	E	F	G	H	WT RIP-RAP IN TONS
15"	10"	7"	1'-6"	1"	1"	4'-6"	1'-6"	3'	6
18"	12"	8"	2'	1"	1"	5'	2'	4'	8
21"	13"	9"	2'-6"	1'-6"	1"	7'	2'-6"	4'-6"	12
24"	17"	10"	3'	1'-6"	1"	8'	2'-6"	5'-6"	15
30"	20"	13"	A	2'	2'	9'	3'	6'	22
36"	22"	16"	3'-6"	2'	2'	9'-6"	3'-6"	7'	33



ENERGY DISSIPATOR

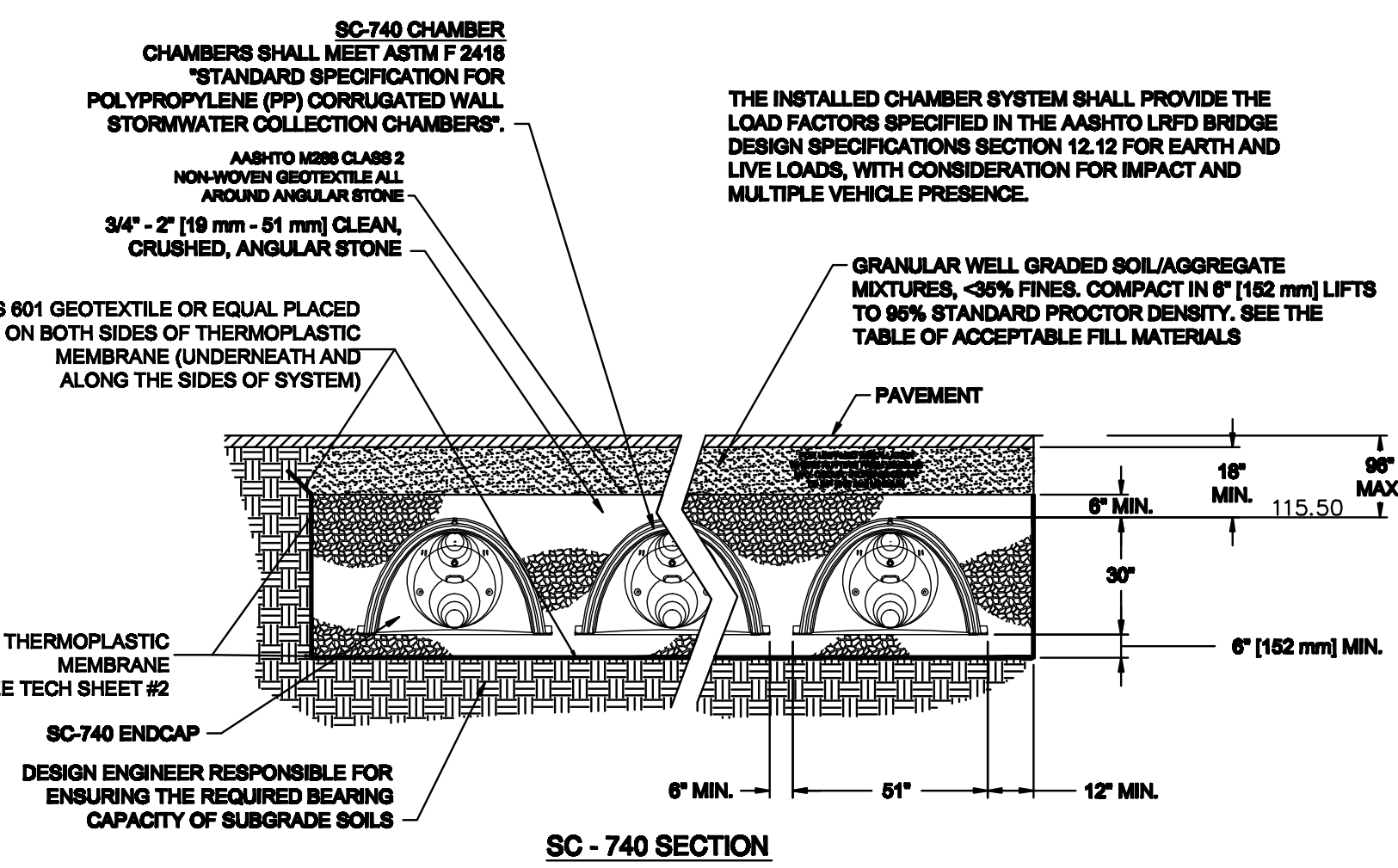
NOT TO SCALE



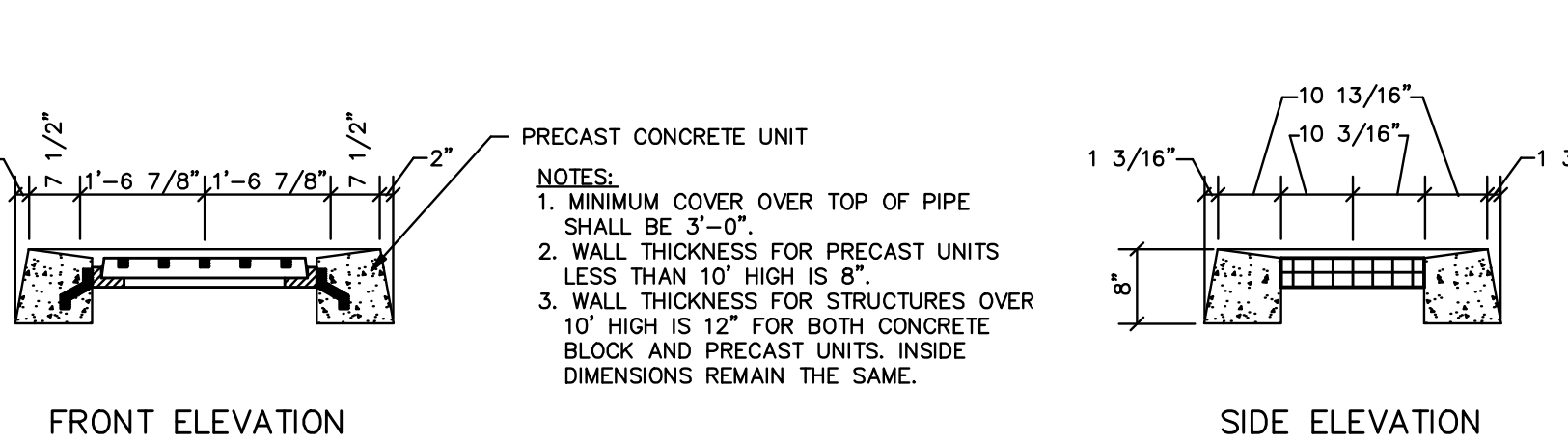
OIL WATER SEPARATOR DETAIL S 46

PAGE 46

LAST REVISION: JANUARY 2017



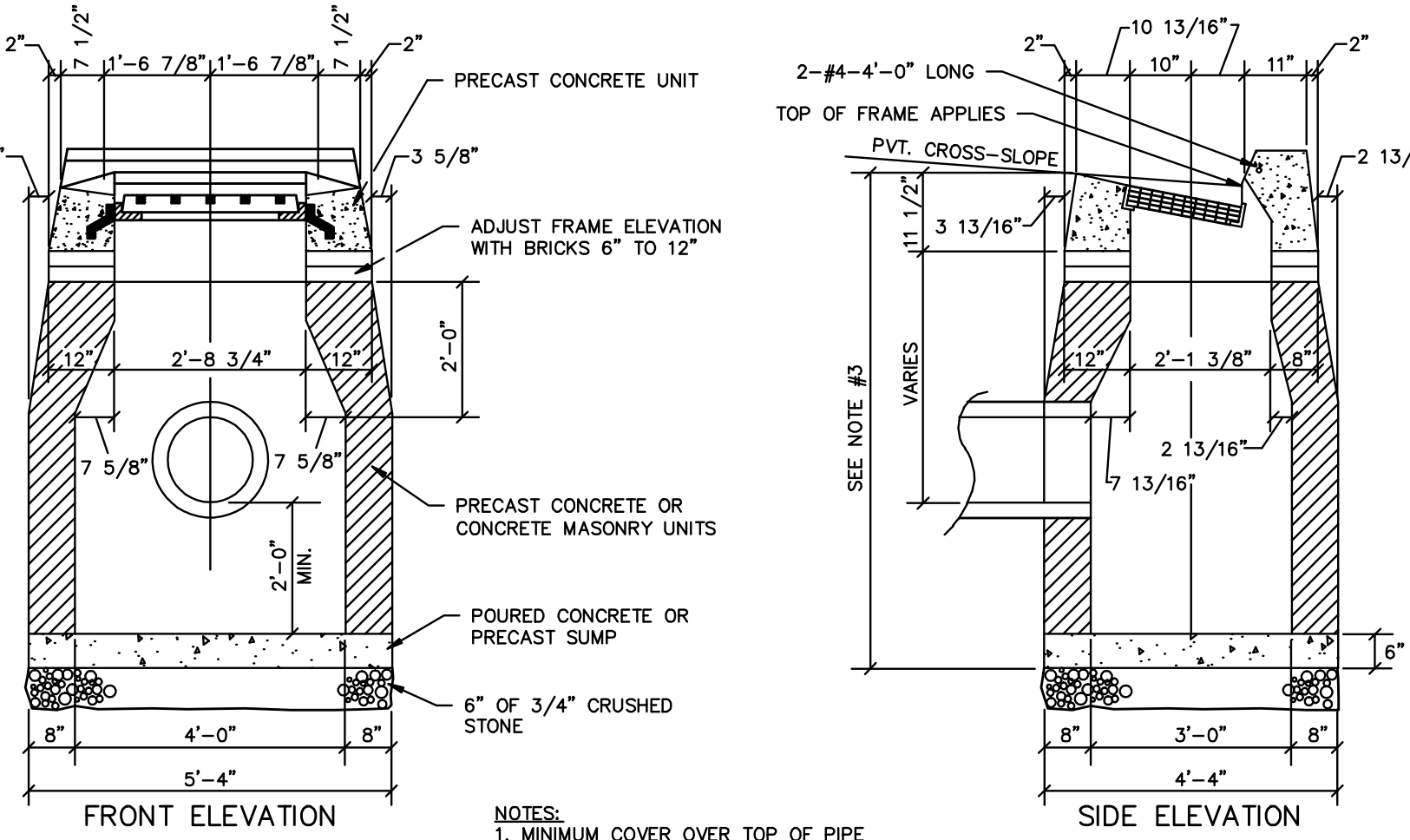
SC - 740 SECTION



TYPE 'C-L' CATCH BASIN

FRAME + GRATE

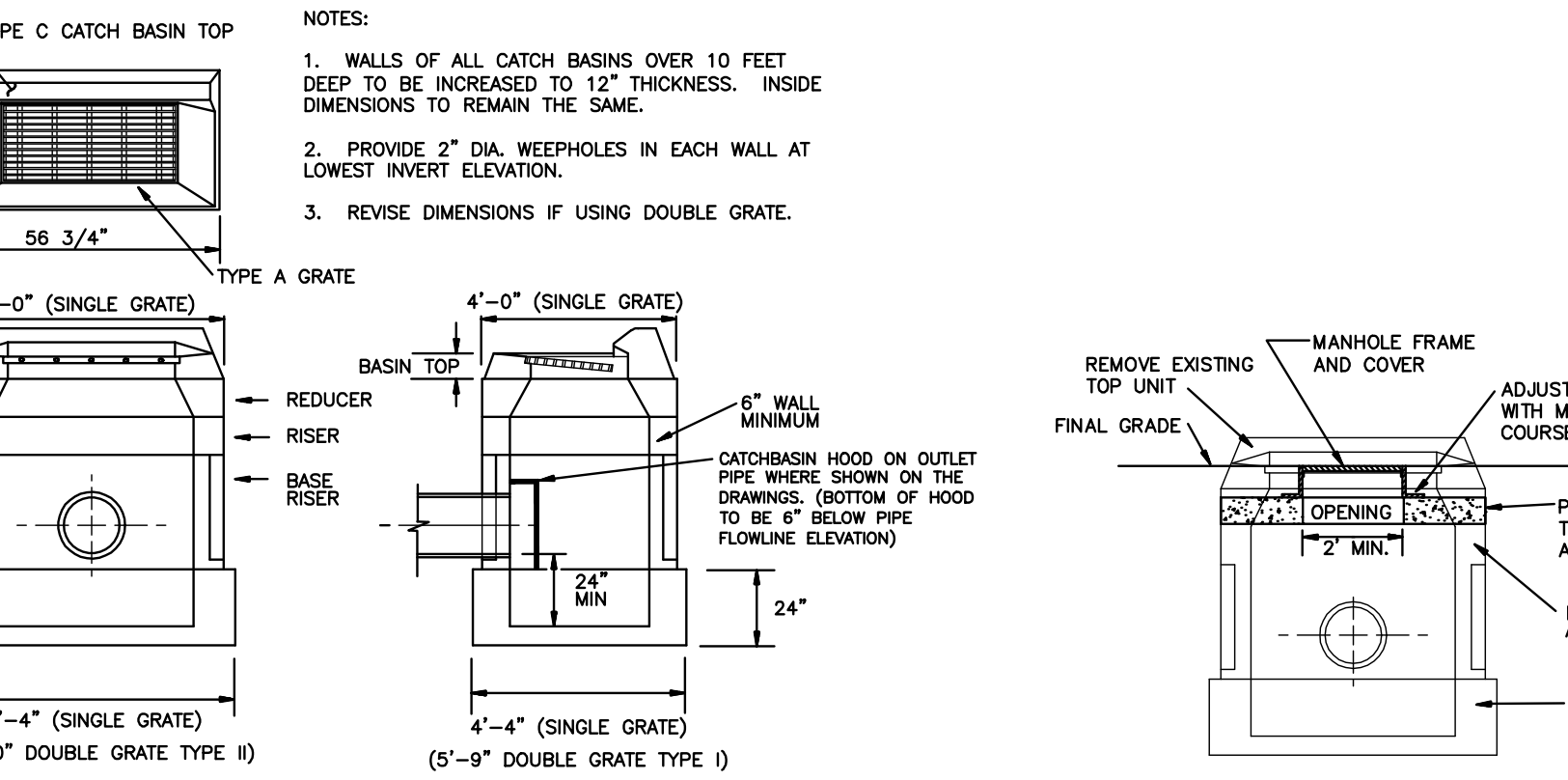
NOT TO SCALE



CATCH BASIN DETAIL

WITH C-CB FRAME AND GRATE

NOT TO SCALE



TYPE 'C' CATCH BASIN

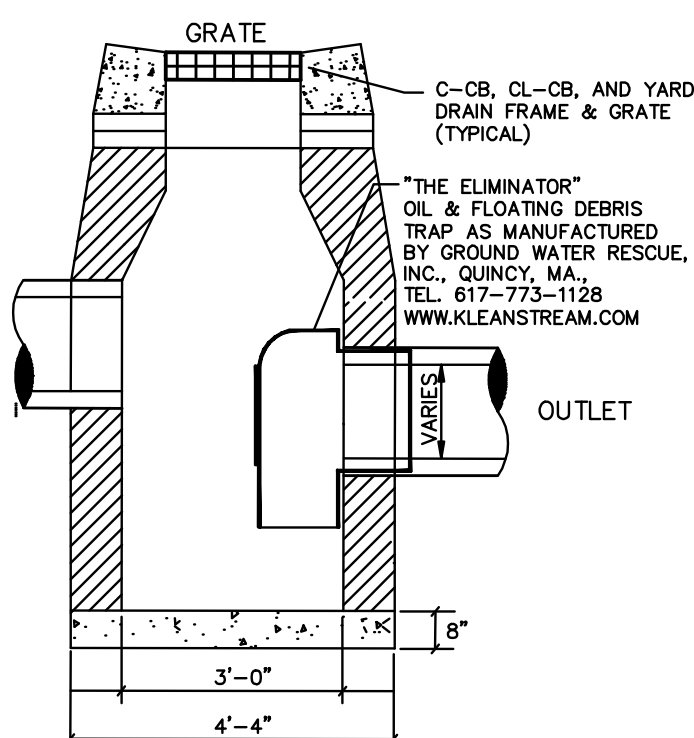
NOT TO SCALE

CONVERT CATCHBASIN TO MANHOLE

NOT TO SCALE

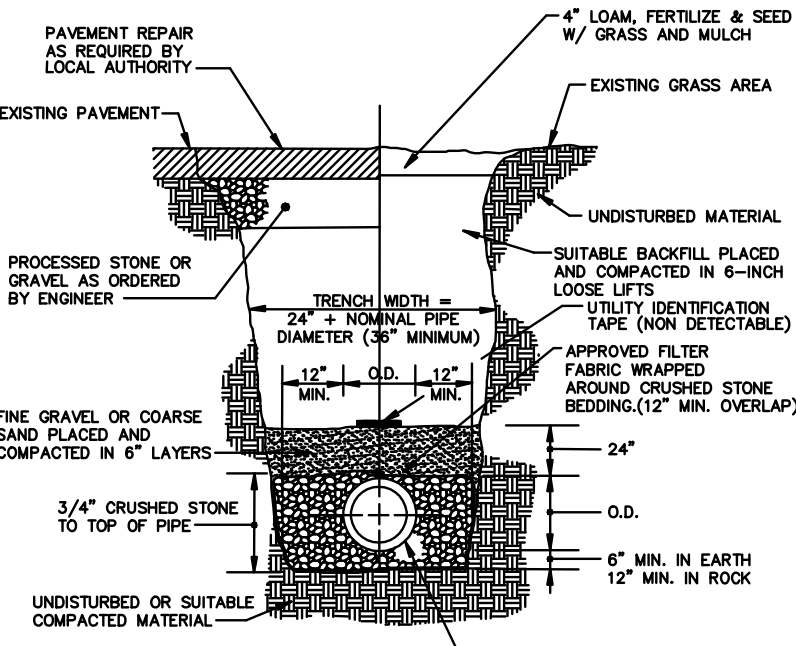
PRECAST CONCRETE MANHOLE

NOT TO SCALE



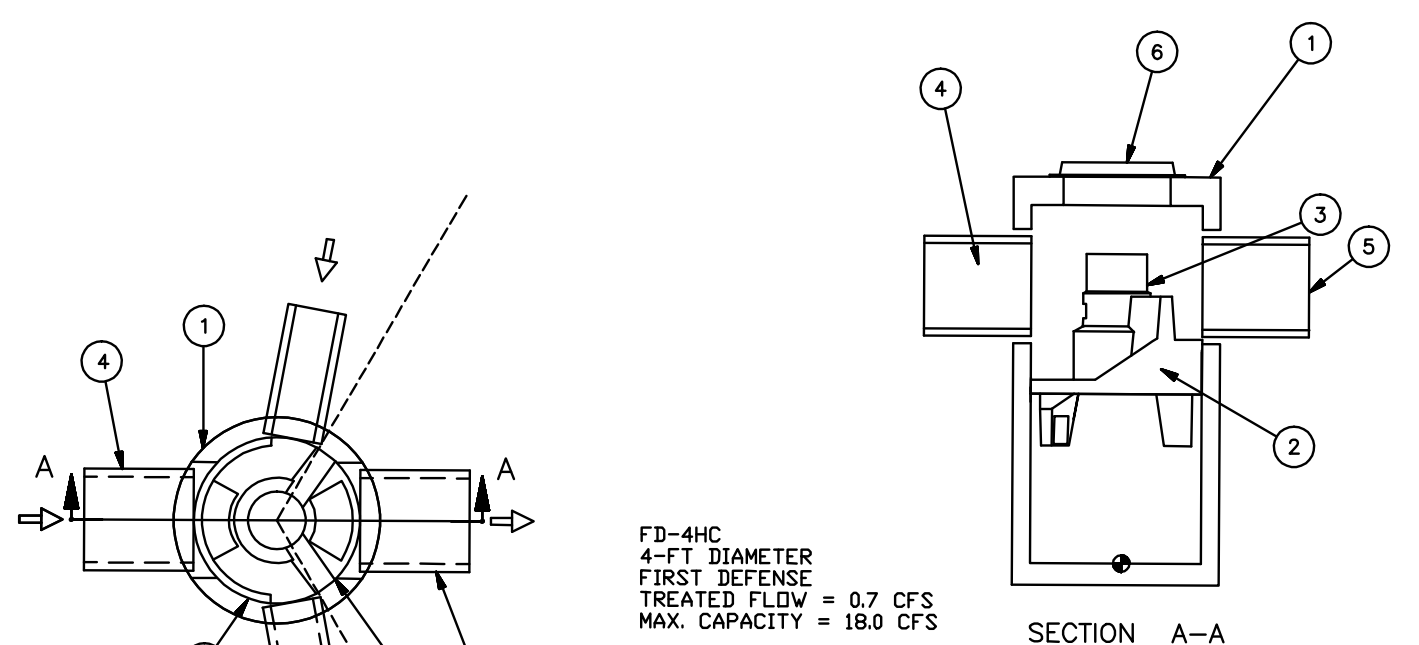
TYPICAL HOODED CATCH BASIN AND YARD DRAIN DETAIL

NOT TO SCALE



STORM TRENCH DETAIL

NOT TO SCALE



FD-4HC 4-FT DIAMETER FIRST DEFENSE TREATED FLOW = 0.7 CFS MAX. CAPACITY = 180 CFS

FD-6HC 6-FT DIAMETER FIRST DEFENSE TREATED FLOW = 2.2 CFS MAX. CAPACITY = 320 CFS

GENERAL NOTES:

- General Arrangement drawings only. Contact Hydro International for site specific fabrication drawings.
- The diameter of the inlet & outlet pipes may be no more than 24".
- Multiple pipe joints are preferred (refer to project plans).
- Inlet/outlet pipe angle can vary to align with drainage network (refer to project plans).
- Peak flow rate and minimum height limited by available cover and pipe diameter.
- Larger sediment storage capacity may be provided with a deeper sump depth.

PRODUCT SPECIFICATIONS:

- The treatment system shall use an induced vortex to separate pollutants from stormwater runoff.
- The treatment system shall fit within the limits of excavation (area and depth) as shown in the project plans and will not exceed the dimensions for the design flow rates specified herein.
- The treatment system shall remove greater than or equal to 80% of TSS based on the Target Particle Size (TPS) of 108 microns and/or 80% of TSS based on the TPS of 230 microns at 0.7 cfs and 1.2 cfs, respectively.
- The treatment system shall convey the Peak On-line Flow Rates of up to 18 cfs without causing upstream backwater conditions. Full-scale independent laboratory testing shall demonstrate effluent control of less than or equal to 5 mg/L for all flows up to 200% of MFR-106.
- The treatment system shall be capable of capturing and retaining fine silt and sand size particles. Analysis of captured sediment from full-scale field installations shall demonstrate particle sizes predominantly in the 20-micron range.

Ports List		
ITEM	SIZE (in)	DESCRIPTION
1	48-72	I.D. PRECAST MANHOLE
2		LEDGER SUPPORT
3		SEPARATION MODULE
4	24	INLET PIPE (BY OTHERS)
5	24	OUTLET PIPE (BY OTHERS)
6	30	FRAME AND COVER (OR GRATE) (ROUND)

6 FT DIA. WATER QUALITY UNIT

NOT TO SCALE

REVISION		DATE	
CONDITIONS OF APPROVAL		11-20-2017	
DIRECTIONAL SIGN ADDED		06-11-2018	
BUILDING, PARKING, AND UTILITIES		02-18-2019	
COMBINED SET		03-05-2019	
SEAL & SIGNATURE:		NOTE: THIS DRAWING IS AN INSTRUMENT OF SERVICE OF AND REMAINS THE PROPERTY OF MEEHAN & GOODIN. IT IS TO BE USED ONLY FOR THIS SPECIFIC PROJECT AND SHALL NOT BE MODIFIED WITHOUT THE WRITTEN CONSENT OF MEEHAN & GOODIN. ANY UNAUTHORIZED MODIFICATIONS WILL INVALIDATE ALL SIGNATURES, CERTIFICATIONS AND DECLARATIONS CONTAINED HEREON.	
		Meehan & Goodin Engineers - Surveyors, P.C. 387 North Main Street, Manchester, CT 06042 (860) 643-2520 FAX (860) 649-8806	
PLAN PREPARED FOR KIA OF EAST HARTFORD			
99 ASH STREET & 381 CONNECTICUT BOULEVARD		EAST HARTFORD, CONN.	
DETAILS			
SCALE: 1" = 30'	DESIGN: OT	PROJECT: 17113	17113.DWG
DATE: 05-02-2018	DRAFT: DT	Q:/SC13/WORK	SHEET NO. 11 OF 11

TOWN OF EAST HARTFORD
PLANNING AND ZONING COMMISSION
SITE PLAN CERTIFICATE OF APPROVAL

APPROVAL DATE: _____

EXPIRATION DATE: _____

CHAIRMAN