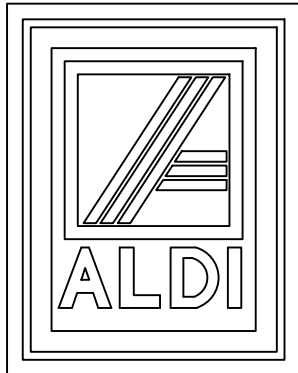


LOCATION MAP
N.T.S.

SUBMISSION TO THE TOWN OF EAST HARTFORD INLAND WETLANDS COMMISSION FOR PROPOSED ALDI STORE EXPANSION

LOCATION:
801 SILVER LANE (C.T. RT. 502)
EAST HARTFORD, CONNECTICUT

PREPARED FOR:



ALDI, INC.
294 RYE STREET
SOUTH WINDSOR, CONNECTICUT 06074

PREPARED BY:

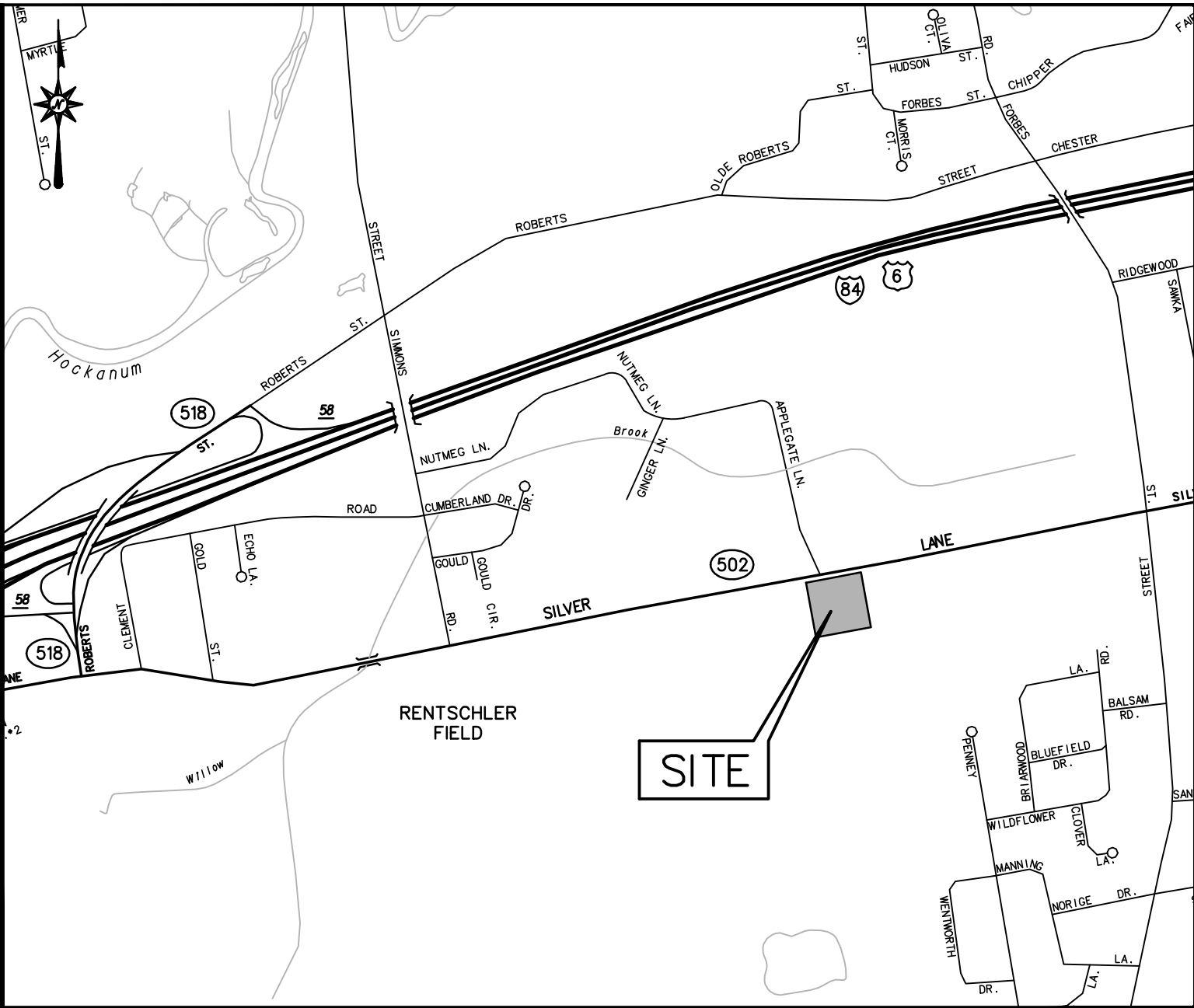


ARCHITECTURE ENGINEERING PLANNING LANDSCAPE ARCHITECTURE
LAND SURVEYING ENVIRONMENTAL SCIENCES

100 CONSTITUTION PLAZA, 10TH FLOOR
HARTFORD, CONNECTICUT 06103
(860) 249-2200
(860) 249-2400 Fax

NOTE:
The developer shall notify The Town of East Hartford Engineering Division 24 hours prior to beginning any storm drainage, roadway preparation, paving, sidewalk, curbing, street line monumentation, property corner pins, etc., to schedule inspections. The Division can be reached between 8:30 A.M. – 4:30 P.M. at 291-7380.

FOR PERMITTING PURPOSES ONLY
NOT RELEASED FOR CONSTRUCTION



VICINITY MAP
1"=1,000'

TOWN OF EAST HARTFORD
PLANNING AND ZONING COMMISSION
SITE PLAN CERTIFICATE
OF APPROVAL

APPROVAL DATE _____
EXPIRATION DATE _____
_____ CHAIRMAN

APPLICANT/DEVELOPER:
ALDI, INC.
294 RYE STREET
SOUTH WINDSOR, CONNECTICUT 06074

OWNER:
ALDI, INC.
294 RYE STREET
SOUTH WINDSOR, CONNECTICUT 06074

DATES

ISSUE DATE: MARCH 1, 2017 ISSUED FOR INLAND WETLAND APPLICATION
REVISION: MARCH 27, 2017 REV FOR TOWN COMMENTS
APRIL 12, 2017 REV FOR TOWN COMMENTS

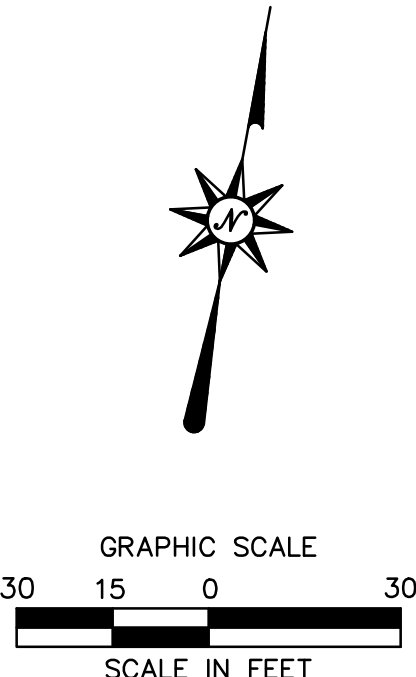
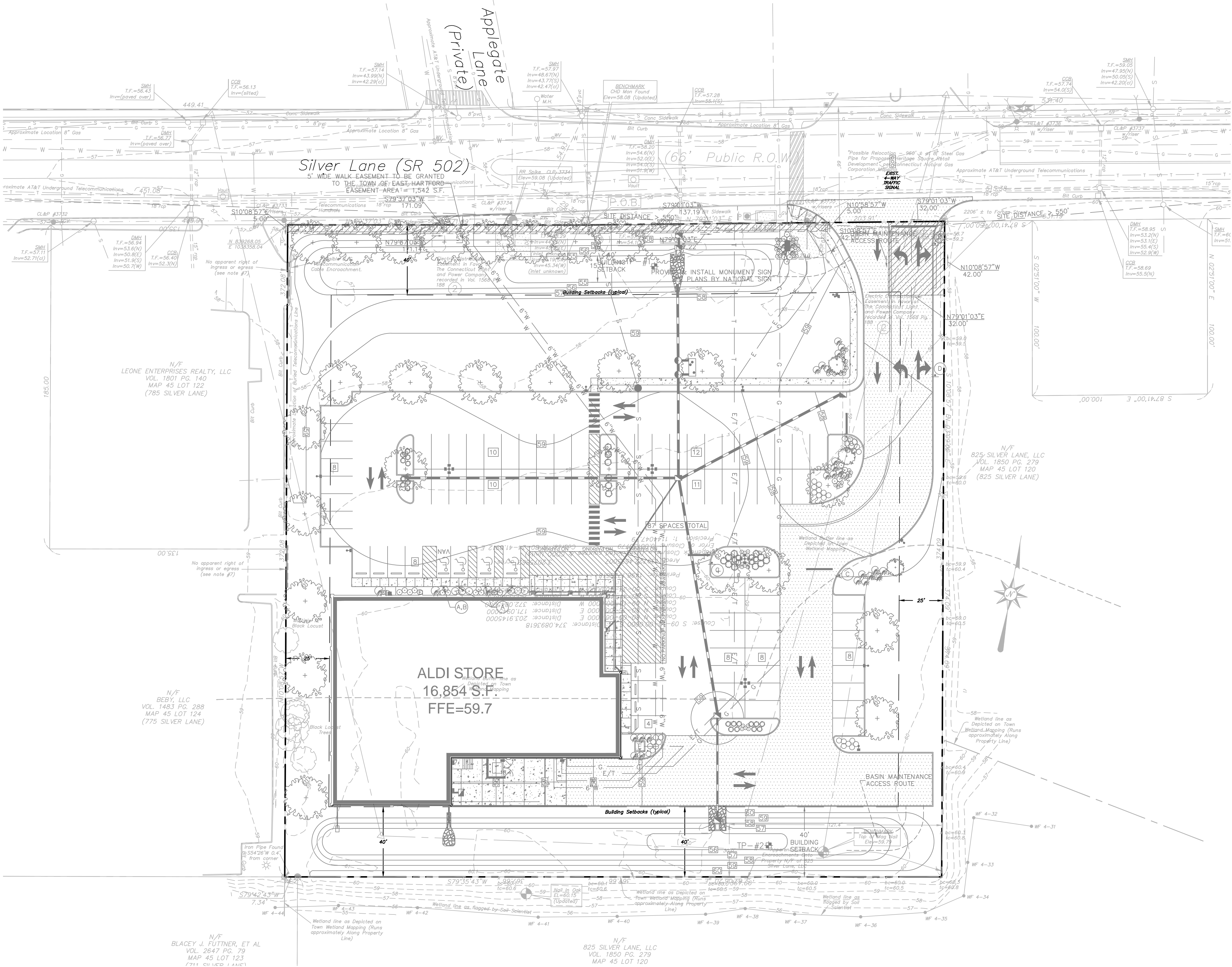


CONTENTS

| | |
|-------|---------------------------------------|
| | TITLE SHEET |
| EX-1 | EXISTING CONDITIONS PLAN |
| DM-1 | DEMOLITION PLAN |
| SP-1 | SITE PLAN |
| GU-1 | GRADING AND DRAINAGE PLAN |
| EC-1 | SEDIMENTATION & EROSION CONTROL PLAN |
| EC-2 | SEDIMENTATION & EROSION CONTROL NOTES |
| DN-1 | SITE CONSTRUCTION DETAILS |
| CFP-2 | EXPANSION (BY OTHERS) |
| CEE-2 | EXTERIOR ELEVATIONS (BY OTHERS) |

GENERAL NOTES:

1. THE DEPICTED GRADING, DRAINAGE, UTILITIES AND SITE IMPROVEMENT SHOWN ARE BASED ON DESIGN PLANS AND NOT FIELD SURVEY AND MAPPING. CONTRACTOR SHALL VERIFY ACTUAL EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND IDENTIFY ANY DISCREPANCY THAT MAY CAUSE CONFLICT WITH THE PROPOSED CONSTRUCTION OF THE BUILDING ADDITION AND SITE IMPROVEMENTS AND SHALL NOTIFY THE OWNER AND ENGINEER OF SUCH DISCREPANCIES.



FOR PERMITTING PURPOSES ONLY
NOT RELEASED FOR CONSTRUCTION



ARCHITECTURE
ENGINEERING
PLANNING
LANDSCAPE ARCHITECTURE
LAND SURVEYING
ENVIRONMENTAL SCIENCES

150 Trumbull Street, 6th floor
Hartford, CT 06103
(860) 249-2200
(860) 249-2400 Fax



PROPOSED ALDI STORE #47 EXPANSION
801 SILVER LANE
EAST HARTFORD, CONNECTICUT

Desc.

REVISIONS
No. Date

Designed M.J.B.
Drawn M.J.B.
Checked J.G.B.
Approved J.G.B.
Scale 1"=30'
Project No. 1606077
Date 02/21/17
CAD File EX160607701

Title
EXISTING
CONDITIONS
PLAN

Sheet No.

EX-1

Xref (s): B04-C000003, XXXXXXXXXX



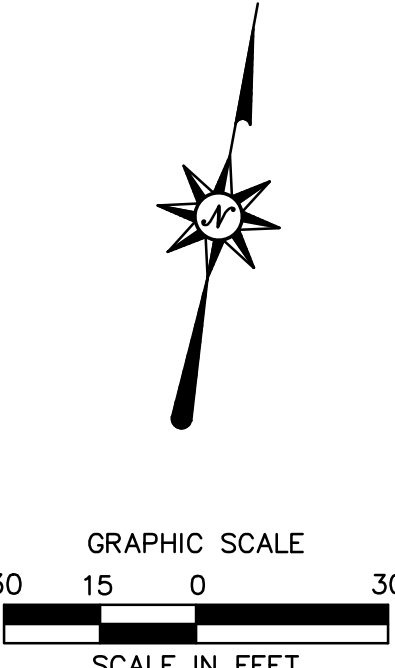
| | |
|-------------|-------------|
| Designed | M.J.B. |
| Drawn | M.J.B. |
| Checked | J.G.B. |
| Approved | J.G.B. |
| Scale | 1"=30' |
| Project No. | 16C6077 |
| Date | 02/21/17 |
| CAD File | DM16C607701 |

Sheet No. _____

DM-1

_____ LOD _____ LIMIT OF DISTURBANCE
 _____ - - - _____ PROPERTY LINE

1. BUILDING, INCLUDING FOUNDATION WALLS AND FOOTINGS INDICATED ON ARCHITECTURAL AND STRUCTURAL PLANS FOR SELECTIVE DEMOLITION PLAN AREA TO BE REMOVED FROM SITE. CONTRACTOR SHALL SECURE ANY PERMITS, PAY ALL FEES AND PERFORM CLEARING AND GRUBBING AND DEBRIS REMOVAL PRIOR TO COMMENCEMENT OF GRADING OPERATIONS.
2. SEDIMENT AND EROSION CONTROLS AS SHOWN ON THE SEDIMENTATION AND EROSION CONTROL PLAN AND/OR DEMOLITION PLAN SHALL BE INSTALLED BY THE DEMOLITION CONTRACTOR PRIOR TO START OF DEMOLITION AND CLEARING AND GRUBBING OPERATIONS.
3. REMOVE AND DISPOSE OF ANY SIDEWALKS, FENCES, STAIRS, WALLS, DEBRIS AND RUBBISH REQUIRING REMOVAL FROM THE WORK AREA IN AN APPROVED OFF SITE LANDFILL, BY AN APPROVED HAULER. HAULER SHALL COMPLY WITH ALL REGULATORY REQUIREMENTS.
4. THE CONTRACTOR SHALL SECURE ALL PERMITS FOR HIS DEMOLITION AND DISPOSAL OF HIS DEMOLITION MATERIAL TO BE REMOVED FROM THE SITE. THE CONTRACTOR SHALL POST BONDS AND PAY PERMIT FEES AS REQUIRED. BUILDING DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR PERMITS AND DISPOSAL OF ALL BUILDING DEMOLITION DEBRIS IN AN APPROVED OFF-SITE LANDFILL.
5. ASBESTOS OR HAZARDOUS MATERIAL, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIAL CONTRACTOR.
6. THE CONTRACTOR SHALL PREPARE ALL MANIFEST DOCUMENTS AS REQUIRED PRIOR TO COMMENCEMENT OF DEMOLITION.
7. THE CONTRACTOR SHALL CUT AND PLUG, OR ARRANGE FOR THE APPROPRIATE UTILITY COMPANY TO CUT AND PLUG ALL SERVICE PIPING AT THE STREET LINE OR MAIN, AS REQUIRED, OR AS OTHERWISE NOTED. THE CONTRACTOR SHALL INVESTIGATE THE CONTRACTOR TO BIDDING TO DETERMINE THE LOCATION AND EXTENT OF ANY SERVICE PIPING TO BE REMOVED, CUT OR PLUGGED. THE CONTRACTOR SHALL PAY ALL UTILITY CO. FEES FOR ABANDONMENTS AND REMOVALS. ALL SERVICES MAY NOT BE SHOWN ON THIS PLAN.
8. THE CONTRACTOR SHALL PROTECT ALL IRON PINS, MONUMENTS AND PROPERTY CORNERS DURING DEMOLITION ACTIVITIES. ANY CONTRACTOR DISTURBED PINS, MONUMENTS, AND OR PROPERTY CORNERS, ETC. SHALL BE RESET BY A LICENSED LAND SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.
9. THE DEMOLITION CONTRACTOR SHALL STABILIZE THE SITE AND KEEP EROSION CONTROL MEASURES IN PLACE UNTIL THE COMPLETION OF HIS WORK OR UNTIL THE COMMENCEMENT OF WORK BY THE SITE CONTRACTOR, WHICHEVER OCCURS FIRST, AS REQUIRED OR DEEMED NECESSARY BY THE ENGINEER OR OWNER'S REPRESENTATIVE. THE SITE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THE MAINTENANCE OF EXISTING EROSION AND SEDIMENTATION CONTROLS AND FOR INSTALLATION OF ANY NEW EROSION AND SEDIMENTATION CONTROLS AS PER THE SEDIMENTATION AND EROSION CONTROL PLAN, AT THAT TIME.
10. THE CONTRACTOR SHALL PUMP OUT BUILDING FUEL AND WASTE OIL TANKS (IF ANY ARE ENCOUNTERED) AND REMOVE FUEL TO AN APPROVED DISPOSAL AREA BY A LICENSED WASTE OIL HANDLING CONTRACTOR IN STRICT ACCORDANCE WITH STATE REQUIREMENTS.
11. THE CONTRACTOR SHALL ADHERE TO ALL OSHA FEDERAL STATE AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOISTS, ETC. IN PROXIMITY OF OVERHEAD ELECTRIC LINES. IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINES CONTACT POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS. ANY UTILITY COMPANY FEES SHALL BE PAID BY THE CONTRACTOR.
12. CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES. TEMPORARY WALKWAYS AND UNIFORMED TRAFFIC CONTROLLERS AS REQUIRED OR ORDERED BY THE ENGINEER OR REQUIRED BY THE LOCAL GOVERNING AUTHORITIES. CONTRACTOR SHALL MAINTAIN ALL TRAFFIC LANES AND PEDESTRIAN WALKWAYS AT ALL TIMES UNLESS WRITTEN APPROVAL FROM THE APPROPRIATE GOVERNING AGENCY IS GRANTED.
13. INFORMATION ON EXISTING UTILITIES HAS BEEN COMPILED FROM DESIGN DRAWINGS FOR THE ALDI BUILDING AND FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL RECORD MAPS AND/OR FIELD SURVEY CONDUCTED IN 2008 AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES DURING SERVICES. PRIOR TO DEMOLITION OR CONSTRUCTION THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" 72 HOURS BEFORE COMMENCEMENT OF WORK AT (800)922-4455 OR 811 AND VERIFY ALL UTILITY AND DRAINAGE LOCATIONS.
14. THE CONTRACTOR IS RESPONSIBLE FOR SECURING A DEMOLITION PERMIT FROM THE TOWN OF EAST HARTFORD BUILDING DEPARTMENT AND MUST FURNISH THE REQUIRED APPLICATION MATERIAL AND PAY ALL FEES.
15. BACK FILL DEPRESSIONS AND ANY REMOVED DRIVEWAY AREAS WITH APPROVED SOIL MATERIAL AND COMPACT, FERTILIZE, SEED AND MULCH DISTURBED AREAS NOT SUBJECT TO FURTHER SITE CONSTRUCTION. BUILDING FOUNDATION AREA TO BE BACK FILLED IN 8" LIFTS WITH GRAVEL FILL OR MATERIAL SPECIFIED IN THE PROJECT GEOTECHNICAL REPORT. COMPACTED TO 95% MAX. DRY DENSITY PER ASTM D1557 AT +/- 3% OF OPTIMUM MOISTURE CONTENT. EMPLOY WATERING EQUIPMENT FOR DUST CONTROL.
16. THE CONTRACTOR SHALL RESTORE ANY UTILITY STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, DRAINAGE STRUCTURE, SWALE, PAVEMENT MARKINGS OR LANDSCAPED AREAS DISTURBED DURING DEMOLITION TO THEIR ORIGINAL CONDITION OR BETTER TO THE SATISFACTION OF THE OWNER, TOWN OF EAST HARTFORD AND CONNECTICUT DOT.
17. NO WORK ON THIS SITE SHALL BE INITIATED BY THE CONTRACTOR UNTIL A PRE-CONSTRUCTION MEETING WITH OWNER AND ARCHITECT HAS BEEN PERFORMED. THE CONTRACTOR SHALL MAINTAIN ALL AVAILABLE RECORDS OF ANY SITE INFORMATION SUCH AS GEOTECHNICAL AND ENVIRONMENTAL REPORTS, AS WELL AS HAVE CALL DIG MARK OUTS OF EXISTING UTILITIES COMPLETED PRIOR TO MEETING.
18. THE CONTRACTOR SHALL ARRANGE FOR AND INSTALL TEMPORARY OR PERMANENT UTILITY CONNECTIONS WHERE INDICATED ON PLAN OR AS REQUIRED. MAINTAIN UTILITY SERVICES TO BUILDINGS TO REMAIN. CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES FOR INSTALLATION AND PAY UTILITY COMPANY FEES.
19. THE CONTRACTOR SHALL NOT COMMENCE DEMOLITION OR UTILITY DISCONNECTIONS UNTIL AUTHORIZED TO DO SO BY THE OWNER.
20. THE CONTRACTOR OR DEMOLITION CONTRACTOR SHALL INSTALL TEMPORARY SHEETING OR SHORING AS NECESSARY TO PROTECT EXISTING AND NEW BUILDINGS AND UTILITIES DURING CONSTRUCTION AND DEMOLITION. SHEETING OR SHORING SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER, LICENSED IN THIS STATE AND EVIDENCE OF SUCH SUBMITTED TO THE OWNER PRIOR TO INSTALLATION.
20. NO SALVAGE SHALL BE PERMITTED UNLESS PAID TO THE OWNER AS A CREDIT.
21. ARCHITECT OR ENGINEER IS NOT RESPONSIBLE FOR SITE SAFETY MEASURES TO BE EMPLOYED DURING CONSTRUCTION. THE ARCHITECT AND ENGINEER HAS NO CONTRACTUAL DUTY TO CONTROL THE SAFEST METHODS OR MEANS OF THE WORK, JOBSITE RESPONSIBILITIES, SUPERVISION OR TO SUPERVISE SAFETY, AND DOES NOT VOLUNTARILY ASSUME ANY SUCH DUTY OR RESPONSIBILITY.
22. THE CONTRACTOR SHALL COMPLY WITH CFR29 PART 1926 FOR EXCAVATION, TRENCHING, AND TRENCH PROTECTION REQUIREMENTS.
23. NO TRASH OR CONSTRUCTION DEBRIS IS TO BE BURIED ON THE SITE.
24. THE EXISTING BUILDING, PARKING AREA, AND DRIVEWAYS SHALL REMAIN OPEN FOR NORMAL BUSINESS OPERATIONS DURING THE CONSTRUCTION PERIOD. PROVIDE ACCESS FOR STAFF, CUSTOMERS, AND DELIVERIES FOR ALL OPEN HOURS.



**FOR PERMITTING PURPOSES ONLY
NOT RELEASED FOR CONSTRUCTION**

SITE PLAN NOTES

1. ALL CONSTRUCTION SHALL COMPLY WITH PROJECT SPECIFICATION MANUAL; ALDI CORPORATION, TOWN OF EAST HARTFORD, STANDARDS AND SPECIFICATIONS CONNECTICUT DEPARTMENT OF TRANSPORTATION, AND 2010 ADA STANDARDS AND STATE BUILDING CODE IN THE ABOVE REFERENCED INCREASING HIERARCHY. IF SPECIFICATIONS ARE IN CONFLICT, THE MORE STRINGENT SPECIFICATION SHALL APPLY. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE OSHA, FEDERAL, STATE AND LOCAL REGULATIONS.
2. THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY ZONING PERMITS REQUIRED BY GOVERNMENT AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN TOWN CONSTRUCTION PERMITS, INCLUDING ANY DOT PERMITS AND ANY SEWER AND WATER CONNECTION PERMITS. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
3. REFER TO OTHER PLANS, DETAILS AND THE PROJECT MANUAL FOR ADDITIONAL INFORMATION. THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT THE SITE ENGINEER IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS. SO THAT APPROPRIATE REVISIONS CAN BE MADE PRIOR TO BIDDING. ANY CONFLICT BETWEEN THE DRAWINGS AND SPECIFICATIONS SHALL BE CONFIRMED WITH THE LOCAL CONSTRUCTION MANAGER OR ENGINEER PRIOR TO BIDDING.
4. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF THE REQUIRED PRODUCTS, AND MATERIALS PER PLANS AND SPECIFICATIONS TO THE OWNER AND SITE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 14 WORKING DAYS FOR REVIEW.
5. THE CONTRACTOR SHALL FOLLOW THE SEQUENCE OF CONSTRUCTION NOTES PROVIDED ON THE SEDIMENTATION AND EROSION CONTROL PLAN.
6. THE CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND CONSTRUCTION DETAILS OF BUILDING.
7. SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED, EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE CIVIL ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
8. DO NOT INTERRUPT EXISTING UTILITIES SERVICING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS, EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.

9. ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURBS OR EDGE OF PAVING UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF THE STRUCTURE.
10. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, TRAFFIC CONTROLLERS AND UNIFORMED TRAFFIC OFFICERS AS REQUIRED, ORDERED BY THE ENGINEER OR REQUIRED BY THE LOCAL GOVERNING AUTHORITIES OR AS REQUIRED BY PERMIT STIPULATIONS OR AS REQUIRED BY THE OWNER.
11. TRAFFIC CONTROL SIGNAGE SHALL CONFORM TO THE STATE DOT STANDARD DETAIL SHEETS AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. SIGNS SHALL BE INSTALLED PLUMB WITH THE EDGE OF THE SIGN 2' OFF THE FACE OF THE CURB, AND WITH 7" VERTICAL CLEARANCE UNLESS OTHERWISE DETAILED OR NOTED.
12. THE CONTRACT LIMIT IS THE PROPERTY LINE UNLESS OTHERWISE SPECIFIED OR SHOWN ON THE CONTRACT DRAWINGS.
13. THE CONTRACTOR SHALL ABIDE BY ALL OSHA FEDERAL STATE AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOISTS, ETC. IN CLOSE PROXIMITY TO OVERHEAD ELECTRIC LINES. IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINES, CONTACT POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS. ANY UTILITY PROVIDER FEES SHALL BE PAID FOR BY THE CONTRACTOR.
13. IF NOT PROPOSED FOR REMOVAL DURING DEMOLITION, THE CONTRACTOR SHALL RESTORE ANY EXISTING DRAINAGE STRUCTURE, PIPE, UTILITY, PAVEMENT, CURB, SIDEWALK, LANDSCAPED AREA, PAVEMENT MARKINGS OR SIGNAGE DISTURBED DURING CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER, AS APPROVED BY THE ENGINEER.
14. THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES AND STORMWATER SYSTEM) TO THE OWNER AND TOWN AT THE END OF CONSTRUCTION.
15. THE ARCHITECT OR ENGINEER IS NOT RESPONSIBLE FOR SITE SAFETY MEASURES TO BE EMPLOYED DURING CONSTRUCTION. THE ARCHITECT AND ENGINEER HAVE NO CONTRACTUAL DUTY TO CONTROL THE SAFETY METHODS OR MEANS OF THE WORK, JOB SITE RESPONSIBILITIES, SUPERVISION OR TO SUPERVISE SAFETY AND DOES NOT VOLUNTARILY ASSUME ANY SUCH DUTY OR RESPONSIBILITY.
21. THE CONTRACTOR SHALL COMPLY WITH CFR 29 PART 1926 FOR EXCAVATION TRENCHING AND TRENCH PROTECTION REQUIREMENTS.
22. ALTERNATIVE METHODS AND PRODUCTS, OTHER THAN THOSE SPECIFIED, MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, CIVIL ENGINEER, AND APPROPRIATE REGULATORY AGENCY PRIOR TO INSTALLATION DURING THE BUILDING PROCESS.
23. INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE SYSTEMS HAS BEEN COMPILED FROM DESIGN DRAWINGS FOR THE ALDI BUILDING AND AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL RECORD MAPS AND/OR FIELD SURVEY CONDUCTED IN 2007 AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES. PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" 72 HOURS BEFORE COMMENCEMENT OF WORK AT 800-922-4455 OR 811 AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS.
24. AN EROSION CONTROL BOND IS REQUIRED TO BE POSTED BY THE CONTRACTOR BEFORE THE START OF ANY ACTIVITY ON OR OFF SITE. THE AMOUNT OF THE EROSION CONTROL BOND WILL BE DETERMINED BY THE AUTHORITY HAVING JURISDICTION.
25. THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION. NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.
26. A DEMOLITION PERMIT IS REQUIRED FOR EXISTING BUILDING.
27. THE SITE IS CURRENTLY SERVICED BY PUBLIC WATER.
28. NO PART OF THE LOT IS LOCATED WITHIN ANY FEMA DESIGNATED FLOOD HAZARD AREAS.
29. THERE ARE NO WETLANDS LOCATED ON THE SITE AS INDICATED BY THE TOWN MAPPING.

30. CONTACT THE OWNER AND COORDINATE THE SCHEDULE FOR BUILDING DEMOLITION. CONTRACTOR SHALL SECURE THE NECESSARY PERMITS AND PAY ALL FEES. SELECTIVE BUILDING FOOTINGS, FOUNDATIONS, STRUCTURES, AND BUILDING UTILITY SERVICES SHALL BE REMOVED. REFER TO ARCHITECTURE, MEP, AND STRUCTURAL PLANS. COORDINATE ANY WORK WITH UTILITY COMPANIES. INSTALL TEMPORARY SHEETING AND SHORING TO PROTECT BUILDINGS AND UTILITIES FROM DAMAGE.
31. NO TRASH OR CONSTRUCTION DEBRIS IS TO BE BURIED ON THE SITE.
32. EXISTING BOUNDARY IS BASED ON DRAWING TITLED ALTA/ACSM LAND TITLE SURVEY. EXISTING TOPOGRAPHY IS BASED ON DRAWING TITLED ALTA/ACSM LAND TITLE SURVEY AND ON DESIGN DRAWINGS FOR THE ALDI SITE DATED MAY 16, 2008.
33. THE EXISTING BUILDING IS TO REMAIN OPEN FOR BUSINESS THROUGH THE CONSTRUCTION PERIOD. PROVIDE ACCESS FOR STAFF, CUSTOMERS, AND DELIVERIES FOR ALL OPEN HOURS.
34. ALL ADA DESIGNATED PARKING STALLS, ACCESS AISLES, AND PEDESTRIAN WALKWAYS SHALL CONFORM TO THE CURRENT VERSION OF THE AMERICANS WITH DISABILITIES ACT STANDARDS FOR ACCESSIBLE DESIGN AND ANSI STANDARDS AND MAY BE SUPERCEDED BY THE STATE OF CONNECTICUT BUILDING CODE.
35. CONSTRUCTION OCCURRING ON THIS SITE SHALL COMPLY WITH NFPA 24 STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATION AND DEMOLITION OPERATIONS AND CHAPTER 16 OF NFPA 1 UNIFORMED FIRE CODE.

GENERAL NOTES

1. ALL CONSTRUCTION SHALL COMPLY WITH PROJECT MANUAL; ALDI CORPORATION, LOCAL MUNICIPAL, COUNTY, AND STATE DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS, 2010 ADA STANDARDS, AND STATE BUILDING CODE IN THE ABOVE REFERENCED INCREASING HIERARCHY. IF SPECIFICATIONS ARE IN CONFLICT, THE MORE STRINGENT SPECIFICATION SHALL APPLY.
2. REFER TO OTHER PLANS BY OTHER DISCIPLINES, DETAILS AND PROJECT MANUAL FOR ADDITIONAL INFORMATION. THE CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND CONTACT THE CIVIL ENGINEER AND ARCHITECT IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS, SO THAT APPROPRIATE REVISIONS CAN BE MADE PRIOR TO BIDDING. ANY CONFLICT BETWEEN THE DRAWINGS AND SPECIFICATIONS SHALL BE CONFIRMED WITH THE LOCAL CONSTRUCTION MANAGER PRIOR TO BIDDING.
3. DO NOT INTERRUPT EXISTING UTILITIES SERVICING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
4. THE CONTRACTOR SHALL ABIDE BY ALL OSHA, FEDERAL, STATE, AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOISTS, ETC. IN CLOSE PROXIMITY TO OVERHEAD ELECTRIC LINES. IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINES, CONTACT POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS. ANY UTILITY COMPANY FEES SHALL BE PAID FOR BY THE CONTRACTOR.
5. THE CONTRACTOR SHALL PROVIDE RECORD DRAWINGS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES AND STORMWATER SYSTEM) TO THE OWNER AT THE END OF CONSTRUCTION.
6. THE ARCHITECT OR ENGINEER IS NOT RESPONSIBLE FOR SITE SAFETY MEASURES TO BE EMPLOYED DURING CONSTRUCTION. THE ARCHITECT AND ENGINEER HAVE NO CONTRACTUAL DUTY TO CONTROL THE SAFEST METHODS OR MEANS OF THE WORK, JOB SITE RESPONSIBILITIES, SUPERVISION OR TO SUPERVISE SAFETY AND DOES NOT VOLUNTARILY ASSUME ANY SUCH DUTY OR RESPONSIBILITY.
7. THE CONTRACTOR SHALL COMPLY WITH CFR 29 PART 1926 FOR EXCAVATION TRENCHING AND TRENCH PROTECTION REQUIREMENTS.
8. INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE SYSTEMS HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL OR COUNTY OR STATE RECORD MAPS AND/OR FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES. PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" 72 HOURS BEFORE COMMENCEMENT OF WORK AT 1-800-922-4455 OR AT 811 AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS.
9. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN OVER SCALED DIMENSIONS.
10. IF PLANS AND OR SPECIFICATIONS ARE IN CONFLICT, THE MOST COSTLY SHALL APPLY.
11. ALL CONTRACTORS AND SUBCONTRACTORS SHALL OBTAIN COMPLETE DRAWING PLAN SETS FOR BIDDING AND CONSTRUCTION. PLAN SETS OR PLAN SET ELECTRONIC POSTINGS SHALL NOT BE DISASSEMBLED INTO PARTIAL PLAN SETS FOR USE BY CONTRACTORS AND SUBCONTRACTORS OF INDIVIDUAL TRADES. IT SHALL BE THE CONTRACTOR'S AND SUBCONTRACTOR'S RESPONSIBILITY TO OBTAIN COMPLETE PLAN SETS OR COMPLETE PLAN SET ELECTRONIC POSTINGS FOR USE IN BIDDING AND CONSTRUCTION.
12. ALL NOTES AND DIMENSIONS DESIGNATED "TYPICAL" APPLY TO ALL LIKE OR SIMILAR CONDITIONS THROUGHOUT THE PROJECT.
13. CONTRACTOR(S) TO TAKE AND VERIFY ALL DIMENSIONS AND CONDITIONS OF THE WORK AND BE RESPONSIBLE FOR COORDINATION OF SAME. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF WORK.
14. BL WILL PREPARE FINAL CONSTRUCTION DOCUMENTS SUITABLE FOR BIDDING AND CONSTRUCTION. PROGRESS SETS OF THESE DOCUMENTS ARE NOT SUITABLE FOR THOSE PURPOSES. IF CLIENT ELECTS TO SOLICIT BIDS OR ENTER INTO CONSTRUCTION CONTRACTS UTILIZING CONSTRUCTION DOCUMENTS THAT ARE NOT YET FINAL, CONSULTANT SHALL NOT BE RESPONSIBLE FOR ANY COSTS OR DELAY ARISING AS A RESULT.
15. THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION. NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.

PARKING INFORMATION

| ITEM # | ITEM | REQUIREMENTS | EXISTING | PROPOSED | VARIANCE |
|--------|------------------------------|--|-------------------|-------------------|----------|
| 1 | BUILDING SIZE | NONE REQUIRED | 16,854 S.F. | 17,680 S.F. | NO |
| 2 | PARKING REQUIRED BY TOWNSHIP | 1 SPACE PER EVERY 250 SF OF GROSS FLOOR AREA (PREVIOUSLY REQUIRED: 67.4) TOTAL REQUIRED: 70.72 SPACES | 87 SPACES | 87 SPACES | NO |
| 3 | MINIMUM PARKING DIMENSIONS* | 9 FEET WIDE x 18 FEET LONG | 10'x20' & 10'x18' | 10'x20' & 10'x18' | NO |
| 4 | MINIMUM AISLE WIDTH | 24 FEET | 24 FEET | 24 FEET | NO |
| 5 | MINIMUM FRONT SETBACK | 40 FEET | 119 FEET | 119 FEET | NO |
| 6 | MINIMUM SIDE SETBACK | 5 FEET | 81 FEET | 81 FEET | NO |
| 7 | MINIMUM REAR SETBACK | 5 FEET | 5 FEET | 5 FEET | NO |
| 8 | MINIMUM INTERIOR LANDSCAPING | ONE DECIDUOUS TREE FOR EVERY 50 FEET OF LOT PERIMETER 10 SF LANDSCAPED AREA FOR EVERY INTERIOR PARKING SPACE =10x87=870 SF | 2,584 SF | 2,584 SF | NO |

*TOWN REGULATIONS REQUIRE MIN. PARKING SPACE DIMENSIONS OF 9'x18'. IF A PARKING SPACE FRONTS ON ANOTHER PARKING SPACE WITHOUT ANY CURB STOP SEPARATION, THE LENGTH MUST BE INCREASED TO 20'.

ZONING INFORMATION

| LOCATION: EAST HARTFORD, CONNECTICUT | | | | | |
|--|-----------------------------|--------------|----------------------------|----------------------------|----------|
| ZONE: B-6 (BUSINESS) [PREVIOUSLY B-1-A (BUSINESS)] | | | | | |
| USE: RETAIL FACILITY | | | | | |
| ITEM # | ITEM | REQUIREMENTS | EXISTING | PROPOSED | VARIANCE |
| 1 | MINIMUM LOT AREA | 20,000 S.F. | 139,722 S.F. 3.20 ACRES | 139,722 S.F. 3.20 ACRES | NO |
| 2 | MINIMUM LOT WIDTH | 100 FEET | 375 | 375 | NO |
| 3 | MINIMUM LOT FRONTAGE | 70 FEET | 375 | 375 | NO |
| 4 | MINIMUM FRONT SETBACK | 40 FEET | 210.7 FEET | 210.7 FEET | NO |
| 5 | MINIMUM SIDE SETBACK | 25 FEET | 25.3 FEET | 25.3 FEET | NO |
| 6 | MINIMUM REAR SETBACK | 40 FEET | 40.0 FEET | 27.99 FEET | YES* |
| 7 | MAXIMUM BUILDING HEIGHT | 50 FEET | 19.2 FEET | 19.2 FEET | NO |
| 8 | MAXIMUM BUILDING COVERAGE | 25 PERCENT | 12.1 PERCENT | 12.7 PERCENT | NO |
| 9 | MAXIMUM IMPERVIOUS COVERAGE | 75 PERCENT | 56.2 PERCENT | 56.6 PERCENT | NO |

*VARIANCE APPROVED BY THE TOWN OF EAST HARTFORD JANUARY 26, 2017

FOR PERMITTING PURPOSES ONLY
NOT RELEASED FOR CONSTRUCTION

SITE PLAN NOTES

1. ALL CONSTRUCTION SHALL COMPLY WITH PROJECT SPECIFICATION MANUAL; ALDI CORPORATION, TOWN OF EAST HARTFORD, STANDARDS AND SPECIFICATIONS CONNECTICUT DEPARTMENT OF TRANSPORTATION, AND 2010 ADA STANDARDS AND STATE BUILDING CODE IN THE ABOVE REFERENCED INCREASING HIERARCHY. IF SPECIFICATIONS ARE IN CONFLICT, THE MORE STRINGENT SPECIFICATION SHALL APPLY. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE OSHA, FEDERAL, STATE AND LOCAL REGULATIONS.
2. THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY ZONING PERMITS REQUIRED BY GOVERNMENT AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN TOWN CONSTRUCTION PERMITS, INCLUDING ANY DOT PERMITS AND ANY SEWER AND WATER CONNECTION PERMITS. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
3. REFER TO OTHER PLANS, DETAILS AND THE PROJECT MANUAL FOR ADDITIONAL INFORMATION. THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT THE SITE ENGINEER IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS. SO THAT APPROPRIATE REVISIONS CAN BE MADE PRIOR TO BIDDING. ANY CONFLICT BETWEEN THE DRAWINGS AND SPECIFICATIONS SHALL BE CONFIRMED WITH THE LOCAL CONSTRUCTION MANAGER OR ENGINEER PRIOR TO BIDDING.
4. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF THE REQUIRED PRODUCTS, AND MATERIALS PER PLANS AND SPECIFICATIONS TO THE OWNER AND SITE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 14 WORKING DAYS FOR REVIEW.
5. THE CONTRACTOR SHALL FOLLOW THE SEQUENCE OF CONSTRUCTION NOTES PROVIDED ON THE SEDIMENTATION AND EROSION CONTROL PLAN.
6. THE CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND CONSTRUCTION DETAILS OF BUILDING.
7. SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED, EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE CIVIL ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
8. DO NOT INTERRUPT EXISTING UTILITIES SERVICING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS, EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.

9. ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURBS OR EDGE OF PAVING UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF THE STRUCTURE.
10. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, TRAFFIC CONTROLLERS AND UNIFORMED TRAFFIC OFFICERS AS REQUIRED, ORDERED BY THE ENGINEER OR REQUIRED BY THE LOCAL GOVERNING AUTHORITIES OR AS REQUIRED BY PERMIT STIPULATIONS OR AS REQUIRED BY THE OWNER.
11. TRAFFIC CONTROL SIGNAGE SHALL CONFORM TO THE STATE DOT STANDARD DETAIL SHEETS AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. SIGNS SHALL BE INSTALLED PLUMB WITH THE EDGE OF THE SIGN 2' OFF THE FACE OF THE CURB, AND WITH 7" VERTICAL CLEARANCE UNLESS OTHERWISE DETAILED OR NOTED.
12. THE CONTRACT LIMIT IS THE PROPERTY LINE UNLESS OTHERWISE SPECIFIED OR SHOWN ON THE CONTRACT DRAWINGS.
13. THE CONTRACTOR SHALL ABIDE BY ALL OSHA FEDERAL STATE AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOISTS, ETC. IN CLOSE PROXIMITY TO OVERHEAD ELECTRIC LINES. IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINES, CONTACT POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS. ANY UTILITY PROVIDER FEES SHALL BE PAID FOR BY THE CONTRACTOR.
13. IF NOT PROPOSED FOR REMOVAL DURING DEMOLITION, THE CONTRACTOR SHALL RESTORE ANY EXISTING DRAINAGE STRUCTURE, PIPE, UTILITY, PAVEMENT, CURB, SIDEWALK, LANDSCAPED AREA, PAVEMENT MARKINGS OR SIGNAGE DISTURBED DURING CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER, AS APPROVED BY THE ENGINEER.
14. THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES AND STORMWATER SYSTEM) TO THE OWNER AND TOWN AT THE END OF CONSTRUCTION.
15. THE ARCHITECT OR ENGINEER IS NOT RESPONSIBLE FOR SITE SAFETY MEASURES TO BE EMPLOYED DURING CONSTRUCTION. THE ARCHITECT AND ENGINEER HAVE NO CONTRACTUAL DUTY TO CONTROL THE SAFETY METHODS OR MEANS OF THE WORK, JOB SITE RESPONSIBILITIES, SUPERVISION OR TO SUPERVISE SAFETY AND DOES NOT VOLUNTARILY ASSUME ANY SUCH DUTY OR RESPONSIBILITY.
21. THE CONTRACTOR SHALL COMPLY WITH CFR 29 PART 1926 FOR EXCAVATION TRENCHING AND TRENCH PROTECTION REQUIREMENTS.
22. ALTERNATIVE METHODS AND PRODUCTS, OTHER THAN THOSE SPECIFIED, MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, CIVIL ENGINEER, AND APPROPRIATE REGULATORY AGENCY PRIOR TO INSTALLATION DURING THE BUILDING PROCESS.
23. INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE SYSTEMS HAS BEEN COMPILED FROM DESIGN DRAWINGS FOR THE ALDI BUILDING AND AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL RECORD MAPS AND/OR FIELD SURVEY CONDUCTED IN 2007 AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES. PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" 72 HOURS BEFORE COMMENCEMENT OF WORK AT 800-922-4455 OR 811 AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS.
24. AN EROSION CONTROL BOND IS REQUIRED TO BE POSTED BY THE CONTRACTOR BEFORE THE START OF ANY ACTIVITY ON OR OFF SITE. THE AMOUNT OF THE EROSION CONTROL BOND WILL BE DETERMINED BY THE AUTHORITY HAVING JURISDICTION.
25. THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION. NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.
26. A DEMOLITION PERMIT IS REQUIRED FOR EXISTING BUILDING.
27. THE SITE IS CURRENTLY SERVICED BY PUBLIC WATER.
28. NO PART OF THE LOT IS LOCATED WITHIN ANY FEMA DESIGNATED FLOOD HAZARD AREAS.
29. THERE ARE NO WETLANDS LOCATED ON THE SITE AS INDICATED BY THE TOWN MAPPING.

30. CONTACT THE OWNER AND COORDINATE THE SCHEDULE FOR BUILDING DEMOLITION. CONTRACTOR SHALL SECURE THE NECESSARY PERMITS AND PAY ALL FEES. SELECTIVE BUILDING FOOTINGS, FOUNDATIONS, STRUCTURES, AND BUILDING UTILITY SERVICES SHALL BE REMOVED. REFER TO ARCHITECTURE, MEP, AND STRUCTURAL PLANS. COORDINATE ANY WORK WITH UTILITY COMPANIES. INSTALL TEMPORARY SHEETING AND SHORING TO PROTECT BUILDINGS AND UTILITIES FROM DAMAGE.
31. NO TRASH OR CONSTRUCTION DEBRIS IS TO BE BURIED ON THE SITE.
32. EXISTING BOUNDARY IS BASED ON DRAWING TITLED ALTA/ACSM LAND TITLE SURVEY. EXISTING TOPOGRAPHY IS BASED ON DRAWING TITLED ALTA/ACSM LAND TITLE SURVEY AND ON DESIGN DRAWINGS FOR THE ALDI SITE DATED MAY 16, 2008.
33. THE EXISTING BUILDING IS TO REMAIN OPEN FOR BUSINESS THROUGH THE CONSTRUCTION PERIOD. PROVIDE ACCESS FOR STAFF, CUSTOMERS, AND DELIVERIES FOR ALL OPEN HOURS.
34. ALL ADA DESIGNATED PARKING STALLS, ACCESS AISLES, AND PEDESTRIAN WALKWAYS SHALL CONFORM TO THE CURRENT VERSION OF THE AMERICANS WITH DISABILITIES ACT STANDARDS FOR ACCESSIBLE DESIGN AND ANSI STANDARDS AND MAY BE SUPERCEDED BY THE STATE OF CONNECTICUT BUILDING CODE.
35. CONSTRUCTION OCCURRING ON THIS SITE SHALL COMPLY WITH NFPA 24 STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATION AND DEMOLITION OPERATIONS AND CHAPTER 16 OF NFPA 1 UNIFORMED FIRE CODE.

GENERAL NOTES

1. ALL CONSTRUCTION SHALL COMPLY WITH PROJECT MANUAL; ALDI CORPORATION, LOCAL MUNICIPAL, COUNTY, AND STATE DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS, 2010 ADA STANDARDS, AND STATE BUILDING CODE IN THE ABOVE REFERENCED INCREASING HIERARCHY. IF SPECIFICATIONS ARE IN CONFLICT, THE MORE STRINGENT SPECIFICATION SHALL APPLY.
2. REFER TO OTHER PLANS BY OTHER DISCIPLINES, DETAILS AND PROJECT MANUAL FOR ADDITIONAL INFORMATION. THE CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND CONTACT THE CIVIL ENGINEER AND ARCHITECT IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS, SO THAT APPROPRIATE REVISIONS CAN BE MADE PRIOR TO BIDDING. ANY CONFLICT BETWEEN THE DRAWINGS AND SPECIFICATIONS SHALL BE CONFIRMED WITH THE LOCAL CONSTRUCTION MANAGER PRIOR TO BIDDING.
3. DO NOT INTERRUPT EXISTING UTILITIES SERVICING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
4. THE CONTRACTOR SHALL ABIDE BY ALL OSHA, FEDERAL, STATE, AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOISTS, ETC. IN CLOSE PROXIMITY TO OVERHEAD ELECTRIC LINES. IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINES, CONTACT POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS. ANY UTILITY COMPANY FEES SHALL BE PAID FOR BY THE CONTRACTOR.
5. THE CONTRACTOR SHALL PROVIDE RECORD DRAWINGS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES AND STORMWATER SYSTEM) TO THE OWNER AT THE END OF CONSTRUCTION.
6. THE ARCHITECT OR ENGINEER IS NOT RESPONSIBLE FOR SITE SAFETY MEASURES TO BE EMPLOYED DURING CONSTRUCTION. THE ARCHITECT AND ENGINEER HAVE NO CONTRACTUAL DUTY TO CONTROL THE SAFEST METHODS OR MEANS OF THE WORK, JOB SITE RESPONSIBILITIES, SUPERVISION OR TO SUPERVISE SAFETY AND DOES NOT VOLUNTARILY ASSUME ANY SUCH DUTY OR RESPONSIBILITY.
7. THE CONTRACTOR SHALL COMPLY WITH CFR 29 PART 1926 FOR EXCAVATION TRENCHING AND TRENCH PROTECTION REQUIREMENTS.
8. INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE SYSTEMS HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL OR COUNTY OR STATE RECORD MAPS AND/OR FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES. PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" 72 HOURS BEFORE COMMENCEMENT OF WORK AT 1-800-922-4455 OR AT 811 AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS.
9. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN OVER SCALED DIMENSIONS.
10. IF PLANS AND OR SPECIFICATIONS ARE IN CONFLICT, THE MOST COSTLY SHALL APPLY.
11. ALL CONTRACTORS AND SUBCONTRACTORS SHALL OBTAIN COMPLETE DRAWING PLAN SETS FOR BIDDING AND CONSTRUCTION. PLAN SETS OR PLAN SET ELECTRONIC POSTINGS SHALL NOT BE DISASSEMBLED INTO PARTIAL PLAN SETS FOR USE BY CONTRACTORS AND SUBCONTRACTORS OF INDIVIDUAL TRADES. IT SHALL BE THE CONTRACTOR'S AND SUBCONTRACTOR'S RESPONSIBILITY TO OBTAIN COMPLETE PLAN SETS OR COMPLETE PLAN SET ELECTRONIC POSTINGS FOR USE IN BIDDING AND CONSTRUCTION.
12. ALL NOTES AND DIMENSIONS DESIGNATED "TYPICAL" APPLY TO ALL LIKE OR SIMILAR CONDITIONS THROUGHOUT THE PROJECT.
13. CONTRACTOR(S) TO TAKE AND VERIFY ALL DIMENSIONS AND CONDITIONS OF THE WORK AND BE RESPONSIBLE FOR COORDINATION OF SAME. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF WORK.
14. BL WILL PREPARE FINAL CONSTRUCTION DOCUMENTS SUITABLE FOR BIDDING AND CONSTRUCTION. PROGRESS SETS OF THESE DOCUMENTS ARE NOT SUITABLE FOR THOSE PURPOSES. IF CLIENT ELECTS TO SOLICIT BIDS OR ENTER INTO CONSTRUCTION CONTRACTS UTILIZING CONSTRUCTION DOCUMENTS THAT ARE NOT YET FINAL, CONSULTANT SHALL NOT BE RESPONSIBLE FOR ANY COSTS OR DELAY ARISING AS A RESULT.
15. THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION. NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.

PARKING INFORMATION

| ITEM # | ITEM | REQUIREMENTS | EXISTING | PROPOSED | VARIANCE |
|--------|------------------------------|--|-------------------|-------------------|----------|
| 1 | BUILDING SIZE | NONE REQUIRED | 16,854 S.F. | 17,680 S.F. | NO |
| 2 | PARKING REQUIRED BY TOWNSHIP | 1 SPACE PER EVERY 250 SF OF GROSS FLOOR AREA (PREVIOUSLY REQUIRED: 67.4) TOTAL REQUIRED: 70.72 SPACES | 87 SPACES | 87 SPACES | NO |
| 3 | MINIMUM PARKING DIMENSIONS* | 9 FEET WIDE x 18 FEET LONG | 10'x20' & 10'x18' | 10'x20' & 10'x18' | NO |
| 4 | MINIMUM AISLE WIDTH | 24 FEET | 24 FEET | 24 FEET | NO |
| 5 | MINIMUM FRONT SETBACK | 40 FEET | 119 FEET | 119 FEET | NO |
| 6 | MINIMUM SIDE SETBACK | 5 FEET | 81 FEET | 81 FEET | NO |
| 7 | MINIMUM REAR SETBACK | 5 FEET | 5 FEET | 5 FEET | NO |
| 8 | MINIMUM INTERIOR LANDSCAPING | ONE DECIDUOUS TREE FOR EVERY 50 FEET OF LOT PERIMETER 10 SF LANDSCAPED AREA FOR EVERY INTERIOR PARKING SPACE =10x87=870 SF | 2,584 SF | 2,584 SF | NO |

*TOWN REGULATIONS REQUIRE MIN. PARKING SPACE DIMENSIONS OF 9'x18'. IF A PARKING SPACE FRONTS ON ANOTHER PARKING SPACE WITHOUT ANY CURB STOP SEPARATION, THE LENGTH MUST BE INCREASED TO 20'.

ZONING INFORMATION

| LOCATION: EAST HARTFORD, CONNECTICUT | | | | | |
|--|-----------------------------|--------------|----------------------------|----------------------------|----------|
| ZONE: B-6 (BUSINESS) [PREVIOUSLY B-1-A (BUSINESS)] | | | | | |
| USE: RETAIL FACILITY | | | | | |
| ITEM # | ITEM | REQUIREMENTS | EXISTING | PROPOSED | VARIANCE |
| 1 | MINIMUM LOT AREA | 20,000 S.F. | 139,722 S.F. 3.20 ACRES | 139,722 S.F. 3.20 ACRES | NO |
| 2 | MINIMUM LOT WIDTH | 100 FEET | 375 | 375 | NO |
| 3 | MINIMUM LOT FRONTAGE | 70 FEET | 375 | 375 | NO |
| 4 | MINIMUM FRONT SETBACK | 40 FEET | 210.7 FEET | 210.7 FEET | NO |
| 5 | MINIMUM SIDE SETBACK | 25 FEET | 25.3 FEET | 25.3 FEET | NO |
| 6 | MINIMUM REAR SETBACK | 40 FEET | 40.0 FEET | 27.99 FEET | YES* |
| 7 | MAXIMUM BUILDING HEIGHT | 50 FEET | 19.2 FEET | 19.2 FEET | NO |
| 8 | MAXIMUM BUILDING COVERAGE | 25 PERCENT | 12.1 PERCENT | 12.7 PERCENT | NO |
| 9 | MAXIMUM IMPERVIOUS COVERAGE | 75 PERCENT | 56.2 PERCENT | 56.6 PERCENT | NO |

*VARIANCE APPROVED BY THE TOWN OF EAST HARTFORD JANUARY 26, 2017

FOR PERMITTING PURPOSES ONLY
NOT RELEASED FOR CONSTRUCTION

SITE PLAN NOTES

1. ALL CONSTRUCTION SHALL COMPLY WITH PROJECT SPECIFICATION MANUAL; ALDI CORPORATION, TOWN OF EAST HARTFORD, STANDARDS AND SPECIFICATIONS CONNECTICUT DEPARTMENT OF TRANSPORTATION, AND 2010 ADA STANDARDS AND STATE BUILDING CODE IN THE ABOVE REFERENCED INCREASING HIERARCHY. IF SPECIFICATIONS ARE IN CONFLICT, THE MORE STRINGENT SPECIFICATION SHALL APPLY. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE OSHA, FEDERAL, STATE AND LOCAL REGULATIONS.
2. THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY ZONING PERMITS REQUIRED BY GOVERNMENT AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN TOWN CONSTRUCTION PERMITS, INCLUDING ANY DOT PERMITS AND ANY SEWER AND WATER CONNECTION PERMITS. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
3. REFER TO OTHER PLANS, DETAILS AND THE PROJECT MANUAL FOR ADDITIONAL INFORMATION. THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT THE SITE ENGINEER IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS. SO THAT APPROPRIATE REVISIONS CAN BE MADE PRIOR TO BIDDING. ANY CONFLICT BETWEEN THE DRAWINGS AND SPECIFICATIONS SHALL BE CONFIRMED WITH THE LOCAL CONSTRUCTION MANAGER OR ENGINEER PRIOR TO BIDDING.
4. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF THE REQUIRED PRODUCTS, AND MATERIALS PER PLANS AND SPECIFICATIONS TO THE OWNER AND SITE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 14 WORKING DAYS FOR REVIEW.
5. THE CONTRACTOR SHALL FOLLOW THE SEQUENCE OF CONSTRUCTION NOTES PROVIDED ON THE SEDIMENTATION AND EROSION CONTROL PLAN.
6. THE CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND CONSTRUCTION DETAILS OF BUILDING.
7. SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED, EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE CIVIL ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
8. DO NOT INTERRUPT EXISTING UTILITIES SERVICING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS, EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.

9. ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURBS OR EDGE OF PAVING UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF THE STRUCTURE.
10. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, TRAFFIC CONTROLLERS AND UNIFORMED TRAFFIC OFFICERS AS REQUIRED, ORDERED BY THE ENGINEER OR REQUIRED BY THE LOCAL GOVERNING AUTHORITIES OR AS REQUIRED BY PERMIT STIPULATIONS OR AS REQUIRED BY THE OWNER.
11. TRAFFIC CONTROL SIGNAGE SHALL CONFORM TO THE STATE DOT STANDARD DETAIL SHEETS AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. SIGNS SHALL BE INSTALLED PLUMB WITH THE EDGE OF THE SIGN 2' OFF THE FACE OF THE CURB, AND WITH 7" VERTICAL CLEARANCE UNLESS OTHERWISE DETAILED OR NOTED.
12. THE CONTRACT LIMIT IS THE PROPERTY LINE UNLESS OTHERWISE SPECIFIED OR SHOWN ON THE CONTRACT DRAWINGS.
13. THE CONTRACTOR SHALL ABIDE BY ALL OSHA FEDERAL STATE AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOISTS, ETC. IN CLOSE PROXIMITY TO OVERHEAD ELECTRIC LINES. IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINES, CONTACT POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS. ANY UTILITY PROVIDER FEES SHALL BE PAID FOR BY THE CONTRACTOR.
13. IF NOT PROPOSED FOR REMOVAL DURING DEMOLITION, THE CONTRACTOR SHALL RESTORE ANY EXISTING DRAINAGE STRUCTURE, PIPE, UTILITY, PAVEMENT, CURB, SIDEWALK, LANDSCAPED AREA, PAVEMENT MARKINGS OR SIGNAGE DISTURBED DURING CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER, AS APPROVED BY THE ENGINEER.
14. THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES AND STORMWATER SYSTEM) TO THE OWNER AND TOWN AT THE END OF CONSTRUCTION.
15. THE ARCHITECT OR ENGINEER IS NOT RESPONSIBLE FOR SITE SAFETY MEASURES TO BE EMPLOYED DURING CONSTRUCTION. THE ARCHITECT AND ENGINEER HAVE NO CONTRACTUAL DUTY TO CONTROL THE SAFETY METHODS OR MEANS OF THE WORK, JOB SITE RESPONSIBILITIES, SUPERVISION OR TO SUPERVISE SAFETY AND DOES NOT VOLUNTARILY ASSUME ANY SUCH DUTY OR RESPONSIBILITY.
21. THE CONTRACTOR SHALL COMPLY WITH CFR 29 PART 1926 FOR EXCAVATION TRENCHING AND TRENCH PROTECTION REQUIREMENTS.
22. ALTERNATIVE METHODS AND PRODUCTS, OTHER THAN THOSE SPECIFIED, MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, CIVIL ENGINEER, AND APPROPRIATE REGULATORY AGENCY PRIOR TO INSTALLATION DURING THE BUILDING PROCESS.
23. INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE SYSTEMS HAS BEEN COMPILED FROM DESIGN DRAWINGS FOR THE ALDI BUILDING AND AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL RECORD MAPS AND/OR FIELD SURVEY CONDUCTED IN 2007 AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES. PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" 72 HOURS BEFORE COMMENCEMENT OF WORK AT 800-922-4455 OR 811 AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS.
24. AN EROSION CONTROL BOND IS REQUIRED TO BE POSTED BY THE CONTRACTOR BEFORE THE START OF ANY ACTIVITY ON OR OFF SITE. THE AMOUNT OF THE EROSION CONTROL BOND WILL BE DETERMINED BY THE AUTHORITY HAVING JURISDICTION.
25. THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION. NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.
26. A DEMOLITION PERMIT IS REQUIRED FOR EXISTING BUILDING.
27. THE SITE IS CURRENTLY SERVICED BY PUBLIC WATER.
28. NO PART OF THE LOT IS LOCATED WITHIN ANY FEMA DESIGNATED FLOOD HAZARD AREAS.
29. THERE ARE NO WETLANDS LOCATED ON THE SITE AS INDICATED BY THE TOWN MAPPING.

30. CONTACT THE OWNER AND COORDINATE THE SCHEDULE FOR BUILDING DEMOLITION. CONTRACTOR SHALL SECURE THE NECESSARY PERMITS AND PAY ALL FEES. SELECTIVE BUILDING FOOTINGS, FOUNDATIONS, STRUCTURES, AND BUILDING UTILITY SERVICES SHALL BE REMOVED. REFER TO ARCHITECTURE, MEP, AND STRUCTURAL PLANS. COORDINATE

STORM LINE

1. SEE SITE PLAN FOR ADDITIONAL GENERAL NOTES.
2. THIS DRAWING IS INTENDED TO DESCRIBE GRADING AND DRAINAGE ONLY. REFER TO SITE PLAN FOR GENERAL INFORMATION AND DETAIL SHEETS FOR DETAILS.
3. THE CONTRACTOR SHALL PRESERVE EXISTING VEGETATION WHERE POSSIBLE AND/OR AS NOTED ON DRAWINGS. REFER TO SEDIMENTATION AND EROSION CONTROL PLAN FOR LIMIT OF DISTURBANCE AND EROSION CONTROL NOTES.
4. TOPSOIL SHALL BE STRIPPED AND STOCKPILED ON SITE FOR USE IN FINAL LANDSCAPING.
5. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION PERMITS REQUIRED BY GOVERNMENT AND LOCAL AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY CONSTRUCTION PERMITS FROM THE STATE OF CALIFORNIA AND TO PERFORM ALL REQUIRED WORK, INCLUDING ANY CONNECTIONS TO EXISTING UTILITIES. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
6. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF CROWDS, BARRIERS, SIGNS, LIGHTS, FENCES, TEMPORARY WALKWAYS AND UNIFORMED TRAFFIC CONTROLLERS AS REQUIRED BY THE ENGINEER OR REQUIRED BY THE STATE AND LOCAL GOVERNING AUTHORITIES OR AS REQUIRED BY THE OWNER.
7. FILL WITHIN PROPOSED BUILDING ADDITION FOUNDATION AREA SHALL BE CHECKED BY TEST PIT AND PROOF-ROLLING AND SHALL BE OBSERVED BY THE OWNER'S GEOTECHNICAL ENGINEER. SUBGRADE SHALL BE FORMED WITH REMOVAL AND REPLACEMENT OF FILL AND REMOVAL AND REPLACEMENT OF SOFT SUBGRADE MATERIAL AS ORDERED BY THE GEOTECHNICAL ENGINEER. SEE GEOTECHNICAL REPORT AND EARTHWORK SPECIFICATIONS FOR FURTHER DESCRIPTION.
8. THE CONTRACTOR SHALL COMPACT FILL IN LIFT THICKNESS PER THE GEOTECHNICAL REPORT UNDER PROPOSED BUILDING FOUNDATION. SEE GEOTECHNICAL REPORT FOR MAXIMUM DENSITY AS DETERMINED BY ASTM D1557 (MODIFIED PROCTOR TEST) OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER.

10. CLEARING LIMITS SHALL BE PHYSICALLY MARKED IN THE FIELD AND APPROVED BY THE TOWN OF EAST HARTFORD AGENT PRIOR TO THE START OF WORK ON THE SITE.

10. CLEARING LIMITS SHALL BE PHYSICALLY MARKED IN THE FIELD AND APPROVED BY THE TOWN OF EAST HARTFORD AGENT PRIOR TO THE START OF WORK ON THE SITE.

11. PREPARATION CONSTRUCTION PROCEDURES SHALL BE FOLLOWED ON ALL IMPROVEMENTS WITHIN THIS PARCEL SO AS TO PREVENT THE SILING OF ANY WATERCOURSE OR WETLANDS IN ACCORDANCE WITH THE REGULATIONS OF THE CONNECTICUT DEPARTMENT OF ENERGY & ENVIRONMENT PROTECTION AND THE 2002 CONNECTICUT GUIDELINES FOR EROSION AND SEDIMENT CONTROL. IN ADDITION, THE CONTRACTOR SHALL STRICTLY ADHERE TO THE SEDIMENT AND EROSION CONTROL PLAN CONTAINED HEREIN. THE CONTRACTOR SHALL BE RESPONSIBLE TO POST ALL BONDS AS REQUIRED BY THE TOWN OF EAST HARTFORD WHICH WOULD GUARANTEE THE PROPER IMPLEMENTATION OF THE PLAN.

12. ALL SITE WORK, MATERIALS OR CONSTRUCTION, AND CONSTRUCTION METHODS FOR EARTHWORK AND STORM DRAINAGE WORK SHALL CONFORM TO THE SPECIFICATIONS AND DETAILS AND APPLICABLE SECTIONS OF THE PROJECT SPECIFICATIONS MANUAL. OTHERWISE THIS WORK SHALL CONFORM TO THE STATE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AND PROJECT GEOTECHNICAL REPORT IF THERE IS NO PROJECT SPECIFICATIONS MANUAL. ALL FILL MATERIAL UNDER STRUCTURES AND PAVED AREAS SHALL BE PER THE ABOVE STATED APPLICABLE SPECIFICATIONS, AND/OR PROJECT GEOTECHNICAL REPORT, AND SHALL BE PLACED IN ACCORDANCE WITH THE APPLICABLE SPECIFICATIONS UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL ENGINEER. MATERIAL SHALL BE COMPACTED IN LIFT THICKNESSES PER THE PROJECT GEOTECHNICAL REPORT TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D 1557 AT MOISTURE CONTENT INDICATED IN PROJECT GEOTECHNICAL REPORT.

13. ALL DISTURBANCE INCURRED TO MUNICIPAL AND STATE PROPERTY DUE TO CONSTRUCTION SHALL BE RESTORED TO ITS PREVIOUS CONDITION OR BETTER, TO THE SATISFACTION OF THE MUNICIPALITY AND STATE AS APPLICABLE FOR THE LOCATION OF THE WORK.

14. ALL CONSTRUCTION SHALL COMPLY WITH THE PROJECT SPECIFICATIONS MANUAL, ALDI CORPORATION AND THE LOCAL MUNICIPALITY'S STANDARDS AND STATE DOT SPECIFICATIONS AS APPLICABLE FOR THE LOCATION OF THE WORK. ALL CONSTRUCTION WITHIN A DOT RIGHT OF WAY SHALL COMPLY WITH ALL DEPARTMENT OF TRANSPORTATION STANDARDS. WHERE SPECIFICATIONS OR STANDARDS ARE IN CONFLICT, THE MORE STRINGENT SPECIFICATION OR STANDARD SHALL BE SUPERIOR.

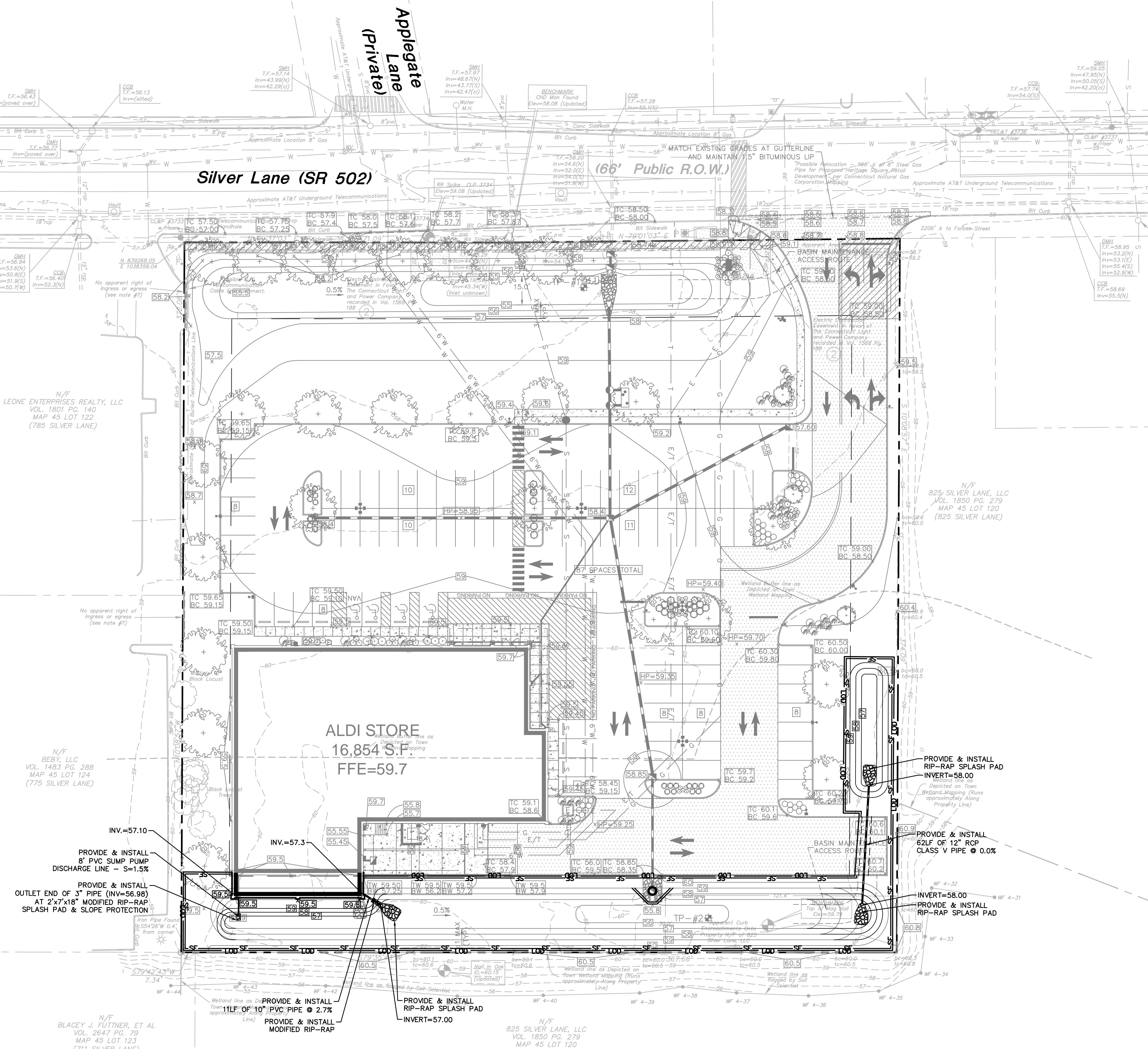
15. IF IMPACTED OR CONTAMINATED SOIL IS ENCOUNTERED BY THE CONTRACTOR, THE CONTRACTOR SHALL SUSPEND EXCAVATION WORK OF IMPACTED SOIL AND NOTIFY THE OWNER AND/OR OWNER'S ENVIRONMENTAL CONSULTANT PRIOR TO PROCEEDING WITH FURTHER WORK IN THE IMPACTED SOIL LOCATION UNTIL FURTHER INSTRUCTED BY THE OWNER AND/OR OWNER'S ENVIRONMENTAL CONSULTANT.

16. ELEVATIONS AND CONTOURS REFER TO NAVD 88 VALUES HOLDING BENCHMARK MONUMENT CTGS 270X WITH THE PUBLISHED ELEVATION OF 45.325'

PRODUCT NOTES:


1. SHOP DRAWINGS: THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF MATERIALS AND STRUCTURES FOR REVIEW AND APPROVAL PRIOR TO DELIVERY TO THE SITE. ALLOW 14 WORKING DAYS FOR REVIEW.

2. POLYVINYL CHLORIDE PIPE (PVC) FOR STORM PIPING SHALL HAVE BUILT-IN RUBBER GASKET JOINTS. PVC SHALL CONFORM TO ASTM D-3034 (SDR35) WITH COMPRESSION JOINTS AND MOLDED FITTINGS. PVC SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAILS; ASTM-D2321 AND MANUFACTURERS RECOMMENDED PROCEDURE.



GRAPHIC SCALE

30 15 0 30



SCALE IN FEET

FOR PERMITTING PURPOSES ONLY
NOT RELEASED FOR CONSTRUCTION



BL
Companies

ARCHITECTURE
ENGINEERING
PLANNING
LANDSCAPE ARCHITECTURE
LAND SURVEYING
ENVIRONMENTAL SCIENCES

150 Trumbull Street, 6th floor
Hartford, CT 06103
(860) 249-2200
(860) 249-2400 Fax



PROPOSED ALDI STORE #47 EXPANSION
801 SILVER LANE
EAST HARTFORD, CONNECTICUT

| REVIEWS | | Desc. |
|---------|----------|-----------------------|
| No. | Date | |
| 1 | 03/27/17 | REV FOR TOWN COMMENTS |
| 2 | 04/12/17 | REV FOR TOWN COMMENTS |

| | |
|-------------|-------------|
| Designed | M.J.B. |
| Drawn | M.J.B. |
| Checked | J.G.B. |
| Approved | J.G.B. |
| Scale | 1"=30' |
| Project No. | 16C6077 |
| Date | 02/21/17 |
| CAD File | GU16C607701 |

Title
GRADING AND
DRAINAGE PLAN

Sheet No.

GU-1

Apr 11, 2017 11:42am JBates G:\JOBS16\16C\16C6077\DWG\GU16C607701.dwg

THESE DRAWINGS SHALL NOT BE UTILIZED BY ANY PERSON, FIRM OR CORPORATION WITHOUT THE SPECIFIC WRITTEN PERMISSION OF BL COMPANIES

ref (s): BD04C000003. XXXXXXXXXXXXXXXX



PROPOSED ALDI STORE #47 EXPANSION
801 SILVER LANE
EAST HARTFORD, CONNECTICUT

| REVISIONS | Desc. | REV FOR TOWN COMMENTS |
|-----------|----------|-----------------------|
| No. | Date | REV FOR TOWN COMMENTS |
| 1 | 03/27/17 | REV FOR TOWN COMMENTS |
| 2 | 04/12/17 | REV FOR TOWN COMMENTS |

Designed M.J.B.
Drawn M.J.B.
Checked J.G.B.
Approved J.G.B.
Scale 1"=30'
Project No. 16C6077
Date 02/21/17
CAD File EC16C607701

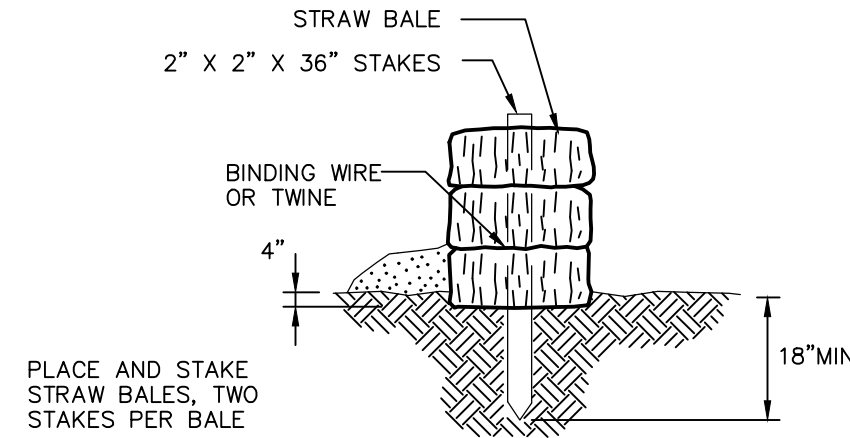
Title
SEDIMENTATION & EROSION CONTROL PLAN

Sheet No.

EC-1

EROSION CONTROL LEGEND

| CONTROL MEASURE | ILLUSTRATION |
|------------------------|--------------|
| GEOTEXTILE SILT FENCE | SF |
| PROPOSED HAYBALES | HB |
| STOCKPILE OF MATERIALS | SM |
| SILTSACK | SS |
| LIMIT OF DISTURBANCE | LOD |
| CONTRACT LIMIT LINE | --- |



STRAW BALE BARRIERS SHOULD NOT BE USED FOR MORE THAN 3 MONTHS

SEDIMENT MUST BE REMOVED WHEN ACCUMULATIONS REACH 1/3 THE ABOVE GROUND HEIGHT OF THE BARRIER.

ANY SECTION OF STRAW BALE BARRIER WHICH HAS BEEN UNDERMINED OR TOPPED MUST BE IMMEDIATELY REPLACED WITH A ROCK FILTER OUTLET.

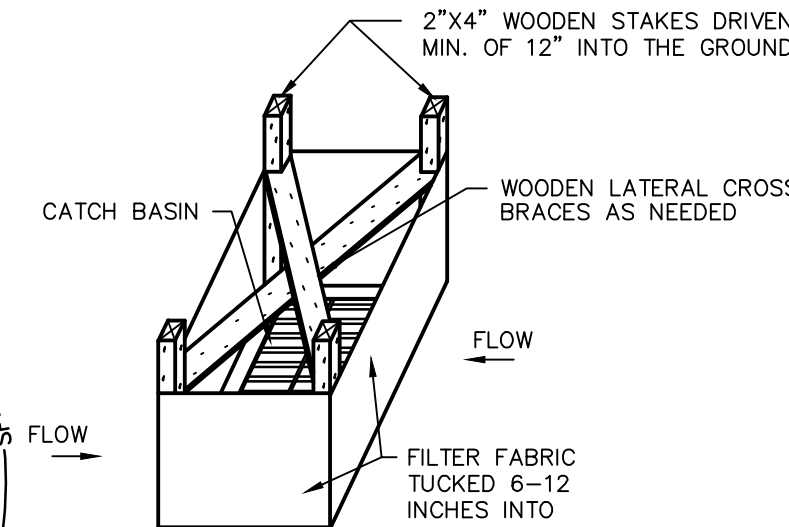
STRAW BALE DETAIL

N.T.S. BLEC-007

SILT FENCING
DIRECTION OF RUN-OFF FLOW (TYP.)

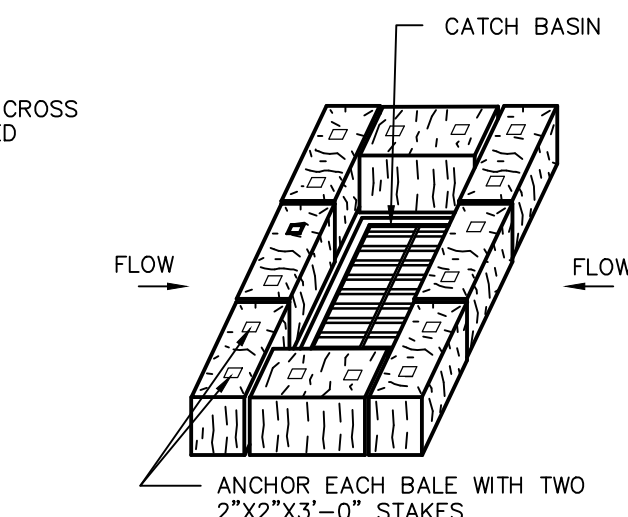
SOIL/AGGREGATE STOCKPILE OF EXISTING SITE MATERIAL TO BE REUSED AND/OR NEW MATERIAL TO BE INSTALLED IN THE WORK

- NOTES:
1. ALL EXISTING EXCAVATED MATERIAL THAT IS NOT TO BE REUSED IN THE WORK IS TO BE IMMEDIATELY REMOVED FROM THE SITE AND PROPERLY DISPOSED OF.
 2. SOIL/AGGREGATE STOCKPILE SITES TO BE WHERE SHOWN ON THE DRAWINGS.
 3. RESTORE STOCKPILE SITES TO PRE-EXISTING PROJECT CONDITION AND RESEED AS REQUIRED.
 4. STOCKPILE HEIGHTS MUST NOT EXCEED 35'. STOCKPILE SLOPES MUST BE 2:1 OR FLATTER.



SILT FENCE INSTALLATION AT CATCH BASIN AT LOW POINTS

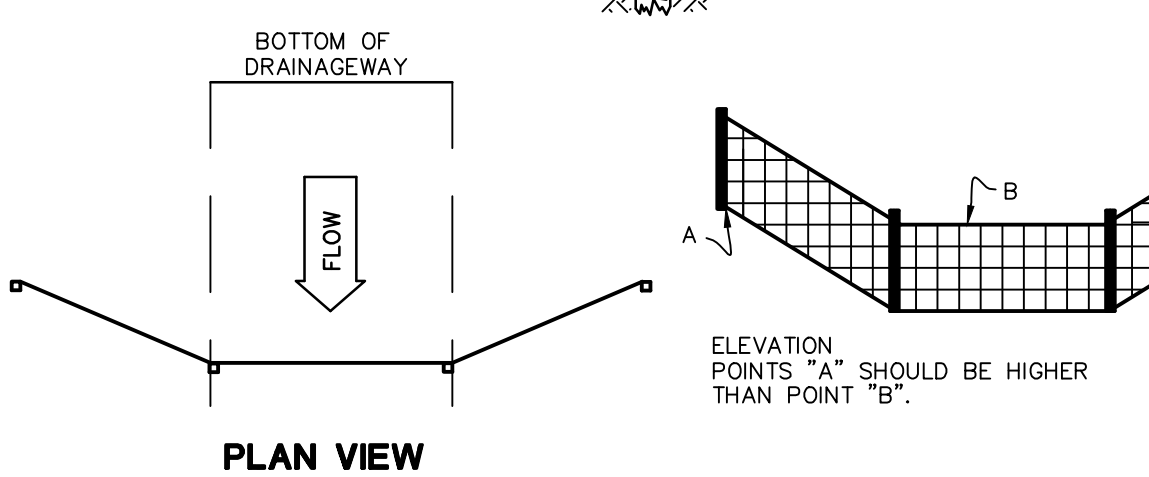
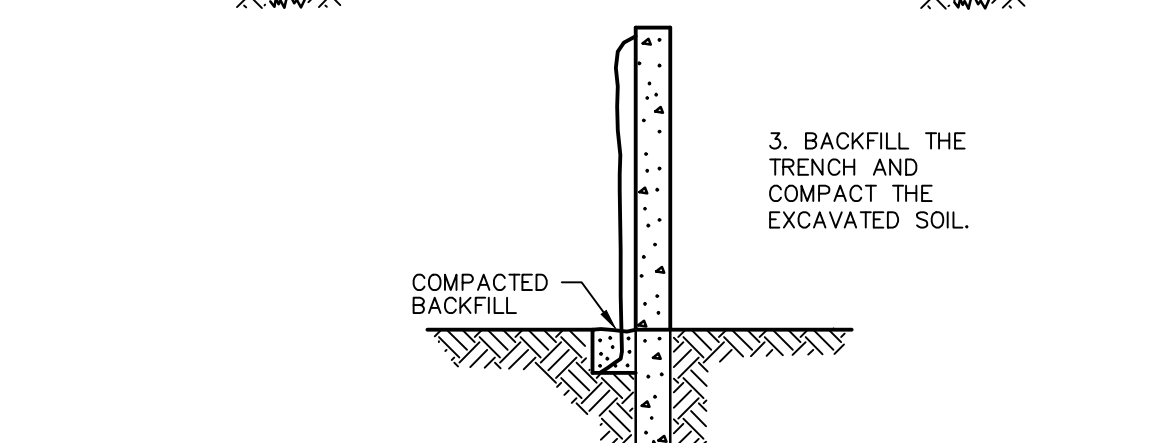
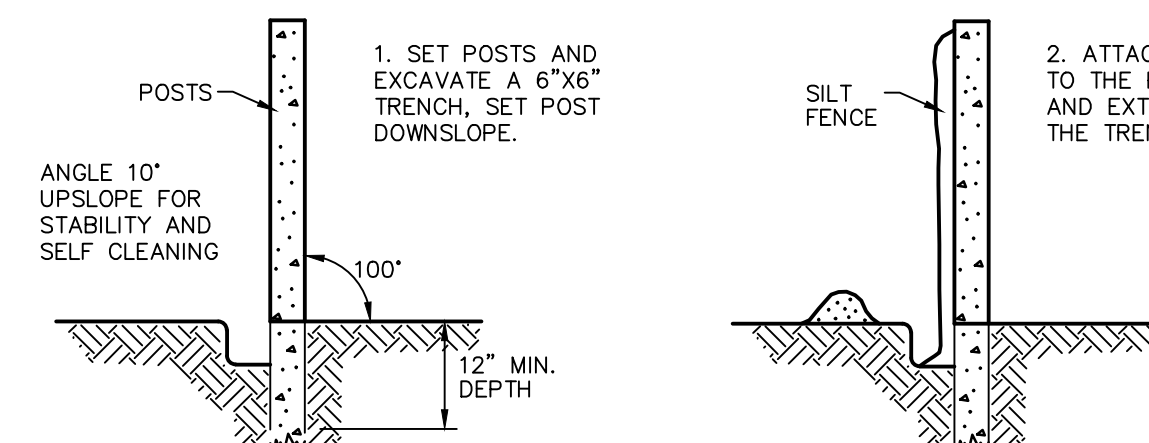
STORMWATER INLETS WHICH DO NOT DISCHARGE TO SEDIMENT TRAPS OR BASINS, MUST BE PROTECTED UNTIL THE TRIBUTARY AREAS ARE STABILIZED.
SEDIMENT MUST BE REMOVED FROM INLET PROTECTION AFTER EACH STORM EVENT.



HAY BALE FILTER INSTALLATION AT CATCH BASIN AT LOW POINTS

MATERIALS STOCKPILE DETAIL

N.T.S. BLEC-006

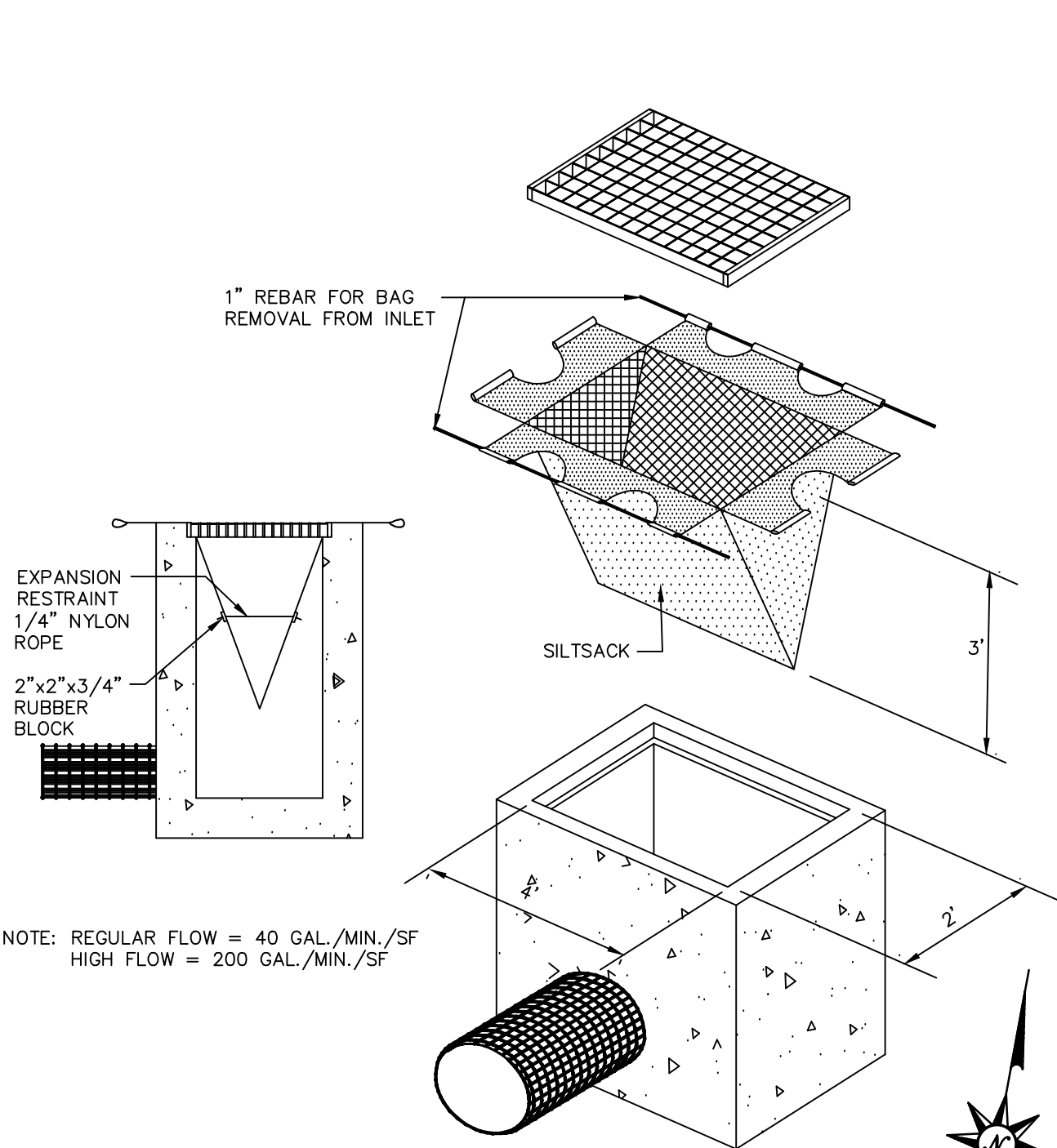


SILT FENCE BARRIER

N.T.S. CTEC-003

CATCH BASIN EROSION CONTROL

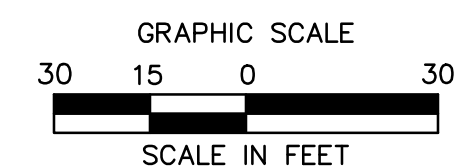
N.T.S. BLEC-012



SILTSACK DETAIL

N.T.S. BLEC-005

NOTE: REGULAR FLOW = 40 GAL./MIN./SF
HIGH FLOW = 200 GAL./MIN./SF

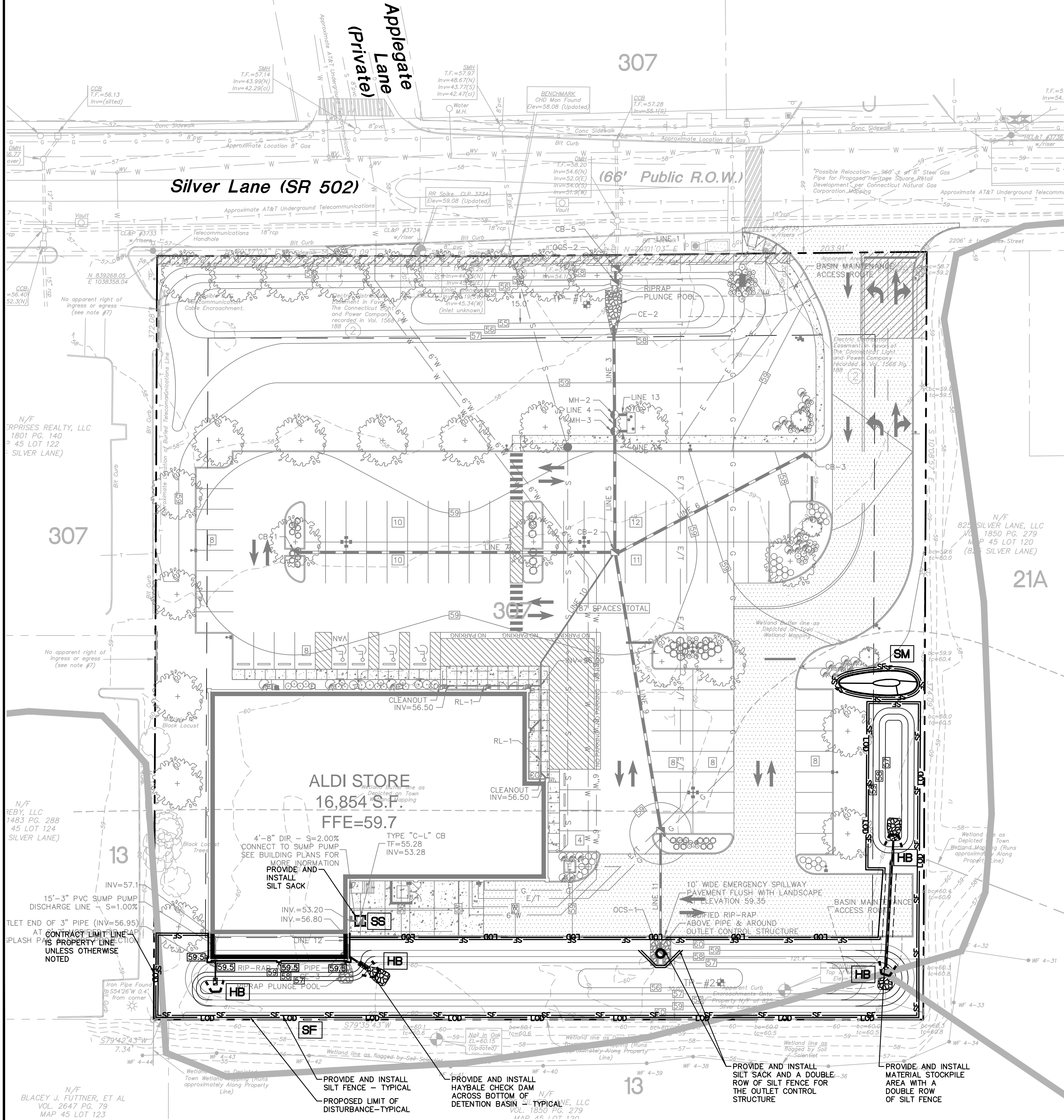


THE EAST HARTFORD PLANNING AND ZONING COMMISSION CERTIFIES THAT THE SOIL-EROSION AND SEDIMENT-CONTROL PLAN COMPLIES WITH THE REQUIREMENTS OF THE TOWN OF EAST HARTFORD REGULATIONS AND THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENTATION CONTROL DATED 2002, AS AMENDED. THE APPLICANT UNDER THIS PLAN IS RESPONSIBLE FOR ENSURING COMPLIANCE WITH THE PLAN. THE TOWN OF EAST HARTFORD SHALL NOT BE HELD LIABLE FOR IMPROPER INSTALLATION, LACK OF MAINTENANCE, OR OTHER NEGLIGENCE ON BEHALF OF THE APPLICANT.

CHAIRMAN _____ APPROVAL DATE _____

**FOR PERMITTING PURPOSES ONLY
NOT RELEASED FOR CONSTRUCTION**

SEE SHEET EC-2 FOR SEDIMENTATION & EROSION CONTROL NOTES



EROSION CONTROL NOTES

SEDIMENT AND EROSION CONTROL NOTES – CONNECTICUT

SEDIMENT & EROSION CONTROL NARRATIVE
THE SEDIMENT AND EROSION CONTROL PLAN WAS DEVELOPED TO PROTECT THE EXISTING ROADWAY AND STORM DRAINAGE SYSTEMS, ADJACENT PROPERTIES, AND ANY ADJACENT WETLAND AREA AND ANY ADJACENT WATER COURSE FROM SEDIMENT LADEN SURFACE RUNOFF AND EROSION. A CONSTRUCTION SEQUENCE IS PROVIDED TO PROVIDE SURFACE RUNOFF EROSION CONTROLS PRIOR TO THE BEGINNING OF PROJECT DEMOLITION AND/OR CONSTRUCTION.

CONSTRUCTION SCHEDULE
THE ANTICIPATED STARTING DATE FOR CONSTRUCTION IS SPRING 2017 WITH COMPLETION ANTICIPATED FALL 2017. APPROPRIATE SEDIMENT AND EROSION CONTROL MEASURES AS DESCRIBED HEREIN SHALL BE INSTALLED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF ALL DEMOLITION OR CONSTRUCTION ACTIVITY. SCHEDULE WORK TO MINIMIZE THE LENGTH OF TIME THAT BARE SOIL WILL BE EXPOSED.

CONTINGENCY EROSION PLAN
THE CONTRACTOR SHALL INSTALL ALL SPECIFIED SEDIMENT AND EROSION CONTROL MEASURES AND WILL BE REQUIRED TO MAINTAIN THEM IN THEIR INTENDED FUNCTIONING CONDITION. THE AGENTS OF THE TOWN OF EAST HARTFORD AND/OR CIVIL ENGINEER SHALL HAVE THE AUTHORITY TO REQUIRE SUPPLEMENTAL MAINTENANCE OR ADDITIONAL MEASURES IF FIELD CONDITIONS ARE ENCOUNTERED BEYOND WHAT WOULD NORMALLY BE ANTICIPATED.

CONSTRUCTION SEQUENCE
THE FOLLOWING CONSTRUCTION SEQUENCE IS RECOMMENDED:
1. CONTACT TOWN OF EAST HARTFORD AGENT AT LEAST FORTY–EIGHT (48) HOURS PRIOR TO COMMENCEMENT OF ANY DEMOLITION, CONSTRUCTION OR REGULATED ACTIVITY ON THIS PROJECT.

2. CLEARING LIMITS SHALL BE PHYSICALLY MARKED IN THE FIELD AND APPROVED BY THE TOWN OF EAST HARTFORD AGENT PRIOR TO THE START OF WORK ON THE SITE. INSTALL TREE PROTECTION AND PERIMETER SILT FENCE.

3. INSTALL FILTER FABRIC AROUND GRATES OF CATCH BASINS OR INSTALL SILT SACKS ON CATCH BASIN INLETS. INSTALL SILT FENCE AND OTHER EROSION CONTROL DEVICES INDICATED ON THESE PLANS AT PERIMETER OF PROPOSED SITE DISTURBANCE AND INSTALL ALL EROSION CONTROL MEASURES AND TREE PROTECTION INDICATED ON THESE PLANS. INSTALL SEDIMENT BASINS AND SEDIMENT TRAPS IF REQUIRED AT LOW AREAS OF SITE OR AS ORDERED BY THE ENGINEER OR AS SHOWN ON THESE PLANS.

4. CLEAR AND GRUB SITE. STOCKPILE CHIPS. STOCKPILE TOPSOIL. INSTALL SEDIMENT AND EROSION CONTROLS AT STOCKPILES.

5. BUILDING AND SITE DEMOLITION AND REMOVAL.

6. INSTALL SILT FENCE, CONSTRUCT DIVERSION SWALES AND SEDIMENT TRAPS. COMMENCE INSTALLATION OF STORM DRAINAGE SYSTEM.

7. COMMENCE EARTHWORK. INSTALL ADDITIONAL SEDIMENT AND EROSION CONTROLS AS WORK PROGRESSES AND CONTINUE STORM DRAINAGE SYSTEM CONSTRUCTION, TOPSOIL AND SEED SLOPES WHICH HAVE ACHIEVED FINAL SITE GRADING.

8. CONSTRUCTION STAKING OF ALL BUILDING CORNERS.

9. ROUGH GRADING AND FILLING OF SUBGRADES AND SLOPES.

10. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.

11. BEFORE DISPOSING OF SOIL OR RECEIVING BORROW FOR THE SITE, THE CONTRACTOR MUST PROVIDE EVIDENCE THAT EACH SPOIL OR BORROW AREA HAS A SEDIMENT AND EROSION CONTROL PLAN APPROVED BY THE TOWN OF EAST HARTFORD AND WHICH IS BEING IMPLEMENTED AND MAINTAINED. THE CONTRACTOR SHALL ALSO NOTIFY THE MUNICIPALITY IN WRITING OF ALL RECEIVING SPOIL AND BORROW AREAS WHEN THEY HAVE BEEN IDENTIFIED.

12. CONTINUE INSTALLATION OF STORM DRAINAGE AS SUBGRADE ELEVATIONS ARE ACHIEVED.

13. BUILDING FOUNDATION SUBGRADE AND PAD SUBGRADE PREPARATION.

14. BUILDING FOUNDATION CONSTRUCTION. BEGIN BUILDING SUPERSTRUCTURE

15. THROUGHOUT CONSTRUCTION SEQUENCE, REMOVE SEDIMENT FROM BEHIND SILT FENCES, HAY BALES AND OTHER EROSION CONTROL DEVICES, AND FROM SEDIMENT BASINS AND SEDIMENT TRAPS AS REQUIRED. REMOVAL SHALL BE ON A PERIODIC BASIS (EVERY SIGNIFICANT RAINFALL OF 0.25 INCH OR GREATER). INSPECTION OF SEDIMENT AND EROSION CONTROL MEASURES SHALL BE ON A WEEKLY BASIS AND AFTER EACH RAINFALL OF 0.25 INCHES OR GREATER. SEDIMENT COLLECTED SHALL BE DEPOSITED AND SPREAD EVENLY UPLAND ON SLOPES DURING CONSTRUCTION.

16. COMPLETE STORM DRAINAGE SYSTEM.

17. CONDUCT FINE GRADING.

18. FINAL FINE GRADING OF SLOPE AND NON–PAVED AREAS.

19. PLACE 4" TOPSOIL ON SLOPES AFTER FINAL GRADING IS COMPLETED. FERTILIZE SEED AND MULCH. SEED MIXTURE TO BE INSTALLED AUGUST 15–OCTOBER 1. USE EROSION CONTROL BLANKETS AS REQUIRED OR ORDERED FOR SLOPES GREATER THAN 3:1 AND AS SHOWN ON LANDSCAPE PLANS OR EROSION CONTROL PLANS. FOR TEMPORARY STABILIZATION BEYOND SEEDING DATES USE ANNUAL RYE AT 4.0 LBS/1,000 S.F. FERTILIZE WITH 10–10–10 AT 1.0 LBS. OF NITROGEN PER 1,000 S.F. AND LIME AT 100 LBS/1,000 S.F. (MAX.).

20. LANDSCAPE PERIMETER AREAS.

21. CLEAN STORM DRAINAGE PIPE STRUCTURES, DETENTION SYSTEMS AND WATER QUALITY DEVICES OF DEBRIS AND SEDIMENT.

22. UPON DIRECTION OF THE MUNICIPALITY, SEDIMENT AND EROSION CONTROL MEASURES SHALL BE REMOVED FOLLOWING STABILIZATION OF THE SITE.

OPERATION REQUIREMENTS

CLEARING AND GRUBBING OPERATIONS

1. ALL SEDIMENT AND EROSION CONTROL MEASURES, INCLUDING THE CONSTRUCTION OF TEMPORARY SEDIMENTATION BASINS WILL BE INSTALLED PRIOR TO THE START OF CLEARING AND GRUBBING AND DEMOLITION OPERATIONS.

2. FOLLOWING INSTALLATION OF ALL SEDIMENT AND EROSION CONTROL MEASURES, THE CONTRACTOR SHALL NOT PROCEED WITH GRADING, FILLING OR OTHER CONSTRUCTION OPERATIONS UNTIL THE ENGINEER HAS INSPECTED AND APPROVED ALL INSTALLATIONS.

3. THE CONTRACTOR SHALL TAKE EXTREME CARE DURING CLEARING AND GRUBBING OPERATIONS SO AS NOT TO DISTURB SEDIMENT AND EROSION CONTROL DEVICES.

4. FOLLOWING THE COMPLETION OF CLEARING AND GRUBBING OPERATIONS, ALL AREAS SHALL BE STABILIZED WITH TOPSOIL AND SEEDING OR CRUSHED STONE AS SOON AS PRACTICAL.

ROUGH GRADING OPERATIONS

1. DURING THE REMOVAL AND/OR PLACEMENT OF EARTH AS INDICATED ON THE GRADING PLAN, TOPSOIL SHALL BE STRIPPED AND APPROPRIATELY STOCKPILED FOR REUSE.

2. ALL STOCKPILED TOPSOIL SHALL BE SEEDED, MULCHED WITH HAY, AND ENCLOSED BY A SILTATION FENCE.

FILLING OPERATIONS

1. PRIOR TO FILLING, ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE PROPERLY IMPLEMENTED, MAINTAINED AND FULLY INSTALLED, AS DIRECTED BY THE ENGINEER AND AS SHOWN ON THIS PLAN.

2. ALL FILL MATERIAL ADJACENT TO ANY WETLAND AREAS, IF APPLICABLE TO THIS PROJECT, SHALL BE GOOD QUALITY, WITH LESS THAN 5% FINES PASSING THROUGH A #200 SIEVE (BANK RUN), SHALL BE PLACED IN LIFT THICKNESSES NOT GREATER THAN THAT SPECIFIED IN PROJECT SPECIFICATIONS AND/OR THE PROJECT GEOTECHNICAL REPORT. LIFTS SHALL BE COMPACTED TO 95% MAX. DRY DENSITY MODIFIED PROCTOR OR AS SPECIFIED IN THE CONTRACT SPECIFICATIONS OR IN THE GEOTECHNICAL REPORT.

PLACEMENT OF DRAINAGE STRUCTURES, UTILITIES, AND BUILDING CONSTRUCTION OPERATIONS.

1. SILT FENCES SHALL BE INSTALLED AT THE DOWNHILL SIDES OF BUILDING EXCAVATIONS, MUD PUMP DISCHARGES, AND UTILITY TRENCH MATERIAL STOCKPILES. HAY BALES/STRAW BALES MAY BE USED IF SHOWN ON THE SEDIMENT AND EROSION CONTROL PLANS OR IF DIRECTED BY THE CIVIL ENGINEER.

FINAL GRADING AND PAVING OPERATIONS

1. ALL INLET AND OUTLET PROTECTION SHALL BE PLACED AND MAINTAINED AS SHOWN ON SEDIMENT AND EROSION CONTROL PLANS AND DETAILS, AND AS DESCRIBED IN SPECIFICATIONS AND AS DESCRIBED HEREIN.

2. NO CUT OR FILL SLOPES SHALL EXCEED 2:1 EXCEPT WHERE STABILIZED BY ROCK FACED EMBANKMENTS OR EROSION CONTROL BLANKETS, OR JUTE MESH AND VEGETATION. ALL SLOPES SHALL BE SEEDED, AND ANY ROAD OR DRIVEWAY SHOULDER AND BANKS SHALL BE STABILIZED IMMEDIATELY UPON COMPLETION OF FINAL GRADING UNTIL TURF IS ESTABLISHED.

3. AFTER CONSTRUCTION OF PAVEMENT, TOPSOIL, FINAL SEED, MULCH AND LANDSCAPING, REMOVE ALL TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES ONLY AFTER ALL AREAS HAVE BEEN PAVED AND/OR GRASS HAS BEEN WELL ESTABLISHED AND THE SITE IS STABLE AND HAS BEEN INSPECTED AND APPROVED BY THE MUNICIPALITY AND/OR COUNTY SOILS CONSERVATION DISTRICT AND/OR INLAND WETLANDS COMMISSION (INSERT APPLICABLE AGENCY NAME).

INSTALLATION OF SEDIMENTATION AND EROSION CONTROL MEASURES

I. SILTATION FENCE
A. DIG A SIX INCH TRENCH ON THE UPHILL SIDE OF THE DESIGNATED FENCE LINE LOCATION.

B. POSITION THE POST AT THE BACK OF THE TRENCH (DOWNHILL SIDE), AND HAMMER THE POST AT LEAST 1.5 FEET INTO THE GROUND.

C. LAY THE BOTTOM SIX INCHES OF THE FABRIC INTO THE TRENCH TO PREVENT UNDERMINING BY STORM WATER RUN–OFF.

D. BACKFILL THE TRENCH AND COMPACT.

II. HAY BALES/STRAW BALES
A. BALES SHALL BE PLACED IN A SINGLE ROW, LENGTHWISE, ORIENTED PARALLEL TO THE CONTOUR, WITH ENDS OF ADJACENT BALES TIGHTLY ABUTTING ONE ANOTHER.

B. BALES SHALL BE ENTRENCHED AND BACKFILLED. A TRENCH SHALL BE EXCAVATED THE WIDTH OF A BALE AND THE LENGTH OF THE PROPOSED BARRIER TO A MINIMUM DEPTH OF FOUR INCHES. AFTER THE BALES ARE STAKED, THE EXCAVATED SOIL SHALL BE BACKFILLED AGAINST THE BARRIER.

C. EACH BALE SHALL BE SECURELY ANCHORED BY AT LEAST TWO (2) STAKES.

D. THE GAPS BETWEEN BALES SHALL BE WEDGED WITH STRAW TO PREVENT WATER LEAKAGE.

E. THE BARRIER SHALL BE EXTENDED TO SUCH A LENGTH THAT THE BOTTOMS OF THE END BALES ARE HIGHER IN ELEVATION THAN THE TOP OF THE LOWEST MIDDLE BALE, TO ENSURE THAT RUN–OFF WILL FLOW EITHER THROUGH OR OVER THE BARRIER, BUT NOT AROUND IT.

OPERATION AND MAINTENANCE OF SEDIMENT AND EROSION CONTROL MEASURES

I. SILTATION FENCE
A. ALL SILTATION FENCES SHALL BE INSPECTED AS A MINIMUM WEEKLY OR AFTER EACH RAINFALL. ALL DETERIORATED FABRIC AND DAMAGED POSTS SHALL BE REPLACED AND PROPERLY REPOSITIONED IN ACCORDANCE WITH THIS PLAN.

B. SEDIMENT DEPOSITS SHALL BE REMOVED FROM BEHIND THE FENCE WHEN THEY EXCEED A HEIGHT OF ONE FOOT.

II. HAY BALES/STRAW BALES
A. ALL HAY BALE/STRAW BALE RINGS SHALL BE INSPECTED FOLLOWING EACH RAINFALL. REPAIR OR REPLACEMENT SHALL BE PROMPTLY MADE AS NEEDED.

B. DEPOSITS SHALL BE REMOVED AND CLEANED–OUT IF ONE HALF OF THE ORIGINAL HEIGHT OF THE BALES BECOMES FILLED WITH SEDIMENT.

III. SEDIMENT TRAPS
A. CONTRACTOR TO KEEP WEEKLY CHECKLIST LOGS FOR INSPECTIONS OF ALL SEDIMENT AND EROSION CONTROL DEVICES AND HAVE THEM READILY AVAILABLE ON–SITE AT ALL TIMES FOR INSPECTION BY CTDEEP, LOCAL AUTHORITIES OR ENGINEER.

B. ALL SEDIMENT TRAPS SHALL BE INSPECTED FOLLOWING EACH RAINFALL. REPAIR OF SLOPES SHALL BE PROMPTLY MADE AS NEEDED.

C. SEDIMENT DEPOSITS SHALL BE REMOVED FROM SEDIMENT TRAPS WHEN THEY EXCEED A HEIGHT OF ONE FOOT UNLESS OTHERWISE INDICATED ON THE EROSION CONTROL PLANS AND DETAILS TO BE AT A SPECIFIC ELEVATION PER CLEAN OUT MARKERS.

D. SEDIMENT SHALL BE DISPOSED OF ON–SITE OR AS DIRECTED BY THE ENGINEER AND LOCAL GOVERNING OFFICIALS. SEE SEDIMENT AND EROSION CONTROL NOTES HEREIN REGARDING DISPOSAL REQUIREMENTS FOR OFF SITE SPOIL DISPOSAL.

SEDIMENT AND EROSION CONTROL PLAN
1. HAY BALE/STRAW BALE FILTERS WILL BE INSTALLED AT ALL CULVERT OUTLETS IF CULVERT OUTLETS ARE APPLICABLE TO THIS PROJECT AND SILTATION FENCE INSTALLED ALONG THE TOE OF ALL CRITICAL CUT AND FILL SLOPES.

2. CULVERT DISCHARGE AREAS WILL BE PROTECTED WITH RIP RAP CHANNELS. ENERGY DISSIPATORS WILL BE INSTALLED AS SHOWN ON THESE PLANS AND AS NECESSARY.

3. CATCH BASINS WILL BE PROTECTED WITH HAY BALE/STRAW BALE FILTERS, SILT SACKS, SILTATION FENCE, OR OTHER INLET PROTECTION DEVICES PER DETAILS, THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS ARE THOROUGHLY STABILIZED.

4. ALL SEDIMENT AND EROSION CONTROL MEASURES WILL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE 2002 CONNECTICUT GUIDELINES FOR EROSION AND SEDIMENTATION CONTROL, LATEST EDITION.

5. SEDIMENT AND EROSION CONTROL MEASURES WILL BE INSTALLED PRIOR TO DEMOLITION AND/OR CONSTRUCTION WHENEVER POSSIBLE.

6. ALL CONTROL MEASURES WILL BE MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE DEMOLITION AND CONSTRUCTION PERIOD UNTIL THE SITE IS DETERMINED TO BE STABILIZED BY THE AUTHORITY HAVING JURISDICTION.

7. ADDITIONAL CONTROL MEASURES WILL BE INSTALLED DURING THE CONSTRUCTION PERIOD, IF NECESSARY OR REQUIRED OR AS DIRECTED BY THE CIVIL ENGINEER OR BY THE AUTHORITY HAVING JURISDICTION.

8. SEDIMENT REMOVED FROM EROSION CONTROL STRUCTURES WILL BE DISPOSED IN A MANNER WHICH IS CONSISTENT WITH THE INTENT AND REQUIREMENTS OF THE SEDIMENT AND EROSION CONTROL PLANS, NOTES, AND DETAILS.

9. ALDI, INC IS ASSIGNED THE RESPONSIBILITY FOR IMPLEMENTING THIS SEDIMENT AND EROSION CONTROL PLAN. THIS RESPONSIBILITY INCLUDES THE INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN, NOTIFICATION OF THE MUNICIPALITY HAVING JURISDICTION OF ANY TRANSFER OF THIS RESPONSIBILITY AND FOR CONVEYING A COPY OF THE SEDIMENT AND EROSION CONTROL PLAN IF THE TITLE TO THE LAND IS TRANSFERRED.

SEDIMENT AND EROSION CONTROL NOTES
1. THE SEDIMENT AND EROSION CONTROL PLAN IS ONLY INTENDED TO DESCRIBE THE SEDIMENT AND EROSION CONTROL TREATMENT FOR THIS SITE. SEE SEDIMENT AND EROSION CONTROL DETAILS AND CONSTRUCTION SEQUENCE. REFER TO SITE PLAN FOR GENERAL INFORMATION AND OTHER CONTRACT PLANS FOR APPROPRIATE INFORMATION.

2. ALDI, INC. IS RESPONSIBLE FOR IMPLEMENTING THIS SEDIMENT AND EROSION CONTROL PLAN. THIS RESPONSIBILITY INCLUDES THE PROPER INSTALLATION AND MAINTENANCE OF SEDIMENT AND EROSION CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED WITH CONSTRUCTION ON THE SITE OF THE REQUIREMENTS AND OBJECTIVES OF THIS PLAN, INFORMING THE AUTHORITY HAVING JURISDICTION OF ANY TRANSFER OF THIS RESPONSIBILITY, AND FOR CONVEYING A COPY OF THE SEDIMENT & EROSION CONTROL PLAN IF THE TITLE TO THE LAND IS TRANSFERRED.

3. AN EROSION CONTROL BOND MAY BE REQUIRED TO BE POSTED WITH THE TOWN OF EAST HARTFORD TO ENSURE IMPLEMENTATION OF THE SEDIMENT AND EROSION CONTROL MEASURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE POSTING OF THIS BOND AND FOR INQUIRIES TO THE TOWN OF EAST HARTFORD FOR INFORMATION ON THE METHOD, TYPE AND AMOUNT OF THE BOND POSTING UNLESS OTHERWISE DIRECTED BY THE OWNER.

4. VISUAL SITE INSPECTIONS SHALL BE CONDUCTED WEEKLY, AND AFTER EACH MEASURABLE PRECIPITATION EVENT OF 0.25 INCHES OR GREATER BY QUALIFIED PERSONNEL, TRAINED AND EXPERIENCED IN SEDIMENT AND EROSION CONTROL, TO ASCERTAIN THAT THE SEDIMENT AND EROSION CONTROL (E&S) BMPS ARE OPERATIONAL AND EFFECTIVE IN PREVENTING POLLUTION. A WRITTEN REPORT OF EACH INSPECTION SHALL BE KEPT, AND INCLUDE:

A) A SUMMARY OF THE SITE CONDITIONS, E&S BMPS, AND COMPLIANCE; AND
B) THE DATE, TIME, AND THE NAME OF THE PERSON CONDUCTING THE INSPECTION
C) TURBIDITY TESTING AS REQUIRED BY THE GENERAL PERMIT (NPDES).

5. THE CONTRACTOR SHALL CONSTRUCT ALL SEDIMENT AND EROSION CONTROLS IN ACCORDANCE WITH THE 2002 CONNECTICUT GUIDELINES FOR EROSION AND SEDIMENTATION CONTROL, LATEST EDITION IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, AND AS DIRECTED BY THE MUNICIPALITY. THE CONTRACTOR SHALL KEEP A COPY OF THE GUIDELINES ON–SITE FOR REFERENCE DURING CONSTRUCTION.

6. ADDITIONAL AND/OR ALTERNATIVE SEDIMENT AND EROSION CONTROL MEASURES MAY BE INSTALLED DURING THE CONSTRUCTION PERIOD IF FOUND NECESSARY BY THE CONTRACTOR, OWNER, SITE ENGINEER, MUNICIPALITY, OR GOVERNING AGENCIES. THE CONTRACTOR SHALL CONTACT THE OWNER AND APPROPRIATE GOVERNING AGENCIES FOR APPROVAL IF ALTERNATIVE CONTROLS OTHER THAN THOSE SHOWN ON THE PLANS ARE PROPOSED.

7. THE CONTRACTOR SHALL INSPECT ALL SEDIMENT AND EROSION CONTROLS BEFORE AND AFTER EACH STORM (0.25 INCHES OR GREATER RAINFALL), OR AT LEAST WEEKLY, TO VERIFY THAT THE CONTROLS ARE OPERATING PROPERLY AND MAKE REPAIRS WHERE NECESSARY.

8. THE CONTRACTOR SHALL KEEP A SUPPLY OF SEDIMENT AND EROSION CONTROL MATERIAL (HAY BALES, SILT FENCE, JUTE MESH, RIP RAP, ETC.) ON–SITE FOR MAINTENANCE AND EMERGENCY REPAIRS.

9. PROTECT EXISTING TREES THAT ARE TO BE SAVED BY FENCING AT THE DRIP LINE OR AS SHOWN WITH SNOW FENCE, ORANGE SAFETY FENCE, OR EQUIVALENT FENCING. ANY LIMB TRIMMING SHOULD BE DONE BEFORE CONSTRUCTION BEGINS IN THAT AREA. FENCING SHALL BE MAINTAINED AND REPAIRED DURING CONSTRUCTION.

10. INSTALL PERIMETER SEDIMENT AND EROSION CONTROLS PRIOR TO CLEARING OR CONSTRUCTION. ALL CONSTRUCTION SHALL BE CONTAINED WITHIN THE LIMIT OF DISTURBANCE, WHICH SHALL BE MARKED WITH SILT FENCE, SAFETY FENCE, HAY BALES, RIBBONS, OR OTHER MEANS PRIOR TO CLEARING. CONSTRUCTION ACTIVITY SHALL REMAIN ON THE UPHILL SIDE OF THE SILT FENCE UNLESS WORK IS SPECIFICALLY CALLED FOR ON THE DOWNHILL SIDE OF THE FENCE.

11. TOPSOIL SHALL BE STRIPPED AND STOCKPILED FOR USE IN FINAL LANDSCAPING. ALL EARTH STOCKPILES SHALL HAVE HAY BALES OR SILT FENCE AROUND THE LIMIT OF PILE. PILES SHALL BE TEMPORARILY SEEDED IF PILE IS TO REMAIN IN PLAT FOR MORE THAN ONE (1) MONTH.

12. SEDIMENT TRAPS SHALL PROVIDE 134 CUBIC YARDS OF SEDIMENT STORAGE PER DISTURBED ACRE CONTRIBUTING TO THE BASIN. PROVIDE BASIN VOLUMES FOR ALL DISTURBANCE ON SITE.

13. COMPLY WITH REQUIREMENTS OF CGS SECTION 22A-430b, FOR STORMWATER DISCHARGE FROM CONSTRUCTION ACTIVITIES AND WITH CT DEEP RECORD KEEPING AND INSPECTION REQUIREMENTS.

14. MINIMIZE LAND DISTURBANCES. SEED AND MULCH DISTURBED AREAS WITH TEMPORARY MIX AS SOON AS PRACTICABLE (ONE WEEK MAXIMUM UNSTABILIZED PERIOD) USING PERENNIAL RYEGRASS AT 40 LBS PER ACRE. MULCH ALL CUT AND FILL SLOPES AND SWALES WITH LOOSE HAY AT A RATE OF 2 TONS PER ACRE. IF NECESSARY, REPLACE LOOSE HAY ON SLOPES WITH EROSION CONTROL BLANKETS OR JUTE CLOTH. MODERATELY GRADED AREAS, ISLANDS, AND TEMPORARY CONSTRUCTION STAGING AREAS MAY BE HYDROSEEDED WITH TACKIFIER.

15. MAINTAIN EXISTING PAVED AREAS FOR CONSTRUCTION STAGING FOR AS LONG AS POSSIBLE.

16. SILT FENCE AND OTHER SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH CONTRACT DRAWINGS AND MANUFACTURER'S RECOMMENDATIONS PRIOR TO WORK IN ANY UPLAND AREAS.

17. EXCAVATED MATERIAL FROM TEMPORARY SILT TRAPS MUST BE STOCKPILED ON UPHILL SIDE OF SILT FENCE.

18. INSTALL SILT FENCE ACCORDING TO MANUFACTURER'S INSTRUCTION, PARTICULARLY, BURY LOWER EDGE OF FABRIC INTO GROUND. SILT FENCE SHALL BE TENCADE ENVIROFENCE, PROPEX GEOTEX OR EQUIVALENT APPROVED BY THE CIVIL ENGINEER. FILTER FABRIC USED SHALL BE MIRAFI 100X OR APPROVED EQUIVALENT. SEE SPECIFICATIONS FOR FURTHER INFORMATION.

19. WHERE INDICATED ON SEDIMENT AND EROSION CONTROL PLANS USE NEW HAY/STRAW BALES AND REPLACE THEM WHENEVER THEIR CONDITION DETERIORATES BEYOND REASONABLE USABILITY. STAKE BALES SECURELY INTO GROUND AND BUTT TIGHTLY TOGETHER TO PREVENT UNDERCUTTING AND BYPASSING.

20. INSTALL TEMPORARY DIVERSION DITCHES, PLUNGE POOLS, SEDIMENT BASINS, SEDIMENT TRAPS, CONCRETE WASTE PITS AND DEWATERING PITS AS SHOWN AND AS NECESSARY DURING VARIOUS PHASES OF CONSTRUCTION TO CONTROL RUNOFF UNTIL UPHILL AREAS ARE DETERMINED TO BE STABILIZED BY THE AUTHORITY HAVING JURISDICTION. LOCATION OF TEMPORARY SEDIMENT BASINS WILL REQUIRE REVIEW AND APPROVAL BY THE CIVIL ENGINEER AND AUTHORITY HAVING JURISDICTION.

21. DIRECT ALL DEWATERING PUMP DISCHARGE TO A SEDIMENT CONTROL DEVICE SUCH AS TEMPORARY PITS, SEDIMENT TRAP, SEDIMENT BASINS OR GRASS FILTERS WITHIN THE APPROVED LIMIT OF DISTURBANCE. DISCHARGE TO STORM DRAINAGE SYSTEM OR SURFACE WATERS FROM SEDIMENT CONTROLS SHALL BE CLEAR.

22. SHEEP AFFECTED PORTIONS OF OFF SITE ROADS ONE OR MORE TIMES A DAY (OR LESS FREQUENTLY IF TRACKING IS NOT A PROBLEM) DURING CONSTRUCTION. OTHER DUST CONTROL MEASURES TO BE USED AS NECESSARY INCLUDE WATERING DOWN DISTURBED AREAS, USING CALCIUM CHLORIDE, AND COVERING LOADS ON DUMP TRUCKS.

23. PERIODICALLY CHECK ACCUMULATED SEDIMENT LEVELS IN THE SEDIMENT BASINS AND SEDIMENT TRAPS DURING CONSTRUCTION AND CLEAN ACCUMULATED SILT WHEN NECESSARY OR WHEN ONE FOOT OF SEDIMENT HAS ACCUMULATED OR PER SPECIFIC CLEANOUT MARKER ELEVATION. CLEAN ACCUMULATED SEDIMENT FROM CATCH BASIN SUMPS AS NECESSARY AND AS DIRECTED BY THE CIVIL ENGINEER OR OWNER'S CONSTRUCTION REPRESENTATIVE. REMOVE ACCUMULATED SEDIMENT FROM BEHIND HAY/STRAW BALES AND SILT FENCE WHEN LEVEL REACHES HALF THE HEIGHT OF THE BALE OR ONE FOOT AT SILT FENCE. DISPOSE OF SEDIMENT LEGALLY EITHER ON OR OFF SITE.

24. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.

25. ALL PUMPING OF SEDIMENT LADEN WATER SHALL BE THROUGH A SEDIMENT CONTROL BMP, SUCH AS A PUMPED WATER FILTER BAG OR EQUIVALENT SEDIMENT REMOVAL FACILITY, OVER UNDISTURBED VEGETATED AREAS.

26. ALL EXCAVATED MATERIAL SHALL BE PLACED ON THE HIGH SIDE OF UTILITY AND STORM PIPE TRENCHES SO AS TO ALLOW THE TRENCH TO INTERCEPT ALL SILT LADEN RUNOFF.

27. CONTRACTOR SHALL ONLY EXCAVATE AS MUCH STORM PIPE TRENCH WORK AS CAN BE COMPLETED, BACKFILLED AND STABILIZED IN ONE DAY SO AS TO LIMIT THE AMOUNT OF OPEN, DISTURBED TRENCHING.

28. ANY STOCKPILES OF STRIPPED MATERIALS ARE TO BE PERIODICALLY SPRAYED WITH WATER OR A CRUSTING AGENT TO STABILIZE POTENTIALLY WIND–BLOWN MATERIAL. HAUL ROADS BOTH INTO AND AROUND THE SITE ARE TO BE SPRAYED AS NEEDED TO SUPPRESS DUST. TRUCKS HAULING IMPORT FILL MATERIAL ARE TO BE TAPED TO AID IN THE CONTROL OF AIRBORNE DUST. DURING HIGH WIND EVENTS (20 TO 30 MPH SUSTAINED) CONSTRUCTION ACTIVITY SHALL BE LIMITED OR CEASED IF DUST CANNOT BE CONTROLLED BY WETTING.

29. AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM OF 70% UNIFORM PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON–VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING OR OTHER MOVEMENTS UNLESS OTHERWISE DETERMINED BY THE AUTHORITY HAVING JURISDICTION.

30. MAINTAIN ALL PERMANENT AND TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD. UPON COMPLETION OF WORK SHEEP PARKING LOT AND REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROLS WHEN AUTHORIZED BY AUTHORITY HAVING JURISDICTION. FILE NOT (NOTICE OF TERMINATION) WITH AUTHORITY HAVING JURISDICTION RESPONSIBLE FOR REGULATING STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITIES PER NPDES.



ARCHITECTURE
ENGINEERING
PLANNING
LANDSCAPE ARCHITECTURE
LAND SURVEYING
ENVIRONMENTAL SCIENCES

150 Trumbull Street, 6th floor
Hartford, CT 06103
(860) 249-2200
(860) 249-2400 Fax



PROPOSED ALDI STORE #47 EXPANSION
801 SILVER LANE
EAST HARTFORD, CONNECTICUT

| REV | No. | Date | Desc. | REV FOR TOWN COMMENTS |
|-----------|-----|----------|-------|-----------------------|
| | | | | REV FOR TOWN COMMENTS |
| REVISIONS | 1 | 03/27/17 | | |
| | 2 | 04/12/17 | | |

| | |
|-------------|-------------|
| Designed | M.J.B. |
| Drawn | M.J.B. |
| Checked | J.G.B. |
| Approved | J.G.B. |
| Scale | N.T.S. |
| Project No. | 16C6077 |
| Date | 02/21/17 |
| CAD File | EC16C607701 |

Title

SEDIMENTATION & EROSION CONTROL NOTES

Sheet No.

EC-2

FOR PERMITTING PURPOSES ONLY
NOT RELEASED FOR CONSTRUCTION



PROPOSED ALDI STORE #47 EXPANSION
801 SILVER LANE
EAST HARTFORD, CONNECTICUT

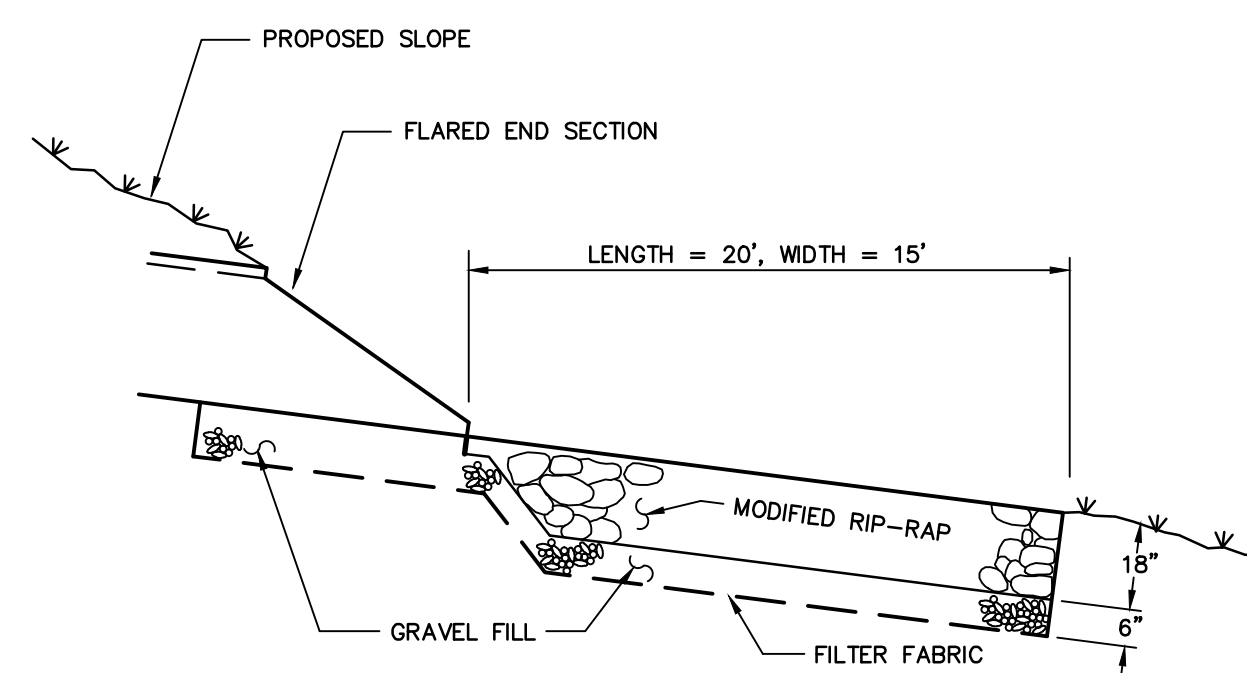
| REVISIONS | | Desc. |
|-----------|----------|-----------------------|
| No. | Date | |
| 1 | 03/27/17 | REV FOR TOWN COMMENTS |
| 2 | 04/12/17 | REV FOR TOWN COMMENTS |

| | |
|-------------|----------|
| Designed | M.J. |
| Drawn | M.J. |
| Checked | J.G. |
| Approved | J.G. |
| Scale | N.T. |
| Project No. | 16C607 |
| Date | 02/21/ |
| CAD File | DN16C607 |

Title
SITE
CONSTRUCTION
DETAIL
SHEET

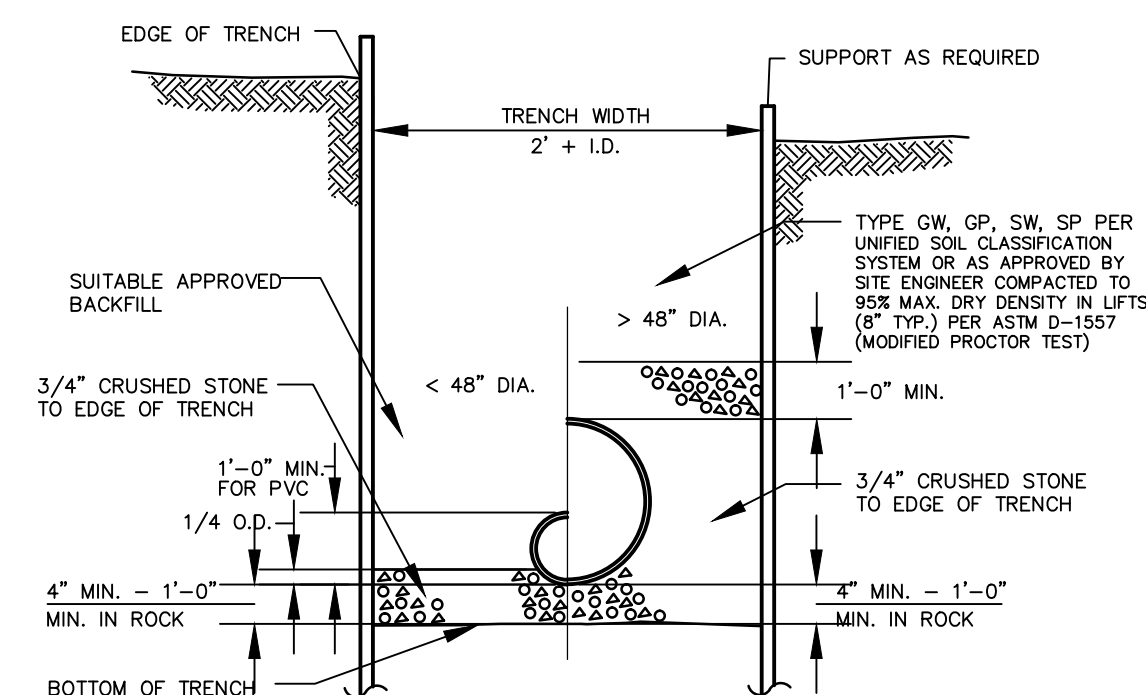
Sheet No.

DN-1



RIP-RAP APRON AT CULVERT END SECTION

N.T.S.



TYPICAL STORM SEWER TRENCH SECTION

N.T.S.

BI DD-004

FOR PERMITTING PURPOSES ONLY
NOT RELEASED FOR CONSTRUCTION