

**TOWN OF EAST HARTFORD  
PLANNING & ZONING COMMISSION  
APPLICATION FORM**

DATE: 04/05/2018

Official Receipt Date:

4, 15, 18

**1. APPLICATION TYPE: (CHECK ALL THAT APPLY)**

**\*COMPLETE SECTION ON PAGE 2 OR 3**

- |   |  |
|---|--|
| <input checked="" type="checkbox"/> SITE PLAN APPLICATION | <input type="checkbox"/> NATURAL RESOURCES REMOVAL AND FILLING |
| <input type="checkbox"/> SITE PLAN MODIFICATION           | <input checked="" type="checkbox"/> SPECIAL USE PERMIT*        |
| <input type="checkbox"/> FLOOD HAZARD – MAJOR*            | <input type="checkbox"/> ZONING MAP CHANGE*                    |
| <input type="checkbox"/> FLOOD HAZARD – MINOR*            | <input type="checkbox"/> TEXT AMENDMENT*                       |
- ☒ SOIL EROSION AND SEDIMENTATION - Cumulative disturbed area (sq. ft.): 65,340 feet

**2. SITE AND PROJECT INFORMATION**

PROPERTY ADDRESS: 90 East River Drive ZONE: B-4  
ASSESSORS MAP AND LOT: 5-1A PARCEL SIZE (ACRES OR SQ. FT.): 1.53 acres  
PROJECT NAME: Proposed parking lot  
PROJECT DESCRIPTION (ATTACH ADDITIONAL SHEETS IF NEEDED):  
Requesting a Special Permit (Section 712) for the following: Section 404.2 - Exterior Parking as permitted use in the B-4 (Business 4) District.  
This proposed 142 space parking lot would provide additional parking to the tenants of 99-101 East River Drive.

**3. PROPERTY OWNER INFORMATION**

☐ CHECK IF PRIMARY CONTACT

OWNER OF RECORD: PEH II Limited Partnership  
OWNER ADDRESS: 1140 Reservoir Avenue, Cranston, RI 02920  
OWNER PHONE: 401-946-4600 OWNER EMAIL: pziegler@procaccianti.com  
OWNER SIGNATURE: [Signature] PRINT NAME: Elizabeth A. Procaccianti

The undersigned owner hereby authorizes: (1) this application, and (2) the Planning and Zoning Commission and Town of East Hartford staff the right to enter upon the property for the purposes of inspection associated with this application.

**4. APPLICANT INFORMATION**

☐ CHECK IF PRIMARY CONTACT

☐ CHECK IF APPLICANT IS SAME AS PROPERTY OWNER

APPLICANT: Fremont Riverview LLC, c/o The Fremont Group, LLC  
APPLICANT ADDRESS: 65 LaSalle Road, Ste 202, West Hartford, CT 06107  
APPLICANT PHONE: 860-232-9100 APPLICANT EMAIL: jsposito@thefremontgroup.net  
APPLICANT SIGNATURE: [Signature] PRINT NAME: Joseph J. Sposito

**5. DESIGN PROFESSIONAL INFORMATION**

☒ CHECK IF PRIMARY CONTACT

FIRM: Hallisey, Pearson & Cassidy Engr Assc Inc. PHONE: 860-529-6812  
CONTACT PERSON: James P. Cassidy, P.E. EMAIL: jcassidy@hpcengr.com

**- COMPLETE ONLY THE SECTIONS THAT APPLY TO YOUR APPLICATION TYPE -**

**A. SPECIAL USE PERMIT (ATTACH ADDITIONAL SHEETS IF NEEDED)**

1) Applicable Section of the Zoning Regulations: 404.2

2) Describe how the proposed Special Use Permit relates to the Plan of Conservation and Development:

It will improve the commercial corridor by alleviating chronic parking difficulties. It will promote economic development to attract and retain business by encouraging the use of available space for lease at 99-101 East River Drive.

3) Describe how the proposed Special Use Permit will benefit the Town of East Hartford:

In addition to the reasons stated above, it will result in interconnected parking lots along East River Drive, thus assisting in safer pedestrian access to/from 99-101 East River Drive.

**B. FLOOD HAZARD ZONE – MAJOR DEVELOPMENT OR MINOR DEVELOPMENT**

1) Name of associated watercourse: \_\_\_\_\_

2) Total amount of land (in sq. ft.) to be affected within the:

a. Flood Hazard Zone: \_\_\_\_\_

b. Floodway: \_\_\_\_\_

c. Floodway fringe: \_\_\_\_\_

3) Enumerate methods of compliance with Sections 601.10, 601.11, and 601.12 of the Zoning Regulations:

# SPECIAL PERMIT APPLICATION

## FOR PROPOSED PARKING LOT

## PREPARED FOR FREMONT RIVERVIEW, LLC

## ON PROPERTY OF

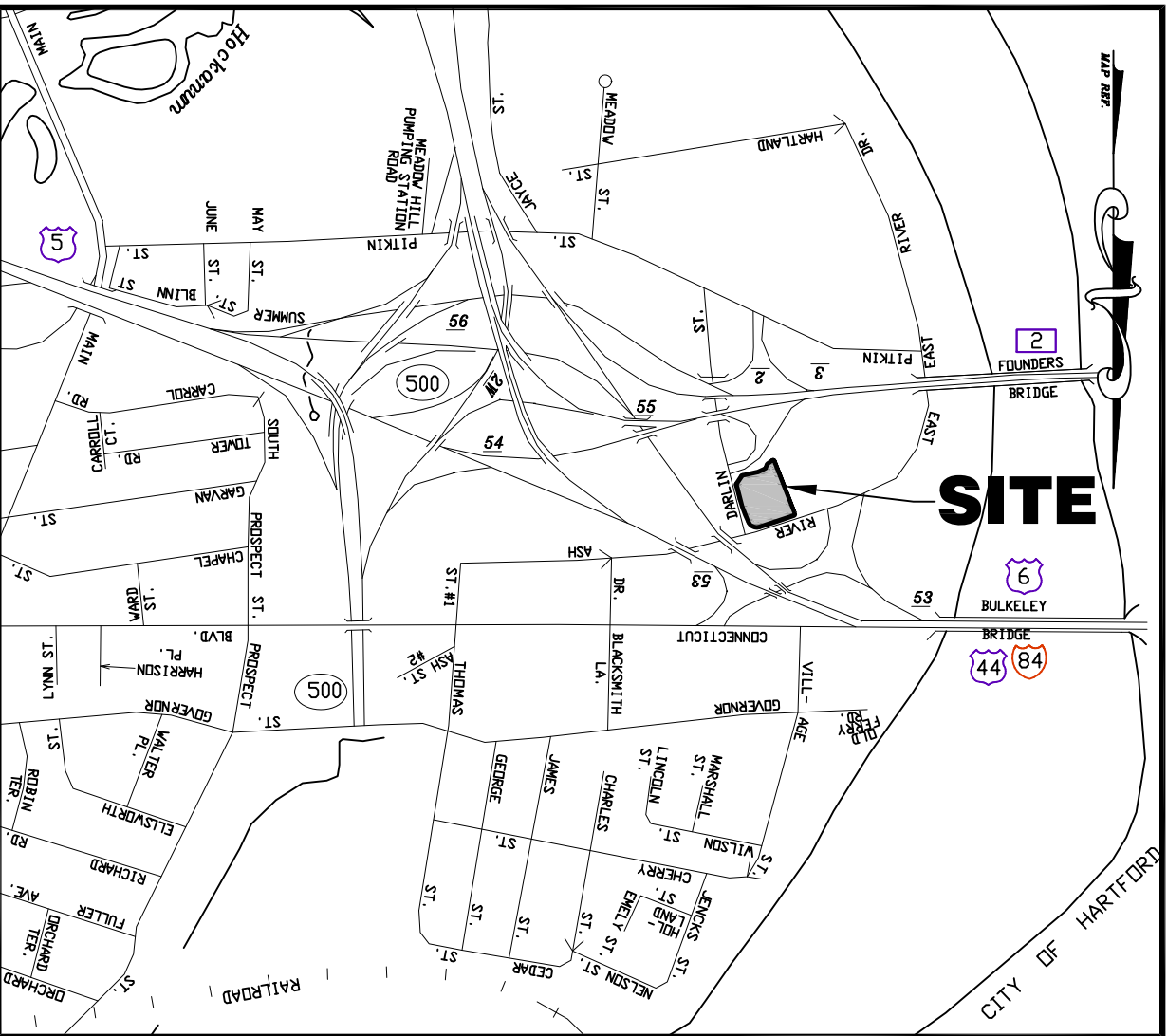
## #90 EAST RIVER DRIVE / ASSESSOR'S MAP & LOT # 5-1A EAST HARTFORD, CONNECTICUT

### OWNER

PEH II LIMITED PARTNERSHIP  
1140 RESERVOIR AVENUE  
CRANSTON, RI 02920

### APPLICANT & DEVELOPER

FREMONT RIVERVIEW, LLC  
65 LASALLE ROAD  
STE. 202  
WEST HARTFORD, CT 06107  
PHONE NUMBER: 860-232-9100



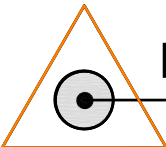
LOCATION MAP  
SCALE: 1"= 1000'

### SHEET INDEX

SHEET #	DRAWING TITLE
1	200' PROXIMITY MAP
2	EXISTING CONDITIONS SURVEY
3	SITE DEMOLITION PLAN
4	SITE LAYOUT PLAN
5	SITE GRADING & DRAINAGE PLAN
6	EROSION & SEDIMENT CONTROL PLAN
7-8	SITE DETAILS
9 - 10	UNDERGROUND DETENTION DETAILS
LP-1.0	LANDSCAPING PLAN
SL-1	SITE LIGHTING PLAN

TOWN OF EAST HARTFORD PLANNING AND ZONING COMMISSION SITE PLAN CERTIFICATE OF APPROVAL	
APPROVAL DATE	_____
EXPIRATION DATE	_____
_____ CHAIRMAN	

NOTE:  
The developer shall notify The Town of East Hartford Engineering Division 24 hours prior to beginning any storm drainage, roadway preparation, paving, sidewalk, curbing, street line monumentation, property corner pins, etc., to schedule inspections. The Division can be reached between 8:30 A.M. – 4:30 P.M. at 291-7380.



**HALLISEY, PEARSON & CASSIDY**

CIVIL ENGINEERS & LAND SURVEYORS

630 MAIN STREET, UNIT #1A

CROMWELL, CONNECTICUT 06416

PHONE: (860)-529-6812, FAX: (860)-721-7709

The East Hartford Planning and Zoning Commission certifies that the soil-erosion and sediment-control plan complies with the requirements the Town of East Hartford regulations and the Connecticut Guidelines for Soil Erosion and Sedimentation Control dated 1985, as amended. The applicant under this plan is responsible for ensuring compliance with the plan. The Town of East Hartford shall not be held liable for improper installation, lack of maintenance, or other neglect on behalf of the applicant.

Approval Date \_\_\_\_\_

Chairman \_\_\_\_\_

#### REVISIONS

NO.	DATE	DESCRIPTION	BY
1	04/24/18	PER SITE PLAN REVIEW COMMITTEE COMMENTS	J.P.C.



5-2/3  
N/F  
LONG RIVERS COUNCIL, INC.  
PROPERTY LOCATION/MAILING ADDRESS  
#60 DARLIN STREET  
EAST HARTFORD, CT 06105

N/F  
STATE OF CT D.O.T.

MAILING ADDRESS  
CT DEPARTMENT OF TRANSPORTATION  
2800 BERLIN TURNPIKE  
P.O. BOX 317546  
NEWINGTON, CT 06131-7546

SITE  
I.D. NO.-5-1A  
N/F  
PEH II, LTD. PARTNERSHIP  
#90 EAST RIVER DRIVE  
EAST HARTFORD, CT 06105

MAILING ADDRESS  
#1140 RESERVOIR AVENUE  
CRANSTON, RI 02920

AREA=  
66,535 sq. ft.  
1.5274 acres

I.D. NO.-5-1  
N/F  
PEH III, LLC  
#100 EAST RIVER DRIVE  
EAST HARTFORD, CT 06105

MAILING ADDRESS  
#1140 RESERVOIR AVENUE  
CRANSTON, RI 02920

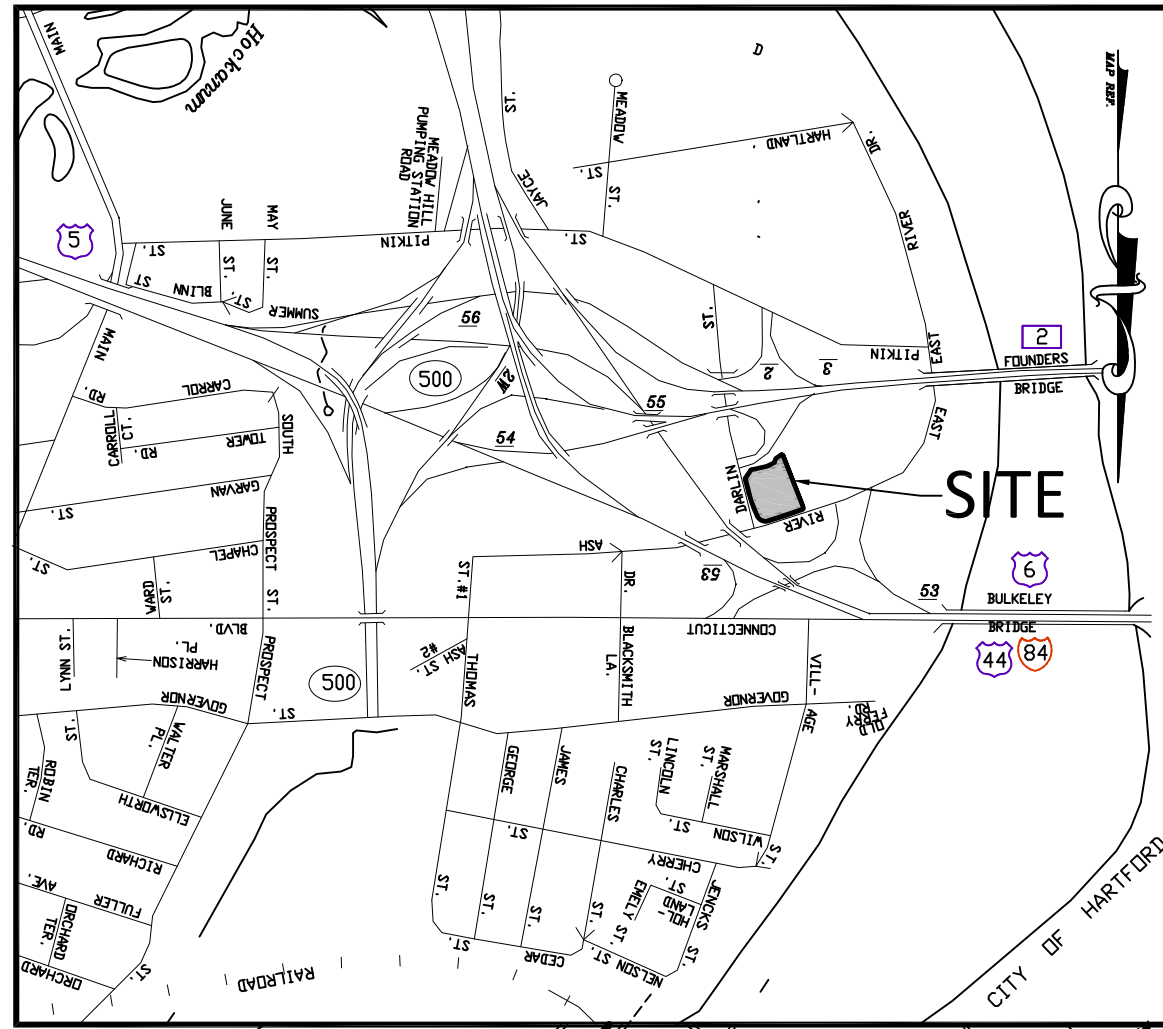
N/F  
STATE OF CT D.O.T.

MAILING ADDRESS  
CT DEPARTMENT OF TRANSPORTATION  
2800 BERLIN TURNPIKE  
P.O. BOX 317546  
NEWINGTON, CT 06131-7546

N/F  
FREMONT RIVERVIEW, LLC  
#99-101 EAST RIVER DRIVE  
EAST HARTFORD, CT 06105

7 STORY BUILDING

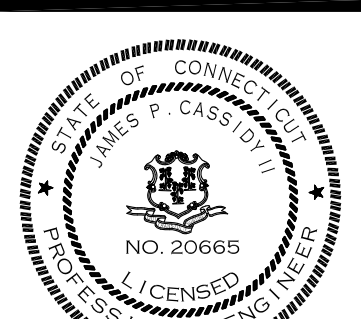
8 STORY BUILDING



LOCATION MAP  
SCALE: 1" = 400'

**HALLISEY, PEARSON & CASSIDY**  
CIVIL ENGINEERS & LAND SURVEYORS  
630 MAIN STREET, UNIT #1A  
CROWELL, CONNECTICUT 06416  
PHONE: (860)-529-6812, FAX: (860)-721-7709

COMPILATION PLAN  
200' PROXIMITY MAP  
SHOWING PROPERTY OWNERS WITHIN 200'  
OF PROPERTY LOCATED AT  
#90 EAST RIVER DRIVE  
EAST HARTFORD, CONNECTICUT



**NOTES:**

1. SURVEY NOTES:

- This survey has been prepared pursuant to the Regulation of Connecticut State Agencies Section 20-300b-1 Through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996.
- Type Of Survey is: COMPILATION PLAN
- Boundary Determination Category is: RESURVEY OF MAP REF..
- Class of Accuracy is: HORIZ.-D2'.
- 2. PROPERTY IS ZONED: B-4.
- 3. LOT AREA AS SHOWN.
- 4. PROPERTY PROTECTED FROM THE 1% ANNUAL CHANCE FLOOD PLAIN BY A LEEVE SYSTEM PER F.I.R.M. NO. 0903030366, PANEL 368 OF 675, DATED: SEPTEMBER 16, 2011.
- 5. MAP REFERENCE:  
A.) "RE-SUBDIVISION MAP PREPARED FOR PEH I, L.P. (PROCACCIANTI GROUP) "SHERATON HARTFORD HOTEL" 100 EAST RIVER DRIVE, EAST HARTFORD, CONNECTICUT TRACT 13--SOUTH MEADOWS URBAN RENEWAL AREA" DATED: MARCH, 2007. REVISED TO: NOVEMBER 27, 2007. SHEET 1 OF 3. SCALE: 1"=40'. PREPARED BY: MESSIER & ASSOCIATES, INC.

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON:

*Paul A. Hallisey*  
PAUL A. HALLISEY, L.S. LIC. NO. 7761 DATE

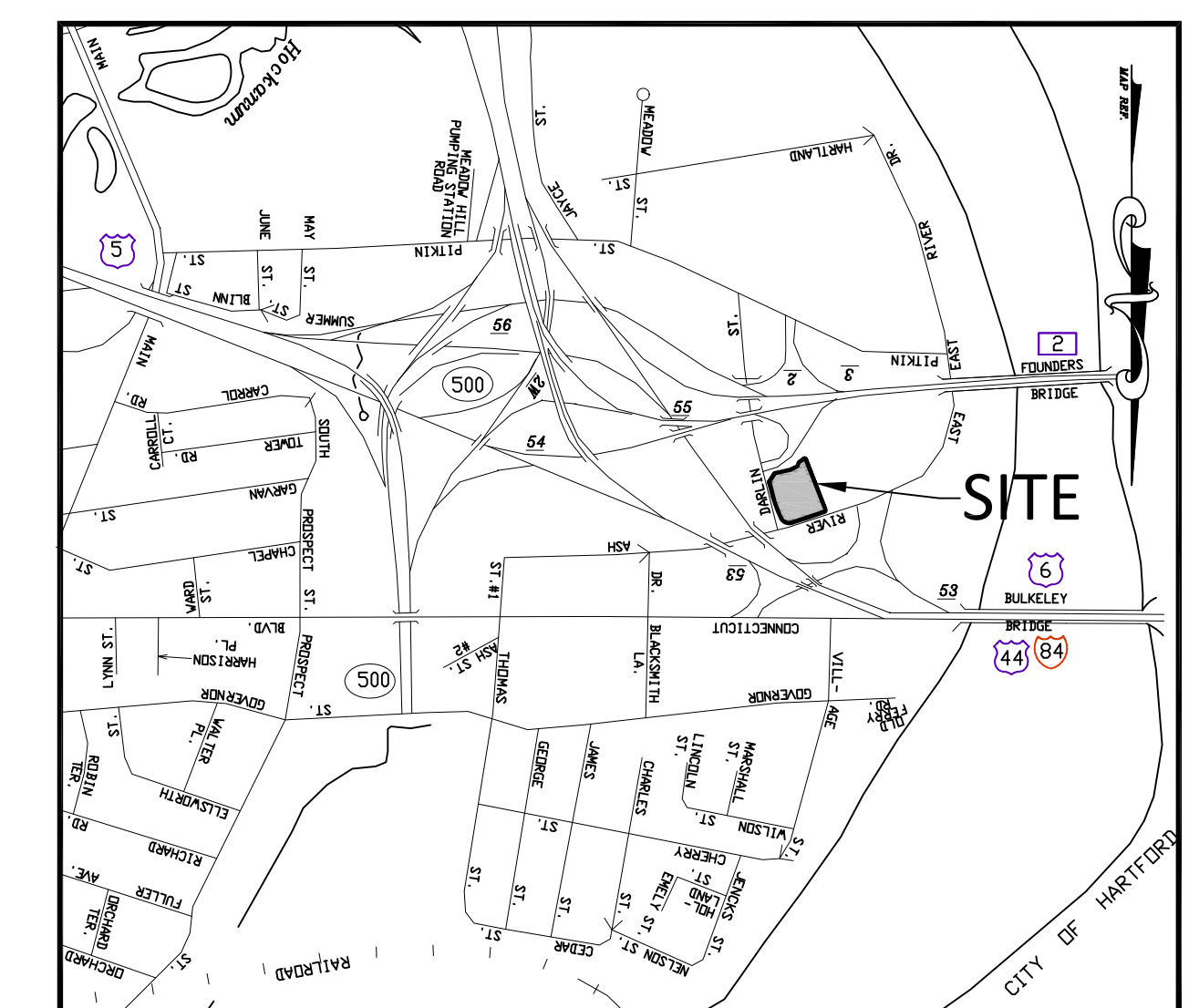
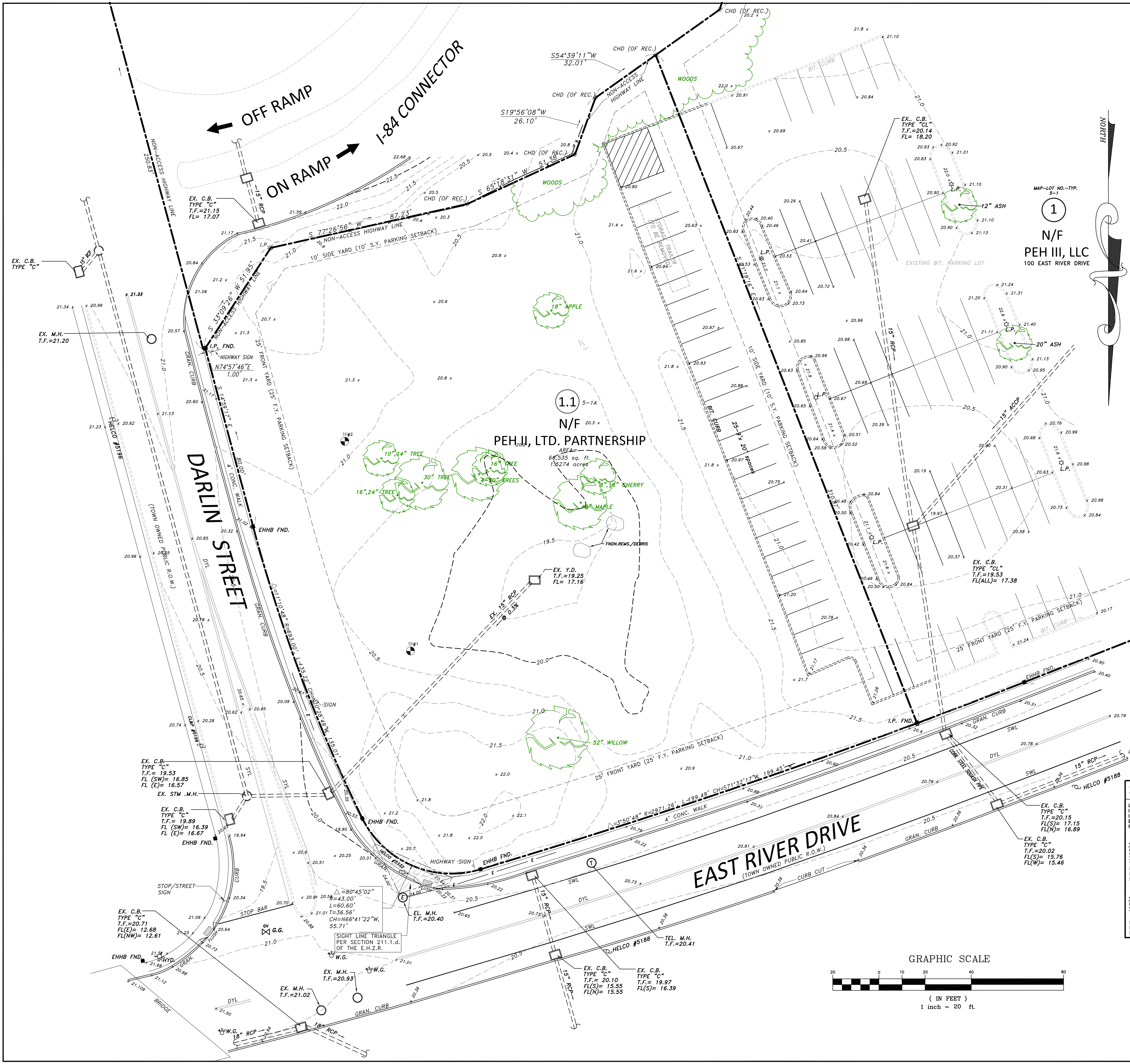
MARCH 14, 2018

THIS DOCUMENT AND COPIES THEREOF ARE VALID ONLY IF THEY BEAR THE SIGNATURE AND EMBOSSED SEAL OF THE DESIGNATED LICENSED PROFESSIONAL. UNAUTHORIZED ALTERATIONS TO THIS PLAN RENDER THE DECLARATION HEREON NULL AND VOID. VALID ONLY ON MAPS BEARING EMBOSSED SURVEYOR'S SEAL.

**PARKING AREA DATA:**

- EXISTING SPACES AT #99-101 EAST RIVER DRIVE = 928 SPACES TOTAL (INCLUDING 19 ADA ACCESSIBLE SPACES)
- PROPOSED SPACES AT #90 EAST RIVER DRIVE = 142 SPACES TOTAL (0 ADA ACCESSIBLE SPACES)
- TOTAL PROPOSED SPACES BETWEEN BOTH SITES= 1,070 SPACES TOTAL (INCLUDING 19 ADA ACCESSIBLE SPACES)
- TOTAL PROPOSED ADA ACCESSIBLE SPACES PER CT BUILDING CODE FOR PARKING LOTS 1001 AND OVER: 20 PLUS 1 FOR EACH 100 OVER 1000  
TOTAL MINIMUM NUMBER OF ACCESSIBLE PARKING SPACES = 21.
- NOTE: 4 EXISTING 9' x 18' SPACES ON 99-101 EAST RIVER DRIVE SITE WILL NEED TO BE RESTRIPTED AS 2 ADA ACCESSIBLE PARKING SPACES.





**NOTES:**

- SURVEY NOTES:
  - This survey has been prepared pursuant to the Regulation of Connecticut State Agencies Section 20-300b-1 Through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996.
  - Type Of Survey is PROPERTY/TOPOGRAPHIC
  - Boundary Determination Category is : RESURVEY OF MAP REF.
  - Class of Accuracy is: HORIZ.-"A"-2", TOPO.-"T"-2", VERT.-"V"-2".
- PROPERTY IS ZONED: B-4.
- LOT AREA AS SHOWN.
- PROPERTY PROTECTED FROM THE 1% ANNUAL CHANCE FLOOD PLAIN BY A LEVEE SYSTEM PER F.I.R.M. NO. 09003C0368G, PANEL 368 OF 675, DATED: SEPTEMBER 16, 2011.
- MAP REFERENCE:
  - A) "RE-SUBDIVISION MAP PREPARED FOR PEH I, L.P. (PROCCACCIANT GROUP) "SHERATON HARTFORD HOTEL" 100 EAST RIVER DRIVE, EAST HARTFORD, CONNECTICUT TRACT 13-SOUTH MEADOWS URBAN RENEWAL AREA" DATED: MARCH, 2007. REVISED TO: NOVEMBER 27, 2007. SHEET 1 OF 5. SCALE: 1"=40'. PREPARED BY: MESSER & ASSOCIATES, INC.
- PROPERTY MAY BE BURDENED AND/OR BENEFITED BY RECORDED AND/OR UNRECORDED EASEMENTS.
- UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROL TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO HALLISEY, PEARSON AND CASSIDY ENGINEERING ASSOCIATES. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 811"

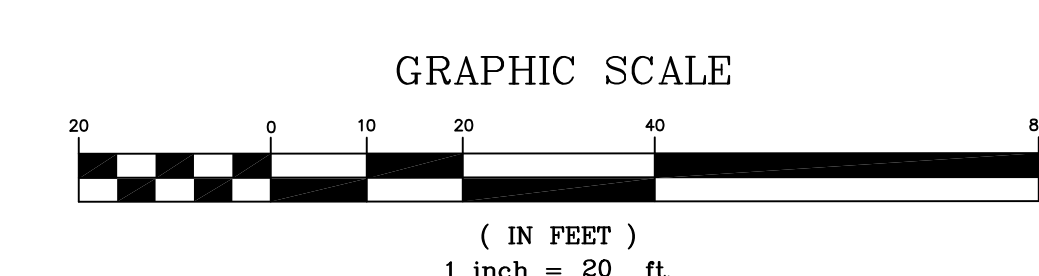
LEGEND	
	EXISTING PROPERTY LINE
	IRON PIN OR IRON PIPE FOUND
	CONC. MERESTONE OR CHD FND.
	EXISTING TREE LINE
	EXISTING TELEPHONE POLE
	EXISTING BIT. CURB
	EXISTING EDGE OF PAVEMENT
	EXISTING STONE WALL
	EXISTING FENCE
	EXISTING SPOT GRADE
	DOUBLE YELLOW LINE
	SINGLE WHITE LINE
	SINGLE YELLOW LINE
	IRON PIN TO BE SET
	EXISTING STORM DRAINAGE SYSTEM
	EXISTING WATER MAIN
	EXISTING SANITARY SEWER
	TEST PITS

**SOIL TEST DATA:**

Location: 90 EAST RIVER DRIVE, EAST HARTFORD, CT  
Inspector: ALLYN TARBELL  
Inspection Date: MARCH 27, 2018  
Engineer: James P. Cassidy  
Field Book Reference: 5

**TEST HOLE #1**  
0'-7" TOPSOIL  
7'-21" MED. BROWN FINE SAND & SILT  
21'-98" BROWN FINE SILT & SAND MOD. COMPACT  
NO GROUND WATER ENTERING  
NO MOTTLING OBSERVED  
NO LEDGE ENCOUNTERED

**TEST HOLE #2**  
0'-7" TOPSOIL  
7'-14" CONSTRUCTION DEBRIS  
14'-98" MED. BROWN FINE SAND & SILT  
NO GROUND WATER ENTERING  
NO MOTTLING OBSERVED  
NO LEDGE ENCOUNTERED



TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON:

PAUL A. HALLISEY, L.S. LIC. NO. 7761 DATE: JUNE 13, 2017

THIS DOCUMENT AND COPIES THEREOF ARE VALID ONLY IF THEY BEAR THE SIGNATURE AND EMBOSSED SEAL OF THE DESIGNATED LICENSED PROFESSIONAL. UNAUTHORIZED ALTERATIONS TO THIS PLAN RENDER THE DECLARATION HEREON NULL AND VOID. VALID ONLY ON MAPS BEARING EMBOSSED SURVEYOR'S SEAL.

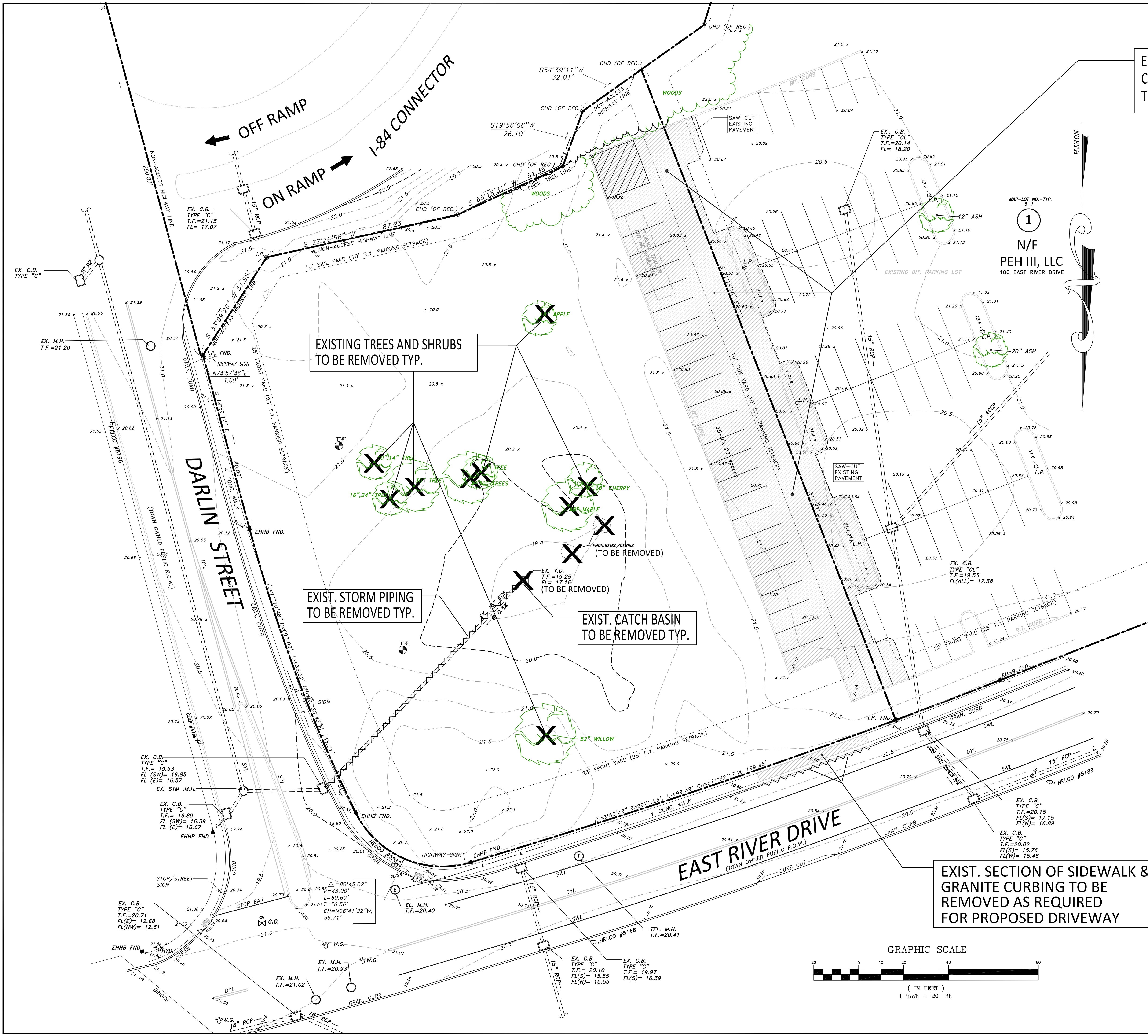
CHECKED BY: P.A.H.  
DATE: MARCH 15, 2018  
JOB NO.: 2665  
SCALE: 1"= 20'

DRAWN BY: J.P.C.  
ACAD FILE: 2665-EX  
SHEET: 2 OF 10  
REVISIONS:  
APR 24 2018 REVISED PER SITE PLAN REVIEW COMMITTEE COMMENTS 04/17/18

**HALLISEY, PEARSON & CASSIDY**  
CIVIL ENGINEERS & LAND SURVEYORS  
630 MAIN STREET, UNIT #1A  
CROWELL, CONNECTICUT 06416  
PHONE: (860)-529-6812, FAX: (860)-721-7709

PROPERTY/TOPOGRAPHIC SURVEY  
SHOWING EXISTING CONDITIONS  
PREPARED FOR  
FREMONT RIVERVIEW, LLC  
PROPERTY LOCATED AT  
#90 EAST RIVER DRIVE  
EAST HARTFORD, CONNECTICUT





EXISTING BUILDING, BIT. PAVEMENT & CURBING  
CURBING, CONC. WALKS & PAVEMENT  
TO BE REMOVED IN CROSS-HATCHED AREA

LEGEND	
	EXISTING PROPERTY LINE
	EXISTING EDGE OF PAVEMENT
	IRON PIN OR IRON PIPE FOUND
	CONC. MERESTONE OR CHD FND.
	EXISTING TREE LINE
	EXISTING CONTOUR
	EXISTING SPOT GRADE
	EXISTING TELEPHONE POLE
	EXISTING BIT. CURB
	EXISTING STORM DRAINAGE SYSTEM
	EXISTING WATER MAIN
	EXISTING SANITARY SEWER
	EXISTING GAS MAIN
	LIMITS OF FLAGGED WETLANDS
	EDGE OF WATER COURSE
	LIMITS OF 50' UPLANDS REVIEW AREA
	EXISTING FENCE
	EXISTING BUILDING, PAVEMENT OR WALK TO BE REMOVED
	EXISTING STRUCTURE TO BE REMOVED
	EXISTING STRUCTURE AND PIPE TO BE REMOVED

- GENERAL NOTE FOR SITE PREPARATION**
- PRIOR TO ANY CONSTRUCTION OPERATIONS, THE CONTRACTOR SHALL ESTABLISH ADEQUATE LAYOUT AND GRADING INFORMATION FOR PROPOSED WORK TO ALLOW FOR THE EVALUATION OF ITS RELATIONSHIP TO EXISTING SITE FEATURES AND VEGETATION. THE CONTRACTOR SHALL IF REQUIRED TO MAKE FIELD MODIFICATIONS AS AUTHORIZED BY THE ENGINEER TO ADDRESS EXISTING SITE CONDITIONS.
  - SITE LAYOUT & PROPOSED GRADES ARE TO BE STAKED IN THE FIELD AND APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO THE BEGINNING OF THE CONSTRUCTION OPERATIONS.
  - THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE INSIDE AND OUTSIDE THE PROPERTY LIMIT LINE DUE TO CONSTRUCTION OPERATIONS FROM THIS PROJECT.
  - THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES IN THE FIELD BEFORE BEGINNING ANY EXCAVATION. CONTRACTOR SHALL CONTACT "CALL-BEFORE-YOU-DIG" - 811 - AT LEAST 72 HOURS PRIOR TO START OF WORK.
  - THE CONTRACTOR SHALL MAINTAIN ACCESS TO FIRE HYDRANTS AND SITE FOR EMERGENCY SERVICES AT ALL TIMES.
  - THE CONTRACTOR SHALL COMPLY WITH ALL STATE, LOCAL AND FEDERAL REGULATIONS.
  - INSTALL SEDIMENT AND EROSION CONTROL MEASURES AT THE DIRECTION OF THE ENGINEER AND IN ACCORDANCE WITH THE STATE OF CONNECTICUT GUIDELINES FOR SEDIMENT AND EROSION CONTROL. SEE SHEET #6 FOR E & S NOTES AND CONSTRUCTION SEQUENCE.
  - EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE INSTALLED PRIOR TO COMMENCEMENT OF DEMOLITION.
  - MATERIAL STAGING AREAS SHALL BE ESTABLISHED IN COORDINATION WITH THE OWNER, OR THEIR REPRESENTATIVE AT THE SITE.
  - CONTAMINATED SOILS, IF ENCOUNTERED, SHALL BE STOCKPILED ON-SITE (SEE PREVIOUS NOTE) AT THE DIRECTION OF THE ENGINEER, PRIOR TO OFF-SITE DISPOSAL/RECYCLING.
  - BACKFILL AND SUBGRADE SHALL BE COMPACTED TO 95% OF MAXIMUM DRY DENSITY. PERCENT COMPACTING SHALL BE DEFINED AS THE RATIO OF THE FIELD DRY DENSITY, DETERMINED BY AASHTO T180 (METHOD D), TO THE MAXIMUM DRY DENSITY.

CHECKED BY: P.A.H.  
DATE: MARCH 15, 2018  
JOB NO.: 2665  
ACAD FILE: 2665-DEMO

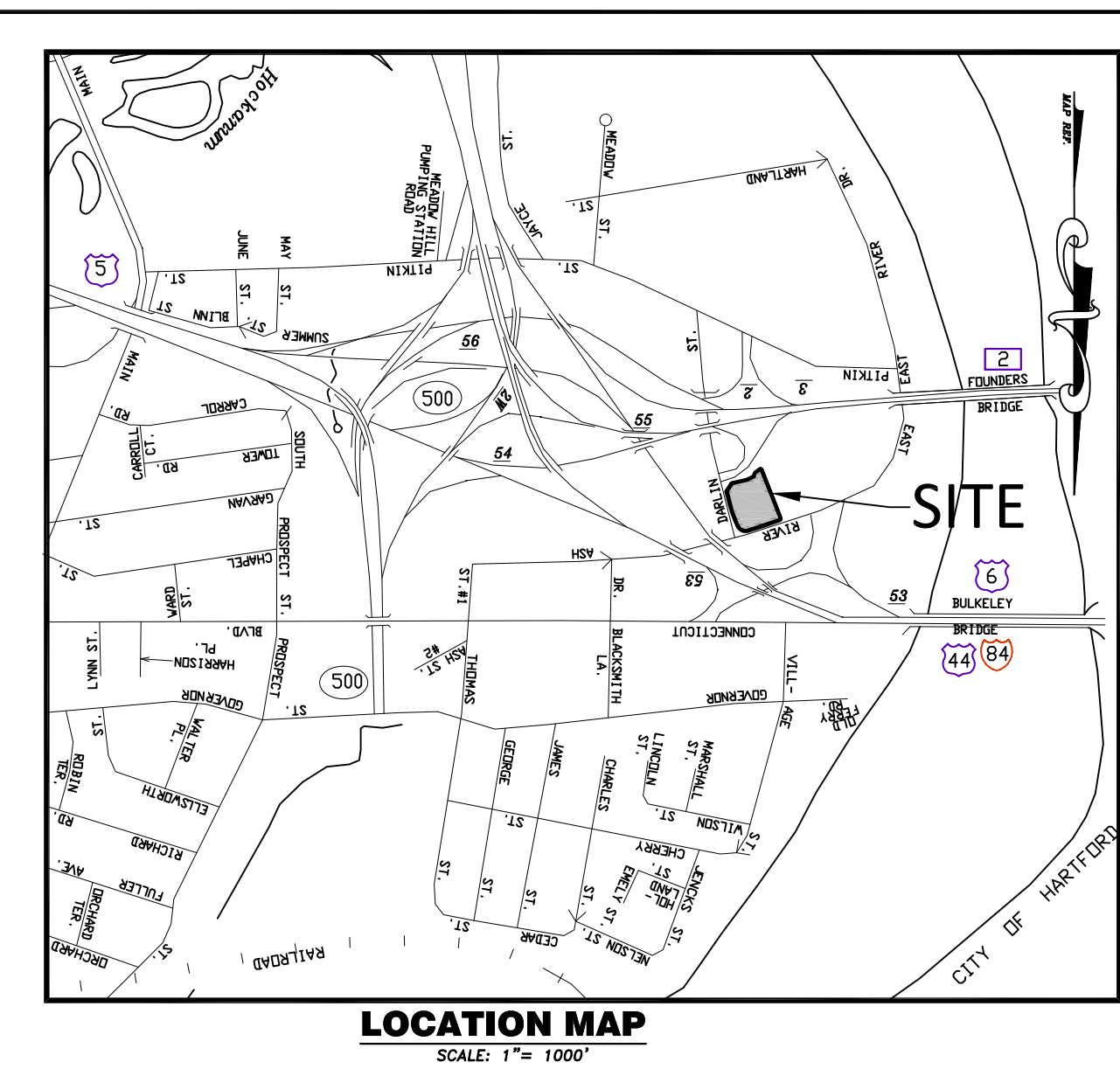
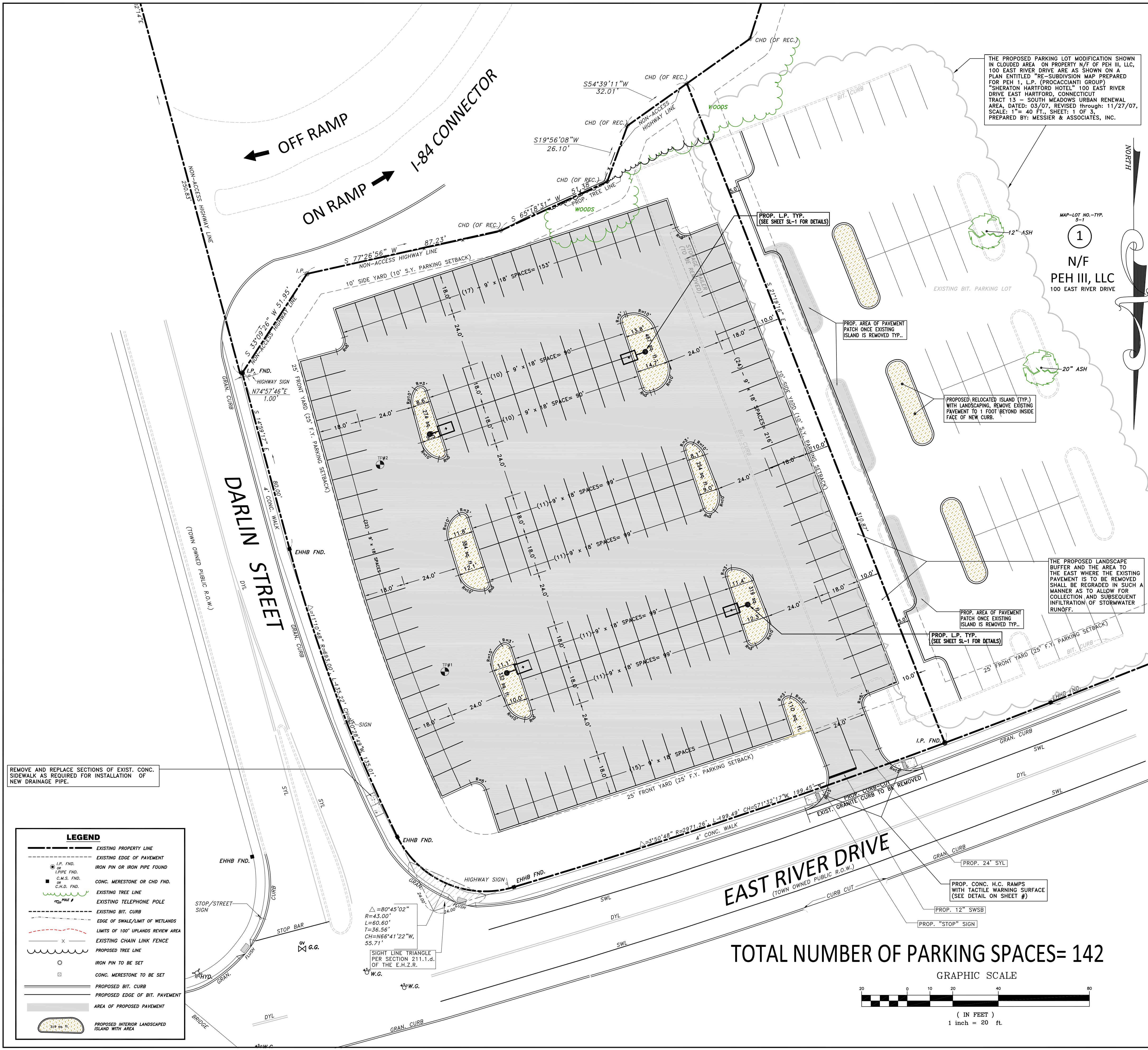
SCALE: 1"= 20'

SHEET: 3 OF 10  
REVISIONS:  
APRIL 24, 2018 REVISED PER SITE PLAN REVIEW COMMENTS 04/17/18

**HALLISEY, PEARSON & CASSIDY**  
CIVIL ENGINEERS & LAND SURVEYORS  
630 MAIN STREET, UNIT #1A  
CROWELL, CONNECTICUT 06416  
PHONE: (860)-529-6812, FAX: (860)-721-7709

**SITE DEMOLITION PLAN**  
PREPARED FOR  
FREMONT RIVERVIEW, LLC  
PROPERTY LOCATED AT  
#90 EAST RIVER DRIVE  
EAST HARTFORD, CONNECTICUT





- NOTES:**
1. SURVEY NOTES:
    - This survey has been prepared pursuant to the Regulation of Connecticut State Agencies Section 20-300b-1 through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996.
    - Type Of Survey is ZONING IMPROVEMENT LOCATION SURVEY
    - Boundary Determination Category is : RESURVEY OF MAP REF..
    - Class of Accuracy is: HORIZ. - "A-2"
  2. PROPERTY IS ZONED: B-4.
  3. LOT AREA AS SHOWN.
  4. PROPERTY PROTECTED FROM THE 1% ANNUAL CHANCE FLOOD PLAIN BY A LEVEE SYSTEM PER F.I.R.M. NO. 0900303686, PANEL 368 OF 675, DATED: SEPTEMBER 16, 2011.
  5. MAP REFERENCE:
    - A.) "RE-SUBDIVISION MAP PREPARED FOR PEH 1, L.P. (PROACCANTI GROUP) "SHERATON HARTFORD HOTEL" 100 EAST RIVER DRIVE, EAST HARTFORD, CONNECTICUT TRACT 13-SOUTH MEADOWS URBAN RENEWAL AREA" DATED: MARCH, 2007. REVISED TO: NOVEMBER 27, 2007. SHEET 1 OF 3. SCALE: 1"=40'. PREPARED BY: MESSIER & ASSOCIATES, INC.
  6. PROPERTY MAY BE BURDENED AND/OR BENEFITED BY RECORDED AND/OR UNRECORDED EASEMENTS.

ZONING INFORMATION BULK CHART: B-4 ZONE		
ZONE: B-4 ZONE	REQUIRED	PROVIDED
USE		PARKING
MIN. FRONT YARD	25'	N.A.
MIN. SIDE YARD	10' MIN./25' TOTAL	N.A.
MIN. REAR YARD	25'	N.A.
MIN. PARKING & LOADING SETBACKS SIDE AND REAR YARD	10'	10.0'
MIN. PARKING & LOADING SETBACKS FRONT YARD	25'	25.0'
MAX. BUILDING HEIGHT	210'	210'
MAX. BLDG. COVERAGE	75%	N.A.
MAX. TOTAL IMPERVIOUS COVERAGE	85% OF LOT	45,761 SQ. FT./66,532 SQ. FT. = 68.8%
MINIMUM LOT AREA	10,000 SQ. FT.	66,532 SQ. FT.
MINIMUM LOT FRONTAGE	55'	225.91'±
MINIMUM LOT WIDTH	80'	238'±
INTERIOR PARKING LANDSCAPING	10 SQ. FT./SPACE 142 SPACES x 10 SQ. FT./SPACE = 1,420 SQ. FT.	2,140 SQ. FT.

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON:

*Paul A. Hallisey*  
PAUL A. HALLISEY, L.S. LIC. NO. 7761 DATE JUNE 13, 2017

THIS DOCUMENT AND COPIES THEREOF ARE VALID ONLY IF THEY BEAR THE SIGNATURE AND EMBOSSED SEAL OF THE DESIGNATED LICENSED PROFESSIONAL. UNAUTHORIZED ALTERATIONS TO THIS PLAN RENDER THE DECLARATION HEREON NULL AND VOID. VALID ONLY ON MAPS BEARING EMBOSSED SURVEYOR'S SEAL.

CHECKED BY: P.A.H.  
DATE: MARCH 15, 2018  
JOB NO.: 2665  
SCALE: 1"= 20'

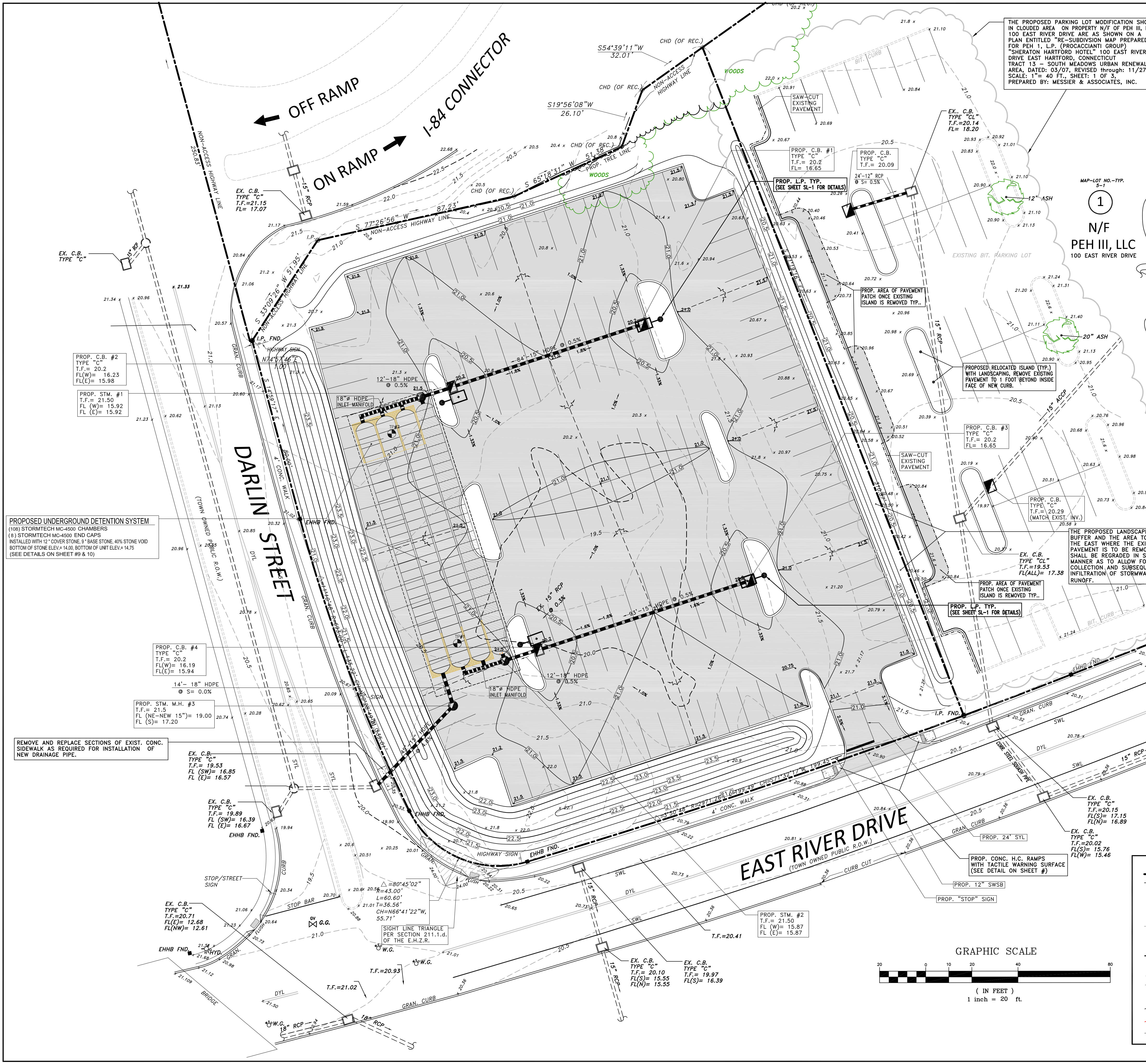
DRAWN BY: J.P.C.  
ACAD FILE: 2665-Z1  
SHEET: 4 OF 10  
REVISIONS:  
APRIL 24, 2018 REVISED PER SITE PLAN REVIEW COMMITTEE COMMENTS 04/17/18

**HALLISEY, PEARSON & CASSIDY**  
CIVIL ENGINEERS & LAND SURVEYORS  
630 MAIN STREET, UNIT #1A  
CROWELL, CONNECTICUT 06416  
PHONE: (860)-529-6812. FAX: (860)-721-7709

ZONING IMPROVEMENT LOCATION SURVEY / SITE PLAN

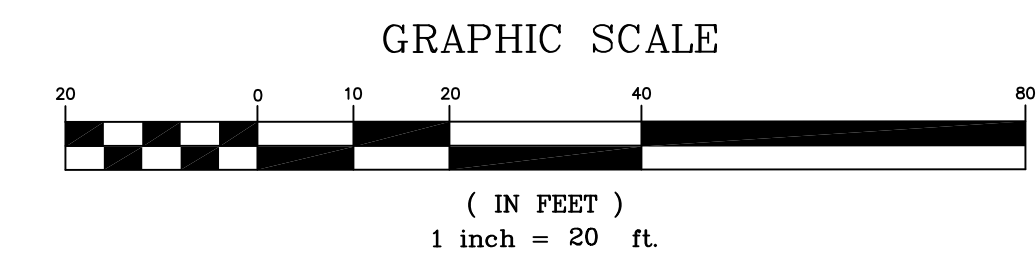
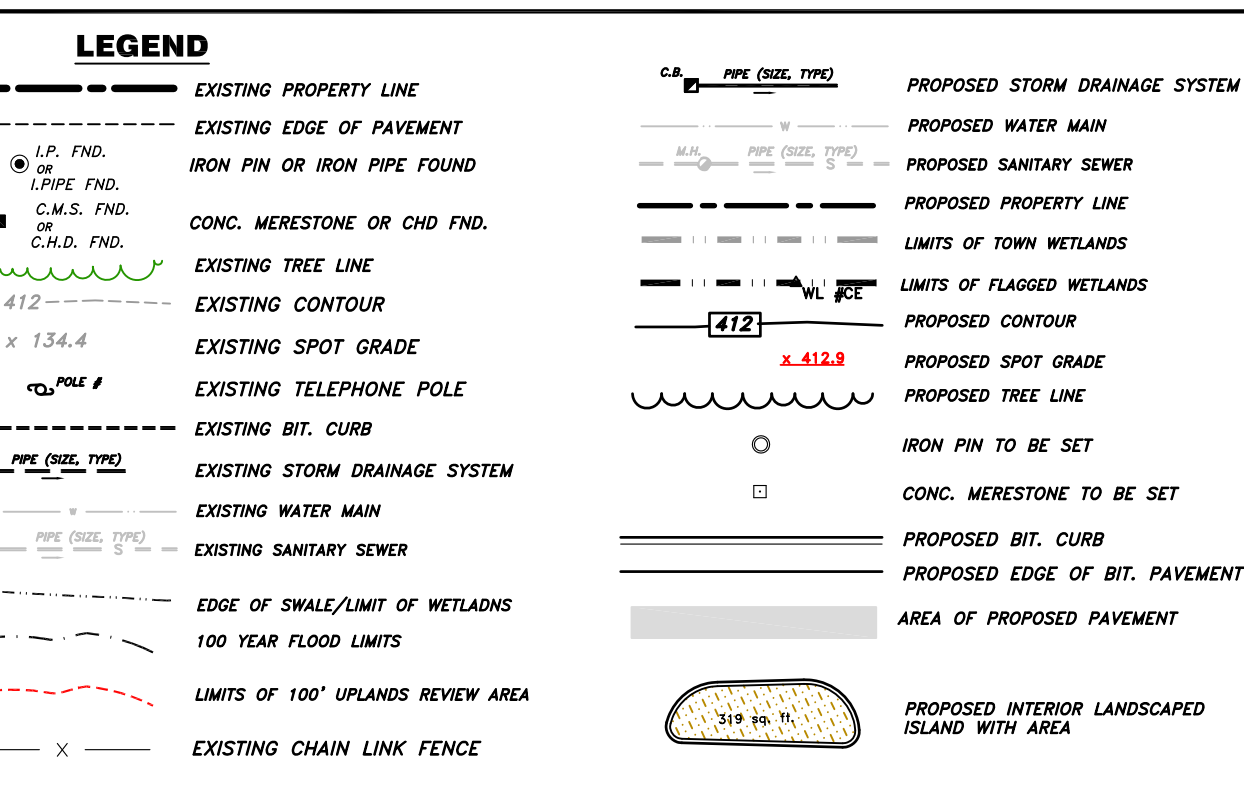
PREPARED FOR  
FREMONT RIVERVIEW, LLC  
PROPERTY LOCATED AT  
#90 EAST RIVER DRIVE  
EAST HARTFORD, CONNECTICUT





- ### SITE PLAN NOTES
1. ALL CONSTRUCTION SHALL COMPLY WITH TOWN OF EAST HARTFORD, STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS IN THE ABOVE REFERENCED HIGHWAYS. IF DISCREPANCIES ARE IN CONFLICT, THE MORE STRINGENT SPECIFICATION SHALL APPLY. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE GSA, FEDERAL, STATE AND LOCAL REGULATIONS.
  2. THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY ZONING PERMITS REQUIRED BY GOVERNMENT AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL TOWN CONSTRUCTION PERMITS, INCLUDING DOT PERMITS AND SEWER AND WATER CONNECTION PERMITS. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
  3. REFER TO OTHER PLANS, DETAILS AND NOTES FOR ADDITIONAL INFORMATION. THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT THE SITE ENGINEER IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS SO THAT APPROPRIATE REVISIONS CAN BE MADE PRIOR TO BEGINNING. ANY CONFLICT BETWEEN THE DRAWINGS AND SPECIFICATIONS SHALL BE CONFORMED WITH THE LOCAL CONSTRUCTION MANAGER PRIOR TO BEGINNING.
  4. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS, MATERIALS AND PLAN SPECIFICATIONS TO THE OWNER AND SITE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE SITE. A MINIMUM OF 14 WORKING DAYS IS REQUIRED FOR REVIEW AND APPROVAL.
  5. THE CONTRACTOR SHALL FOLLOW THE SEQUENCE OF CONSTRUCTION NOTES PROVIDED ON THE EROSION CONTROL PLAN.
  6. THE CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND CONSTRUCTION DETAILS OF BUILDING, OUTSIDE DISPLAY AREA, AND THE BASED CONCRETE SIDEWALKS AND RAMP.
  7. SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING CONSTRUCTION, CONSULT THE ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
  8. DO NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
  9. ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURBS OR EDGE OR PAVING UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF THE STRUCTURE.
  10. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES, TRAFFIC CONTROLLERS AND UNIFORMED TRAFFIC OFFICERS AS REQUIRED, ORDERED BY THE ENGINEER OR REQUIRED BY THE LOCAL GOVERNING AUTHORITIES.
  11. REFER TO DETAIL SHEETS FOR PAVEMENT, CURBING, AND SIDEWALK INFORMATION.
  12. TRAFFIC CONTROL SIGNALS SHALL CONFORM TO THE STATE DOT STANDARD DETAIL SHEETS AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. SIGNS SHALL BE INSTALLED PLUMB WITH THE EDGE OF THE SIGN 2' OFF THE FACE OF THE CURB, AND WITH 7' VERTICAL CLEARANCE UNLESS OTHERWISE DETAILED OR NOTED.
  13. THE CONTRACTOR SHALL ABIDE BY ALL GSA FEDERAL STATE AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOISTS, ETC. IN CLOSE PROXIMITY TO OVERHEAD ELECTRIC LINES. IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINES, CONTACT POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS. ANY UTILITY COMPANY FEES SHALL BE PAID FOR BY THE CONTRACTOR.
  14. THE CONTRACTOR SHALL SUBMIT A SHOP DRAWING OF THE PAINT MIXTURE PRIOR TO STRIPPING.
  15. PAVEMENT MARKING KEY:
    - 4" SYL 4" SOLID YELLOW DOUBLE LINE
    - 4" SYL 4" SOLID YELLOW LINE
    - 4" SYL 4" SOLID WHITE LINE
    - 12" SYL 12" SOLID WHITE STRIP
    - 4" BWL 4" BROKEN WHITE LINE 10' STRIPS 30' SPACE
  16. PARKING SPACES SHALL BE STRIPPED WITH 4" SYL. HATCHED AREA SHALL BE STRIPPED WITH 4" SYL AT A 45° ANGLE, 1/2 IN CENTER. HATCHING SYMBOLS, AND STRIPPING FOR HANDICAPPED SPACES SHALL BE PAINTED WHITE OR AS NOTED.
  17. THE CONTRACTOR SHALL RESTORE ANY DRAINAGE STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPED AREAS OR SIGNAGE DISTURBED DURING CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER, AS APPROVED BY THE ENGINEER.
  18. THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER AT THE END OF CONSTRUCTION.
  19. THE ARCHITECT OR ENGINEER IS NOT RESPONSIBLE FOR SITE SAFETY MEASURES TO BE EMPLOYED DURING CONSTRUCTION. THE ARCHITECT AND ENGINEER HAVE NO CONTRACTUAL DUTY TO CONTROL THE SPEEDS, METHODS OR MEANS OF THE WORK. JOB SITE RESPONSIBILITIES, SUPERVISION OR TO SUPERVISE SAFETY AND DOES NOT VOLUNTARILY ASSUME ANY SUCH DUTY OR RESPONSIBILITY.
  20. THE CONTRACTOR SHALL COMPLY WITH CT 29 PART 1926 FOR EXCAVATION TRENCHING AND TRENCH PROTECTION REQUIREMENTS.
  21. ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, SITE ENGINEER, AND APPROPRIATE REGULATORY AGENCY PRIOR TO INSTALLATION DURING THE BIDDING PROCESS.
  22. INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE SYSTEMS HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL RECORDS MAPS AND FIELD NOTES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES. PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" 72 HOURS BEFORE COMMENCEMENT OF WORK AT "DIG" AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS.
  23. PAVEMENT MARKINGS SHALL BE NOT APPLIED TYPE IN ACCORDANCE WITH CT DOT SPECIFICATIONS, UNLESS WHERE EPOXY RESIN PAVEMENT MARKINGS ARE INDICATED.
  24. CT DOT UNDERGROUND PERMIT SHALL BE OBTAINED BY CONTRACTOR WHO SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC PROTECTION NECESSARY FOR THE WORK.
  25. AN EROSION CONTROL BOND IS REQUIRED TO BE POSTED BY THE CONTRACTOR BEFORE THE START OF ANY ACTIVITY ON OR OFF SITE.
  26. THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION. NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.
  28. THESE PLANS ARE FOR PERMITTING.

- ### GRADING AND DRAINAGE NOTES
- GRADING GENERAL NOTES:
1. SEE THIS PLAN SHEET FOR ADDITIONAL SITE PLAN AND GENERAL NOTES.
  2. THE GRADING AND DRAINAGE PLAN IS INTENDED TO DESCRIBE GRADING AND DRAINAGE ONLY. REFER TO SITE PLAN FOR GENERAL INFORMATION, AND DETAIL SHEETS FOR DETAILS. SEE MEP DRAWINGS FOR BUILDING CONNECTION LOCATIONS AND DETAILS.
  3. THE CONTRACTOR SHALL PRESERVE EXISTING VEGETATION WHERE POSSIBLE AND/OR AS NOTED ON DRAWINGS. REFER TO EROSION CONTROL PLAN FOR LIMIT OF DISTURBANCE AND NOTES.
  4. TOPSOIL SHALL BE STRIPPED AND STOCKPILED FOR USE IN FINAL LANDSCAPING.
  5. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS REQUIRED BY GOVERNMENT AND LOCAL AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE LOCAL MUNICIPALITIES REQUIRED TO PERFORM ALL REQUIRED WORK, INCLUDING FOR STREET CUTS AND CONNECTIONS TO EXISTING UTILITIES. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE, AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
  6. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES AND UNIFORMED TRAFFIC CONTROLLERS AS REQUIRED, ORDERED BY THE ENGINEER OR REQUIRED BY THE STATE AND LOCAL GOVERNING AUTHORITIES.
  7. THE CONTRACTOR SHALL COMPACT FILL IN 12" MAXIMUM LIFTS UNDER ALL PAVING, BUILDING, AND DRIVE AREAS TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557 (MODIFIED PROCTOR TEST), OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER.
  8. UNDERDRAINS SHALL BE ADDED, IF DETERMINED NECESSARY IN THE FIELD BY THE DESIGN OR TOWN ENGINEER. AFTER SUBGRADE IS ROUGH GRADED, AS APPROVED BY THE EAST HARTFORD TOWN STAFF.
  9. VERTICAL DATUM IS NGVD 1988.
  10. CLEARING LIMITS SHALL BE PHYSICALLY MARKED IN THE FIELD AND APPROVED BY THE TOWN OF EAST HARTFORD AGENT PRIOR TO THE START OF WORK ON THE SITE.
  11. PROPER CONSTRUCTION PROCEDURES SHALL BE FOLLOWED ON ALL IMPROVEMENTS WITHIN THIS PARCEL SO AS TO PREVENT THE BUILDING OF ANY WATERCOURSE OR WETLANDS IN ACCORDANCE WITH THE REGULATIONS OF THE DEPARTMENT OF ENVIRONMENTAL PROTECTION GUIDELINES FOR SOIL EROSION AND SEDIMENT POLLUTION CONTROL. IN ADDITION, THE CONTRACTOR SHALL STRICTLY ADHERE TO THE "EROSION CONTROL PLAN" CONTAINED HEREIN. THE CONTRACTOR SHALL BE RESPONSIBLE TO POST ALL BONDS AS REQUIRED BY THE LOCAL MUNICIPALITIES, OR SOIL CONSERVATION SERVICE WHICH WOULD GUARANTEE THE PROPER IMPLEMENTATION OF THE PLAN.
  12. ALL SITE WORK, MATERIALS OR CONSTRUCTION, AND CONSTRUCTION METHODS FOR EARTHWORK STORM SO AS TO PREVENT THE BUILDING OF ANY WATERCOURSE OR WETLANDS IN ACCORDANCE WITH THE REGULATIONS OF THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION UNLESS OTHERWISE STATED IN THE PROJECT MANUAL SPECIFICATIONS. ALL FILL MATERIALS UNDER STRUCTURES AND PAVED AREAS SHALL BE PER THE SPECIFICATIONS, AND/OR PROJECT GEOTECHNICAL REPORT, AND SHALL BE PLACED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE DOT, UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL ENGINEER. MATERIAL SHALL BE COMPACTED IN 12" LIFTS TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D 1557 AT 3 +/- PERCENT OF OPTIMUM MOISTURE CONTENT.
  13. ALL DISTURBANCE INCURRED TO TOWN OR STATE PROPERTY DUE TO CONSTRUCTION SHALL BE RESTORED TO ITS PREVIOUS CONDITION OR BETTER, TO THE SATISFACTION OF THE TOWN OF EAST HARTFORD AUTHORITY AND STATE OF CONNECTICUT.
  14. ALL CONSTRUCTION SHALL COMPLY WITH OWNER'S AND THE LOCAL MUNICIPALITY'S STANDARDS AND STATE OF CONNECTICUT'S DOT SPECIFICATIONS. ALL CONSTRUCTION SHALL BE DONE RIGHT OF WAY SHALL COMPLY WITH ALL DEPARTMENT OF TRANSPORTATION STANDARDS, WHERE SPECIFICATIONS OR STANDARDS ARE IN CONFLICT, THE MORE STRINGENT SPECIFICATION OR STANDARD SHALL BE SUPERIOR.



CHECKED BY: P.A.H.  
DATE: MARCH 15, 2018  
JOB No.: 20665  
SCALE: 1"= 20'

DRAWN BY: J.P.C.  
ACAD FILE: 20665-SG  
SHEET: 5 OF 10  
REVISIONS:  
APRIL 24, 2018 REVISED PER SITE PLAN REVIEW COMMITTEE COMMENTS 04/17/18

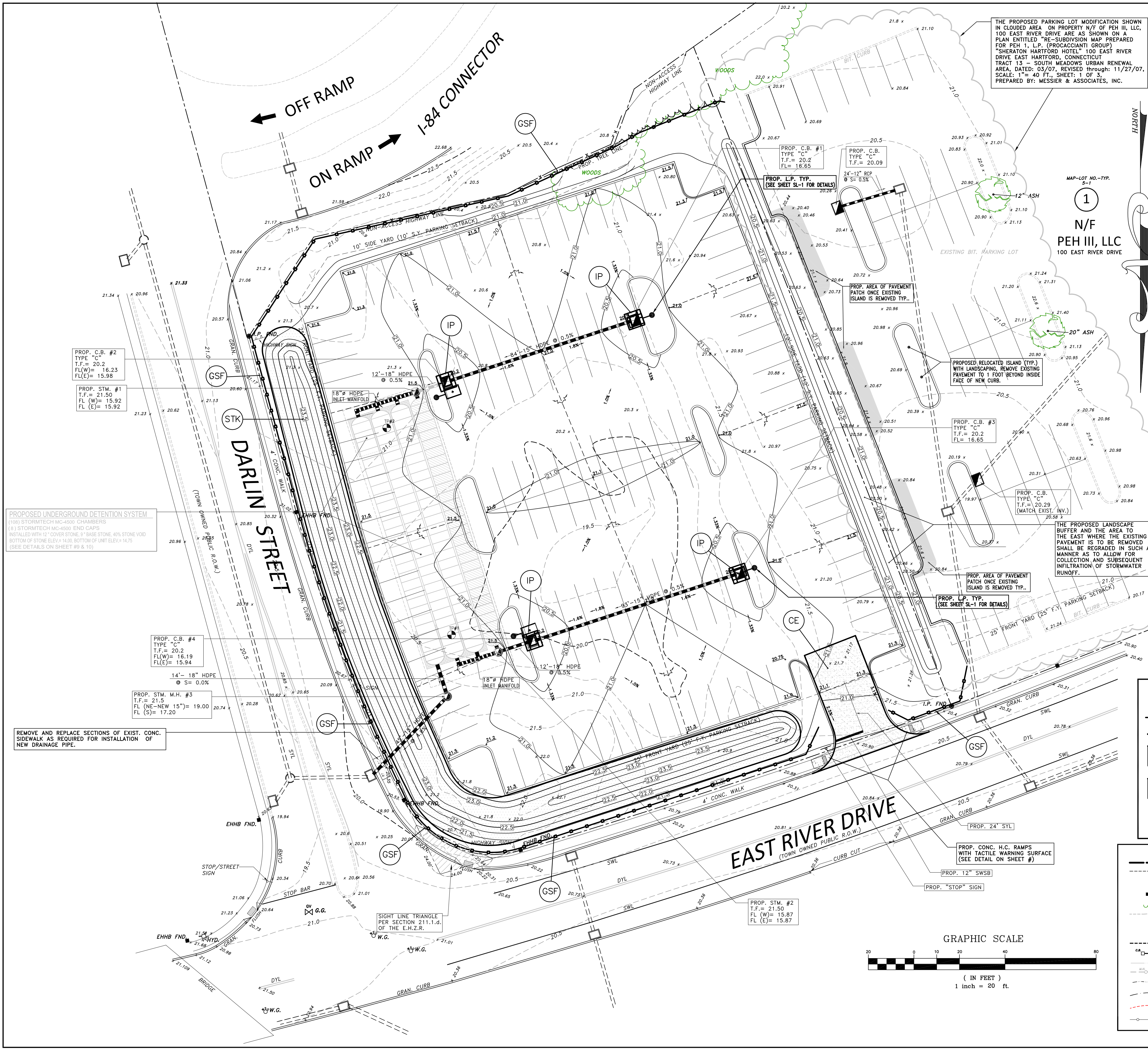
**HALLISEY, PEARSON & CASSIDY**  
CIVIL ENGINEERS & LAND SURVEYORS  
630 MAIN STREET, UNIT #1A  
CROWELL, CONNECTICUT 06416  
PHONE: (860)-529-6812, FAX: (860)-721-7709

**SITE GRADING AND DRAINAGE PLAN**  
PREPARED FOR  
FREMONT RIVERVIEW, LLC  
PROPERTY LOCATED AT  
#90 EAST RIVER DRIVE  
EAST HARTFORD, CONNECTICUT

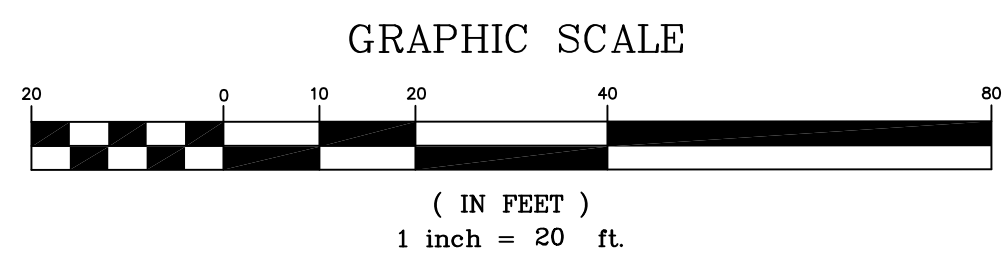
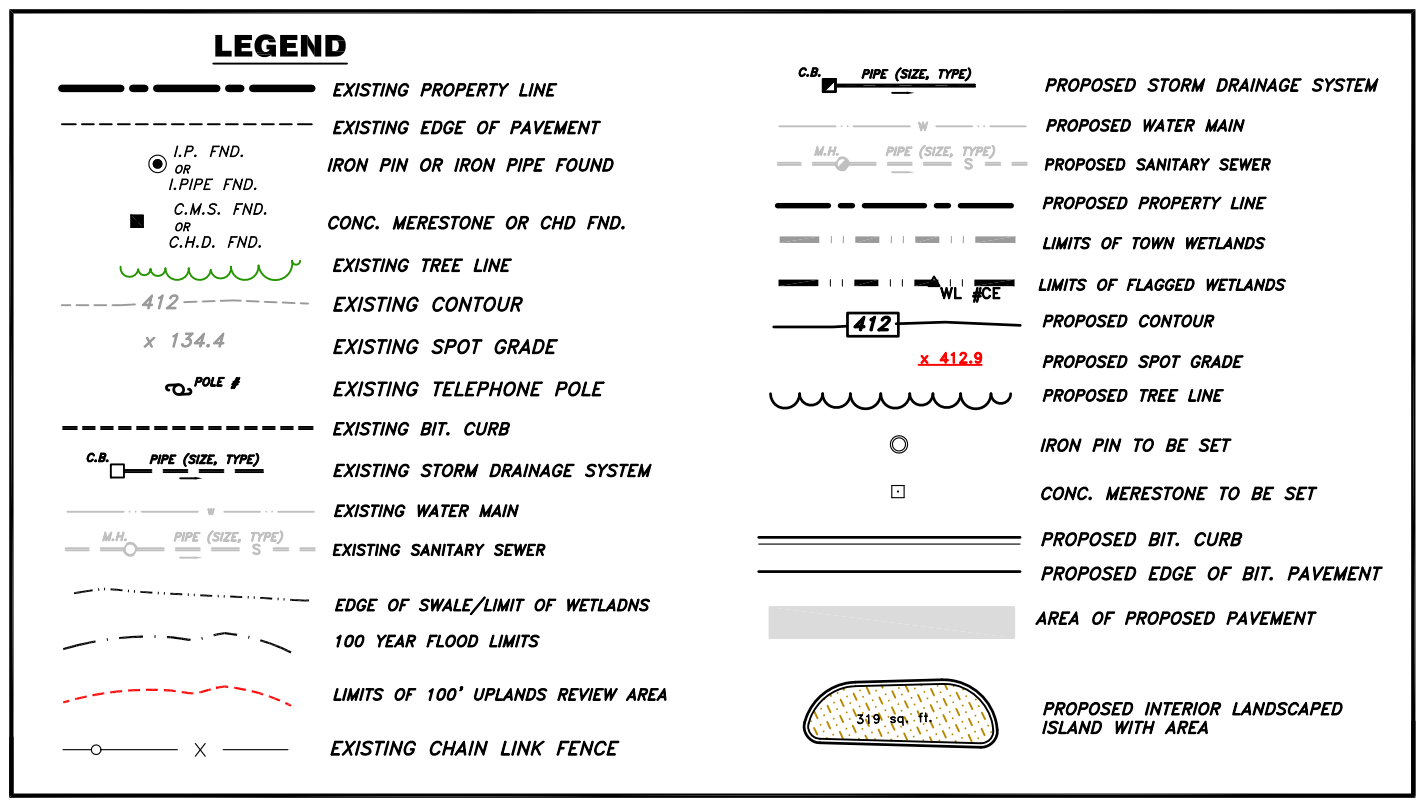
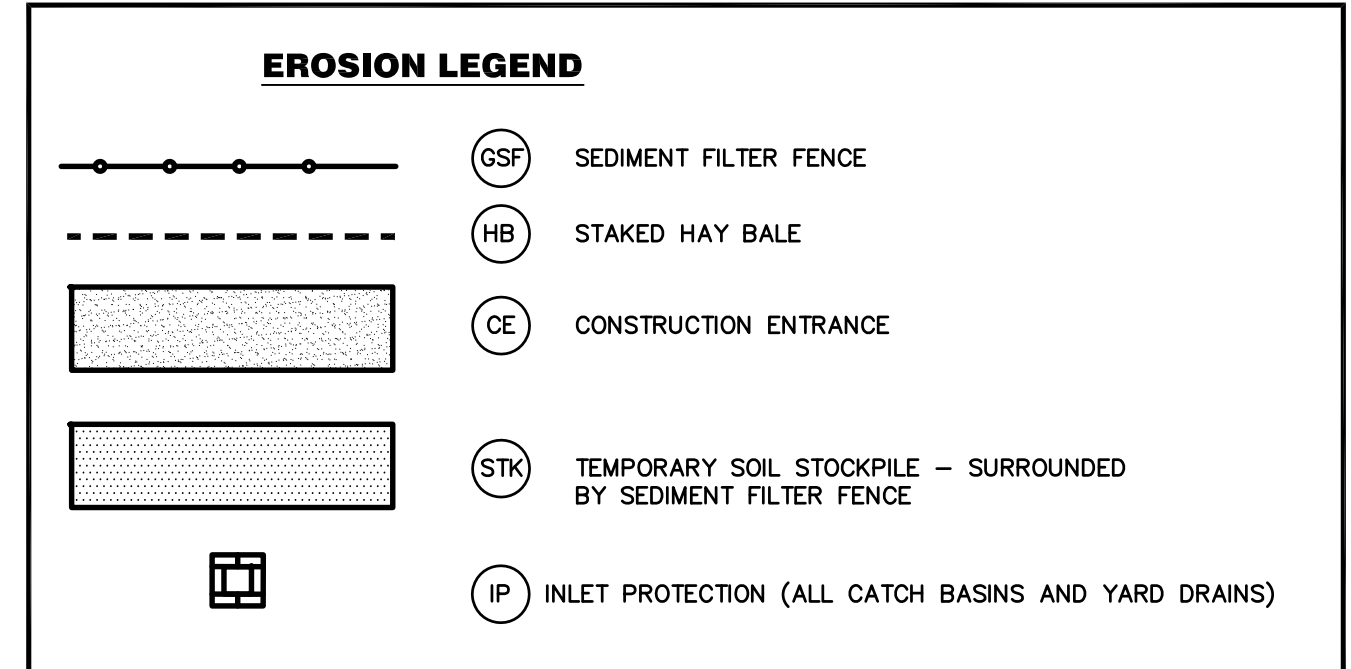
STATE OF CONNECTICUT  
JAMES P. CASSIDY  
PROFESSIONAL LAND SURVEYOR  
NO. 20665

STATE OF CONNECTICUT  
JAMES P. CASSIDY  
PROFESSIONAL CIVIL ENGINEER  
NO. 20665





- EROSION AND SEDIMENT CONTROL PLAN SEDIMENT AND EROSION CONTROL NOTES
1. THE DRAWING IS ONLY INTENDED TO DESCRIBE THE SEDIMENT AND EROSION CONTROL TREATMENT FOR THIS SITE. SEE SEDIMENT AND EROSION CONTROL DETAILS AND CONSTRUCTION SEQUENCE. REFER TO SITE PLAN FOR GENERAL INFORMATION AND OTHER PLANS FOR APPROPRIATE INFORMATION.
  2. FREMONT RIVERVIEW, LLC IS THE PERMITEE RESPONSIBLE FOR IMPLEMENTING THIS SEDIMENT AND EROSION CONTROL PLAN. THIS RESPONSIBILITY INCLUDES THE PROPER INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED WITH CONSTRUCTION ON THE SITE OF THE REQUIREMENTS AND OBJECTIVES OF THIS PLAN, INFORMING THE GOVERNING AUTHORITY OR INLAND WETLANDS AGENCY OF ANY TRANSFER OF THIS RESPONSIBILITY, AND FOR CONVEYING A COPY OF THE SEDIMENT & EROSION CONTROL PLAN IF THE TITLE TO THE LAND IS TRANSFERRED.
  3. THE CONTRACTOR SHALL CONSTRUCT ALL SEDIMENT AND EROSION CONTROLS IN ACCORDANCE WITH THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL, LATEST EDITION IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, AND AS DIRECTED BY THE TOWN OF EAST HARTFORD. THE CONTRACTOR SHALL KEEP A COPY OF THE GUIDELINES ON-SITE FOR REFERENCE DURING CONSTRUCTION.
  4. ADDITIONAL AND/OR ALTERNATIVE SEDIMENT AND EROSION CONTROL MEASURES MAY BE INSTALLED DURING THE CONSTRUCTION PERIOD IF FOUND NECESSARY BY THE CONTRACTOR, OWNER, SITE ENGINEER, TOWN OFFICIALS, OR ANY GOVERNING AGENCY. THE CONTRACTOR SHALL CONTACT THE OWNER AND APPROPRIATE GOVERNING AGENCIES FOR APPROVAL IF ALTERNATIVE CONTROLS OTHER THAN THOSE SHOWN ON THE PLANS ARE PROVIDED.
  5. THE CONTRACTOR SHALL INSPECT ALL SEDIMENT AND EROSION CONTROLS BEFORE AND AFTER EACH STORM, OR AT LEAST WEEKLY, TO VERIFY THAT THE CONTROLS ARE OPERATING PROPERLY AND MAKE REPAIRS WHERE NECESSARY.
  6. THE CONTRACTOR SHALL KEEP A SUPPLY OF EROSION CONTROL MATERIAL (SILT FENCE, JUTE MESH, ETC.) ON-SITE FOR MAINTENANCE AND EMERGENCY REPAIRS.
  7. PROTECT EXISTING TREES THAT ARE TO BE SAVED BY FENCING AT THE DRP LINE FOR AS SHOWN WITH SNOW FENCE, ORANGE SAFETY FENCE, OR EQUIVALENT FENCING. ANY LINE TRIMMING SHOULD BE DONE BEFORE CONSTRUCTION BEGINS IN THAT AREA; FENCING SHALL BE MAINTAINED AND REPAIRED DURING CONSTRUCTION.
  8. INSTALL PERIMETER SEDIMENT CONTROLS PRIOR TO CLEARING OR CONSTRUCTION. ALL CONSTRUCTION SHALL BE CONTAINED WITHIN THE LIMIT OF DISTURBANCE, WHICH SHALL BE MARKED WITH SILT FENCE, SAFETY FENCE, RIBBONS, OR OTHER MEANS PRIOR TO CLEARING. CONSTRUCTION ACTIVITY SHALL REMAIN ON THE UPHILL SIDE OF THE SILT FENCE UNLESS WORK IS SPECIFICALLY CALLED FOR ON THE DOWNHILL SIDE OF THE FENCE.
  9. ANTI-TRACKING PADS SHALL BE INSTALLED AT START OF CONSTRUCTION AND MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION. THE LOCATION OF THE TRACKING PADS MAY CHANGE AS VARIOUS PHASES OF CONSTRUCTION ARE COMPLETED.
  10. TOPSOIL SHALL BE STRIPPED AND STOCKPILED FOR USE IN FINAL LANDSCAPING. ALL EARTH STOCKPILES SHALL HAVE SILT FENCE AROUND THE LIMIT OF PILE. PILES SHALL BE TEMPORARILY SEED OR PILE IS TO REMAIN IN PLACE FOR MORE THAN 2 MONTHS.
  11. COMPLY WITH REQUIREMENTS OF CDS SECTION 22A, 430B FOR STORMWATER DISCHARGE FROM CONSTRUCTION ACTIVITIES AND WITH DEP RECORD KEEPING AND INSPECTION REQUIREMENTS.
  12. MINIMIZE LAND DISTURBANCES. SEED AND MULCH DISTURBED AREAS WITH TEMPORARY MIX AS SOON AS PRACTICABLE (2 WEEK MAXIMUM UNSTABILIZED PERIOD) USING PERENNIAL PREGRASS AT 40 LBS PER ACRE. MULCH ALL CUT AND FILL SLOPES AND SWALES WITH LOOSE HAY AT A RATE OF 2 TONS PER ACRE. IF NECESSARY, REPLACE LOOSE HAY ON SLOPES WITH EROSION CONTROL BLANKETS OR JUTE CLOTH. MODERATELY GRADED AREAS, ISLANDS, AND TEMPORARY CONSTRUCTION STAGING AREAS MAY BE HYDROSEED WITH TACKIFIER.
  13. SILT FENCE AND OTHER SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH DRAWINGS AND MANUFACTURER'S RECOMMENDATIONS PRIOR TO WORK IN ANY UPLAND AREAS.
  14. INSTALL SILT FENCE ACCORDING TO MANUFACTURER'S INSTRUCTION. PARTICULARLY, BURY LOWER EDGE OF FABRIC INTO GROUND. SILT FENCE SHALL BE MIRAFI ENVIRONMENTAL, AMOCO SILT STOP OR EQUIVALENT APPROVED BY SITE ENGINEER. FILTER FABRIC USED SHALL BE MIRAFI 100X OR EQUIVALENT.
  15. DIRECT ALL DRAINAGE PUMP DISCHARGE TO A SEDIMENT CONTROL DEVICE SUCH AS TEMPORARY PITS, SEDIMENT BASINS OR GRASS FILTERS WITHIN THE APPROVED LIMIT OF DISTURBANCE. DISCHARGE TO STORM SEWERS OR SURFACE WATERS FROM SEDIMENT CONTROLS SHALL BE CLEAR.
  16. THE PARTY RESPONSIBLE FOR THE EROSION AND SEDIMENT CONTROL MEASURES IS: FREMONT RIVERVIEW, LLC 65 LASALLE ROAD STE. 202 WEST HARTFORD, CT 06107 PHONE NUMBER: 860-232-9100



EROSION AND SEDIMENT CONTROL PLAN

PREPARED FOR  
FREMONT RIVERVIEW, LLC  
PROPERTY LOCATED AT  
#90 EAST RIVER DRIVE  
EAST HARTFORD, CONNECTICUT

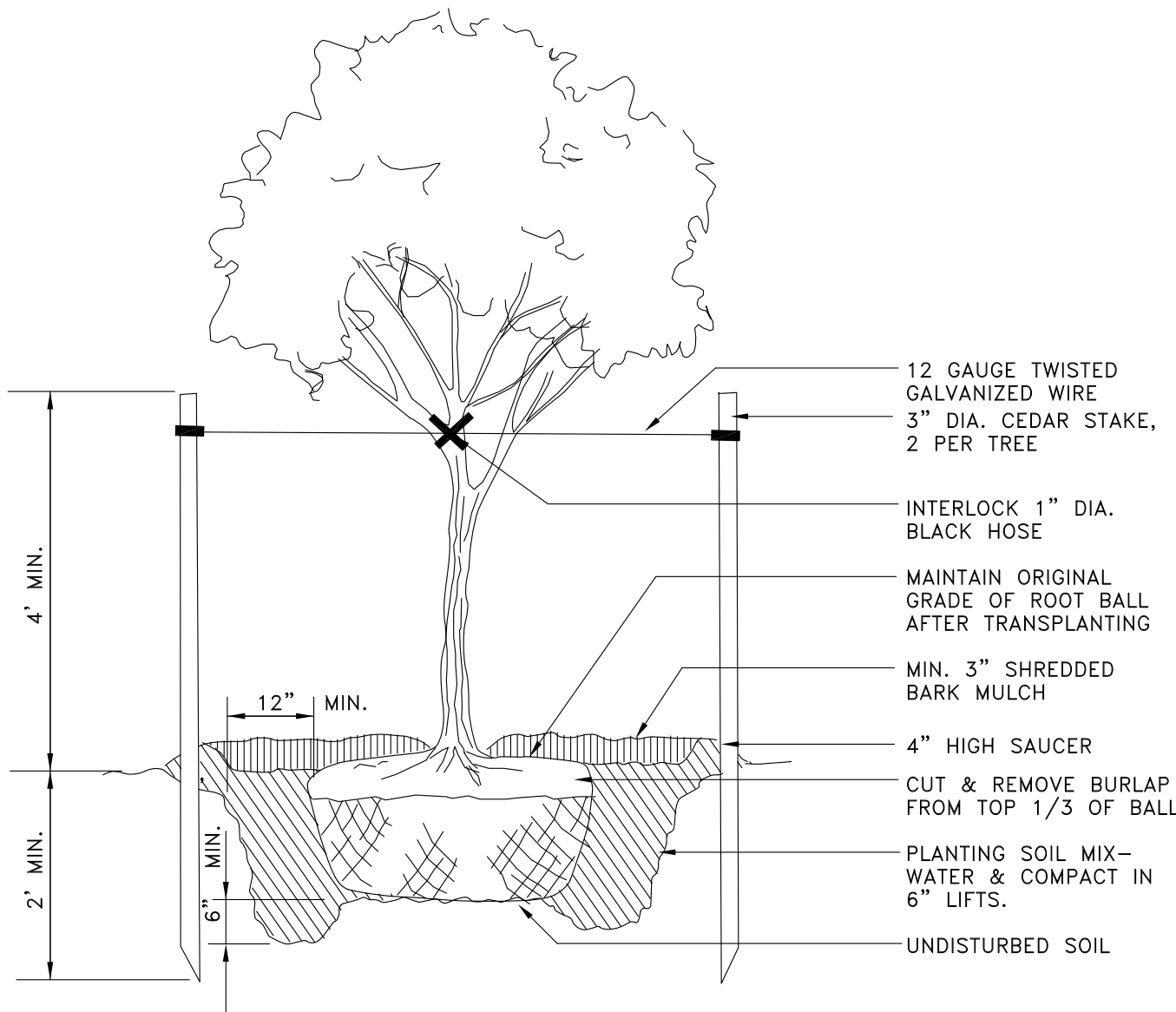
CHECKED BY: P.A.H.  
DATE: MARCH 15, 2018  
JOB No.: 2665  
SCALE: 1"= 20'

DRAWN BY: J.P.C.  
ACAD FILE: 2665-ES  
SHEET: 6 OF 10  
REVISIONS:  
APRIL 24, 2018 REVISION PER SITE PLAN REVIEW COMMITTEE COMMENTS 04/17/18

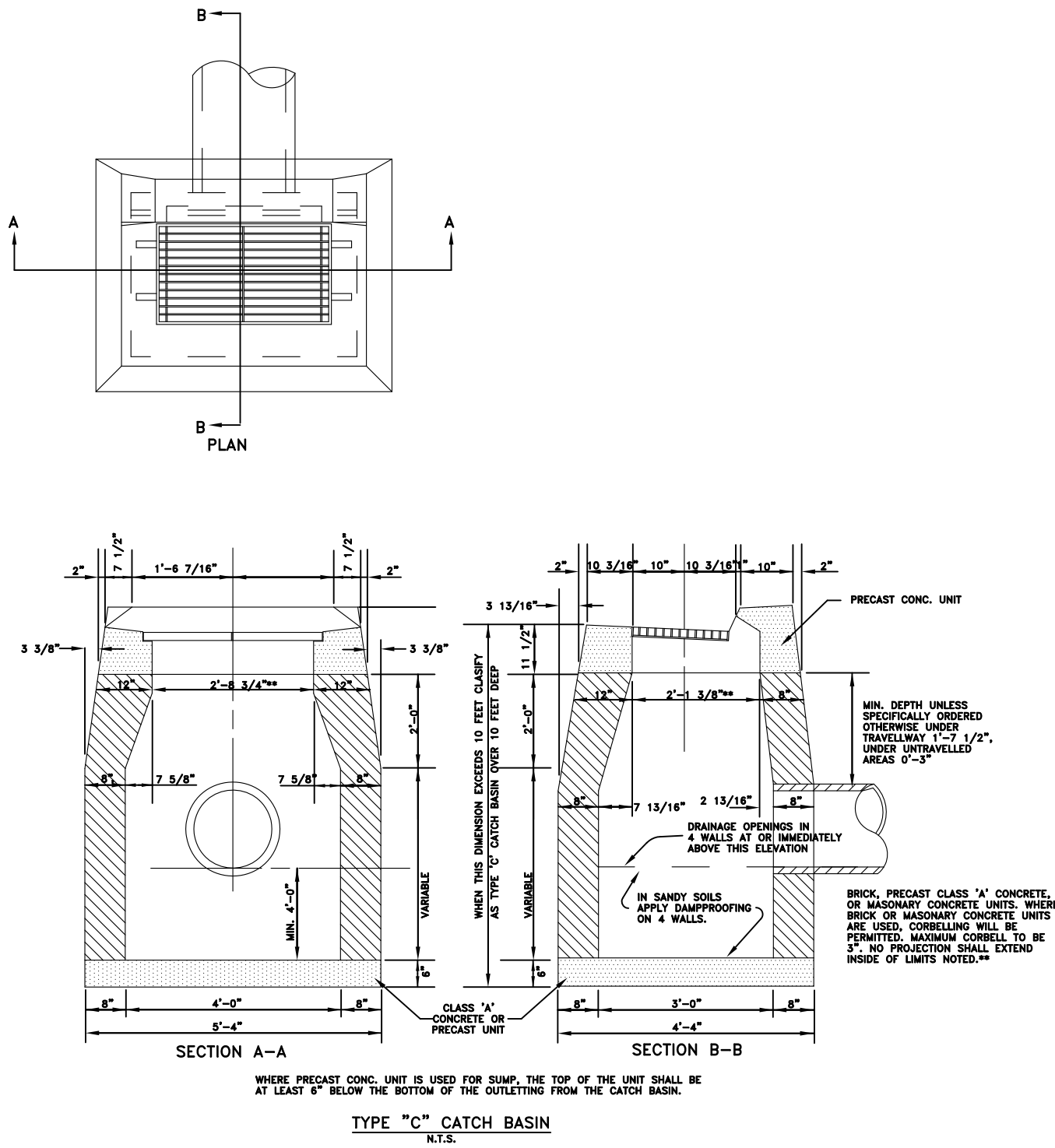
**HALLISEY, PEARSON & CASSIDY**  
CIVIL ENGINEERS & LAND SURVEYORS  
630 MAIN STREET, UNIT #1A  
CROWELL, CONNECTICUT 06416  
PHONE: (860)-529-6812, FAX: (860)-721-7709

STATE OF CONNECTICUT  
JAMES P. CASSIDY  
PROFESSIONAL LAND SURVEYOR  
NO. 20665  
CENSUS

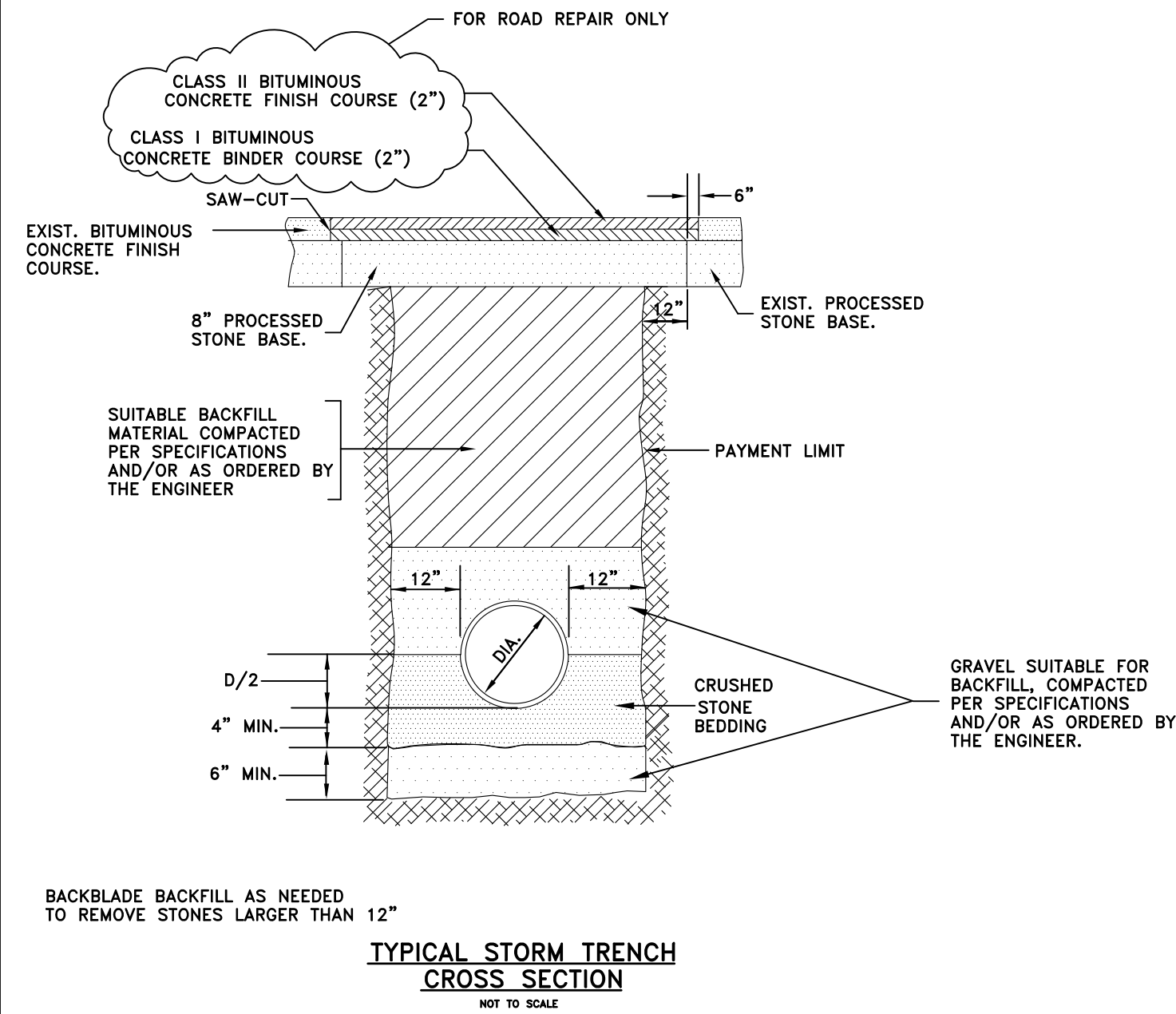




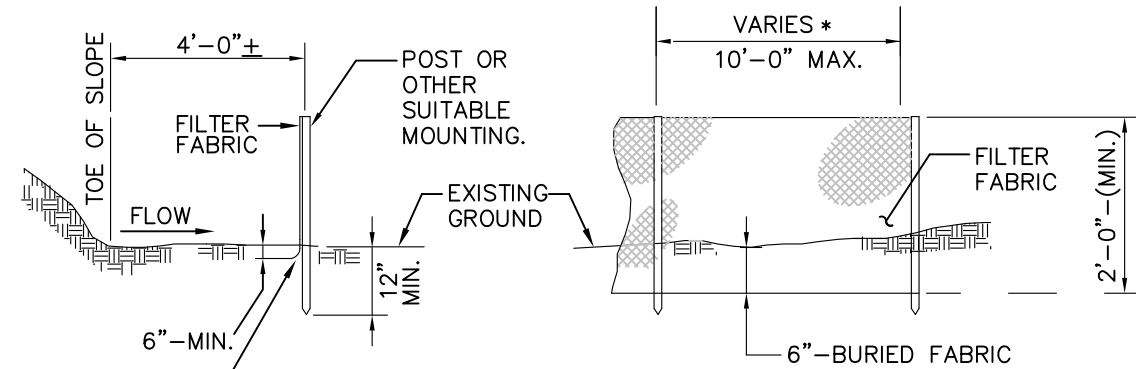
TREE PLANTING DETAIL  
N.T.S.



TYPE "C" CATCH BASIN  
N.T.S.



TYPICAL STORM TRENCH  
CROSS SECTION  
NOT TO SCALE



SECTION

ELEVATION

NOTE:  
\* POST SPACING AND EMBEDMENT VARIES BASED ON THE MANUFACTURERS REQUIREMENTS.

SILT FENCE  
NO SCALE

#### MAINTENANCE OF SILT FENCE

INSPECT THE SILT FENCE AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL AMOUNT OF 0.5 INCH OR GREATER TO DETERMINE MAINTENANCE NEEDS. WHEN USED FOR DEWATERING OPERATIONS, INSPECT FREQUENTLY BEFORE, DURING AND AFTER PUMPING OPERATIONS.

REMOVE THE SEDIMENT DEPOSITS OR, IF ROOM ALLOWS, INSTALL A SECONDARY SEDIMENT FENCE UP SLOPE OF THE EXISTING FENCE WHEN SEDIMENT DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE EXISTING FENCE.

REPLACE OR REPAIR THE FENCE WITHIN 24 HOURS OF OBSERVED FAILURE. FAILURE OF THE FENCE HAS OCCURRED WHEN SEDIMENT FAILS TO BE RETAINED BY THE FENCE BECAUSE:

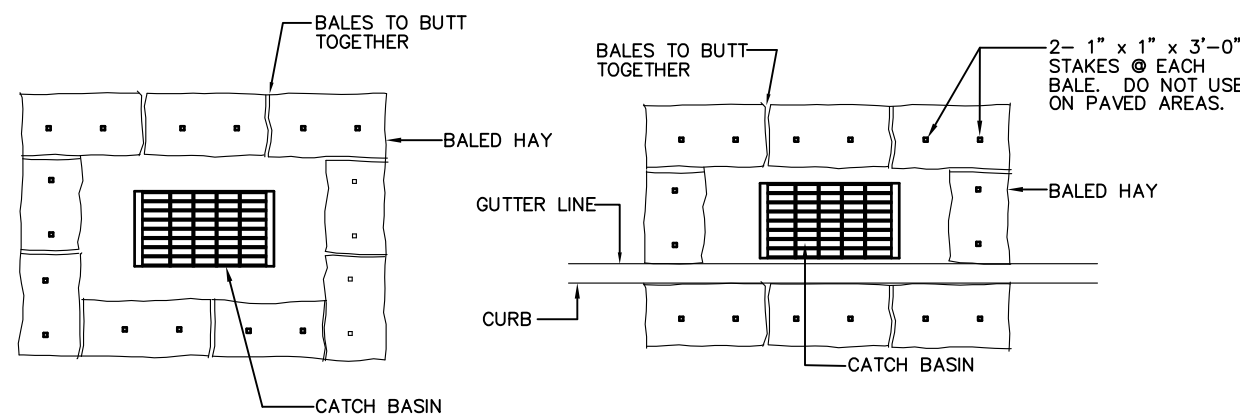
- THE FENCE HAS BEEN OVER TOPPED, UNDERCUT, OR BYPASSED BY RUNOFF WATER,
- THE FENCE HAS BEEN MOVED OUT OF POSITION (KNOCKED OVER), OR
- THE GEOTEXTILE HAS DECOMPOSED OR BEEN DAMAGED.

WHEN REPETITIVE FAILURES OCCUR AT THE SAME LOCATION, REVIEW CONDITIONS AND LIMITATION FOR USE AND DETERMINE IF ADDITIONAL CONTROLS (e.g. TEMPORARY STABILIZATION OF CONTRIBUTING AREA, DIVERSIONS, STONE BARRIERS) ARE NEEDED TO REDUCE FAILURE RATE OR REPLACE FENCE.

MAINTAIN THE FENCE UNTIL THE CONTRIBUTING AREA IS STABILIZED.

AFTER THE CONTRIBUTING AREA IS STABILIZED DETERMINE IF SEDIMENT CONTAINED BY THE SILT FENCE REQUIRES REMOVAL OR REGRADING AND STABILIZATION. IF THE DEPTH IS GREATER THAN OR EQUAL TO 6 INCHES, REGRADING OR REMOVAL OF THE ACCUMULATED SEDIMENT IS REQUIRED. NO REMOVAL OR REGRADING IS REQUIRED IF SEDIMENT DEPTH IS LESS THAN 6 INCHES.

REMOVE THE FENCE BY PULLING UP THE SUPPORT POSTS AND CUTTING THE GEOTEXTILE AT GROUND LEVEL. REGRADE OR REMOVE SEDIMENT AS NEEDED, AND STABILIZE DISTURBED SOILS.



CATCH BASIN WITHOUT CURB

CATCH BASIN WITH CURB

SEDIMENTATION CONTROL BALES  
NO SCALE

#### MAINTENANCE OF HAY BALE CHECK DAM

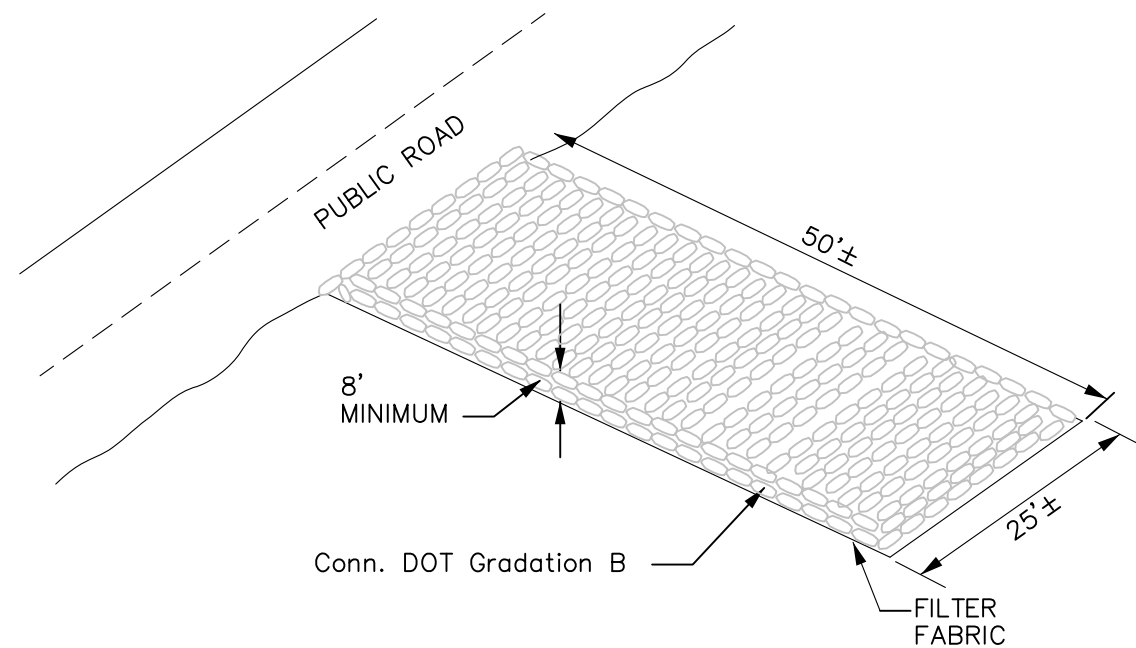
INSPECT THE HAY BALE CHECK DAM AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL AMOUNT OF 0.5 INCHES OR GREATER TO DETERMINE MAINTENANCE NEEDS. FOR DE WATERING OPERATIONS, INSPECT FREQUENTLY BEFORE, DURING AND AFTER PUMPING OPERATIONS.

REMOVE THE SEDIMENT DEPOSITS OR INSTALL A SECONDARY BARRIER WHEN SEDIMENT DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. REPLACE OR REPAIR THE BARRIER WITHIN 24 HOURS OF OBSERVED FAILURE. FAILURE OF THE BARRIER HAS OCCURRED WHEN SEDIMENT FAILS TO BE RETAINED BY THE BARRIER BECAUSE:

- THE BARRIER HAS BEEN OVERTOPPED, UNDERCUT, OR BYPASSED BY RUNOFF WATER
- THE BARRER HAS BEEN MOVED OUT OF POSITION.
- THE HAY BALES HAVE DETERIORATED.

WHEN REPETITIVE FAILURE OCCUR AT THE SAME LOCATION REVIEW CONDITIONS AND LIMITATIONS FOR USE AND DETERMINE IF ADDITIONAL CONTROLS ARE NEEDED TO REDUCE FAILURE RATE OR REPLACE HAY BALE BARRIER.

MAINTAIN HAY BALE BARRIER UNTIL CONTRIBUTING AREA IS STABILIZED. AFTER UPSLOPE AREAS HAVE BEEN STABILIZED PULL THE STAKES OUT OF THE HAYBALES. UNLESS OTHERWISE REQUIRED NO REMOVAL OF OR REGRADING OF ACCUMULATED SEDIMENT IS NECESSARY. THE HAY BALES MAY THEN BE LEFT IN PLACE OR BROKEN UP FOR GROUND COVER.

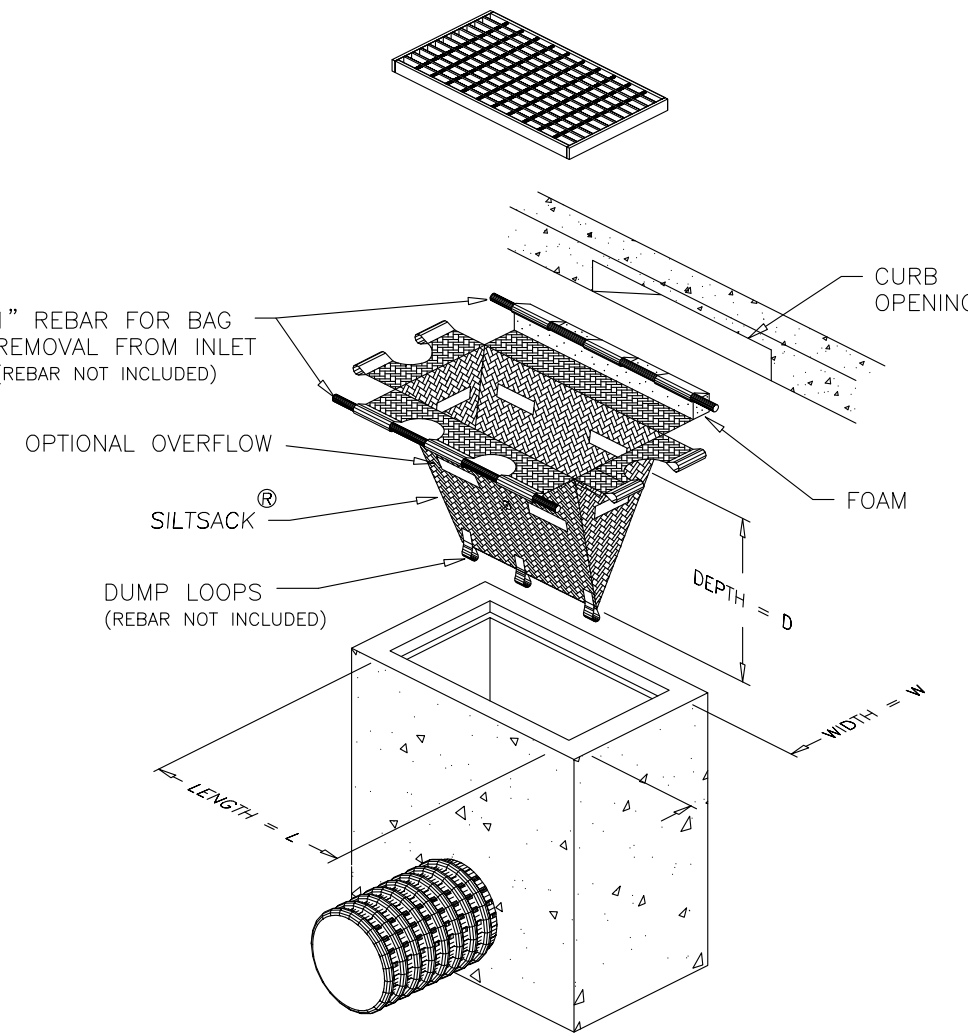


CONSTRUCTION ENTRANCE  
NO SCALE

#### MAINTENANCE OF CONSTRUCTION ENTRANCE

MAINTAIN THE ENTRANCE IN A CONDITION WHICH WILL PREVENT TRACKING AND WASHING OF SEDIMENT ONTO PAVED SURFACES. PROVIDE PERIODIC TOP DRESSING WITH ADDITIONAL STONE OR ADDITIONAL LENGTH AS CONDITIONS DEMAND. REPAIR ANY MEASURES USED TO TRAP SEDIMENT AS NEEDED. IMMEDIATELY REMOVE ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PAVED SURFACES. ROADS ADJACENT TO A CONSTRUCTION SITE SHALL BE LEFT CLEAN AT THE END OF EACH DAY.

IF THE CONSTRUCTION ENTRANCE IS BEING PROPERLY MAINTAINED AND THE ACTION OF VEHICLE TRAVELING OVER THE STONE PAD IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF THE SEDIMENT, THEN EITHER (1) INCREASE THE LENGTH OF THE CONSTRUCTION ENTRANCE, (2) MODIFY THE CONSTRUCTION ACCESS ROAD SURFACE, OR (3) INSTALL WASHING RACKS AND ASSOCIATED SETTLING AREA OR SIMILAR DEVICES BEFORE THE VEHICLE ENTERS A PAVED AREA.



DETAIL OF INLET SEDIMENT CONTROL DEVICE  
WITH CURB DEFLECTOR

TOWN OF EAST HARTFORD  
PLANNING AND ZONING COMMISSION  
SITE PLAN CERTIFICATE  
OF APPROVAL

APPROVAL DATE \_\_\_\_\_

EXPIRATION DATE \_\_\_\_\_

CHAIRMAN

#### NOTE:

The developer shall notify The Town of East Hartford Engineering Division 24 hours prior to beginning any storm drainage, roadway preparation, paving, sidewalk, curbing, street line monumentation, property corner pins, etc., to schedule inspections. The Division can be reached between 8:30 A.M. - 4:30 P.M. at 291-7380.

SCALE: 1"= 20'	CHECKED BY: P.A.H.
DATE: MARCH 15, 2018	DRAWN BY: J.P.C.
JOB No.: 2665	ACAD FILE: 2665-ES
SHEET: 7	OF: 10
REVISIONS:	APRIL 24, 2018 REVISED PER SITE PLAN REVIEW COMMITTEE COMMENTS 04/17/18

HALLISEY, PEARSON & CASSIDY  
CIVIL ENGINEERS & LAND SURVEYORS

630 MAIN STREET, UNIT #1A  
CROWELL, CONNECTICUT 06416

PHONE: (860)-529-6812, FAX: (860)-721-7709

#### SITE DETAILS

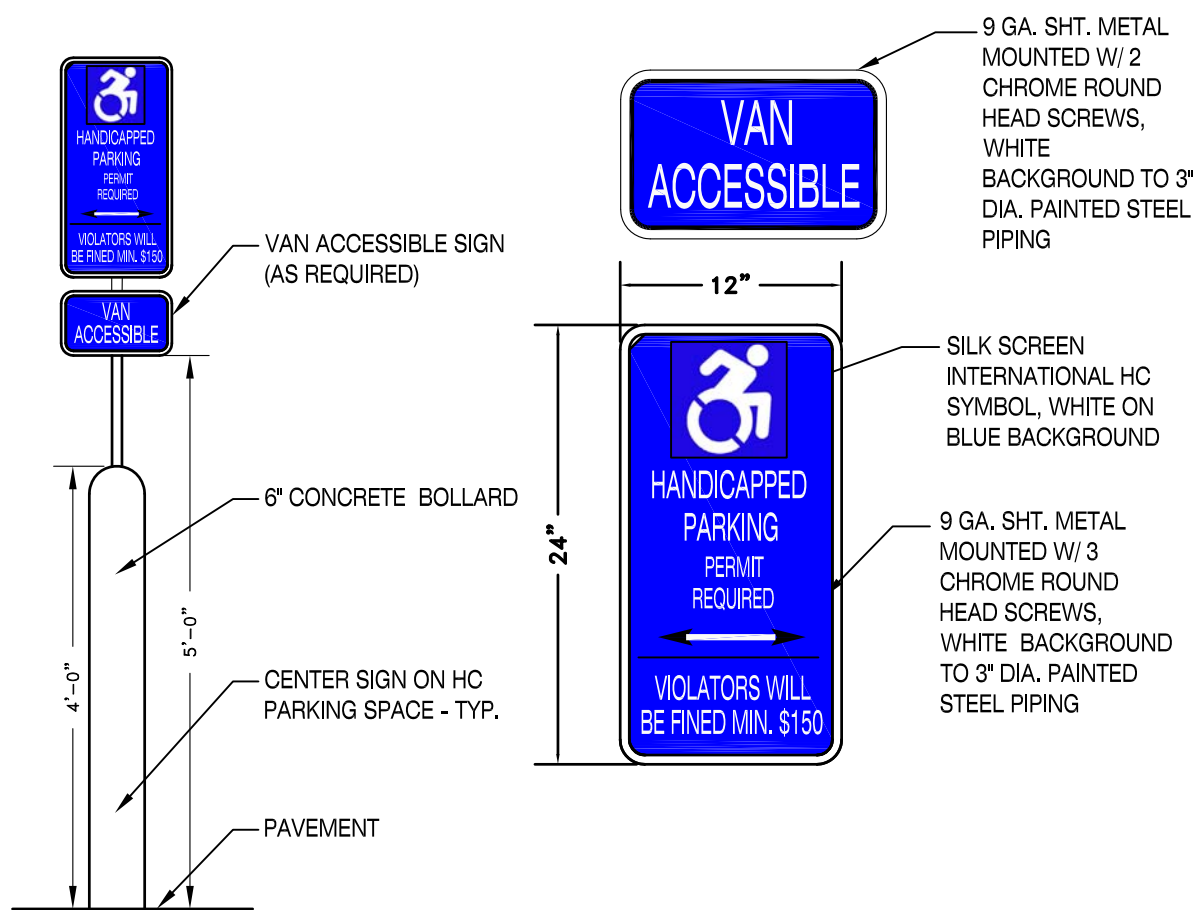
PREPARED FOR  
FREEMONT RIVERVIEW, LLC  
PROPERTY LOCATED AT  
#90 EAST RIVER DRIVE  
EAST HARTFORD, CONNECTICUT



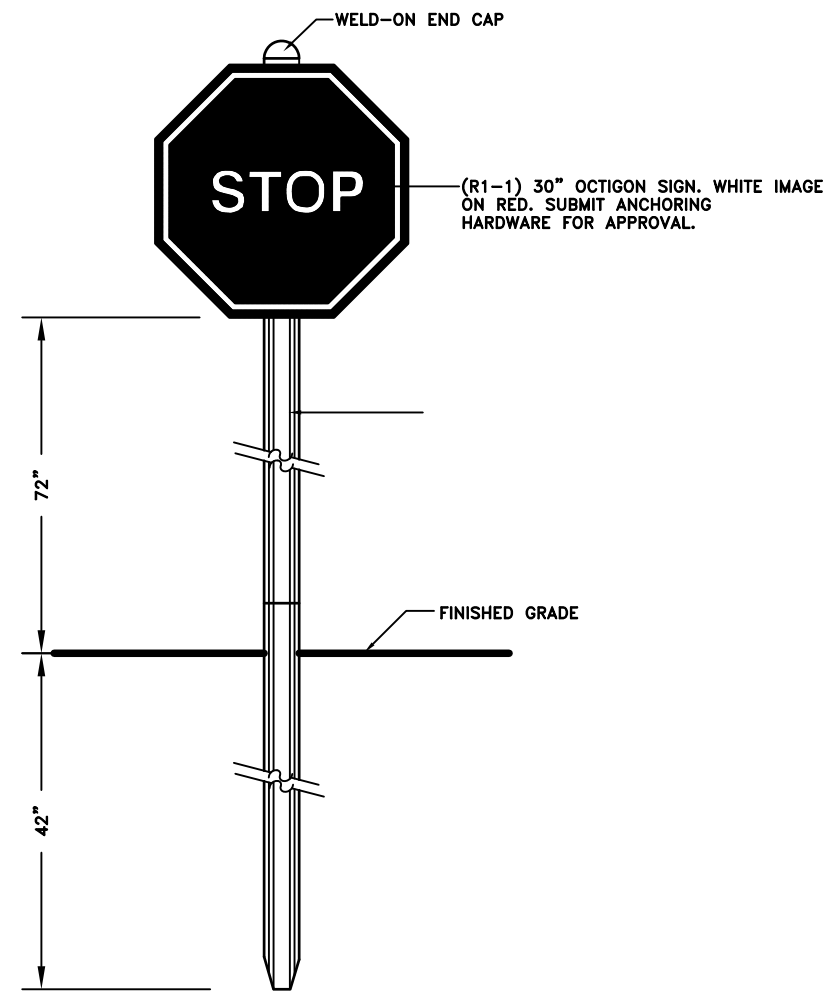




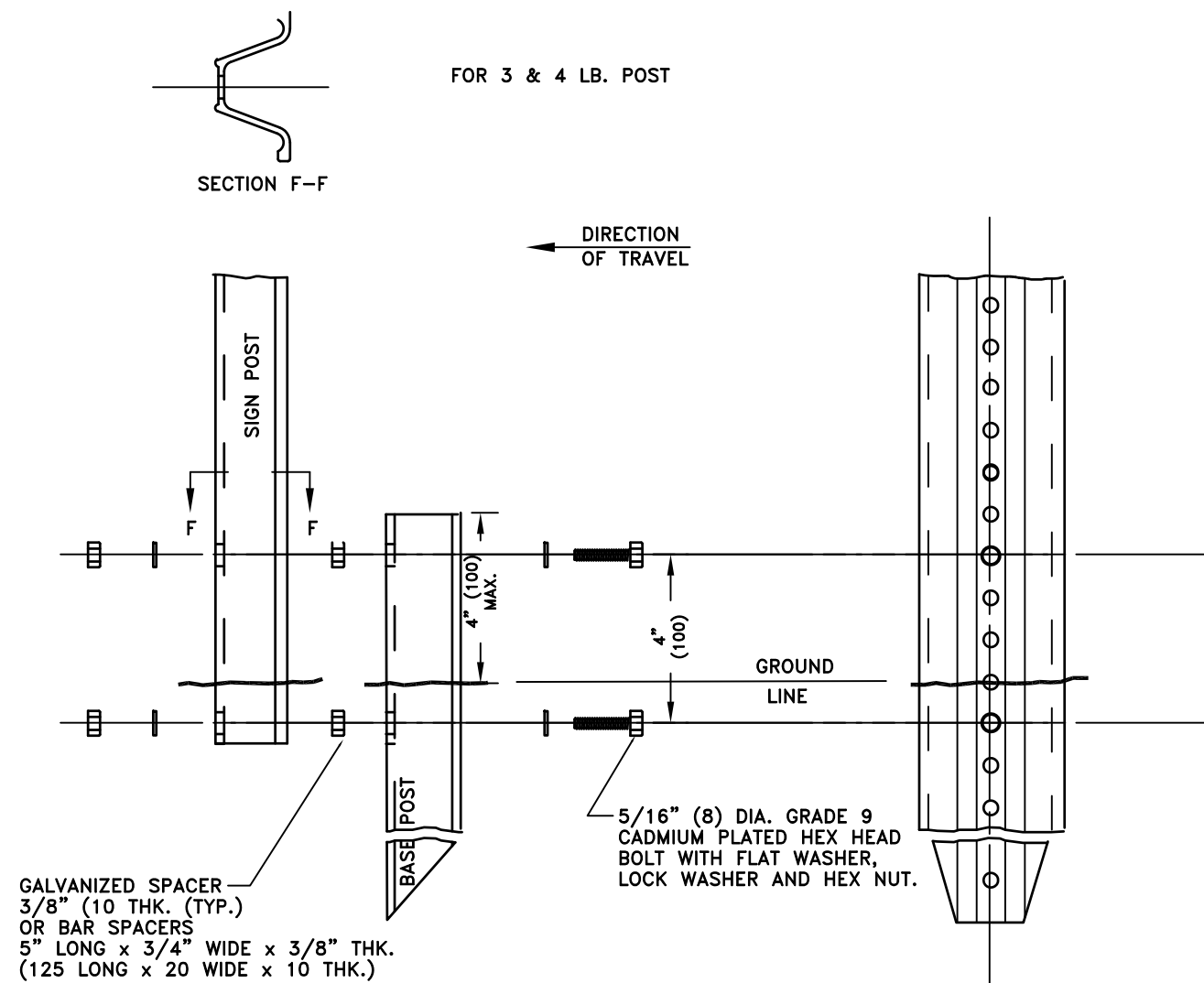
NEW ACCESSIBLE PARKING SPACE  
SYMBOL ADOPTED JUNE 2016.  
**PAINTED H.C. PARKING SYMBOL**  
NO SCALE



**B** HANDICAPPED PARKING SIGN DETAIL  
SCALE: N.T.S.



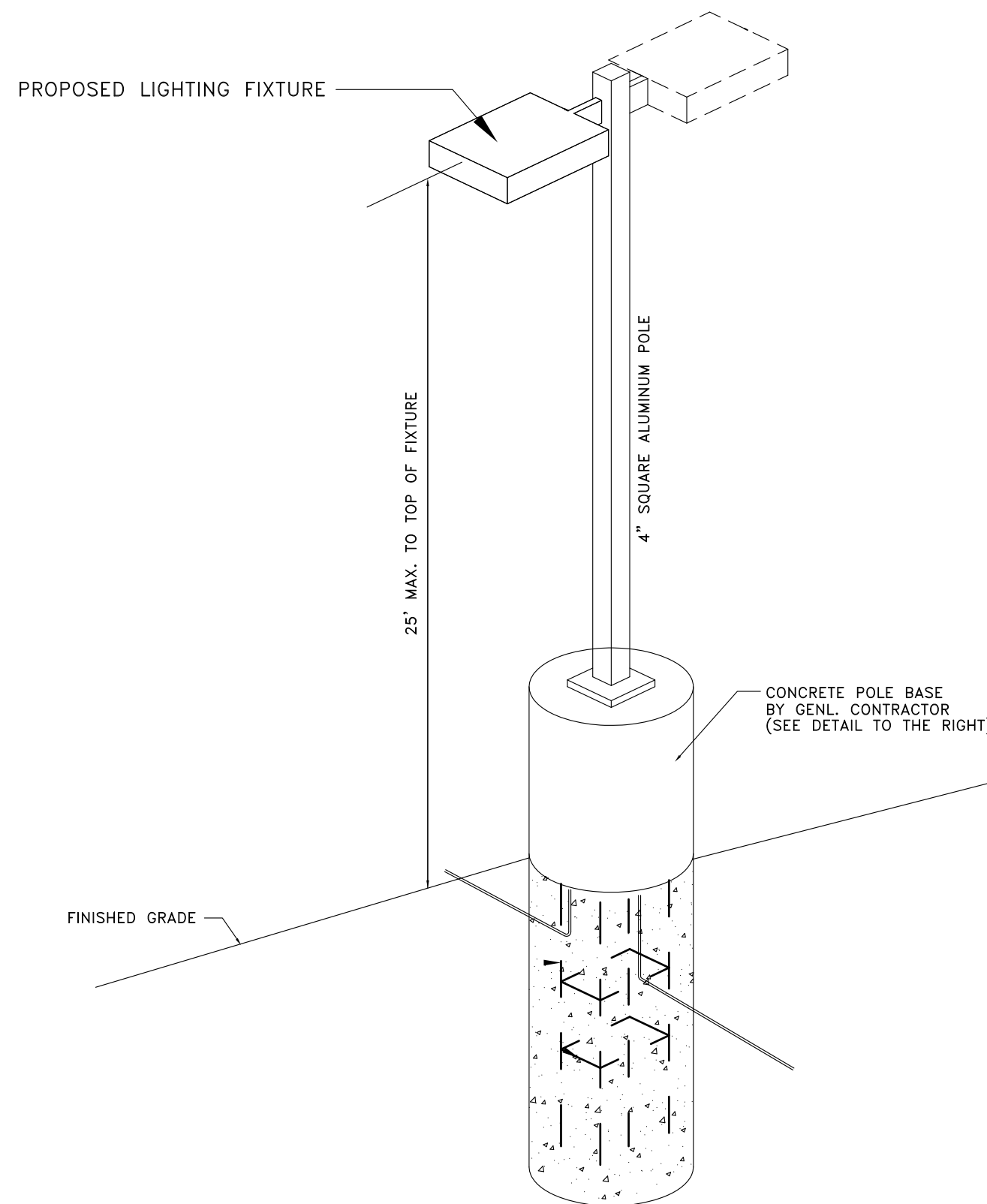
**STOP SIGNAGE DETAIL**  
N.T.S.



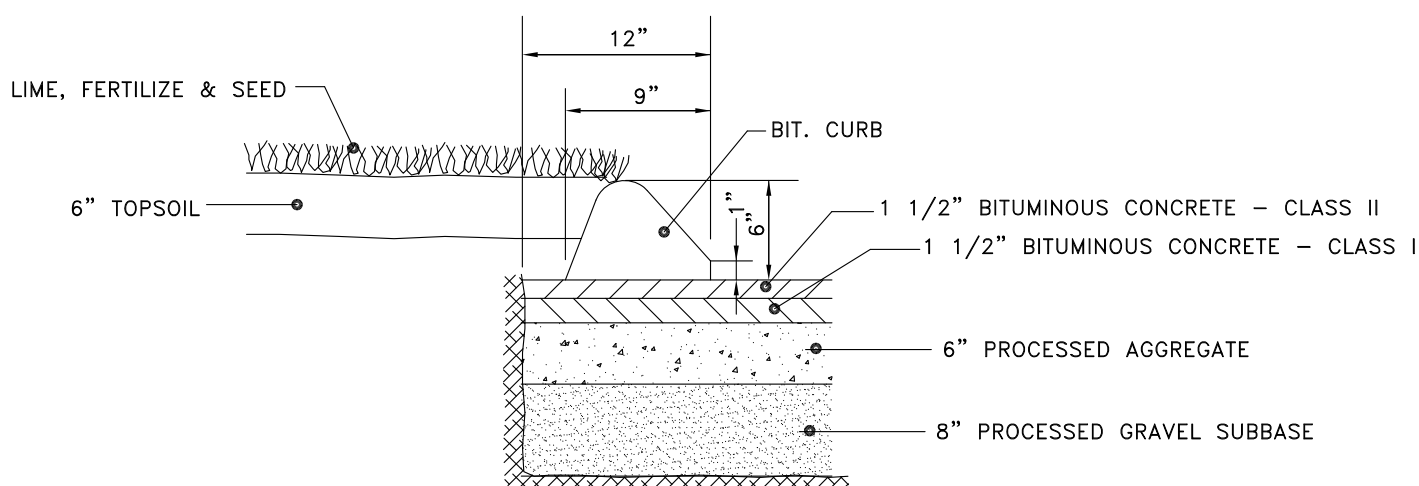
**BREAKAWAY TYPE II  
POST INSTALLATION DETAIL**  
N.T.S.

GENERAL NOTES:

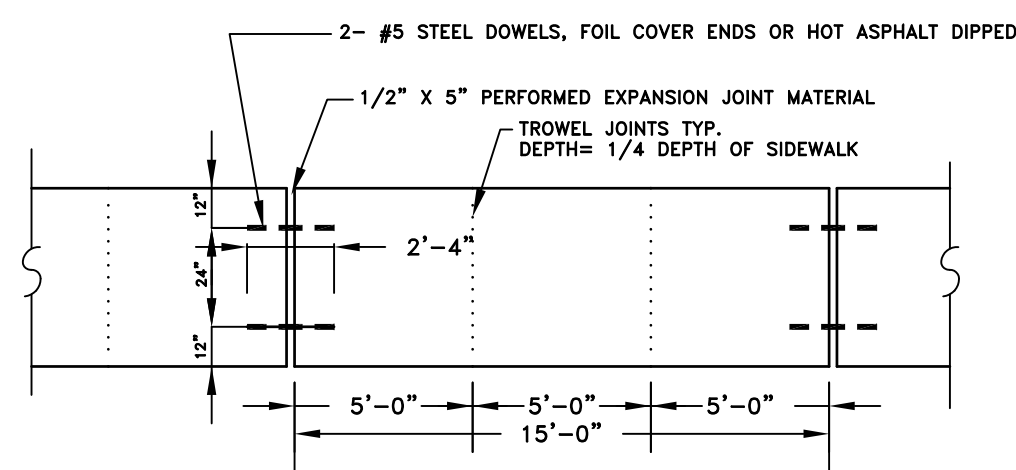
1. STEEL FOR DELINEATOR POST SHALL BE ASTM A36/A36(M) STEEL. STEEL FOR ALL OTHER POSTS SHALL CONFORM TO THE MECHANICAL REQUIREMENTS OF ASTM A 498 GRADE 60 AND TO CHEMICAL REQUIREMENTS OF ASTM A1 CARBON STEEL TEE RAIL HAVING NOMINAL WEIGHT (MASS) OF 91 lbs> (45 kg>) OR GREATER PER LINEAR YARD (METER).
2. AFTER FABRICATION, ALL STEEL POSTS, TRAPS AND PLATES SHALL BE GALVANIZED TO MEET THE REQUIREMENTS OF ASTM A123/A123(M).
3. WASHERS FOR BREAKAWAY INSTALLATIONS SHALL MEET ASTM F436, TYPE 1.
4. ALL BOLTS, NUTS, AND WASHERS FOR BREAKAWAY INSTALLATIONS SHALL BE GALVANIZED TO MEET THE REQUIREMENTS OF ASTM A153/A153 (m).
5. ALL SIGN POST SHALL HAVE BREAKAWAY FEATURES TO MEET AASHTO REQUIREMENTS CONTAINED IN THE CURRENT "STANDARD SPECIFICATIONS FOR STRUCTURAL SUPPORTS FOR HIGHWAY SIGNS, LUMINARIES AND TRAFFIC SIGNALS" THE BREAKAWAY FEATURES SHALL BE STRUCTURALLY ADEQUATE TO CARRY THE SIGNS SHOWN IN THE PLANS AT 60 mph (97 km/h) WIND LOADING. INSTALLATIONS SHALL BE IN ACCORDANCE WITH MANUFACTURING RECOMMENDATIONS.
6. TYPE A POST - 3 lbs./ft. (4.5 kg/m) TYPE B POST - 4 lbs./ft. (6 kg/m).



**LIGHT POLE DETAIL**  
N.T.S.

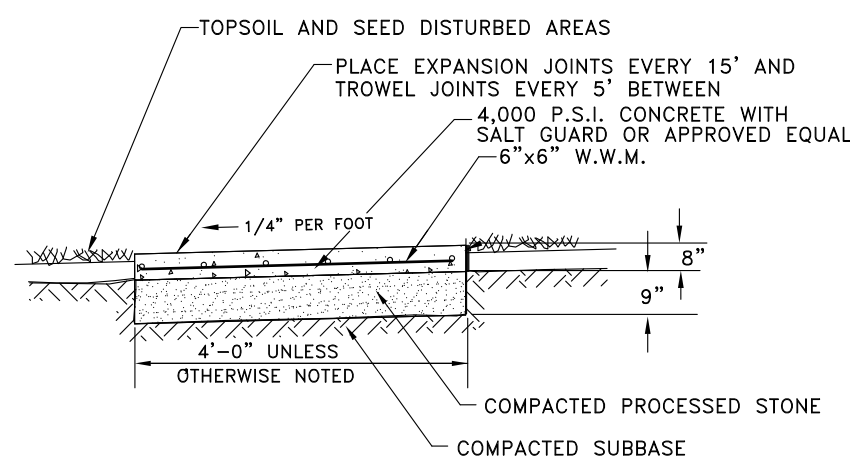


**BITUMINOUS CONCRETE PAVEMENT SECTION  
(NEW PARKING AREAS)**  
N.T.S.

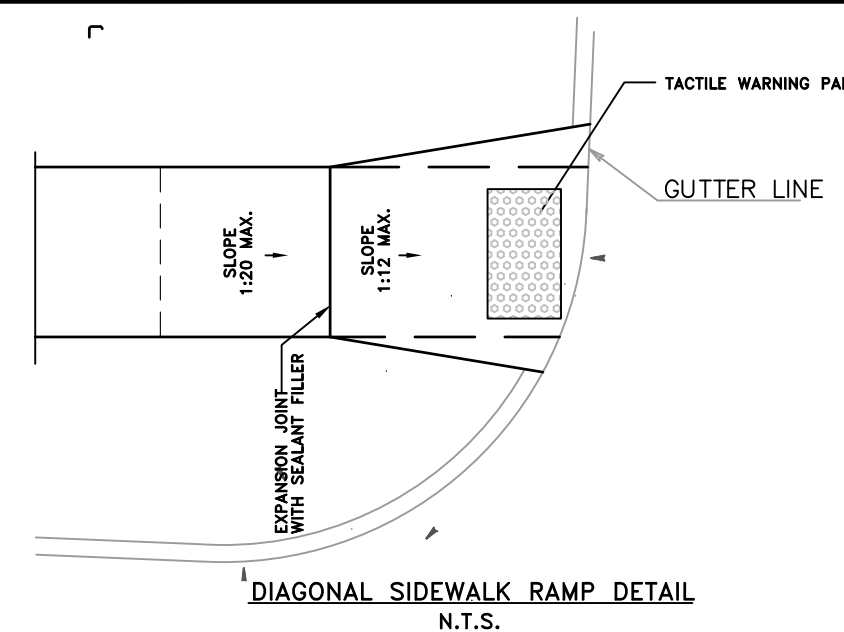


**PLAN VIEW OF SIDEWALK**  
N.T.S.

N.T.S.



**TYPICAL CONC. SIDEWALK DETAIL @ DRIVEWAY**  
N.T.S.



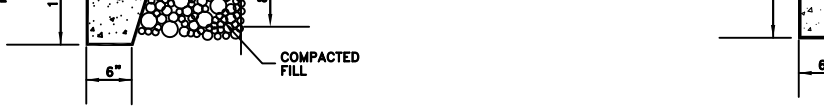
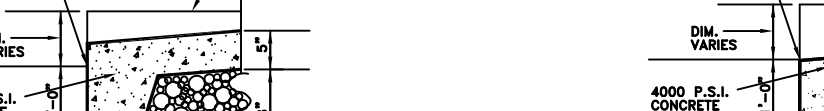
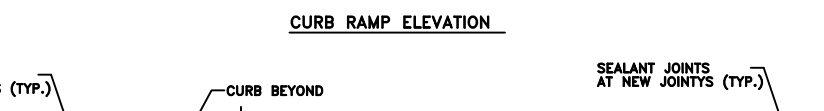
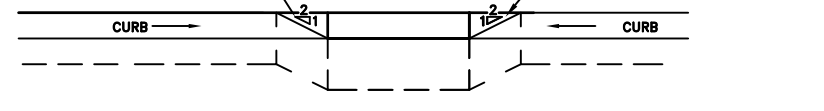
**DIAGONAL SIDEWALK RAMP DETAIL**  
N.T.S.

NOTES:

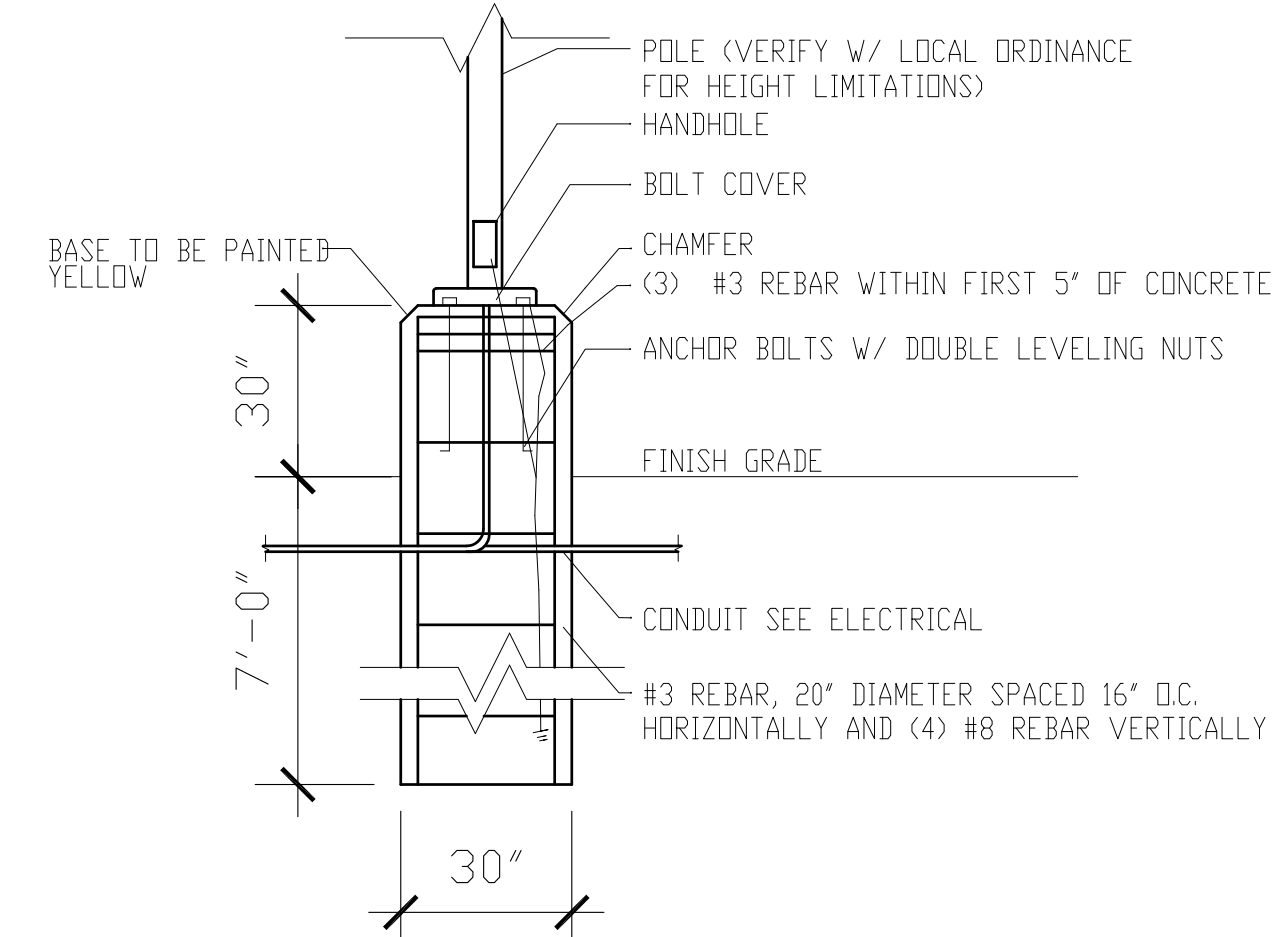
- 1) TRANSITIONS FROM TOP OF CURB RAMP DETECTABLE WARNING SURFACE TO ADJOINING SURFACES SHALL BE FLUSH AND FREE OF ABRUPT CHANGES (1/4" MAX.).
- 2) THE MAXIMUM SLOPE OF ADJOINING SURFACES TO THE CURB RAMP SHALL BE 1:20.
- 3) THE CROSS SLOPE OF ALL PORTIONS OF THE CURB RAMP SHALL NOT EXCEED 1:50.
- 4) CURB RAMP SHALL BE LOCATED TO PREVENT OBSTRUCTION BY PARKED VEHICLES.



**CURB RAMP ELEVATION**



**CUT-IN CURB RAMP TYPICAL LAYOUT TO  
MEET ADA REQUIREMENTS**  
N.T.S.



**LIGHT POLE BASE DETAIL**  
N.T.S.

TOWN OF EAST HARTFORD  
PLANNING AND ZONING COMMISSION  
SITE PLAN CERTIFICATE  
OF APPROVAL

APPROVAL DATE \_\_\_\_\_

EXPIRATION DATE \_\_\_\_\_

CHAIRMAN

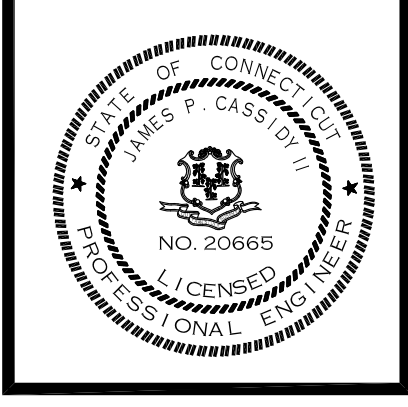
NOTE:

The developer shall notify The Town of East Hartford Engineering Division 24 hours prior to beginning any storm drainage, roadway preparation, paving, sidewalk, curbing, street line monumentation, property corner pins, etc., to schedule inspections. The Division can be reached between 8:30 A.M. - 4:30 P.M. at 291-7380.

SCALE: 1"= 20'	CHECKED BY: P.A.H.
DATE: MARCH 15, 2018	DRAWN BY: J.P.C.
JOB No.: 2665	ACAD FILE: 2665-ES
SHEET: 8	OF: 10
REVISIONS:	
APR 24 2018 REVISED PER SITE PLAN REVIEW COMMITTEE COMMENTS 04/17/18	

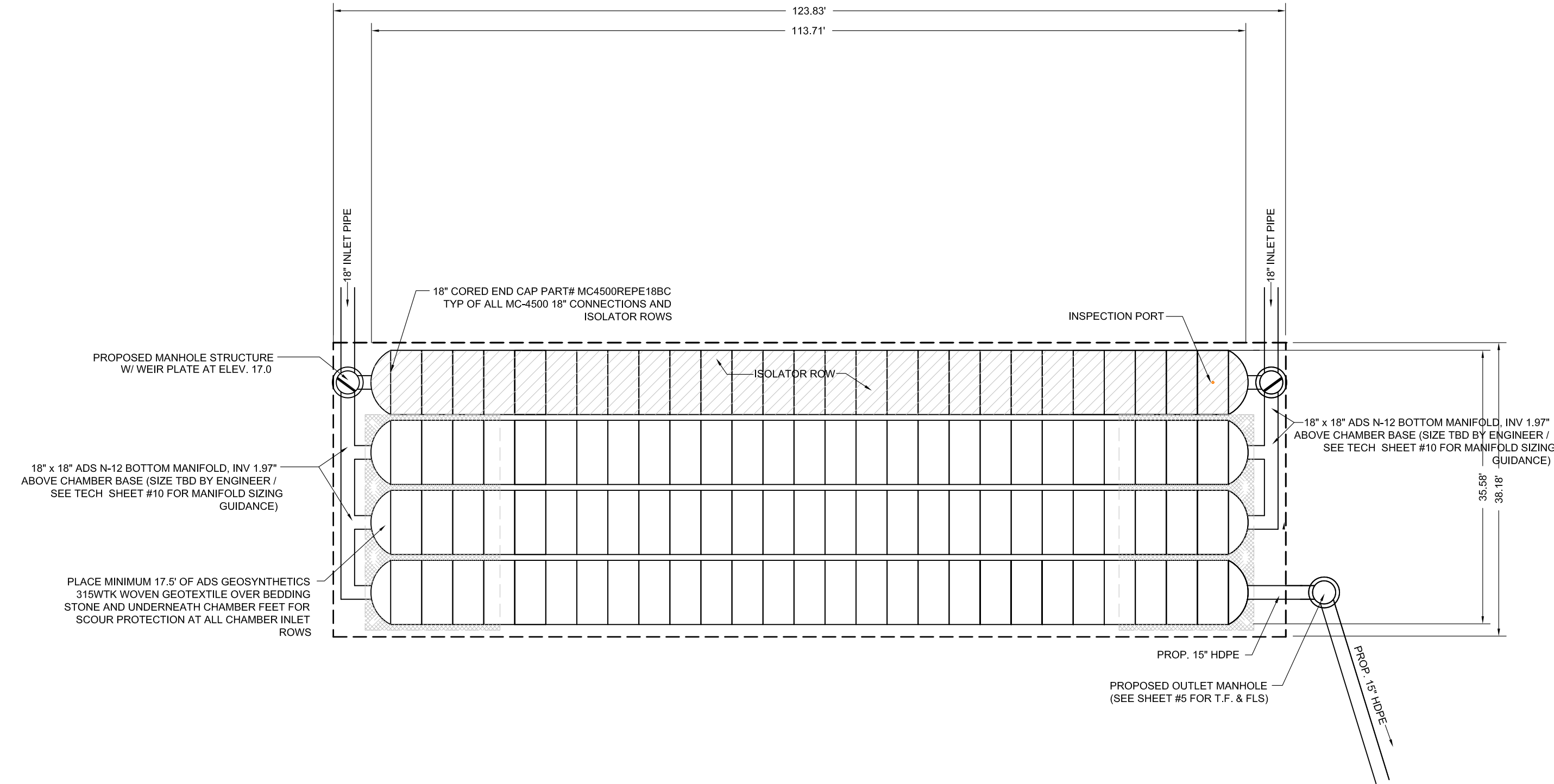
**HALLISEY, PEARSON & CASSIDY**  
CIVIL ENGINEERS & LAND SURVEYORS  
630 MAIN STREET, UNIT #1A  
CROWELL, CONNECTICUT 06416  
PHONE: (860) 529-6812, FAX: (860) 721-7709

**SITE DETAILS**  
PREPARED FOR  
FREMONT RIVERVIEW, LLC  
PROPERTY LOCATED AT  
#90 EAST RIVER DRIVE  
EAST HARTFORD, CONNECTICUT





CONCEPTUAL LAYOUT  
(108) STORMTECH MC-4500 CHAMBERS  
(8) STORMTECH MC-4500 END CAPS  
INSTALLED WITH 12" COVER STONE, 12" BASE STONE, 40% STONE VOID  
INSTALLED SYSTEM VOLUME: 20102 CF  
AREA OF SYSTEM: 4063 FT<sup>2</sup>  
PERIMETER OF SYSTEM: 332 FT



## PROPOSED UNDERGROUND INFILTRATION SYSTEM

NTS

### STORMWATER CHAMBER SPECIFICATIONS

- CHAMBERS SHALL BE STORMTECH MC-4500 OR APPROVED EQUAL.
- CHAMBERS SHALL BE MANUFACTURED FROM VIRGIN, IMPACT-MODIFIED POLYPROPYLENE COPOLYMERS.
- CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORT PANELS THAT WOULD IMPEDE FLOW OR LIMIT ACCESS FOR INSPECTION.
- THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL, AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET FOR: 1) LONG-DURATION DEAD LOADS AND 2) SHORT-DURATION LIVE LOADS, BASED ON THE AASHTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCES.
- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- CHAMBERS SHALL BE DESIGNED AND ALLOWABLE LOADS DETERMINED IN ACCORDANCE WITH ASTM F2787, "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- ONLY CHAMBERS THAT ARE APPROVED BY THE SITE DESIGN ENGINEER WILL BE ALLOWED. THE CHAMBER MANUFACTURER SHALL SUBMIT THE FOLLOWING UPON REQUEST TO THE SITE DESIGN ENGINEER FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE:
  - A STRUCTURAL EVALUATION SEALED BY A REGISTERED PROFESSIONAL ENGINEER THAT DEMONSTRATES THAT THE SAFETY FACTORS ARE GREATER THAN OR EQUAL TO 1.5X FOR DEAD LOAD AND 1.7X FOR LIVE LOAD, THE MINIMUM REQUIRED BY ASTM F2787 AND BY AASHTO FOR THERMOPLASTIC PIPE.<sup>1,2</sup>
  - A STRUCTURAL EVALUATION SEALED BY A REGISTERED PROFESSIONAL ENGINEER THAT DEMONSTRATES THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET, THE 50 YEAR CREEP MODULUS DATA SPECIFIED IN ASTM F2418 MUST BE USED AS PART OF THE AASHTO STRUCTURAL EVALUATION TO VERIFY LONG-TERM PERFORMANCE.
  - STRUCTURAL CROSS SECTION DETAIL ON WHICH THE STRUCTURAL EVALUATION IS BASED.
- CHAMBERS AND END CAPS SHALL BE PRODUCED AT AN ISO 9001 CERTIFIED MANUFACTURING FACILITY.

### IMPORTANT - NOTES FOR THE BIDDING AND INSTALLATION OF MC-4500 CHAMBER SYSTEM

- STORMTECH MC-4500 CHAMBERS SHALL NOT BE INSTALLED UNTIL THE MANUFACTURER'S REPRESENTATIVE HAS COMPLETED A PRE-CONSTRUCTION MEETING WITH THE INSTALLERS.<sup>1,2</sup>
- STORMTECH MC-4500 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH MC-3500/MC-4500 CONSTRUCTION GUIDE".<sup>1,2</sup>
- CHAMBERS ARE NOT TO BE BACKFILLED WITH A DOZER OR EXCAVATOR SITUATED OVER THE CHAMBERS.  
STORMTECH RECOMMENDS 3 BACKFILL METHODS:
  - STONES/ROCKS LOCATED OFF THE CHAMBER BED.
  - BACKFILL AS ROWS ARE BUILT USING AN EXCAVATOR ON THE FOUNDATION STONE OR SUBGRADE.
  - BACKFILL FROM OUTSIDE THE EXCAVATION USING A LONG BOOM HOE OR EXCAVATOR.
- THE FOUNDATION STONE SHALL BE LEVELED AND COMPACTED PRIOR TO PLACING CHAMBERS.
- JOINTS BETWEEN CHAMBERS SHALL BE PROPERLY SEATED PRIOR TO PLACING STONE.
- MAINTAIN MINIMUM - 9" (230 mm) SPACING BETWEEN THE CHAMBER ROWS.<sup>1,2</sup>
- INLET AND OUTLET MANIFOLDS MUST BE INSERTED A MINIMUM OF 12" (300 mm) INTO CHAMBER END CAPS.
- EMBEDMENT STONE SURROUNDING CHAMBERS MUST BE A CLEAN, CRUSHED, ANGULAR STONE 3/4-2" (20-50 mm) MEETING THE AASHTO M43 DESIGNATION OF #3 OR #4.<sup>1,2</sup>
- STONE SHALL BE BROUGHT UP EVENLY AROUND CHAMBERS SO AS NOT TO DISTORT THE CHAMBER SHAPE. STONE DEPTHS SHOULD NEVER DIFFER BY MORE THAN 12" (300 mm) BETWEEN ADJACENT CHAMBER ROWS.<sup>1,2</sup>
- STONE MUST BE PLACED ON THE TOP CENTER OF THE CHAMBER TO ANCHOR THE CHAMBERS IN PLACE AND PRESERVE ROW SPACING.<sup>1,2</sup>
- ADS RECOMMENDS THE USE OF "FLEXSTORM CATCH IT" INSERTS DURING CONSTRUCTION FOR ALL INLETS TO PROTECT THE SUBSURFACE STORMWATER MANAGEMENT SYSTEM FROM CONSTRUCTION SITE RUNOFF.

### NOTES FOR CONSTRUCTION EQUIPMENT

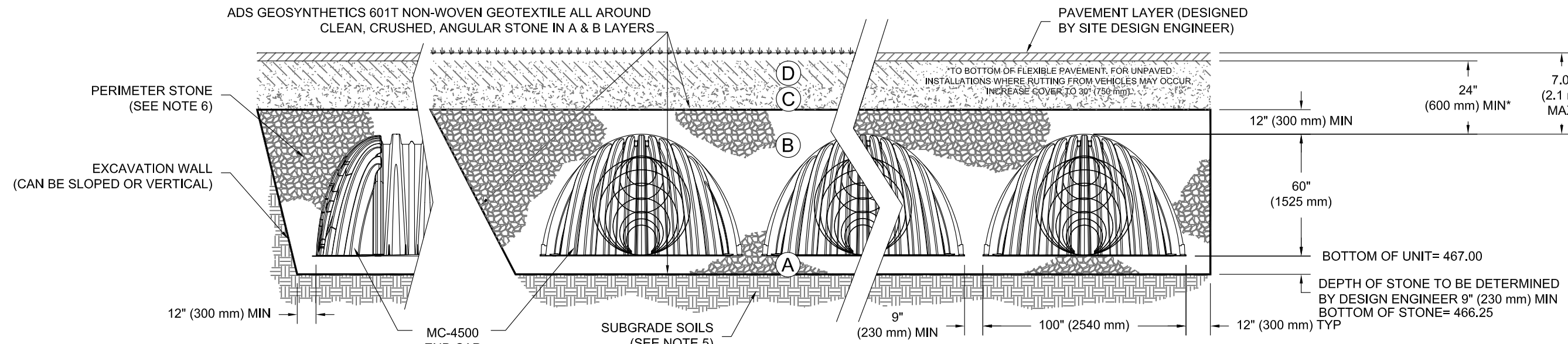
- STORMTECH MC-4500 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH MC-3500/MC-4500 CONSTRUCTION GUIDE".<sup>1,2</sup>
  - THE USE OF EQUIPMENT ON MC-4500 CHAMBERS IS LIMITED:
    - NO EQUIPMENT IS ALLOWED ON BARE CHAMBERS.
    - NO RUBBER TRED LOADER, DUMP TRUCK, OR EXCAVATORS ARE ALLOWED UNTIL PROPER FILL DEPTHS ARE REACHED IN ACCORDANCE WITH THE "STORMTECH MC-3500/MC-4500 CONSTRUCTION GUIDE".
    - WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT CAN BE FOUND IN THE "STORMTECH MC-3500/MC-4500 CONSTRUCTION GUIDE".
  - FULL 36" (900 mm) OF STABILIZED COVER MATERIALS OVER THE CHAMBERS IS REQUIRED FOR DUMP TRUCK TRAVEL OR DUMPING.  
USE OF A DOZER TO PUSH EMBEDMENT STONE BETWEEN THE CHAMBERS IS NOT AN ACCEPTABLE BACKFILL METHOD. ANY CHAMBERS DAMAGED BY USING THE "DUMP AND PUSH" METHOD ARE NOT COVERED UNDER THE STORMTECH STANDARD WARRANTY.<sup>1,2</sup>
- CONTACT STORMTECH AT 1-888-892-2694 WITH ANY QUESTIONS ON INSTALLATION REQUIREMENTS OR WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT.

### ACCEPTABLE FILL MATERIALS: STORMTECH MC-4500 CHAMBER SYSTEMS

	MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	<b>FINAL FILL:</b> FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	ANY SOIL/ROCK MATERIALS, NATIVE SOILS, OR PER ENGINEER'S PLANS. CHECK PLANS FOR PAVEMENT SUBGRADE REQUIREMENTS.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	<b>INITIAL FILL:</b> FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 24" (600 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, <35% FINES OR PROCESSED AGGREGATE.  MOST PAVEMENT SUBBASE MATERIALS CAN BE USED IN LIEU OF THIS LAYER.	AASHTO M145 <sup>1</sup> A-1, A-2-4, A-3  OR  AASHTO M43 <sup>1</sup>  3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 24" (600 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 12" (300 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS.
B	<b>EMBEDMENT STONE:</b> FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	CLEAN, CRUSHED, ANGULAR STONE, NOMINAL SIZE DISTRIBUTION BETWEEN 3/4-2 INCH (20-50 mm)	AASHTO M43 <sup>1</sup> 3, 4	NO COMPACTION REQUIRED.
A	<b>FOUNDATION STONE:</b> FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	CLEAN, CRUSHED, ANGULAR STONE, NOMINAL SIZE DISTRIBUTION BETWEEN 3/4-2 INCH (20-50 mm)	AASHTO M43 <sup>1</sup> 3, 4	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. <sup>1, 2</sup>

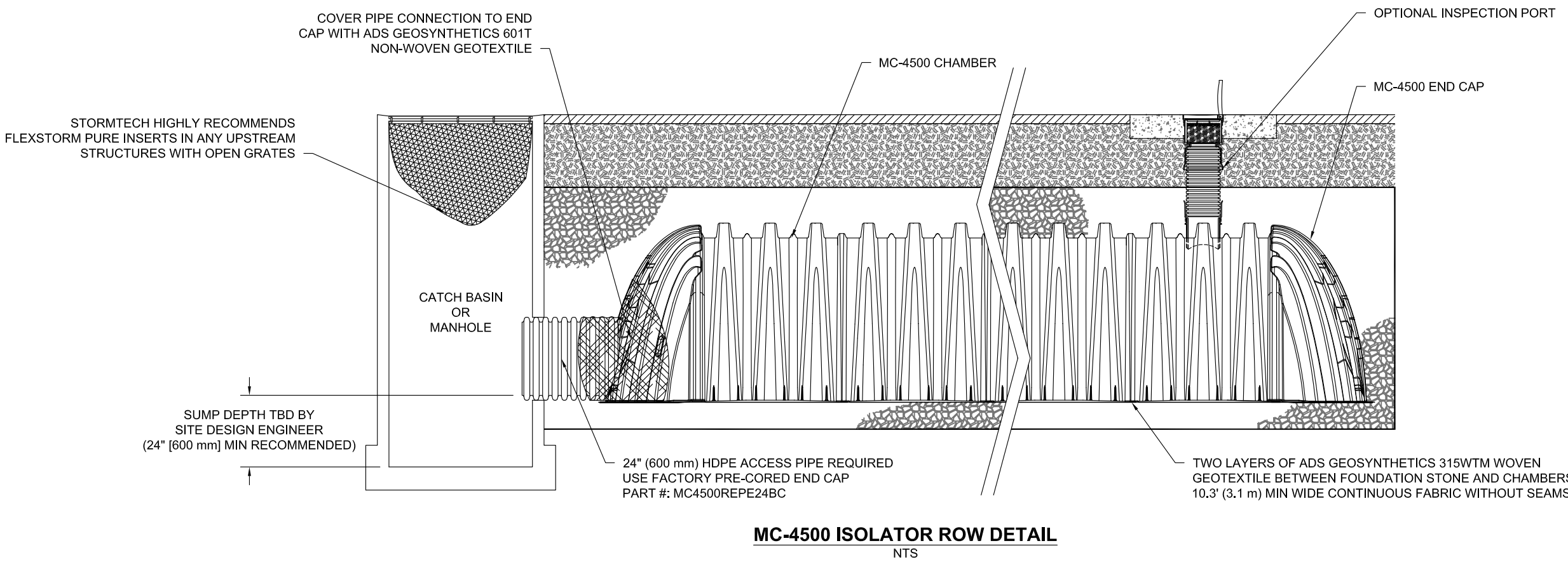
PLEASE NOTE:

- THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
- STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 9" (230 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
- WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.



### NOTES:

- MC-4500 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2418 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".<sup>1,2</sup>
- MC-4500 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".<sup>1,2</sup>
- "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEDMENT, AND FILL MATERIALS.<sup>1,2</sup>
- THE "SITE DESIGN ENGINEER" REFERS TO THE ENGINEER RESPONSIBLE FOR THE DESIGN AND LAYOUT OF THE STORMTECH CHAMBERS FOR THIS PROJECT.<sup>1,2</sup>
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.<sup>1,2</sup>
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.

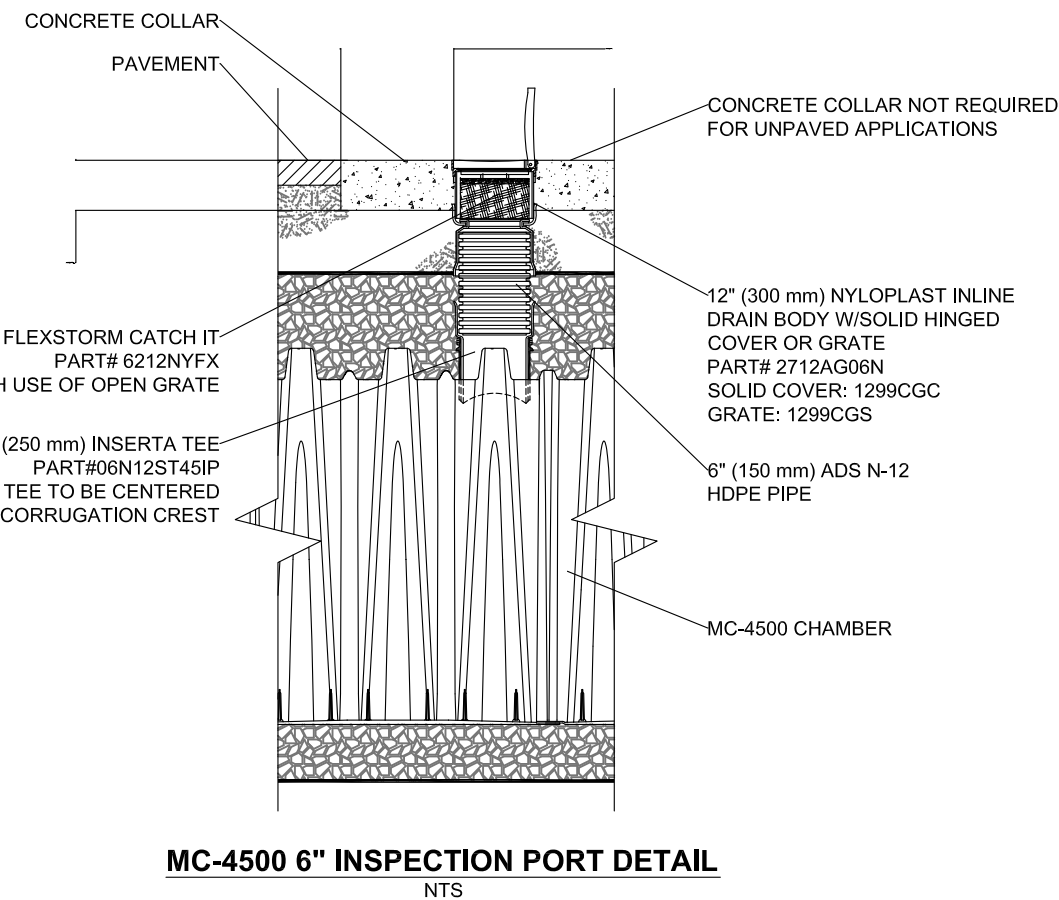


### INSPECTION & MAINTENANCE

- STEP 1) INSPECT ISOLATOR ROW FOR SEDIMENT
- A. INSPECTION PORTS (IF PRESENT)
- A.1. REMOVE/OPEN LID ON NYLOPLAST INLINE DRAIN
- A.2. REMOVE AND CLEAN FLEXSTORM FILTER IF INSTALLED
- A.3. USING A FLASHLIGHT AND STADIA ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG
- A.4. LOWER A CAMERA INTO ISOLATOR ROW FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL)
- A.5. IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
- B. ALL ISOLATOR ROWS
- B.1. REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW
- B.2. USING A FLASHLIGHT, INSPECT DOWN THE ISOLATOR ROW THROUGH OUTLET PIPE(S).<sup>1,2</sup> MIRRORS ON POLES OR CAMERAS MAY BE USED TO AVOID A CONFINED SPACE ENTRY.<sup>1,2</sup> FOLLOW OSHA REGULATIONS FOR CONFINED SPACE ENTRY IF ENTERING MANHOLE
- B.3. IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
- STEP 2) CLEAN OUT ISOLATOR ROW USING THE JETVAC PROCESS
- A. A FIXED CULVERT CLEANING NOZZLE WITH REAR FACING SPREAD OF 45° (1.1 m) OR MORE IS PREFERRED
- B. APPLY MULTIPLE PASSES OF JETVAC UNTIL BACKFLUSH WATER IS CLEAN
- C. VACUUM STRUCTURE SUMP AS REQUIRED
- STEP 3) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS; RECORD OBSERVATIONS AND ACTIONS.
- STEP 4) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.

### NOTES

- INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION. ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.<sup>1,2</sup>
- CONDUCT JETTING AND VACTORING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.



### SITE DETAILS

PREPARED FOR  
FREMONT RIVERVIEW, LLC  
PROPERTY LOCATED AT  
#90 EAST RIVER DRIVE  
EAST HARTFORD, CONNECTICUT



CHECKED BY: P.A.H.  
DATE: MARCH 15, 2018  
JOB No.: 2665  
SCALE: 1" = 20'

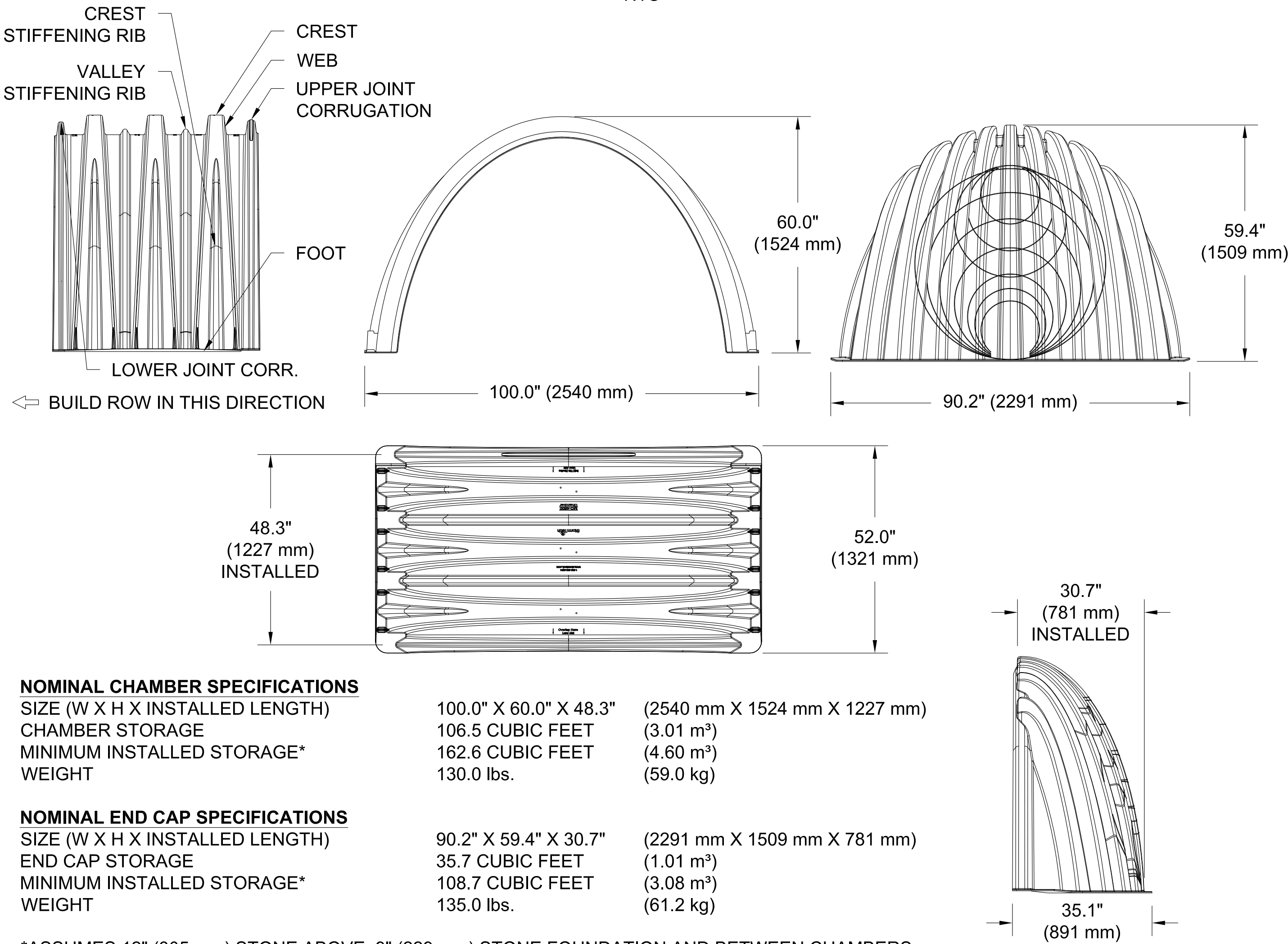
DRAWN BY: J.P.C.  
ACAD FILE: 2665-ES  
SHEET: 9 OF 10  
REVISIONS:  
APR 24, 2018 REVIEW PER SITE PLAN REVIEW COMMITTEE COMMENTS 04/17/18

**HALLISEY, PEARSON & CASSIDY**  
CIVIL ENGINEERS & LAND SURVEYORS  
630 MAIN STREET, UNIT #1A  
CROWELL, CONNECTICUT 06416  
PHONE: (860)-529-6812, FAX: (860)-721-7709



MC-4500 TECHNICAL SPECIFICATION

NTS



NOMINAL CHAMBER SPECIFICATIONS

SIZE (W X H X INSTALLED LENGTH)	100.0" X 60.0" X 48.3"	(2540 mm X 1524 mm X 1227 mm)
CHAMBER STORAGE	106.5 CUBIC FEET	(3.01 m³)
MINIMUM INSTALLED STORAGE*	162.6 CUBIC FEET	(4.60 m³)
WEIGHT	130.0 lbs.	(59.0 kg)

NOMINAL END CAP SPECIFICATIONS

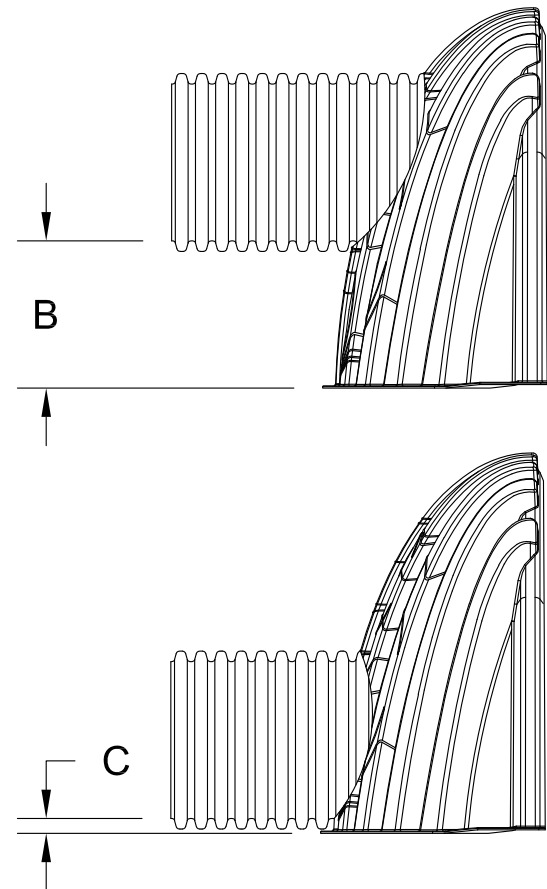
SIZE (W X H X INSTALLED LENGTH)	90.2" X 59.4" X 30.7"	(2291 mm X 1509 mm X 781 mm)
END CAP STORAGE	35.7 CUBIC FEET	(1.01 m³)
MINIMUM INSTALLED STORAGE*	108.7 CUBIC FEET	(3.08 m³)
WEIGHT	135.0 lbs.	(61.2 kg)

STUBS AT BOTTOM OF END CAP FOR PART NUMBERS ENDING WITH "B"  
STUBS AT TOP OF END CAP FOR PART NUMBERS ENDING WITH "T"

PART #	STUB	B	C
MC4500REPE06T	6" (150 mm)	42.54" (1.081 m)	---
MC4500REPE06B		---	0.86" (22 mm)
MC4500REPE08T	8" (200 mm)	40.50" (1.029 m)	---
MC4500REPE08B		---	1.01" (26 mm)
MC4500REPE10T	10" (250 mm)	38.37" (975 mm)	---
MC4500REPE10B		---	1.33" (34 mm)
MC4500REPE12T	12" (300 mm)	35.69" (907 mm)	---
MC4500REPE12B		---	1.55" (39 mm)
MC4500REPE15T	15" (375 mm)	32.72" (831 mm)	---
MC4500REPE15B		---	1.70" (43 mm)
MC4500REPE18TC	18" (450 mm)	29.36" (746 mm)	---
MC4500REPE18BC		---	1.97" (50 mm)
MC4500REPE24TC	24" (600 mm)	23.05" (585 mm)	---
MC4500REPE24BC		---	2.26" (57 mm)
MC4500REPE30BC	30" (750 mm)	---	2.95" (75 mm)
MC4500REPE36BC	36" (900 mm)	---	3.25" (83 mm)
MC4500REPE42BC	42" (1050 mm)	---	3.55" (90 mm)

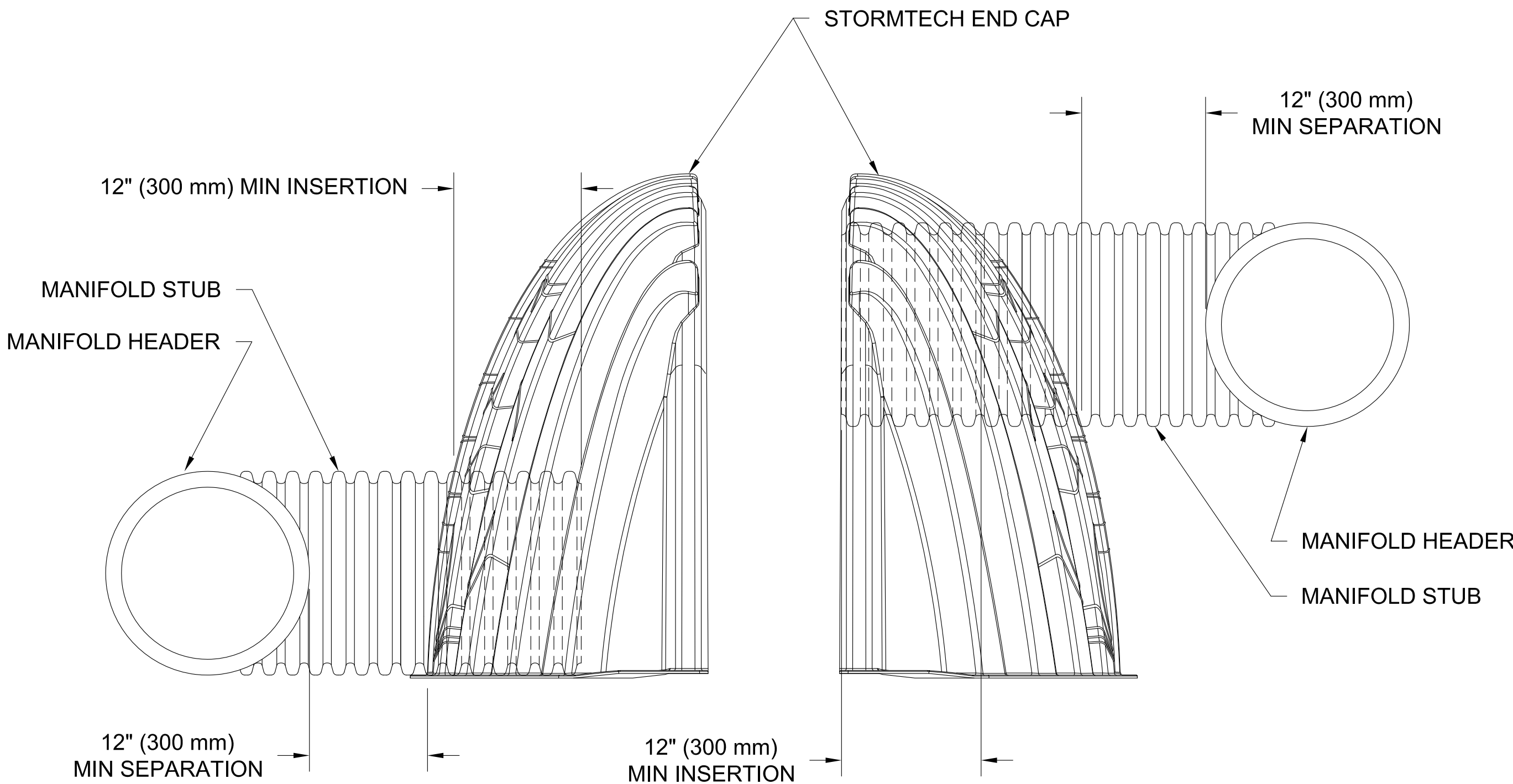
NOTE: ALL DIMENSIONS ARE NOMINAL

CUSTOM PRECURED INVERTS ARE AVAILABLE UPON REQUEST. INVENTORIED MANIFOLDS INCLUDE 12-24" (300-600 mm) SIZE ON SIZE AND 15-48" (375-1200 mm) ECCENTRIC MANIFOLDS. CUSTOM INVERT LOCATIONS ON THE MC-4500 END CAP CUT IN THE FIELD ARE NOT RECOMMENDED FOR PIPE SIZES GREATER THAN 10" (250 mm). THE INVERT LOCATION IN COLUMN 'B' ARE THE HIGHEST POSSIBLE FOR THE PIPE SIZE.



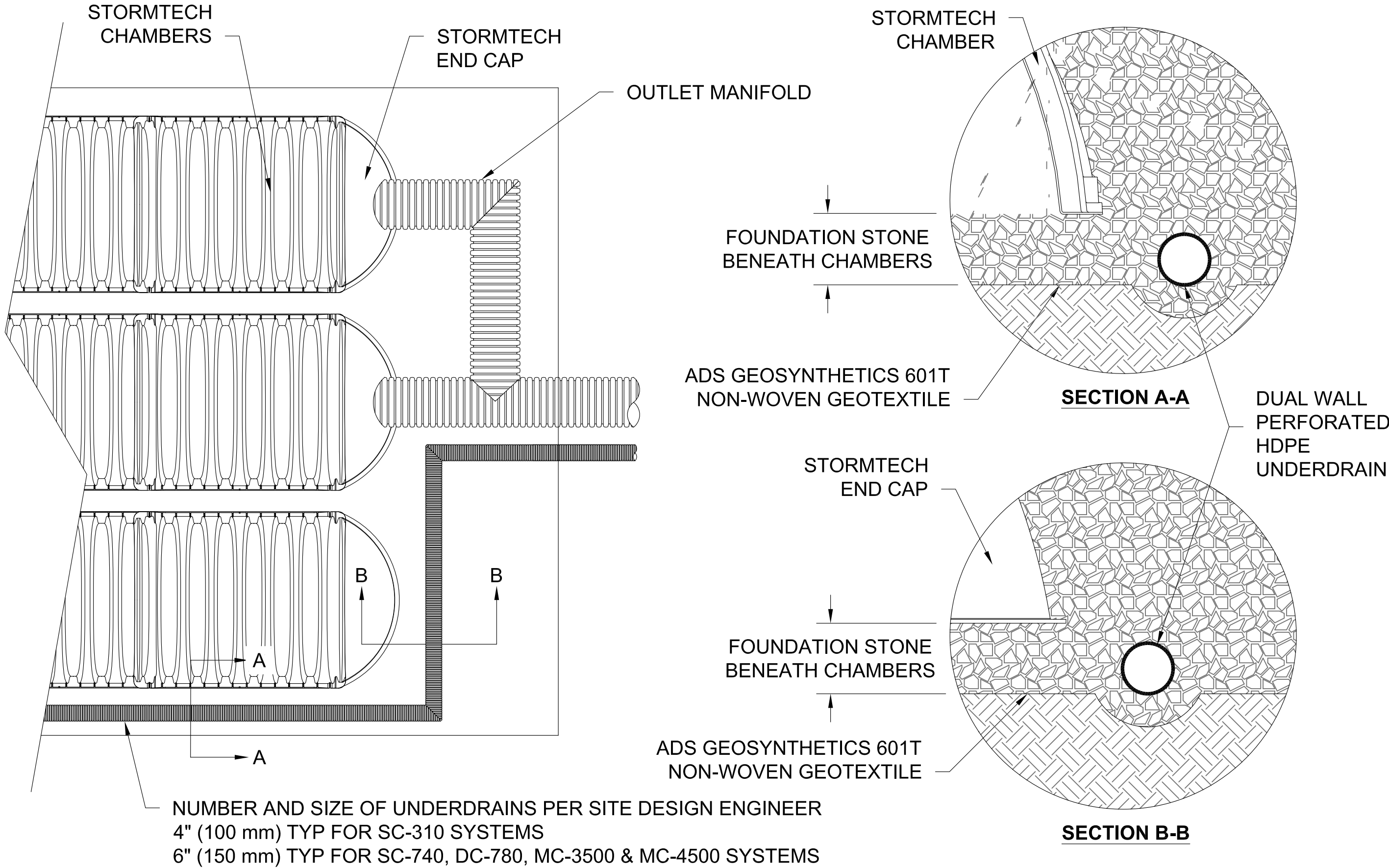
MC-SERIES END CAP INSERTION DETAIL

NTS




UNDERDRAIN DETAIL

NTS










Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
SITE	Illuminance	Fc	0.73	2.1	0.0	N.A.	N.A.
PARKING	Illuminance	Fc	1.24	2.1	0.4	3.10	5.25
PROPERTY LINE TRESPASS	Illuminance	Fc	0.13	0.4	0.0	N.A.	N.A.



## D-Series Size 1 LED Area Luminaire

**Capable Luminaire**

This item is an A+ Capable Luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency.
- This luminaire is A+ Certified when ordered with DTL1 controls marked by a **shaded background**.
- This luminaire is part of an A+ Certified solution for ROAM® or XPInt™ Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a **shaded background**.

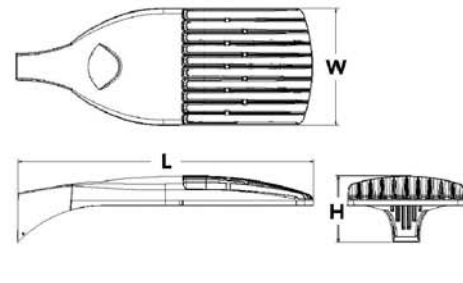
To learn more about A+, visit [www.acuitybrands.com/afplus](http://www.acuitybrands.com/afplus).

1. See ordering tree for details.

2. A+ Certified Solutions for ROAM require the order of one ROAM code per luminaire. Sold Separately. Link to Roaming Link to DTL DLL

### Specifications

<b>EPAL</b>	120° Beam
<b>Length</b>	33" (840mm)
<b>Width</b>	13" (330mm)
<b>Height</b>	7-1/2" (190mm)
<b>Weight (max)</b>	27 lbs (12kg)




### Ordering Information

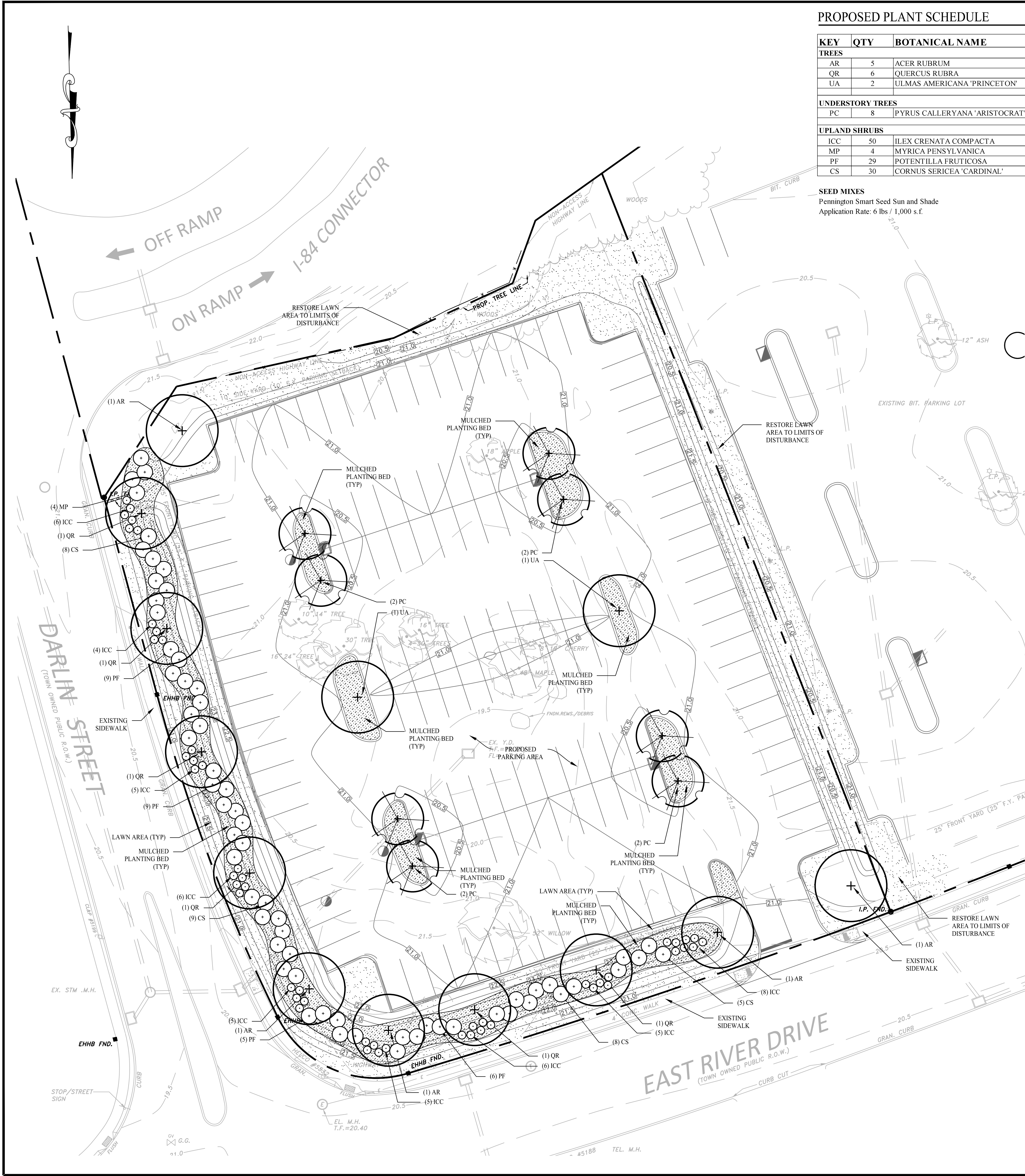
Series	LEDs	Color temperature	Distribution	Voltage	Mounting
<b>DSX1L</b>	<b>Forward optics</b>	<b>3000K</b>	<b>TTS</b> Type 1 short	<b>120V</b>	<b>Shipped included</b>
	<b>Reverse optics</b>	<b>3000K</b>	<b>TSS</b> Type 1 short	<b>240V</b>	<b>Shipped separately</b>
	<b>Forward optics</b>	<b>3000K</b>	<b>TSS</b> Type 1 medium	<b>120V</b>	<b>Shipped included</b>
	<b>Reverse optics</b>	<b>3000K</b>	<b>TSS</b> Type 1 medium	<b>240V</b>	<b>Shipped separately</b>
	<b>Forward optics</b>	<b>3000K</b>	<b>TSS</b> Type 1 long	<b>120V</b>	<b>Shipped included</b>
	<b>Reverse optics</b>	<b>3000K</b>	<b>TSS</b> Type 1 long	<b>240V</b>	<b>Shipped separately</b>
	<b>Forward optics</b>	<b>3000K</b>	<b>TSS</b> Type 1 wide	<b>120V</b>	<b>Shipped included</b>
	<b>Reverse optics</b>	<b>3000K</b>	<b>TSS</b> Type 1 wide	<b>240V</b>	<b>Shipped separately</b>
	<b>Forward optics</b>	<b>3000K</b>	<b>TSS</b> Type 1 very wide	<b>120V</b>	<b>Shipped included</b>
	<b>Reverse optics</b>	<b>3000K</b>	<b>TSS</b> Type 1 very wide	<b>240V</b>	<b>Shipped separately</b>
	<b>Forward optics</b>	<b>3000K</b>	<b>TSS</b> Type 1 very long	<b>120V</b>	<b>Shipped included</b>
	<b>Reverse optics</b>	<b>3000K</b>	<b>TSS</b> Type 1 very long	<b>240V</b>	<b>Shipped separately</b>
	<b>Forward optics</b>	<b>3000K</b>	<b>TSS</b> Type 1 very wide	<b>120V</b>	<b>Shipped included</b>
	<b>Reverse optics</b>	<b>3000K</b>	<b>TSS</b> Type 1 very wide	<b>240V</b>	<b>Shipped separately</b>
	<b>Forward optics</b>	<b>3000K</b>	<b>TSS</b> Type 1 very long	<b>120V</b>	<b>Shipped included</b>
	<b>Reverse optics</b>	<b>3000K</b>	<b>TSS</b> Type 1 very long	<b>240V</b>	<b>Shipped separately</b>
	<b>Forward optics</b>	<b>3000K</b>	<b>TSS</b> Type 1 very wide	<b>120V</b>	<b>Shipped included</b>
	<b>Reverse optics</b>	<b>3000K</b>	<b>TSS</b> Type 1 very wide	<b>240V</b>	<b>Shipped separately</b>
	<b>Forward optics</b>	<b>3000K</b>	<b>TSS</b> Type 1 very long	<b>120V</b>	<b>Shipped included</b>
	<b>Reverse optics</b>	<b>3000K</b>	<b>TSS</b> Type 1 very long	<b>240V</b>	<b>Shipped separately</b>
	<b>Forward optics</b>	<b>3000K</b>	<b>TSS</b> Type 1 very wide	<b>120V</b>	<b>Shipped included</b>
	<b>Reverse optics</b>	<b>3000K</b>	<b>TSS</b> Type 1 very wide	<b>240V</b>	<b>Shipped separately</b>
	<b>Forward optics</b>	<b>3000K</b>	<b>TSS</b> Type 1 very long	<b>120V</b>	<b>Shipped included</b>
	<b>Reverse optics</b>	<b>3000K</b>	<b>TSS</b> Type 1 very long	<b>240V</b>	<b>Shipped separately</b>
	<b>Forward optics</b>	<b>3000K</b>	<b>TSS</b> Type 1 very wide	<b>120V</b>	<b>Shipped included</b>
	<b>Reverse optics</b>	<b>3000K</b>	<b>TSS</b> Type 1 very wide	<b>240V</b>	<b>Shipped separately</b>
	<b>Forward optics</b>	<b>3000K</b>	<b>TSS</b> Type 1 very long	<b>120V</b>	<b>Shipped included</b>
	<b>Reverse optics</b>	<b>3000K</b>	<b>TSS</b> Type 1 very long	<b>240V</b>	<b>Shipped separately</b>
	<b>Forward optics</b>	<b>3000K</b>	<b>TSS</b> Type 1 very wide	<b>120V</b>	<b>Shipped included</b>
	<b>Reverse optics</b>	<b>3000K</b>	<b>TSS</b> Type 1 very wide	<b>240V</b>	<b>Shipped separately</b>
	<b>Forward optics</b>	<b>3000K</b>	<b>TSS</b> Type 1 very long	<b>120V</b>	<b>Shipped included</b>
	<b>Reverse optics</b>	<b>3000K</b>	<b>TSS</b> Type 1 very long	<b>240V</b>	<b>Shipped separately</b>
	<b>Forward optics</b>	<b>3000K</b>	<b>TSS</b> Type 1 very wide	<b>120V</b>	<b>Shipped included</b>
	<b>Reverse optics</b>	<b>3000K</b>	<b>TSS</b> Type 1 very wide	<b>240V</b>	<b>Shipped separately</b>
	<b>Forward optics</b>	<b>3000K</b>	<b>TSS</b> Type 1 very long	<b>120V</b>	<b>Shipped included</b>
	<b>Reverse optics</b>	<b>3000K</b>	<b>TSS</b> Type 1 very long	<b>240V</b>	<b>Shipped separately</b>
	<b>Forward optics</b>	<b>3000K</b>	<b>TSS</b> Type 1 very wide	<b>120V</b>	<b>Shipped included</b>
	<b>Reverse optics</b>	<b>3000K</b>	<b>TSS</b> Type 1 very wide	<b>240V</b>	<b>Shipped separately</b>
	<b>Forward optics</b>	<b></b>			

**LIGHTING VENDOR:**  
Greg Loda  
Lighting Affiliates  
1208 Cromwell Ave  
Rocky Hill, CT 06067

website: [www.lightingaffiliates.com](http://www.lightingaffiliates.com)  
Voice Number : (860) 721-1171 x 219  
Email Address : [gloda@lightingaffiliates.com](mailto:gloda@lightingaffiliates.com)

<p><b>SITE LIGHTING PLAN</b></p>	<p>PREPARED FOR  <b>FREMONT RIVERVIEW, LLC</b>  PROPERTY LOCATED AT  <b>#90 EAST RIVER DRIVE</b>  <b>EAST HARTFORD, CONNECTICUT</b></p>	<div style="text-align: center;">  </div> <p><b>HALLISEY, PEARSON &amp; CASSIDY</b></p> <hr/> <p>CIVIL ENGINEERS &amp; LAND SURVEYORS  630 MAIN STREET, UNIT #1A  CROWELL, CONNECTICUT 06416  PHONE: (860)-529-6812, FAX: (860)-721-7709</p>										
<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 20%;">SCALE: 1"= 20'</td> <td style="width: 20%;">CHECKED BY: P.A.H.</td> </tr> <tr> <td>DATE: MARCH 15, 2018</td> <td>DRAWN BY: J.P.C.</td> </tr> <tr> <td>JOB No.: 2865</td> <td>ACAD FILE: 2865-slm-1</td> </tr> <tr> <td colspan="2"> SHEET: <span style="font-size: 2em; font-weight: bold;">SL</span> of: <span style="font-size: 2em; font-weight: bold;">1</span> </td> </tr> <tr> <td colspan="2"> REVISIONS:  APRIL 24, 2018 REVISED PER SITE PLAN REVIEW COMMITTEE COMMENTS 04/17/18 </td> </tr> </table>			SCALE: 1"= 20'	CHECKED BY: P.A.H.	DATE: MARCH 15, 2018	DRAWN BY: J.P.C.	JOB No.: 2865	ACAD FILE: 2865-slm-1	SHEET: <span style="font-size: 2em; font-weight: bold;">SL</span> of: <span style="font-size: 2em; font-weight: bold;">1</span>		REVISIONS: APRIL 24, 2018 REVISED PER SITE PLAN REVIEW COMMITTEE COMMENTS 04/17/18	
SCALE: 1"= 20'	CHECKED BY: P.A.H.											
DATE: MARCH 15, 2018	DRAWN BY: J.P.C.											
JOB No.: 2865	ACAD FILE: 2865-slm-1											
SHEET: <span style="font-size: 2em; font-weight: bold;">SL</span> of: <span style="font-size: 2em; font-weight: bold;">1</span>												
REVISIONS: APRIL 24, 2018 REVISED PER SITE PLAN REVIEW COMMITTEE COMMENTS 04/17/18												





PROPOSED PLANT SCHEDULE

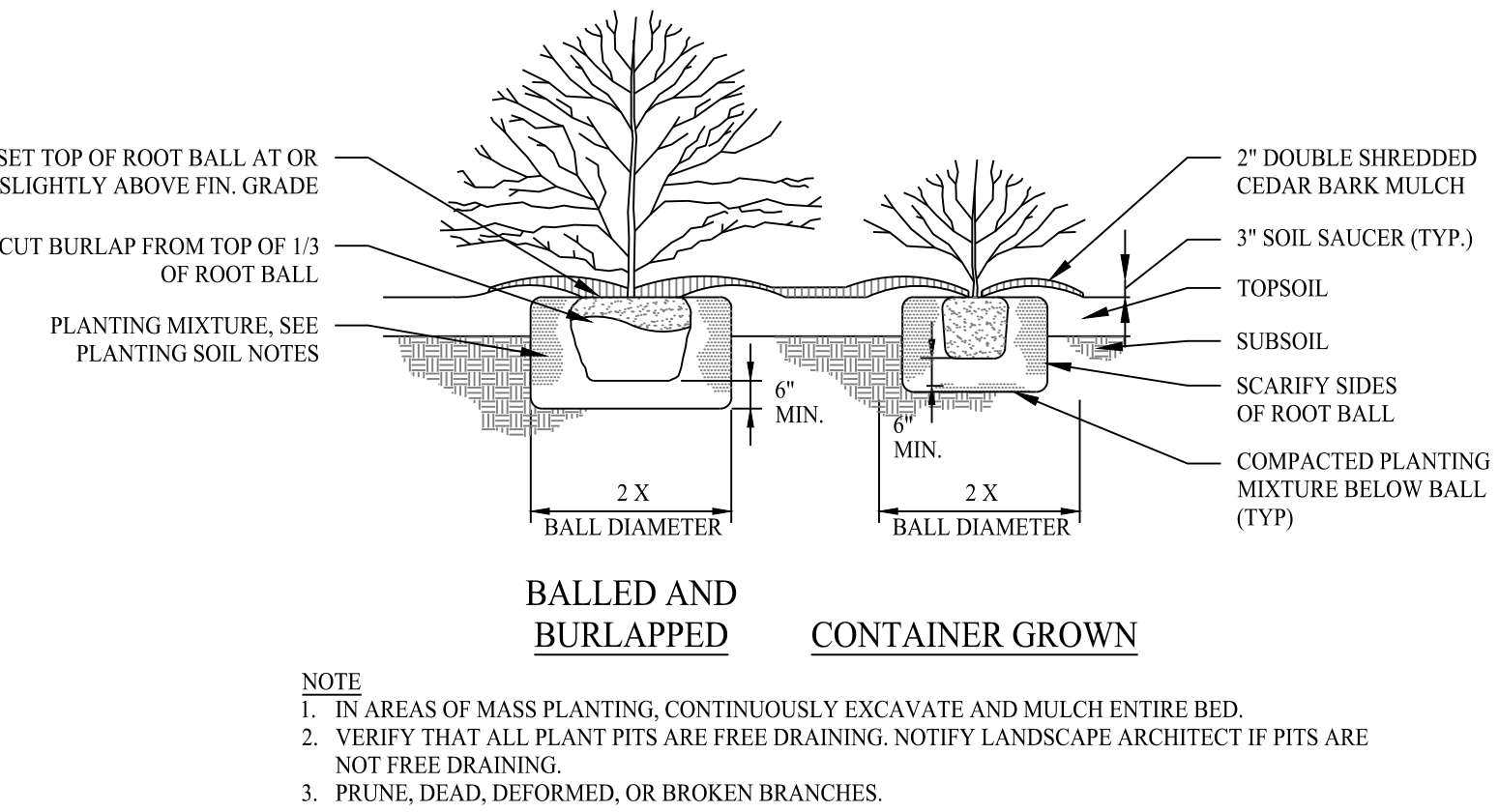
KEY	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	COMMENTS
TREES						
AR	5	ACER RUBRUM	RED MAPLE	B&B	3"-3 1/2" CAL	FULL, EXTRA HEAVY
QR	6	QUERCUS RUBRA	RED OAK	B&B	3"-3 1/2" DBH	FULL, EXTRA HEAVY
UA	2	ULMAS AMERICANA 'PRINCETON'	PRINCETON ELM	B&B	3" CAL	FULL, EXTRA HEAVY
UNDERSTORY TREES						
PC	8	PYRUS CALLERYANA 'ARISTOCRAT'	ARISTOCRAT PEAR	B&B	2 1/2"-3" CAL	FULL, EXTRA HEAVY
UPLAND SHRUBS						
ICC	50	ILEX CRENATA COMPACTA	COMPACT JAPANESE HOLLY	CONT	24"-30" HT	FULL, EXTRA HEAVY
MP	4	MYRICA PENSYLVANICA	NORTHERN BAYBERRY	CONT	24"-30" HT	FULL, EXTRA HEAVY
PF	29	POTENTILLA FRUTICOSA	BUSH CINQUEFOIL	CONT	24"-36" HT	FULL, EXTRA HEAVY
CS	30	CORNUS SERICEA 'CARDINAL'	RED TWIG DOGWOOD	CONT	3'-4" HT	FULL, EXTRA HEAVY

SEED MIXES  
Pennington Smart Seed Sun and Shade  
Application Rate: 6 lbs / 1,000 s.f.

PLANTING SOIL NOTES

- ALL PLANTING MIXES SHALL BE PREPARED PRIOR TO DELIVERY TO SITE
  - PLANTING MIX FOR TREES AND SHRUBS SHALL BE AS FOLLOWS
    - 3 PARTS SCREED TOPSOIL
    - 1 PART CLEAN WASHED COARSE SAND
    - 1 PART PEAT HUMUS
    - 5 LBS. COMPOST PER CUBIC YARD OF MIX
  - MYCORRHIZAL INOCULANT TO BE MYCOR TREE SAVER TRANSPLANT BY PLANT HEALTH CARE, INC. (1-800-421-9051) OR APPROVED EQUAL
  - TERRASORB AVAILABLE FROM PLANT HEALTH CARE, INC. OR APPROVED EQUAL
  - SUBMIT CERTIFICATION OF PLANTING MIX FOR TREES AND SHRUBS FROM SOIL DISTRIBUTOR
  - TOPSOIL MIX SHALL INCLUDE:
    - 3 PARTS SCREENED TOPSOIL
    - 1 PART SAND
    - 1 PART HUMUS
    - 5 LBS. COMPOST PER CU. YD. OF MIX
  - TOPSOIL:
    - PROVIDE A NATURAL, FERTILE, FRIABLE, NATURAL LOAM SURFACE SOIL CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH, OF UNIFORM COMPOSITION THROUGHOUT AND WITHOUT ADMIXTURES OF SUBSOIL, AND FREE OF STONES, LUMPS, PLANTS, ROOTS, STICKS OR OTHER EXTRANEIOUS MATTER
    - TOPSOIL SHALL CONTAIN NOT LESS THAN 4% NOR MORE THAN 20% ORGANIC MATTER AS DETERMINED BY THE WET COMBUSTION METHOD
    - MECHANICAL ANALYSIS

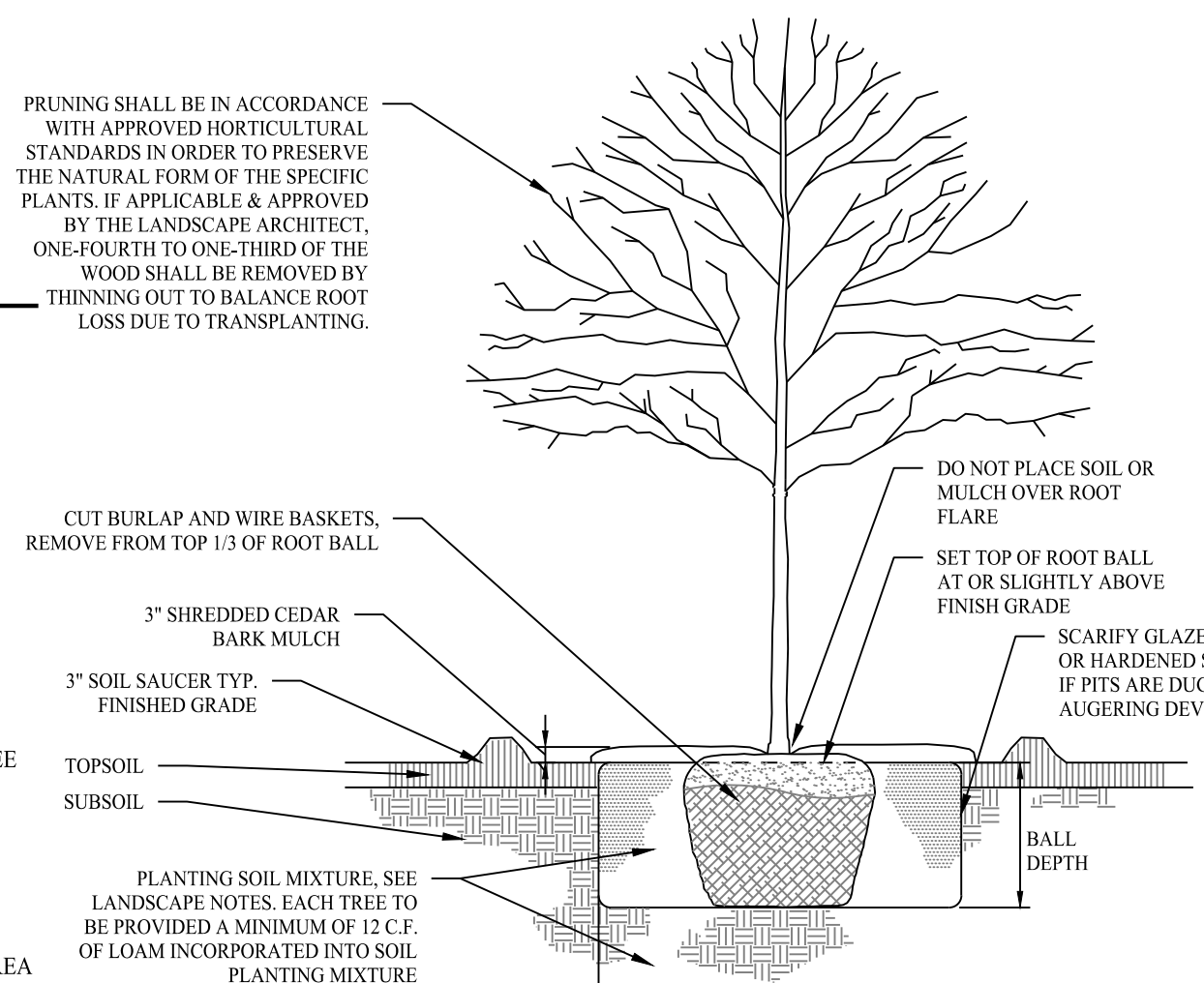
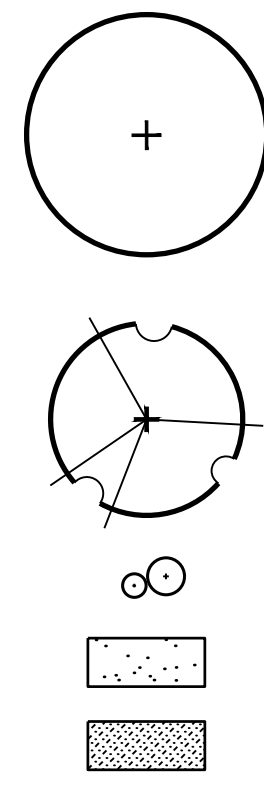
SCREEN SIZE	% BY WEIGHT PASSING
1"	100
3/4"	97 - 100
NO 200	20 - 65
    - CONTRACTORS SHALL BE RESPONSIBLE FOR ALL TESTING AND ANALYSIS OF EXISTING AND IMPORTED SOILS. FURNISH A SOIL ANALYSIS MADE BY A QUALIFIED INDEPENDENT SOIL - TESTING AGENCY STATING PERCENTAGES OF ORGANIC MATTER, INORGANIC MATTER (SILT, CLAY, AND SAND), DELETERIOUS MATERIAL, PH, AND MINERAL AND PLANT - NUTRIENT CONTENT OF TOPSOIL
    - REPORT SUITABILITY OF TOPSOIL FOR LAWN AND SHRUB PLANTING GROWTH
- RECOMMEND QUANTITIES OF NITROGEN, PHOSPHORUS, AND POTASH NUTRIENT AND ANY LIMESTONE, ALUMINUM SULFATE, OR OTHER SOIL AMENDMENTS TO BE ADDED TO PRODUCE A SATISFACTORY TOPSOIL.



SHRUB PLANTING

SCALE: NTS

LEGEND



TREE PLANTING

SCALE: NTS

GENERAL NOTES

- EXISTING SITE CONDITIONS TAKEN FROM A SURVEY PLAN ENTITLED "PROPERTY / TOPOGRAPHIC SURVEY SHOWING EXISTING CONDITIONS, PREPARED FOR FREMONT RIVERVIEW, LLC", DATE: 3/15/18, SCALE: 1" = 20'; BY HALLISEY, PEARSON & CASSIDY.

PLANTING NOTES

- BE AWARE OF ALL UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION OR PLANTING OPERATIONS. USE CARE TO PROTECT EXISTING UTILITIES FROM DAMAGE, CONTACT "CALL BEFORE YOU DIG" PRIOR TO EXCAVATION.
- ALL PLANTINGS ARE TO BE INSTALLED BY A QUALIFIED LANDSCAPE CONTRACTOR.
- THE CONTRACTOR SHALL BE REQUIRED TO CARRY WORKMEN'S COMPENSATION INSURANCE AND COMPREHENSIVE GENERAL LIABILITY INSURANCE. CERTIFICATES WILL BE REQUIRED PRIOR TO SIGNING CONTRACTS.
- CONTRACTOR IS RESPONSIBLE FOR JOBSITE SAFETY. CONTRACTOR SHALL MAINTAIN A SAFE JOBSITE AT ALL TIMES.
- CONTRACTOR SHALL BE FAMILIAR WITH THE SITE VERIFY ALL DIMENSIONS, GRADES AND EXISTING CONDITIONS. REPORT ANY DISCREPANCIES TO LANDSCAPE DESIGNER.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS AND LICENSES REQUIRED FOR COMPLETING WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSAL OF ALL EXCAVATED SOIL, BRUSH AND DEBRIS OFF-SITE IN A SAFE AND LEGAL MANNER.
- NOTIFY OWNER OR LANDSCAPE DESIGNER 72 HOURS MINIMUM IN ADVANCE OF STARTING PLANTING OPERATIONS. RECEIVE APPROVAL FOR LAYOUT OF ALL BED LINES AND MATERIAL LOCATIONS PRIOR TO INSTALLATION.
- PROTECT EXISTING VEGETATION TO REMAIN FROM DAMAGE DURING CONSTRUCTION. IT IS THE INTENT OF THIS CONTRACT TO AVOID ANY DISTURBANCE TO EXISTING VEGETATION ON THE SITE OTHER THAN THOSE SPECIFICALLY DESIGNATED FOR REMOVAL. ADJUSTMENTS SHALL BE MADE IN THE FIELD AT THE DIRECTION OF THE LANDSCAPE DESIGNER.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL PLANTING, SEEDING AND TREE WORK WITH OTHER TRADES. RESPECT OTHER TRADES WORK AT ALL TIMES.
- CONTRACTOR IS TO EXERCISE EXTREME CARE DURING THE COURSE OF DEMOLITION AND REMOVALS ANY DAMAGE TO EXISTING FACILITIES, UTILITIES OR TREES TO REMAIN SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO REPLACE IN KIND.
- CONTRACTOR IS RESPONSIBLE FOR RESTORING ALL AREAS DAMAGED TO PRE-EXISTING CONDITIONS AS A RESULT OF PLANTING OPERATIONS TO OWNERS AND/OR LANDSCAPE DESIGNERS APPROVAL.
- VEGETATION TO BE REMOVED, NOT INDICATED ON PLAN, SHALL BE TAGGED IN FIELD BY LANDSCAPE DESIGNER.
- THE LANDSCAPE DESIGNER RESERVES THE RIGHT TO REJECT INFERIOR PLANT MATERIALS AND SUBSTITUTIONS. THE LANDSCAPE DESIGNER IS WILLING TO MAKE TWO TRIPS TO SUPPLIERS TO TAG, REVIEW AND APPROVE MATERIALS. PREVIOUSLY UNAPPROVED MATERIALS MAY BE REJECTED AT THE SITE. MINIMALLY, ALL MATERIALS WILL CONFORM TO THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1 - 2004) OF THE AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN GOOD, HEALTHY AND FLOURISHING CONDITION FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE. THE CONTRACTOR SHALL REPLACE, AS SOON AS WEATHER AND SEASONAL CONDITIONS PERMIT, ALL DEAD PLANTS AND ALL PLANTS NOT IN A VIGOROUS, THRIVING CONDITION, AS DETERMINED BY THE LANDSCAPE DESIGNER DURING, AND AT THE END OF THE GUARANTEE PERIOD. WARRANTY REPLACEMENT WILL BE PROVIDED AT NO COST TO THE OWNER AND INCLUDE MATERIALS AND LABOR. CONTRACTOR IS RESPONSIBLE FOR REPAIR OF ANY DAMAGE INCURRED DURING REPLACEMENT OF WARRANTY MATERIALS.
- WHEN THERE IS A DISCREPANCY BETWEEN PLANT QUANTITIES SHOWN ON THE PLANT LIST & THE PLAN, USE THE QUANTITIES FROM THE PLAN.
- PROVIDE A MINIMUM 6" TOPSOIL FOR ALL DISTURBED AREAS. SUBMIT SAMPLE OF TOPSOIL AND SOIL TEST RESULTS FOR LANDSCAPE DESIGNER APPROVAL PRIOR TO DELIVERING TO SITE.
- MULCH ALL BEDS SHOWN AS CONTINUOUS WITH A 3" MINIMUM OF SHREDDED CEDAR BARK MULCH. SAMPLE TO BE SUBMITTED TO LANDSCAPE DESIGNER FOR APPROVAL.
- ALL PLANT MATERIALS TO BE SOURCED FROM LOCALLY GROWN GROWERS.

Rev. #:

Date

Description

Graphic Scale:

20

0

20

40

SOLLI  
ENGINEERING

501 Main Street, Monroe, CT 06468 | T: (203) 880-5455 | F: (203) 880-9695

Drawn By: MFB

Checked By: DRR

Approved By: KMS

Project #: 1804301

Plan Date: 04/24/18

Scale: 1" = 20'

Douglas R. Reich, RLA  
CT 631

Project:

90 EAST RIVER DRIVE  
EAST HARTFORD, CONNECTICUT

Sheet Title:

LANDSCAPE  
PLAN

Sheet #:

LP-1.0