

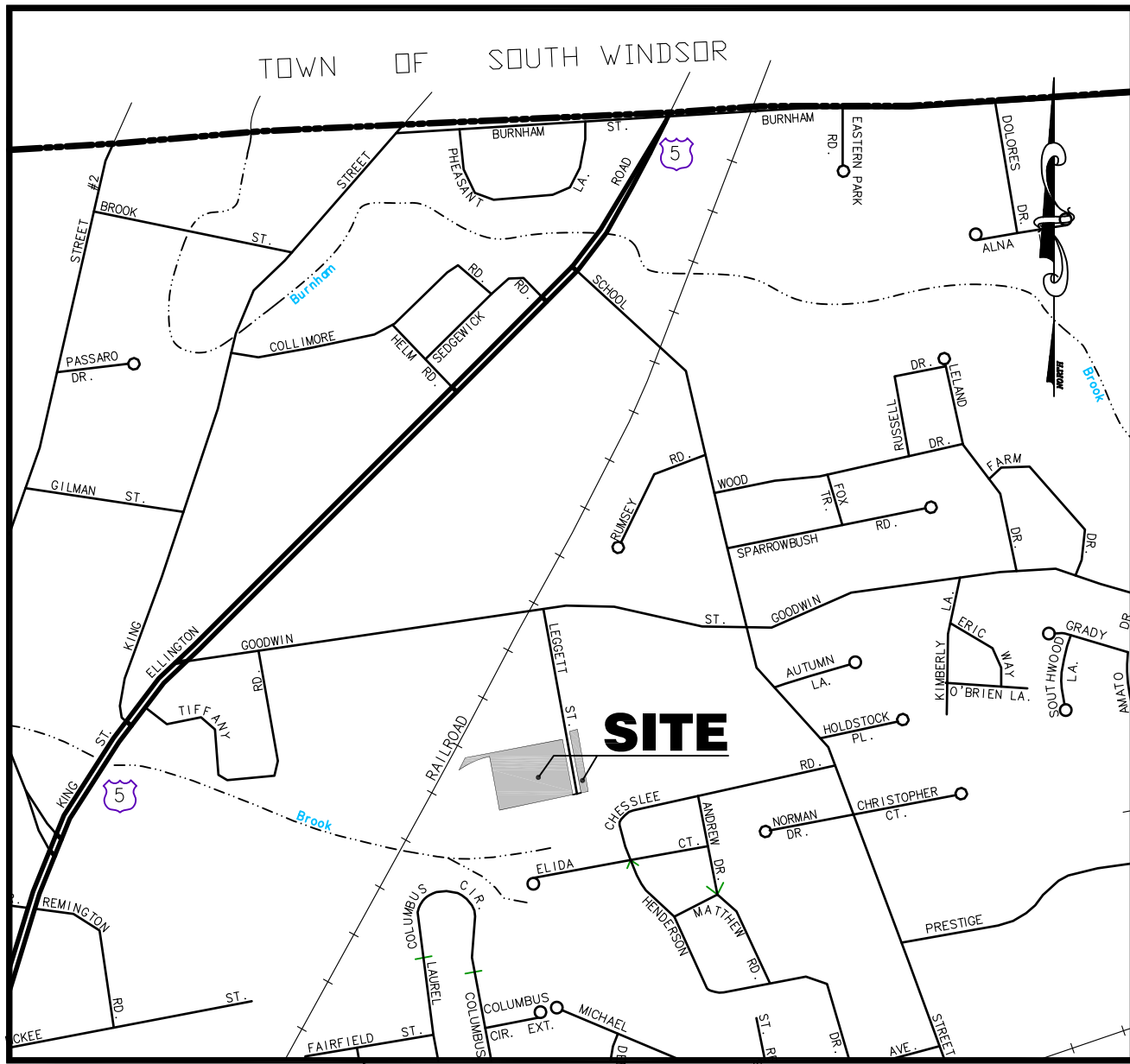
PROPOSED PARKING LOT IMPROVEMENT PLAN

PREPARED FOR
LEGGETT STREET REALTY, LLC

FOR PROPERTY LOCATED AT
#69 LEGGETT STREET
MAP LOT#: 38-2
EAST HARTFORD, CONNECTICUT

OWNER, APPLICANT & DEVELOPER

LEGGETT STREET REALTY, LLC
C/O JAMES L. O'HARA
FALVEY LINEN SUPPLY, INC.
50 BURNHAM AVE.
CRANSTON, RI 02910
PHONE NUMBER: 1-401-942-8900

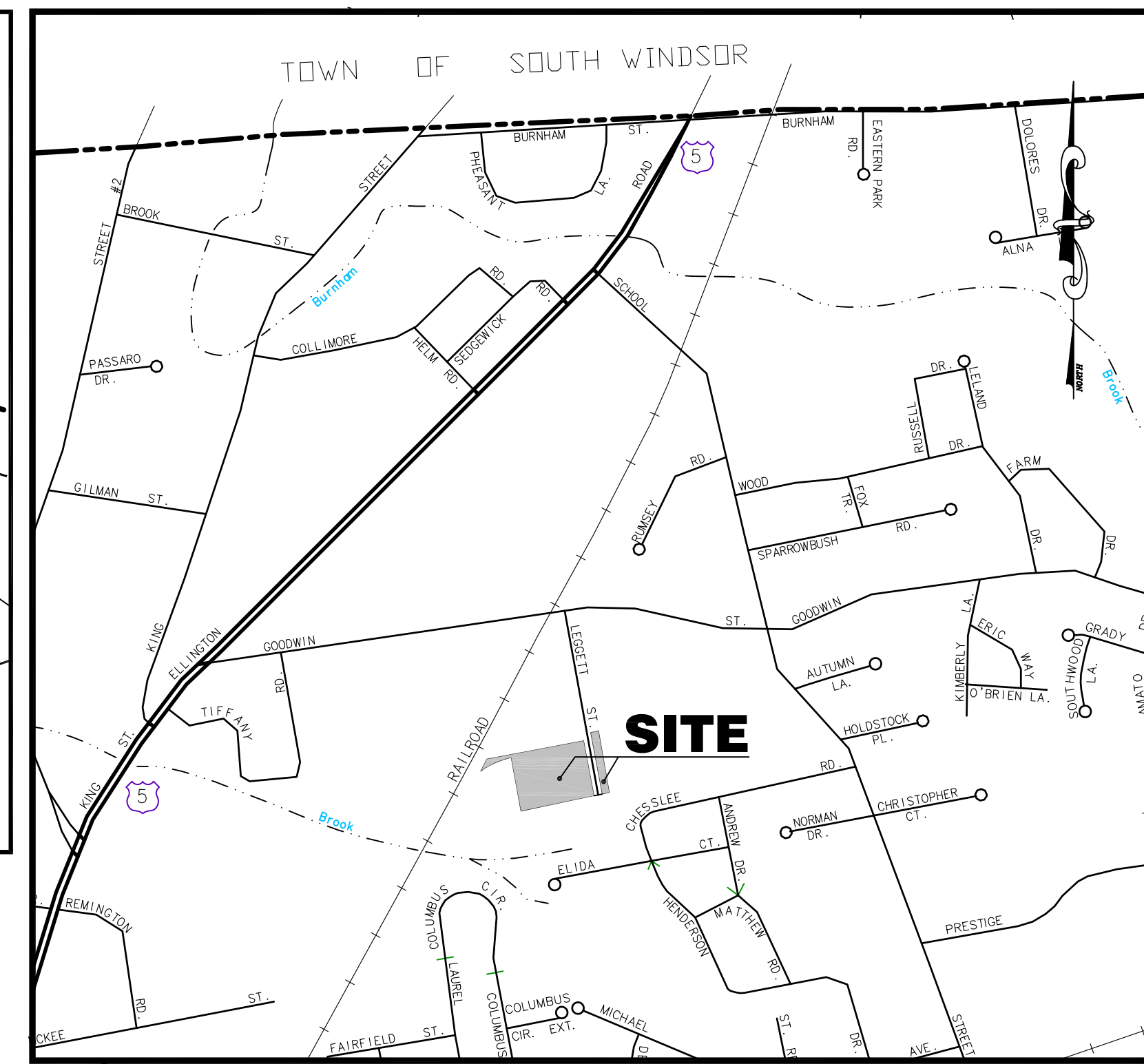
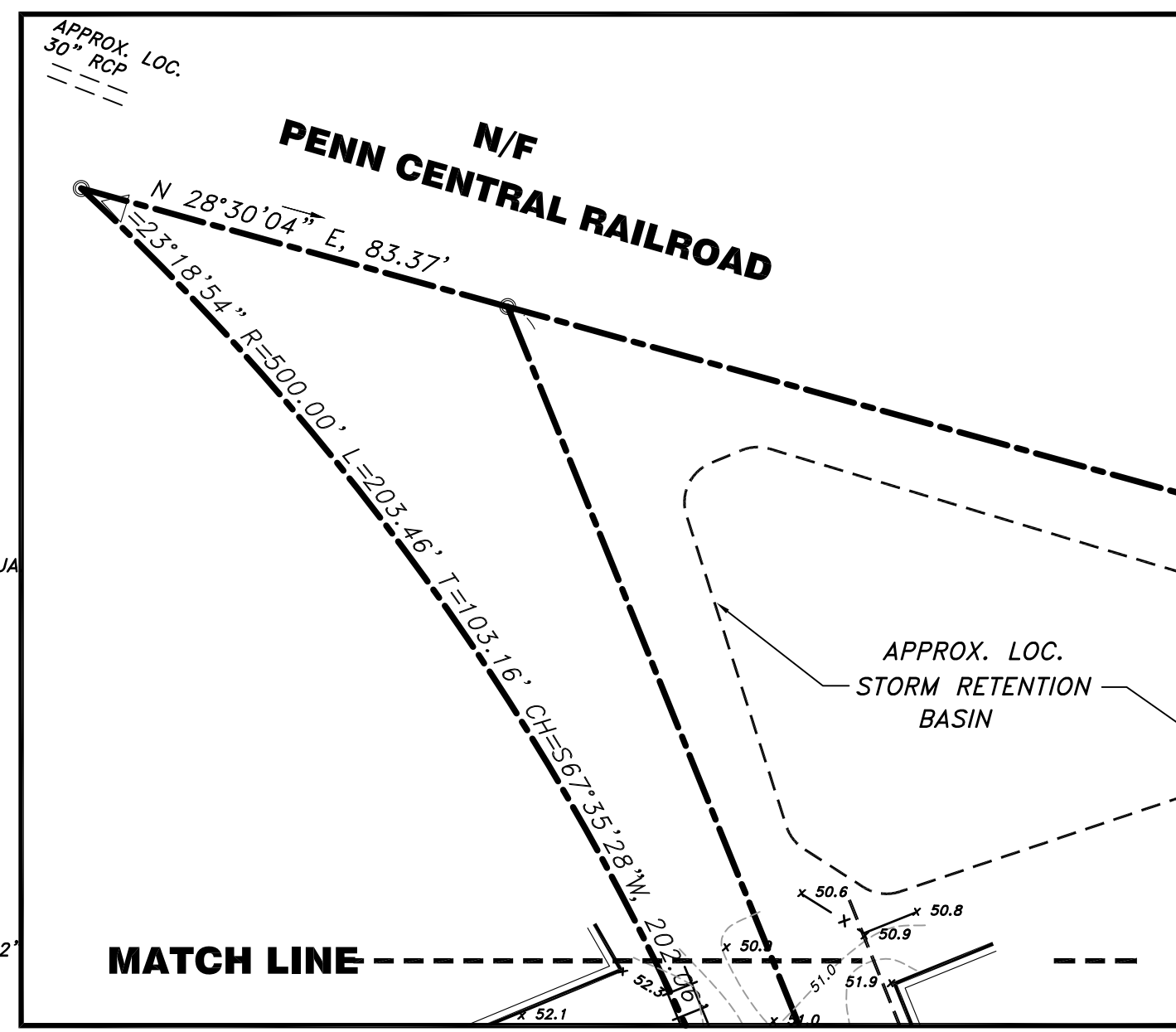
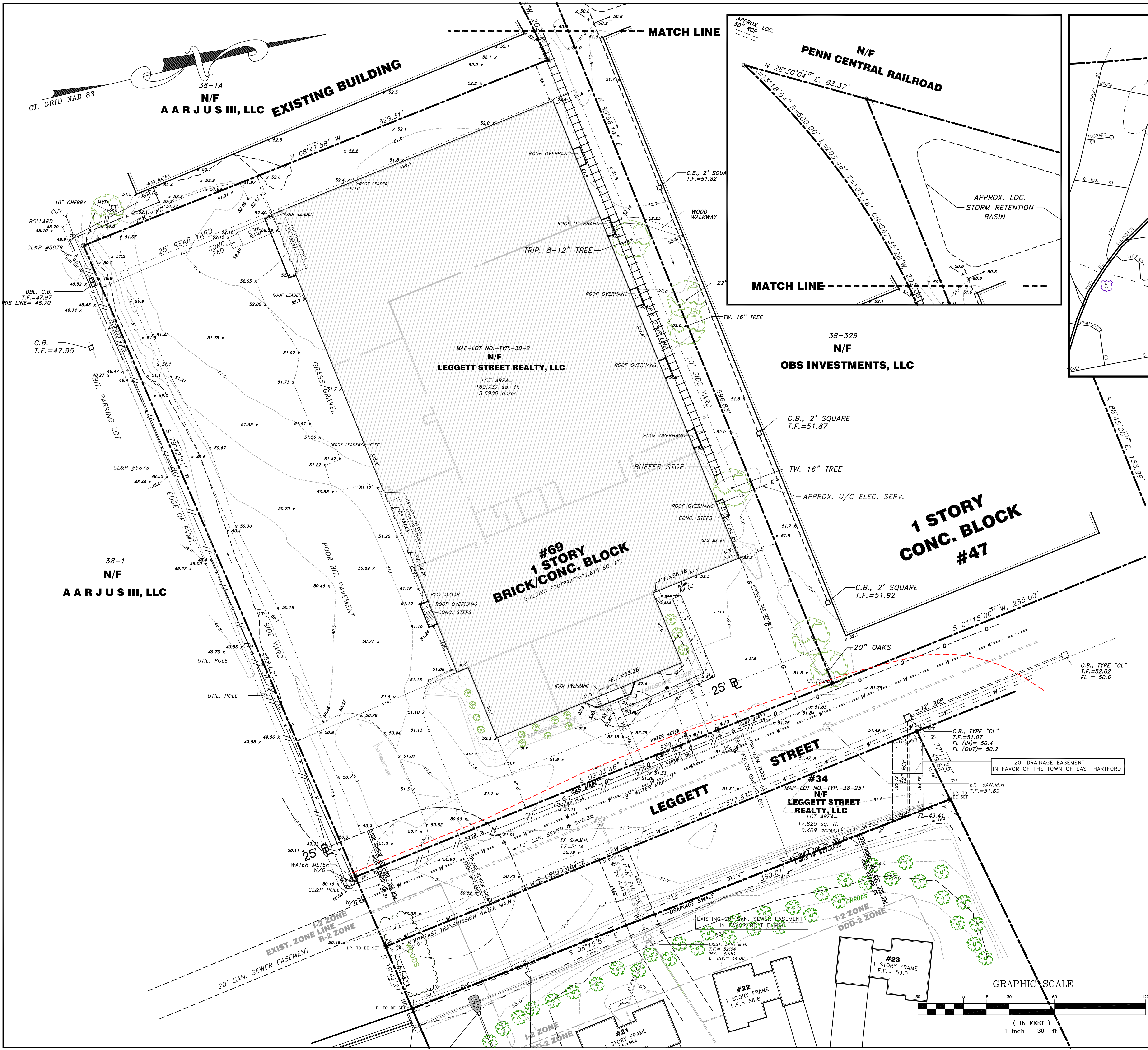


LOCATION MAP
SCALE: 1"=1,000'

SHEET INDEX

SHEET #	DRAWING TITLE
1	PROPERTY AND TOPOGRAPHIC SURVEY
2	SITE DEMOLITION PLAN
3	ZONING IMPROVEMENT LOCATION SURVEY
4	SITE GRADING & DRAINAGE PLAN
5	EROSION & SEDIMENT CONTROL PLAN
6	GENERAL NOTES
7 - 8	SITE DETAILS

NO.	DATE	DESCRIPTION	BY



- NOTES:**
- SURVEY NOTES:**
 - This survey has been prepared pursuant to the Regulation of Connecticut State Agencies Section 20-300b-1 Through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996.
 - Type Of Survey is PROPERTY
 - Boundary Determination Category is RESURVEY OF MAP REF.
 - Class of Accuracy is HOR.-"A-2", TOPO.-"T-2", VERT.-"V-2".
 - MAP REFERENCE:**
 - AJ)-"SUBDIVISION PLAN LEGGETT INDUSTRIAL PARK OWNER: JOSEPH P. & ESTHER M. MOTT EAST HARTFORD, CONN." SCALE: 1"=40', DATED: 1-9-85, DRAWING NO. 1512. PREPARED BY: IGOR VECHELOFF, P.E., L.S.
 - PROPERTY LIES IN FLOOD ZONE "X" (AREAS OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER F.I.R.M. NO. 09003C0386F. PANEL 386 OF 675. DATED: SEPTEMBER 26, 2008.**
 - LOT AREA (#69 LEGGETT STREET)= 160,737 sq. ft or 3.6900 acres.**
LOT AREA (#34 LEGGETT STREET)= 17,825 sq. ft or 0.409 acres.
 - LOT ZONE (#69 LEGGETT STREET)= I-2 ZONE.**
LOT ZONE (#34 LEGGETT STREET)= I-2 & R-2 ZONE.
 - PROPERTY MAY BE BURDENED AND/OR BENEFITED BY RECORDED AND/OR UNRECORDED EASEMENTS.**
 - ELEVATIONS BASED ON NAVD 88. CONTOUR INTERVAL=0.5 FOOT.**
 - UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM VERBAL TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO HALLISEY, PEARSON & CASSIDY ENGINEERING ASSOCIATES. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455."**

LEGEND	
	EXISTING PROPERTY LINE
	EXISTING EDGE OF PAVEMENT
	IRON PIN OR IRON PIPE FOUND
	CONC. MERESTONE OR CHD FND.
	EXISTING TREE LINE
	EXISTING CONTOUR
	EXISTING SPOT GRADE
	EXISTING TELEPHONE POLE
	EXISTING BIT. CURB
	EXISTING STORM DRAINAGE SYSTEM
	EXISTING WATER MAIN
	EXISTING SANITARY SEWER
	EDGE OF SWALE / LIMIT OF WETLANDS
	EXISTING GAS MAIN
	LIMITS OF 100' UPLANDS REVIEW AREA
	EXISTING CHAIN LINK FENCE

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON:

PAUL A. HALLISEY, L.S. LIC. NO. 7761 DATE: DECEMBER 11, 2017

THIS DOCUMENT AND COPIES THEREOF ARE VALID ONLY IF THEY BEAR THE SIGNATURE AND EMBOSSED SEAL OF THE DESIGNATED LICENSED PROFESSIONAL. UNAUTHORIZED ALTERATIONS TO THIS PLAN RENDER THE DECLARATION HEREON NULL AND VOID. VALID ONLY ON MAPS BEARING EMBOSSED SURVEYOR'S SEAL.

PROPERTY/TOPOGRAPHIC SURVEY

SHOWING EXISTING CONDITIONS

PREPARED FOR

LEGGETT STREET REALTY, LLC

PROPERTY LOCATED AT

#69 & #34 LEGGETT STREET

EAST HARTFORD, CONNECTICUT

HALLISEY, PEARSON & CASSIDY

CIVIL ENGINEERS & LAND SURVEYORS

630 MAIN STREET, UNIT #1A

CROWELL, CONNECTICUT 06416

PHONE: (860)-529-6812. FAX: (860)-721-7709

SCALE: 1"= 30'

CHECKED BY: J.P.C.

DATE: JAN. 17, 2018

DRAWN BY: G.T.

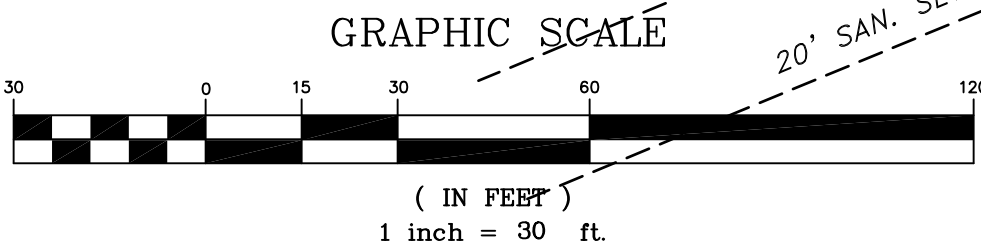
JOB NO.: 1347-BKM




ACAD FILE: 1347-BKM-X

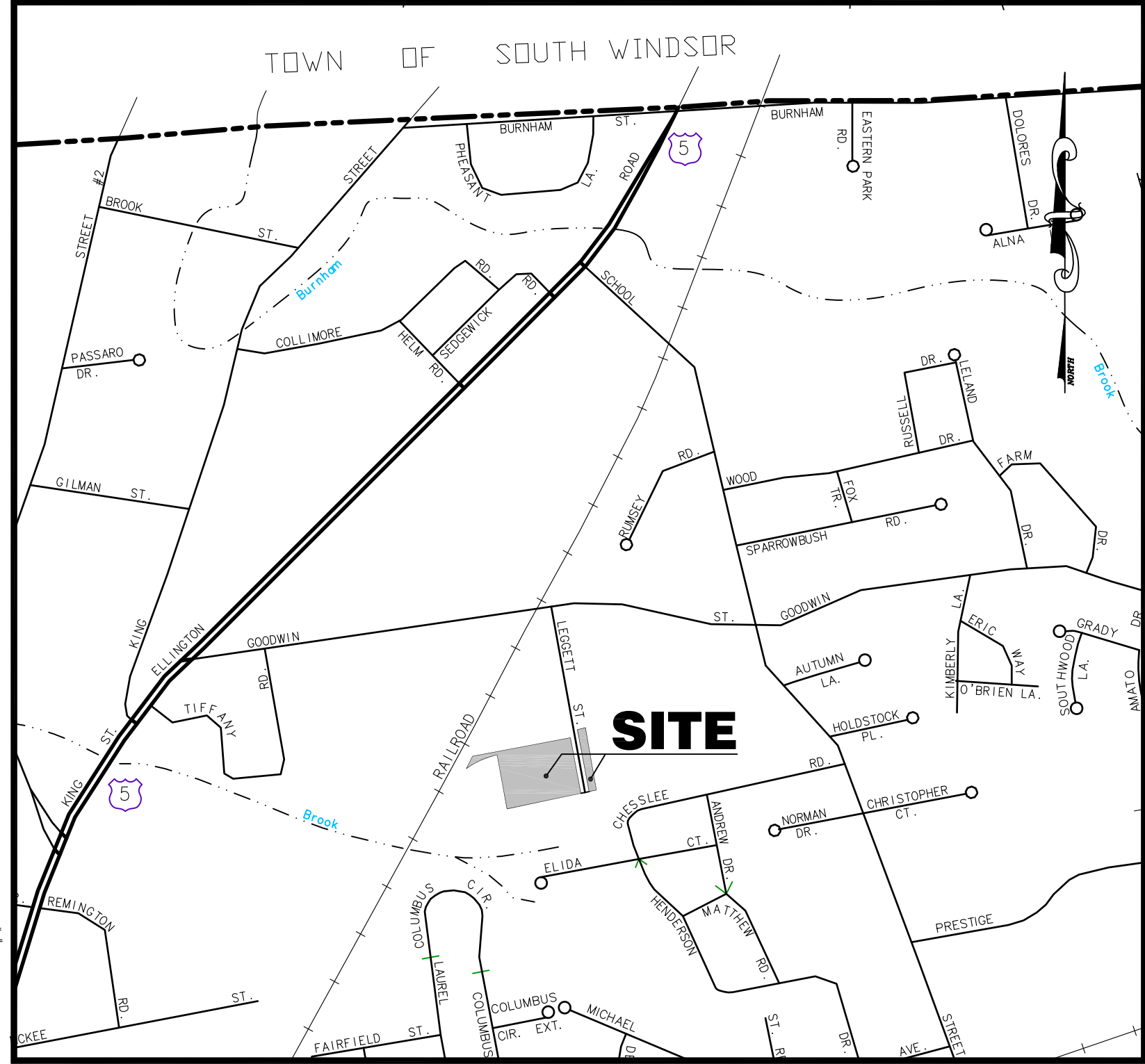
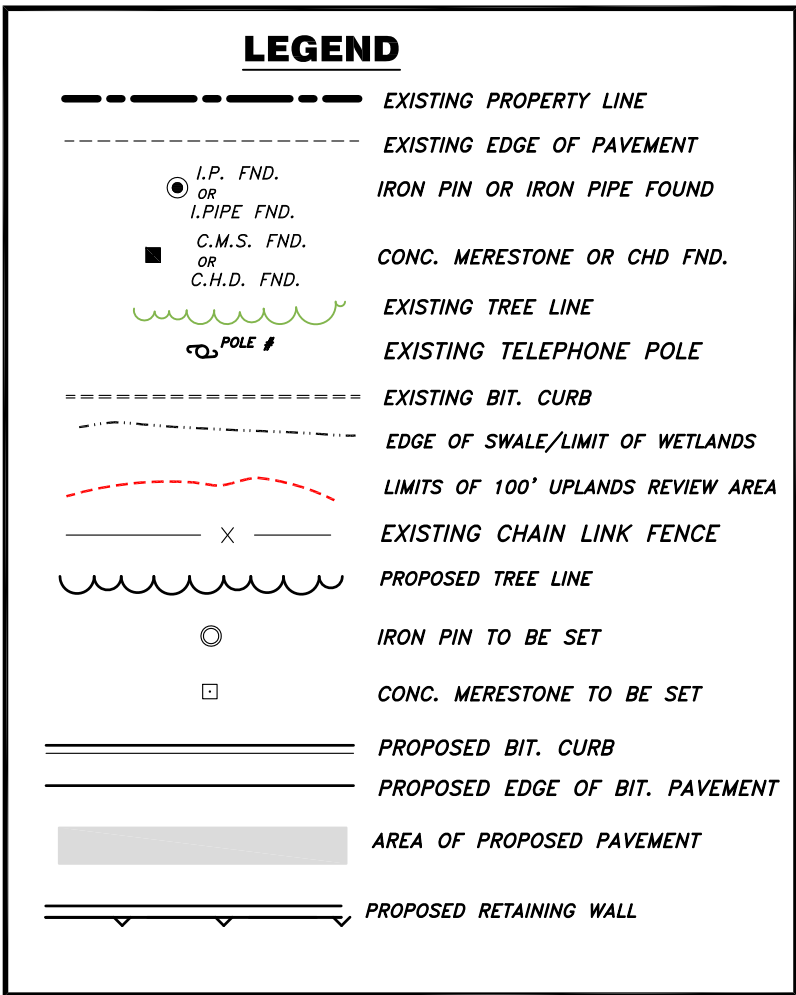
SHEET: 1

OF: 8

REVISIONS:



	EXISTING BUILDING, PAVEMENT OR WALK TO BE REMOVED
	EXISTING STRUCTURE TO BE REMOVED
	EXISTING STRUCTURE AND PIPE TO BE REMOVED



LOCATION MAP

SCALE: 1"= 1000'

NOTES:

1. SURVEY NOTES:

-This survey has been prepared pursuant to the Regulation of Connecticut State Agencies Section 20-300b-1 Through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996.

- Type Of Survey is ZONING IMPROVEMENT LOCATION SURVEY
- Boundary Determination Category is RESURVEY OF MAP REF.
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2. MAP REFERENCE:

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4. LOT AREA (#69 LEGGETT STREET)= 160,737 sq. ft or 3.6900 acres.
LOT AREA (#34 LEGGETT STREET)= 17,825 sq. ft or 0.409 acres.

5. LOT ZONE (69 LEGGETT STREET): I-2 ZONE.

6. PROPERTY MAY BE BURDENED AND/OR BENEFITED BY RECORDED AND/OR UNRECORDED EASEMENTS.

7. ELEVATIONS BASED ON NAVD 88. CONTOUR INTERVAL=0.5 FOOT.

8. UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM VERBAL TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO HALLISLEY, PEARSON AND CASSIDY ENGINEERING ASSOCIATES. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455."

(SEE SHEET #6 FOR GENERAL NOTES)

ZONING INFORMATION BULK CHART: I-2 ZONE		
ZONE: I-2 ZONE	REQUIRED	PROVIDED (#69 LEGGETT)
USE		MANUFACTURING/STORAGE/OFFICE
MIN. FRONT YARD	25'	49.8'
MIN. SIDE YARD	10' MIN.	26.1'
MIN. SIDE YARD TOTAL	25' TOTAL	140.9'
MIN. REAR YARD	25'	26.1'
MIN. PARKING & LOADING SETBACKS SIDE AND REAR YARD	10'	10.0' / 21.5'
MIN. PARKING & LOADING SETBACKS SETBACKS FRONT YARD	10'	102.6'
MAX. BUILDING HEIGHT	50'	22'±
MAX. BLDG. COVERAGE	75%	71,615 sq.ft./160,737 sq. ft.= 44.6%
MAX. TOTAL IMPERVIOUS COVERAGE	85% OF LOT	108,032 sq.ft./160,737 sq. ft.= 67.2%
MINIMUM LOT AREA	20,000 SQ. FT.	160,737 SQ. FT.
MINIMUM LOT WIDTH	100'	339.10'
MINIMUM LOT FRONTAGE	70'	339.10'
MIN. PARKING REQUIRED : MANUFACTURING & OFFICE		= 45 SPACES (INCLUDING 3 H.C. SPACES)

* DENOTES EXISTING NON-CONFORMING

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON:

Paul A. Hallisey
PAUL A. HALLISEY, LSJ

DECEMBER 11, 2017

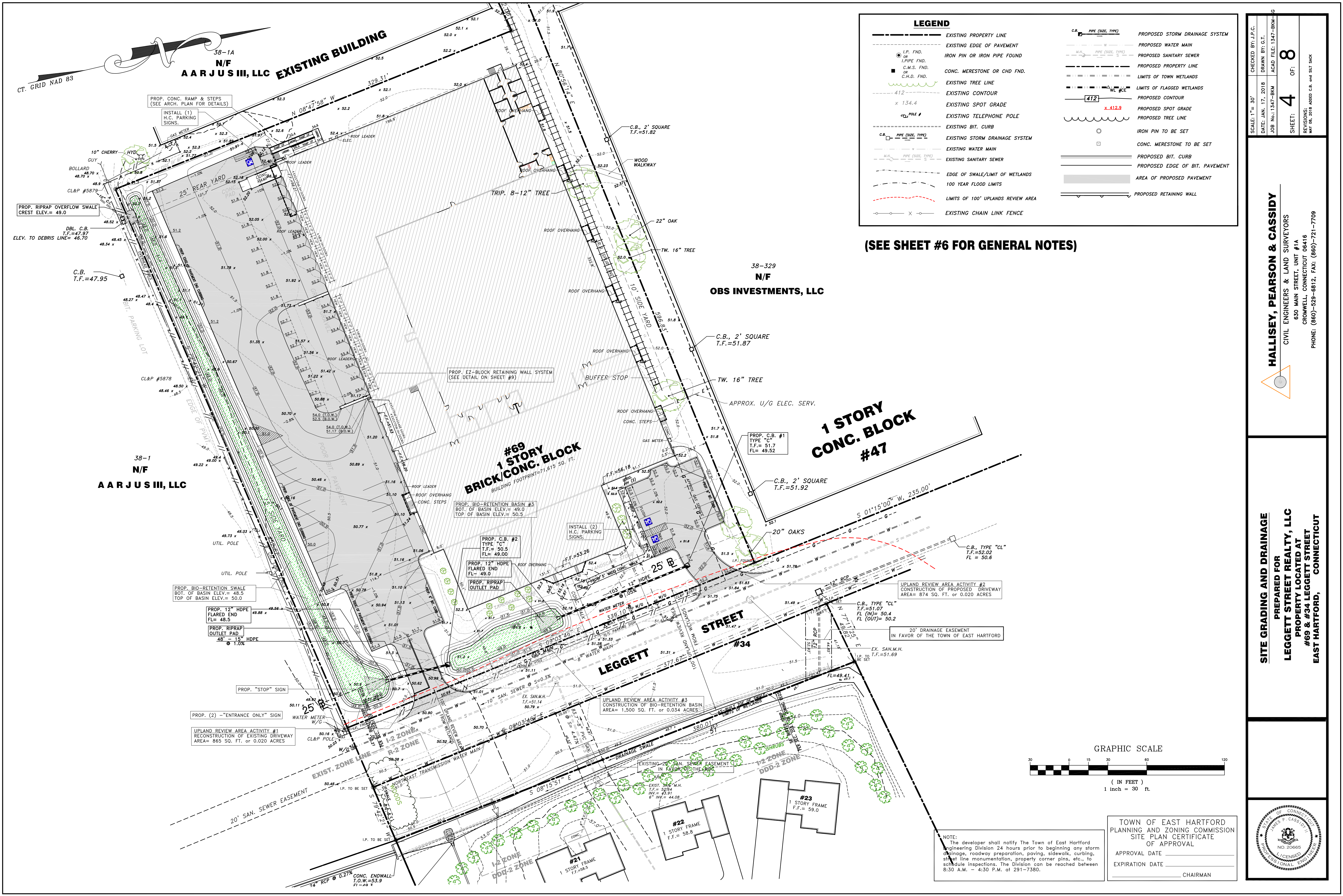
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HALLISEY, PEARSON & CASSIDY

**LEGGETT STREET REALTY, LLC
PROPERTY LOCATED AT
#69 LEGGETT STREET
EAST HARTFORD, CONNECTICUT**

SCALE: 1" = 30'	CHECKED BY: J.P.C.
DATE: JAN. 17, 2018	DRAWN BY: G.T.
JOB No.: 1347-BKM	ACAD FILE: 1347-BKM-
<div> <div>3</div> <div>SHEET:</div> </div> <div> <div>8</div> <div>OF:</div> </div>	
<div> <div>REVISIONS:</div> <div></div> </div>	

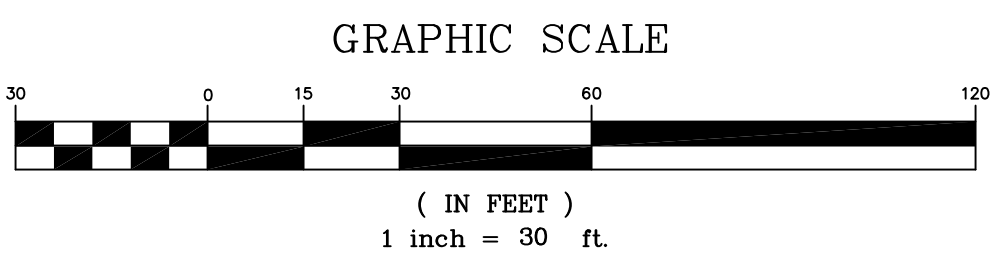
PHONE: (860)-529-6812, FAX: (860)-721-7709



LEGEND

---	EXISTING PROPERTY LINE	C.B. (SIZE, TYPE)	PROPOSED STORM DRAINAGE SYSTEM
---	EXISTING EDGE OF PAVEMENT	M.H. (SIZE, TYPE)	PROPOSED WATER MAIN
●	I.P. FND.	---	PROPOSED SANITARY SEWER
○	I.P. FND.	---	PROPOSED PROPERTY LINE
■	C.M.S. FND.	---	LIMITS OF TOWN WETLANDS
■	C.M.D. FND.	---	LIMITS OF FLAGGED WETLANDS
---	EXISTING TREE LINE	---	PROPOSED CONTOUR
---	EXISTING CONTOUR	---	PROPOSED SPOT GRADE
---	EXISTING SPOT GRADE	---	PROPOSED TREE LINE
---	EXISTING TELEPHONE POLE	---	IRON PIN TO BE SET
---	EXISTING BIT. CURB	---	CONC. MERESTONE TO BE SET
---	EXISTING STORM DRAINAGE SYSTEM	---	PROPOSED BIT. CURB
---	EXISTING WATER MAIN	---	PROPOSED EDGE OF BIT. PAVEMENT
---	EXISTING SANITARY SEWER	---	AREA OF PROPOSED PAVEMENT
---	EDGE OF SWALE/LIMIT OF WETLANDS	---	PROPOSED RETAINING WALL
---	100 YEAR FLOOD LIMITS		
---	LIMITS OF 100' UPLANDS REVIEW AREA		
---	EXISTING CHAIN LINK FENCE		

(SEE SHEET #6 FOR GENERAL NOTES)



NOTE: The developer shall notify The Town of East Hartford Engineering Division 24 hours prior to beginning any storm drainage, roadway preparation, paving, sidewalk, curbing, street line monumentation, property corner pins, etc., to schedule inspections. The Division can be reached between 8:30 A.M. - 4:30 P.M. at 291-7380.

TOWN OF EAST HARTFORD
PLANNING AND ZONING COMMISSION
SITE PLAN CERTIFICATE
OF APPROVAL

APPROVAL DATE _____
EXPIRATION DATE _____
CHAIRMAN

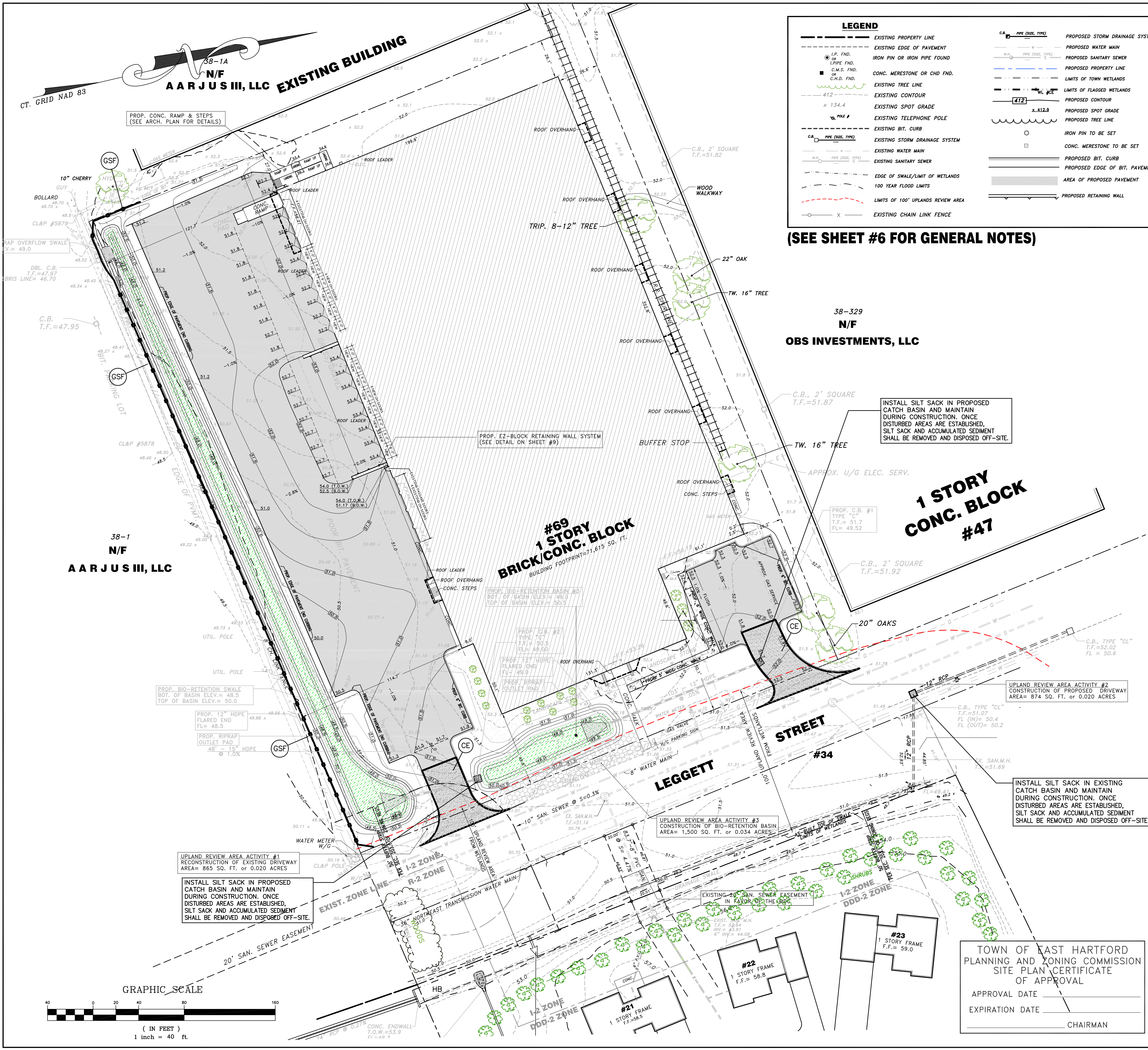
HALLISEY, PEARSON & CASSIDY
CIVIL ENGINEERS & LAND SURVEYORS
630 MAIN STREET, UNIT #1A
CROWELL, CONNECTICUT 06416
PHONE: (860)-529-6812, FAX: (860)-721-7709

LEGGETT STREET REALTY, LLC
PROPERTY LOCATED AT
#69 & #34 LEGGETT STREET
EAST HARTFORD, CONNECTICUT

PREPARED FOR
LEGGETT STREET REALTY, LLC
PROPERTY LOCATED AT
#69 & #34 LEGGETT STREET
EAST HARTFORD, CONNECTICUT

CHECKED BY: J.P.C.
DATE: JAN. 17, 2018
JOB NO.: 1347-BKM
SCALE: 1"= 30'

DRAWN BY: G.T.
ACAD FILE: 1347-BKM-G
SHEET: 4 OF 8
REVISIONS:
MAY 08, 2018 ADDED C.B. AND SILT BACK



LEGEND	
---	EXISTING PROPERTY LINE
---	EXISTING EDGE OF PAVEMENT
---	IRON PIN OR IRON PIPE FOUND
---	CONC. MERESTONE OR CHD FND.
---	EXISTING TREE LINE
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---	PROPOSED BIT. CURB
---	PROPOSED EDGE OF BIT. PAVEMENT
---	AREA OF PROPOSED PAVEMENT
---	PROPOSED RETAINING WALL

(SEE SHEET #6 FOR GENERAL NOTES)

- ### EROSION & SEDIMENT CONTROL NOTES:
- THE EROSION AND SEDIMENT CONTROL MEASURES SHOWN SHALL BE CONSIDERED AS MINIMUM REQUIREMENTS. ADDITIONAL MEASURES MAY BE REQUIRED AT THE DIRECTION OF THE TOWN ENGINEER & ZONING ENFORCEMENT STAFF.
 - ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE "2002 - CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL".
 - ALL AREAS THAT ARE TO BE DISTURBED SHALL BE KEPT TO A MINIMUM. AREAS NOT TO BE PAVED SHALL BE LOAMED, LIMED, FERTILIZED, AND SEEDED AS SOON AS PRACTICAL. IF PERMANENT PLANTING IS NOT PRACTICAL AT THAT TIME, THE AREA SHALL BE MULCH STABILIZED UNTIL SUCH SEEDING CAN BE DONE. SLOPES STEEPER THAN 3:1 SHALL BE FURTHER STABILIZED USING SECURED JUTE, STRAW, OR COCONUT MATTING.
 - THE DEVELOPER SHALL BE RESPONSIBLE FOR THE INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL DEVICES. EXCESS SEDIMENT SHALL BE REDISTRIBUTED ON THE SITE.
 - AREAS SUBJECT TO VEHICULAR TRAFFIC SHALL BE STABILIZED AGAINST WIND EROSION BY APPLYING CALCIUM CHLORIDE AND/OR WATER TO THE SURFACE AS REQUIRED.
 - THE ANTI-TRACKING RAMPS SHALL BE INSTALLED PRIOR TO ROUGH GRADING. TRACKING ON LEGGETT STREET WILL BE MONITORED BY THE TOWN AND IF IT BECOMES EXCESSIVE, THE CONTRACTOR WILL INSTALL A WASH RACK AT THE REAR OF THE RAMP.
 - TOPSOIL SHALL BE STOCKPILED IN COMPACT AREAS. THE PILE(S) SHALL BE STABILIZED USING A TEMPORARY VEGETATIVE COVER OR WITH JUTE MATTING. A CONTINUOUS STAKED SILT FENCE SHALL BE INSTALLED AROUND THE BASE PERIMETER(S).
 - ALL EXISTING VEGETATIVE COVER NOT REQUIRED TO BE REMOVED FOR CONSTRUCTION SHALL REMAIN UNDISTURBED.
 - PERMANENT VEGETATIVE COVER SHALL CONFORM TO SEEDING SCHEDULES GIVEN IN FIG. 6-2 & 6-3 AND TEMPORARY VEGETATIVE COVER SHALL CONFORM TO FIG. 6-1 FOUND IN THE "GUIDELINES FOR EROSION AND SEDIMENT CONTROL 1985."
 - ALL SEDIMENT CONTROL DEVICES AND/OR MEASURES SHALL BE APPROVED BY THE TOWN PLANNING & ZONING COMMISSION AND/OR THE INLAND WETLAND AND WATERCOURSES AGENCY.
 - CATCH BASINS WILL BE PROTECTED WITH HAY BALE FILTERS THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS ARE THOROUGHLY STABILIZED.
 - EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED PRIOR TO CONSTRUCTION.
 - THE PARTY RESPONSIBLE FOR THE IMPLEMENTATION OF THE SEDIMENT CONTROL PLAN FOR THIS PROJECT WILL BE: JAMES O'HARA, PHONE: 1-401-497-6688
 - ALL EROSION AND SEDIMENT CONTROL MEASURES SHOWN ON THIS PLAN SHALL BE INSPECTED AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL AMOUNT OF 0.5 INCHES OR GREATER.
 - A PRE CONSTRUCTION MEETING WITH TOWN STAFF IS REQUIRED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
 - THE CONTRACTOR SHALL AT ALL TIMES BE PREPARED TO SWEEP SURROUNDING PAVED AREAS OF ACCUMULATED SEDIMENT AT A MINIMUM FREQUENCY OF ONCE PER WEEK OR AS DIRECTED BY THE TOWN ENGINEER.

- ### Construction Sequence for Site:
- The anticipated starting date for construction is May 2018 with completion anticipated on August 2018. Appropriate Erosion Control Measures as described herein, shall be installed by the contractor prior to the commencement of all construction activity.
 - Install anti-tracking ramp in location shown on this sheet.
 - The grubbing and stripping of topsoil are to be completed in small amounts immediately prior to excavation. On-site burial of brush, stumps and other debris is prohibited.
 - Stripped topsoil shall be stockpiled in neat compacted piles outside of the area of the proposed parking lot. Immediately place sediment barriers along the down slope side of the piles. If the piles are not to be moved for at least thirty days, then seed with the temporary seed mixture.
 - Clear the area required for the construction of driveways, parking areas and proposed utilities. Clearing will include the removal of existing pavement in this area.
 - Bring the parking area and drives to finished subgrade elevations.
 - Install stormwater bio-retention swale and basins
 - Install processed aggregate base and the base course of bituminous pavement.
 - Backfill behind the curbing to finished grade with a minimum of 6" of topsoil, spread seed, lime, fertilizer, in accordance with the permanent seeding schedule.
 - Once disturbed area are stabilized, sediment barriers shall be removed and remaining sediment shall be redistributed on the site and reseeded.
 - Place final course of pavement as shown on sheet 3 of the plans. Install painted pavement marking and signs shown on the plan.

The East Hartford Planning and Zoning Commission certifies that the soil-erosion and sediment-control plan complies with the requirements of the Town of East Hartford regulations and the Connecticut Guidelines for Soil Erosion and Sedimentation Control dated 1985, as amended. The applicant under this plan is responsible for ensuring compliance with the plan. The Town of East Hartford shall not be held liable for improper installation, lack of maintenance, or other neglect on behalf of the applicant.

Approval Date _____
Chairman _____

NOTE:
The developer shall notify The Town of East Hartford Engineering Division 24 hours prior to beginning any storm drainage, roadway preparation, paving, sidewalk, curbing, street line monumentation, property corner pins, etc., to schedule inspections. The Division can be reached between 8:30 A.M. - 4:30 P.M. at 291-7380.

EROSION & SEDIMENTATION CONTROL LEGEND	
---	SEDIMENT FILTER FENCE
---	STAKED HAY BALE or STAKED SILT SOCK
---	CONSTRUCTION ENTRANCE
---	EROSION CONTROL BLANKET NORTH AMERICAN GREEN S75 or APPROVED EQUAL APPLICATION BLANKETS SHALL BE MONITORED ON A CASE BY CASE BASIS. DEPENDING ON TIME OF YEAR ALTERNATE STABILIZATION PRACTICES MAY BE ACCEPTABLE.
---	TEMPORARY SOIL STOCKPILE - SURROUNDED BY SEDIMENT FILTER FENCE
---	INLET PROTECTION (ALL CATCH BASINS AND YARD DRAINS)
---	INSTALL SILT SACK IN PROPOSED CATCH BASIN AND MAINTAIN DURING CONSTRUCTION. ONCE DISTURBED AREAS ARE ESTABLISHED, SILT SACK AND ACCUMULATED SEDIMENT SHALL BE REMOVED AND DISPOSED OFF-SITE.

CHECKED BY: J.P.C.
DATE: JAN. 17, 2018
JOB NO.: 1347-BKM
SCALE: 1"= 30'

DRAWN BY: G.T.
ACAD FILE: 1347-BKM-5
SHEET: 5 OF 8
REVISIONS: MAY 08, 2018 ADDED C.B. #2 and SILT SACK

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EROSION & SEDIMENT CONTROL PLAN
PREPARED FOR
LEGGETT STREET REALTY, LLC
PROPERTY LOCATED AT
#69 LEGGETT STREET
EAST HARTFORD, CONNECTICUT

TOWN OF EAST HARTFORD
PLANNING AND ZONING COMMISSION
SITE PLAN CERTIFICATE
OF APPROVAL
APPROVAL DATE _____
EXPIRATION DATE _____
CHAIRMAN _____

SITE PLAN NOTES

1. ALL CONSTRUCTION SHALL COMPLY WITH TOWN OF EAST HARTFORD STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS IN THE ABOVE REFERENCED HIERARCHY. IF SPECIFICATIONS ARE IN CONFLICT, THE MORE STRINGENT SPECIFICATION SHALL APPLY. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE OSHA, FEDERAL, STATE AND LOCAL REGULATIONS.
2. THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY ZONING PERMITS REQUIRED BY GOVERNMENT AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL TOWN CONSTRUCTION PERMITS, INCLUDING DOT PERMITS AND SEWER AND WATER CONNECTION PERMITS. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
3. REFER TO OTHER PLANS, DETAILS AND NOTES FOR ADDITIONAL INFORMATION. THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT THE SITE ENGINEER IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS SO THAT APPROPRIATE REVISIONS CAN BE MADE PRIOR TO BIDDING. ANY CONFLICT BETWEEN THE DRAWINGS AND SPECIFICATIONS SHALL BE CONFORMED WITH THE LOCAL CONSTRUCTION MANAGER PRIOR TO BIDDING.
4. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS, MATERIALS AND PLAN SPECIFICATIONS TO THE OWNER AND SITE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 14 WORKING DAYS FOR REVIEW.
5. THE CONTRACTOR SHALL FOLLOW THE SEQUENCE OF CONSTRUCTION NOTES PROVIDED ON THE EROSION CONTROL PLAN.
6. THE CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND CONSTRUCTION DETAILS CONCRETE HANDICAPPED RAMP.
7. SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED, EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
8. DO NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
9. ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURBS OR EDGE OR PAVING UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF THE STRUCTURE.
10. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES, TRAFFIC CONTROLLERS AND UNIFORMED TRAFFIC OFFICERS AS REQUIRED, ORDERED BY THE ENGINEER OR REQUIRED BY THE LOCAL GOVERNING AUTHORITIES.
11. REFER TO DETAIL SHEETS FOR PAVEMENT, CURBING, AND SIDEWALK INFORMATION.
12. TRAFFIC CONTROL SIGNAGE SHALL CONFORM TO THE STATE DOT STANDARD DETAIL SHEETS AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. SIGNS SHALL BE INSTALLED PLUMB WITH THE EDGE OF THE SIGN 2' OFF THE FACE OF THE CURB AND WITH 7" VERTICAL CLEARANCE UNLESS OTHERWISE DETAILED OR NOTED.
13. THE CONTRACTOR SHALL ABIDE BY ALL OSHA FEDERAL STATE AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOSTS, ETC. IN CLOSE PROXIMITY TO OVERHEAD ELECTRIC LINES. IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINES, CONTACT POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS. ANY UTILITY COMPANY FEES SHALL BE PAID FOR BY THE CONTRACTOR.
14. THE CONTRACTOR SHALL SUBMIT A SHOP DRAWING OF THE PAINT MIXTURE PRIOR TO STRIPING.
15. PAVEMENT MARKING KEY:
- | | |
|----------|--------------------------------------------|
| 4" SYDL | 4" SOLID YELLOW DOUBLE LINE |
| 4" SYL | 4" SOLID YELLOW LINE |
| 4" SWL | 4" SOLID WHITE LINE |
| 12" SWSB | 12" SOLID WHITE STOP BAR |
| 4" BWL | 4" BROKEN WHITE LINE 10' STRIPES 30" SPACE |
16. PARKING SPACES SHALL BE STRIPED WITH 4" SWL. HATCHED AREA SHALL BE STRIPED WITH 4" SWL AT A 45° ANGLE, 2' ON CENTER. HATCHING SYMBOLS, AND STRIPING FOR HANDICAPPED SPACES SHALL BE PAINTED BLUE. OTHER MARKINGS SHALL BE PAINTED WHITE OR AS NOTED.
17. THE CONTRACTOR SHALL RESTORE ANY DRAINAGE STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPED AREAS OR SIGNAGE DISTURBED DURING CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER, AS APPROVED BY THE ENGINEER.
18. THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER AT THE END OF CONSTRUCTION.
19. THE ARCHITECT OR ENGINEER IS NOT RESPONSIBLE FOR SITE SAFETY MEASURES TO BE EMPLOYED DURING CONSTRUCTION. THE ARCHITECT AND ENGINEER HAVE NO CONTRACTUAL DUTY TO CONTROL THE SAFEST METHODS OR MEANS OF THE WORK, JOB SITE RESPONSIBILITIES, SUPERVISION OR TO SUPERVISE SAFETY AND DOES NOT VOLUNTARILY ASSUME ANY SUCH DUTY OR RESPONSIBILITY.
20. THE CONTRACTOR SHALL COMPLY WITH CFR 29 PART 1926 FOR EXCAVATION TRENCHING AND TRENCH PROTECTION REQUIREMENTS.
21. ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, SITE ENGINEER, AND APPROPRIATE REGULATORY AGENCY PRIOR TO INSTALLATION DURING THE BIDDING PROCESS.
22. INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE SYSTEMS HAS BEEN COMPELLED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL RECORD MAPS AND/OR FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES. PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" 72 HOURS BEFORE COMMENCEMENT OF WORK AT "1-(800)-922-4455" AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS.
23. PAVEMENT MARKINGS SHALL BE HOT APPLIED TYPE IN ACCORDANCE WITH MUTCD STANDARDS IN ADDITION TO CT DOT SPECIFICATIONS, UNLESS WHERE EPOXY RESIN PAVEMENT MARKINGS ARE INDICATED.
24. CT DOT ENCROACHMENT PERMIT SHALL BE OBTAINED BY CONTRACTOR WHO SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC PROTECTION NECESSARY FOR THE WORK.
25. AN EROSION CONTROL BOND IS REQUIRED TO BE POSTED BY THE CONTRACTOR BEFORE THE START OF ANY ACTIVITY ON OR OFF SITE.
26. THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION. NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.
28. THESE PLANS ARE FOR PERMITTING.
29. THE SITE IS PROPOSED TO BE SERVICED BY PUBLIC WATER AND PUBLIC SEWERS.
30. THE PROPERTY IS LOCATED WITHIN FEMA FLOOD ZONE "X" (AREAS OUTSIDE 500 YEAR FLOOD ZONE) PER F.I.R.M. COMMUNITY PANEL NO. 386 OF 675, COMMUNITY PANEL NO. 0900300386F, MAP REVISED SEPT. 26, 2008.
31. 12" SWSB (STOP BAR) AND 4" SYDL AND SWL PAVEMENT MARKINGS LOCATED IN DRIVEWAYS AND IN STATE HIGHWAY SHALL BE EPOXY RESIN TYPE ACCORDING TO CT DOT SPECIFICATIONS.
32. FIRE LANES SHALL BE ESTABLISHED AND PROPERLY DESIGNATED IN ACCORDANCE WITH THE REQUIREMENTS OF THE TOWN FIRE MARSHAL.
38. THE APPLICANT WILL PROVIDE AND MAINTAIN ADEQUATE SIGHT DISTANCES AT ALL DRIVEWAY INTERSECTIONS. CURRENT STATE OF CONNECTICUT HIGHWAY DESIGN STANDARDS WILL APPLY TO REQUIRED SIGHT DISTANCES.
39. THE APPLICANT WILL REGISTER BUILDING ALARMS PER TOWN ORDINANCE.
40. THE APPLICANT WILL CONTROL DUST AND DEBRIS ON THE SURROUNDING ROADWAYS DURING CONSTRUCTION. PROPER SAFETY PRECAUTIONS AND EQUIPMENT ARE TO BE UTILIZED WHEN WORKING ON PUBLIC ROADWAYS AND ARE THE APPLICANT'S RESPONSIBILITY TO PROVIDE.

GRADING AND DRAINAGE NOTES

GRADING GENERAL NOTES:

1. SEE THIS PLAN SHEET FOR ADDITIONAL SITE PLAN AND GENERAL NOTES.
2. THE GRADING AND DRAINAGE PLAN IS INTENDED TO DESCRIBE GRADING AND DRAINAGE ONLY. REFER TO SITE PLAN FOR GENERAL INFORMATION, AND DETAIL SHEETS FOR DETAILS. SEE MEP DRAWINGS FOR BUILDING CONNECTION LOCATIONS AND DETAILS.
3. THE CONTRACTOR SHALL PRESERVE EXISTING VEGETATION WHERE POSSIBLE AND/OR AS NOTED ON DRAWINGS. REFER TO EROSION CONTROL PLAN FOR LIMIT OF DISTURBANCE AND NOTES.
4. TOPSOIL SHALL BE STRIPPED AND STOCKPILED FOR USE IN FINAL LANDSCAPING.
5. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS REQUIRED BY GOVERNMENT AND LOCAL AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE LOCAL MUNICIPALITIES REQUIRED TO PERFORM ALL REQUIRED WORK, INCLUDING FOR STREET CUTS AND CONNECTIONS TO EXISTING UTILITIES. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
6. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS FENCES AND UNIFORMED TRAFFIC CONTROLLERS AS REQUIRED, ORDERED BY THE ENGINEER OR REQUIRED BY THE STATE AND LOCAL GOVERNING AUTHORITIES.
7. THE CONTRACTOR SHALL COMPACT FILL IN 12" MAXIMUM LIFTS UNDER ALL PARKING, BUILDING, AND DRIVE AREAS TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557 (MODIFIED PROCTOR TEST), OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER.
8. UNDERDRAINS SHALL BE ADDED, IF DETERMINED NECESSARY IN THE FIELD BY THE DESIGN OR TOWN ENGINEER AFTER SUBGRADE IS ROUGH GRADED, AS APPROVED BY THE OLD EAST HARTFORD TOWN STAFF.
9. VERTICAL DATUM IS NVGD 1988.
10. CLEARING LIMITS SHALL BE PHYSICALLY MARKED IN THE FIELD AND APPROVED BY THE TOWN OF EAST HARTFORD AGENT PRIOR TO THE START OF WORK ON THE SITE.
11. PROPER CONSTRUCTION PROCEDURES SHALL BE FOLLOWED ON ALL IMPROVEMENTS WITHIN THIS PARCEL SO AS TO PREVENT THE SILTING OF ANY WATERCOURSE OR WETLANDS IN ACCORDANCE WITH THE REGULATIONS OF THE DEPARTMENT OF ENVIRONMENTAL PROTECTION GUIDELINES FOR SOIL EROSION AND SEDIMENT POLLUTION CONTROL. IN ADDITION, THE CONTRACTOR SHALL STRICTLY ADHERE TO THE "EROSION CONTROL PLAN" CONTAINED HEREIN. THE CONTRACTOR SHALL BE RESPONSIBLE TO POST ALL BONDS AS REQUIRED BY THE LOCAL MUNICIPALITIES, OR SOIL CONSERVATION SERVICE WHICH WOULD GUARANTEE THE PROPER IMPLEMENTATION OF THE PLAN.
12. ALL SITE WORK, MATERIALS OR CONSTRUCTION, AND CONSTRUCTION METHODS FOR EARTHWORK STORM DRAINAGE AND UTILITY WORK SHALL CONFORM TO THE SPECIFICATIONS AND DETAILS AND APPLICABLE SECTIONS OF THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION UNLESS OTHERWISE STATED IN THE PROJECT MANUAL SPECIFICATIONS. ALL FILL MATERIALS UNDER STRUCTURES AND PAVED AREAS SHALL BE PER THE SPECIFICATIONS, AND/OR PROJECT GEOTECHNICAL REPORT, AND SHALL BE PLACED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE DOT UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL ENGINEER. MATERIAL SHALL BE COMPACTED IN 12" LIFTS TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D 1557 AT 3 +/- PERCENT OF OPTIMUM MOISTURE CONTENT.
13. ALL DISTURBANCE INCURRED TO TOWN OR STATE PROPERTY DUE TO CONSTRUCTION SHALL BE RESTORED TO ITS PREVIOUS CONDITION OR BETTER, TO THE SATISFACTION OF THE TOWN OF EAST HARTFORD AUTHORITY AND STATE OF CONNECTICUT.
14. ALL CONSTRUCTION SHALL COMPLY WITH TRACTOR SUPPLY COMPANY'S AND THE LOCAL MUNICIPALITY'S STANDARDS AND STATE OF CONNECTICUT'S DOT SPECIFICATIONS. ALL CONSTRUCTION WITHIN A DOT RIGHT OF WAY SHALL COMPLY WITH A DEPARTMENT OF TRANSPORTATION STANDARDS, WHERE SPECIFICATIONS OR STANDARDS ARE IN CONFLICT, THE MORE STRINGENT SPECIFICATION OR STANDARD SHALL BE SUPERIOR.

PRODUCT NOTES:

1. SHOP DRAWINGS: THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF MATERIALS AND STRUCTURES FOR REVIEW AND APPROVAL PRIOR TO DELIVERY TO THE SITE. ALLOW 14 WORKING DAYS FOR REVIEW.
2. POLY VINYL CHLORIDE PIPE (PVCP) FOR STORM AND SANITARY PIPING SHALL HAVE BUILT-IN RUBBER GASKET JOINTS. PVCP SHALL CONFORM TO ASTM D-3034 (SDR35) COMPRESSION JOINTS AND MOLDED FITTINGS. PVCP SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAILS; ASTM-D2321 AND MANUFACTURERS RECOMMENDED PROCEDURE.
3. ALL RCP SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-76; ALL RCP SHALL BE CLASS IV UNLESS OTHERWISE SHOWN. JOINTS SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-443.
4. MANHOLE SECTIONS AND CONSTRUCTION SHALL CONFORM TO ASTM C-478.
5. HIGH DENSITY POLYETHYLENE (HDPE) STORM SEWER 12" OR GREATER IN DIAMETER SHALL BE HI-Q SURE-LOK 10.8 PIPE AS MANUFACTURED BY HANCOR INC. OR APPROVED EQUAL. HDPE PIPE SHALL HAVE SMOOTH INTERIOR AND CORRUGATED EXTERIOR AND SHALL MEET THE REQUIREMENTS OF ASSHTO M294. TYPE PIPE SECTIONS SHALL BE JOINED WITH BELL-AND-SPIGOT JOINT MEETING THE REQUIREMENTS OF AASHTOS M294. THE BELL SHALL BE AN INTEGRAL PART OF THE PIPE AND PROVIDE A MINIMUM PULL-APART STRENGTH OF 400 POUNDS. THE JOINT SHALL BE WATERTIGHT ACCORDING TO THE REQUIREMENTS OF ASTM D3212. GASKETS SHALL BE MADE OF POLYISOPRENE MEETING THE REQUIREMENTS OF ASTM F4177. ALTERNATIVE HDPE PIPE MAY BE USED IF APPROVED BY THE ENGINEER AND CONSTRUCTION MANAGER PRIOR TO ORDERING.

GENERAL NOTES

1. THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT THE SITE ENGINEER AND ARCHITECT IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS.
2. DO NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
3. THE CONTRACTOR SHALL ABIDE BY ALL OSHA FEDERAL STATE AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOSTS, ETC. IN CLOSE PROXIMITY TO OVERHEAD ELECTRIC LINES. IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINES, CONTACT POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS. ANY UTILITY COMPANY FEES SHALL BE PAID FOR BY THE CONTRACTOR.
4. THE CONTRACTOR SHALL PROVIDE RECORD DRAWINGS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER AT THE END OF CONSTRUCTION.
5. THE ARCHITECT OR ENGINEER IS NOT RESPONSIBLE FOR SITE SAFETY MEASURES TO BE EMPLOYED DURING CONSTRUCTION. THE ARCHITECT AND ENGINEER HAVE NO CONTRACTUAL DUTY TO CONTROL THE SAFEST METHODS OR MEANS OF THE WORK, JOB SITE RESPONSIBILITIES, SUPERVISION OR TO SUPERVISE SAFETY AND DOES NOT VOLUNTARILY ASSUME ANY SUCH DUTY OR RESPONSIBILITY.
6. INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE SYSTEMS HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL RECORD MAPS AND/OR FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES. PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" 72 HOURS BEFORE COMMENCEMENT OF WORK AT "1-(800)-922-4455" AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS.
7. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN OVER SCALED DIMENSIONS.
8. IF PLANS AND OR SPECIFICATIONS AR IN CONFLICT, THE MOST EFFECTIVE SHALL APPLY AS DETERMINED BY A LICENSED PROFESSIONAL AND APPROVED BY TOWN STAFF.
9. ALL CONTRACTORS AND SUBCONTRACTORS SHALL OBTAIN COMPLETE DRAWING PLAN SETS FOR BIDDING AND CONSTRUCTION. PLAN SETS SHALL NOT BE DISASSEMBLED INTO PARTIAL PLAN SETS FOR USE BY CONTRACTORS AND SUBCONTRACTORS OF INDIVIDUAL TRADES. IT SHALL BE THE CONTRACTOR'S AND SUBCONTRACTOR'S RESPONSIBILITY TO OBTAIN COMPLETE PLAN SETS FOR USE IN BIDDING AND CONSTRUCTION.
10. ALL NOTES AND DIMENSIONS DESIGNATED "TYPICAL" APPLY TO ALL LIKE OR SIMILAR CONDITIONS THROUGHOUT THE PROJECT.
11. CONTRACTOR'S TO TAKE AND VERIFY ALL DIMENSIONS AND CONDITIONS OF THE WORK AND BE RESPONSIBLE FOR COORDINATION OF SAME. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF WORK.
12. THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION. NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.

UTILITIES NOTES

UTILITY CONSTRUCTION NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE LOCAL MUNICIPALITIES TO SECURE PERMITS AND FOR PAYMENT OF FEES FOR STREET CUTS AND CONNECTIONS TO EXISTING UTILITIES.
2. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS FENCES AND UNIFORMED TRAFFIC CONTROLLERS AS REQUIRED, ORDERED BY THE ENGINEER OR REQUIRED BY THE LOCAL GOVERNING AUTHORITIES.
3. THIS PLAN DETAILS SITE INSTALLED PIPES UP TO 5' FROM THE BUILDING FACE. REFER TO DRAWINGS BY OTHERS FOR BUILDING CONNECTION POINT OR AT EXISTING UTILITY OR PIPE CONNECTION POINT.
4. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY THE ELEVATION AND LOCATION OF ALL UTILITIES BY VARIOUS MEANS PRIOR TO BEGINNING ANY EXCAVATION. TEST PITS SHALL BE DUG AT ALL LOCATIONS WHERE SEWERS CROSS UTILITIES, AND THE HORIZONTAL AND VERTICAL LOCATIONS OF THE UTILITIES SHALL BE DETERMINED. THE CONTRACTOR SHALL CONTACT THE SITE ENGINEER IN THE EVENT OF ANY DISCOVERED OR UNFORESEEN CONFLICTS BETWEEN EXISTING AND PROPOSED UTILITIES SO THAT AN APPROPRIATE MODIFICATION MAY BE MADE.
5. UTILITY CONNECTION DESIGN AS REFLECTED ON THE PLAN MAY CHANGE SUBJECT TO UTILITY CO. AND TOWN STAFF REVIEW.
6. THE CONTRACTOR SHALL ENSURE THAT ALL UTILITY COMPANIES AND TOWN STANDARDS FOR MATERIALS AND CONSTRUCTION METHODS ARE MET. THE CONTRACTOR SHALL PERFORM PROPER COORDINATION WITH THE RESPECTIVE UTILITY PROVIDER, TOWN OF EAST HARTFORD PUBLIC WORKS DEPARTMENT AND CONNECTICUT RIVER HEALTH DISTRICT.
7. THE CONTRACTOR SHALL ARRANGE FOR AND COORDINATE WITH THE RESPECTIVE UTILITY COMPANIES FOR SERVICE INSTALLATIONS AND CONNECTIONS. THE CONTRACTOR SHALL COORDINATE WORK TO BE PERFORMED BY THE VARIOUS UTILITY COMPANIES AND SHALL PAY ALL FEES FOR CONNECTIONS, DISCONNECTION, REALLOCATIONS, INSPECTIONS, AND DEMOLITION.
8. ALL EXISTING PAVEMENT WHERE UTILITY PIPING IS TO BE INSTALLED SHALL BE SAW CUT. AFTER UTILITY INSTALLATION IS COMPLETED THE SITE CONTRACTOR SHALL INSTALL TEMPORARY OR PERMANENT PAVEMENT REPAIR AS DETAILED ON THE PLANS OR AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION.
9. ALL PIPES SHALL BE LAID ON STRAIGHT ALIGNMENTS AND EVEN GRADES USING A PIPE LASER OR OTHER ACCURATE METHOD.
10. SANITARY LATERAL SHALL MAINTAIN (10' MIN. HORIZONTAL 1.5' VERTICAL MIN.) SEPARATION DISTANCE FROM WATER LINES, OR ADDITIONAL PROTECTION MEASURES WILL BE REQUIRED WHERE PERMITTED.
11. RELOCATION OF UTILITY COMPANY FACILITIES SUCH AS POLES, TO BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE FACILITY OWNERS.
12. THE CONTRACTOR SHALL COMPACT THE PIPE BACKFILL IN 12" LIFTS ACCORDING TO THE PIPE BEDDING DETAILS. TRENCH BOTTOM SHALL BE STABLE IN HIGH GROUNDWATER AREAS. A PIPE FOUNDATION SHALL BE USED IN AREAS OF ROCK EXCAVATION. STORM SEWERS MAY BE PLACED PRIOR TO PLACING FILL.
13. CONTRACTOR TO PROVIDE SLEEVES UNDER FOOTINGS FOR UTILITY CONNECTIONS.
14. UTILITY PENETRATIONS AND LOCATIONS ARE SHOWN FOR THE CONTRACTOR'S INFORMATION AND SHALL BE VERIFIED WITH THE MEP DRAWINGS AND CONSTRUCTION MANAGER.
15. ALL UTILITY CONSTRUCTION IS SUBJECT TO INSPECTION FOR APPROVAL PRIOR TO BACKFILLING, IN ACCORDANCE WITH THE APPROPRIATE UTILITY COMPANY AND/OR THE LOCAL MUNICIPALITIES' REQUIREMENTS.
16. A ONE-FOOT MINIMUM CLEARANCE BETWEEN WATER, GAS, ELECTRICAL, AND TELEPHONE LINES AND STORM SEWERS SHALL BE PROVIDED. A SIX-INCH MINIMUM CLEARANCE SHALL BE MAINTAINED BETWEEN STORM AND SANITARY SEWER WITH A CONCRETE ENCASEMENT.
17. CONTRACTOR SHALL PROVIDE ALL BENDS, FITTINGS, ADAPTERS, ETC., AS REQUIRED FOR PIPE CONNECTIONS TO BUILDING STUB OUTS, INCLUDING ROOF/FOOTING DRAIN CONNECTIONS TO ROOF LEADERS AND TO STORM DRAINAGE SYSTEM.
18. MANHOLE RIMS SHALL BE SET TO ELEVATIONS SHOWN. SET ALL EXISTING MANHOLE FRAMES AND VALVE COVERS TO BE RAISED OR LOWERED FLUSH WITH FINAL GRADE AS NECESSARY.
19. SITE CONTRACTOR SHALL COORDINATE INSTALLATION OF CONDUIT AND CABLES FOR SITE LIGHTING WITH THE BUILDING ELECTRICIAN/ELECTRICAL CONTRACTOR.
20. CONTRACTOR SHALL COORDINATE INSTALLATION FOR ELECTRICAL SERVICES TO PYLON SIGNS AND SITE LIGHTING WITH THE BUILDING ELECTRICIAN/ELECTRICAL CONTRACTOR.
21. THE CONTRACTOR SHALL RESTORE ANY UTILITY STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, OR LANDSCAPED AREAS DISTURBED DURING CONSTRUCTION, TO THEIR ORIGINAL CONDITION OR BETTER.
22. INFORMATION ON EXISTING UTILITIES HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL RECORD MAPS AND/OR FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES INCLUDING SERVICES. CONTACT "CALL BEFORE YOU DIG" AT 1-(800)-922-4455 72 HOURS PRIOR TO CONSTRUCTION AND VERIFY ALL UNDERGROUND AN OVERHEAD UTILITY LOCATIONS.
23. THE CONTRACTOR SHALL ARRANGE AND COORDINATE WITH UTILITY COMPANIES AND THE TOWN OF EAST HARTFORD FOR WORK TO BE PERFORMED BY UTILITY COMPANIES OR BY THE TOWN OF EAST HARTFORD. THE CONTRACTOR SHALL PAY ALL UTILITY FEES AND REPAIR PAVEMENTS AS NECESSARY.
24. ELECTRIC, AND TELEPHONE SERVICES SHALL BE INSTALLED UNDERGROUND FROM SERVICE POLE #CL&P 2655. THE CONTRACTOR SHALL INSTALL AND BACKFILL TWO 4" PVC CONDUITS FOR TELEPHONE SERVICE, FOUR 4" PVC CONDUITS FOR ELECTRIC SERVICE PRIMARY, PVC CONDUITS FOR ELECTRICAL SECONDARY PER BUILDING ELECTRICAL PLANS (SCHEDULE 80N UNDER PAVEMENT, SCHEDULE 40 IN NON PAVEMENT AREAS). SERVICES MAY BE INSTALLED IN A COMMON TRENCH WITH 1" CLEAR SPACE BETWEEN. MINIMUM COVER IS 36" ON ELECTRIC CONDUITS, AND 24" ON TELEPHONE CONDUITS. SERVICES SHALL BE MARKED WITH MAGNETIC LOCATOR TAPE AND SHALL BE BEDDED, INSTALLED, AND BACKFILLED IN ACCORDANCE WITH ELECTRIC COMPANY, AND PHONE COMPANY STANDARDS. GALVANIZED STEEL ELECTRICAL CONDUIT SHALL BE USED AT POLE AND TRANSFORMER LOCATIONS. INSTALL HANDHOLES AS REQUIRED. INSTALL CONCRETE ENCASEMENT ON PRIMARY ELECTRIC CONDUITS IF REQUIRED BY ELECTRIC COMPANY.
25. ALL WATER LINES TO HAVE A MINIMUM COVER OF 54-INCHES. ALL LINES SHALL BE BEDDED IN 6" SAND AND BACKFILLED WITH 12" SAND.
26. ALL WATER MAINS, WATER SERVICES AND SANITARY SEWER LATERAL SHALL CONFORM TO THE DEPARTMENT OF ENVIRONMENTAL HEALTH, APPLICABLE TOWN OF EAST HARTFORD SPECIFICATIONS, AS WELL AS TO OTHER APPLICABLE CODES AND SPECIFICATIONS FOR POTABLE WATER SYSTEMS.
27. ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, ENGINEER, UTILITY PROVIDER AND APPROPRIATE REGULATORY AGENCIES PRIOR TO INSTALLATION.
28. THE CONTRACTOR SHALL MAINTAIN ALL UTILITY CONNECTIONS TO EXISTING ABUTTING HOUSES WITHOUT INTERRUPTION UNLESS/UNTIL AUTHORIZED TO DISCONNECT BY THE OWNERS, THE PROJECT ENGINEER, UTILITY PROVIDER AND GOVERNING AUTHORITIES.
29. ANY EXISTING POTABLE WATER WELLS AND SEPTIC TANKS/ABSORPTION AREAS SHALL BE ABANDONED AND REMOVED PER THE DEPARTMENT OR ENVIRONMENTAL PROTECTION AND HEALTH CODE REQUIREMENTS.
30. THE CONTRACTOR MAY SUBSTITUTE MASONRY STRUCTURES FOR PRECAST STRUCTURES IF APPROVED BY THE SITE ENGINEER AND ALLOWED BY THE TOWN ENGINEER OR BY GOVERNING AUTHORITY.

POST CONSTRUCTION STORM WATER POLLUTION PLAN

RESPONSIBLE PARTIES AND STORMWATER MANAGEMENT SYSTEM OWNER: LEGGETT STREET REALTY, LLC

C/O JAMES L. OHARA
PAVEY LINEN SUPPLY, INC.
50 BURNHAM AVE.
CRANSTON, RI 02910
PHONE NUMBER: 1-401-842-8900

THE FOLLOWING PROCEDURES WILL BE IMPLEMENTED CONTINUALLY BY THE OWNER:

1. PAVEMENT SWEEPING: PARKING LOTS AND DRIVES SHALL BE SWEEPED A MINIMUM OF TWICE A YEAR (SPRING AND FALL).
2. CATCH BASIN SUMPS: CATCH BASIN SUMPS SHALL BE INSPECTED ON A REGULAR BASIS (AT LEAST TWICE PER YEAR) AND SEDIMENT WILL BE REMOVED AS NECESSARY (A MINIMUM OF ONCE A YEAR TO ENSURE FUNCTIONING OF THE SYSTEM, UTILIZING A VACUUM TRUCK)
3. THE COLLECTION SYSTEM PIPES SHALL BE AT SIX-MONTH INTERVALS. REGULAR MAINTENANCE INCLUDES THE FOLLOWING ITEMS:
-INSPECTION OF THE OUTLET TO ENSURE THEY ARE NOT BLOCKED.
-CHECKING THE OUTLETS FROM THE DRAINAGE SYSTEM IS CLEAR AND NOT ERODING.
-REMOVING PAPER AND DEBRIS FROM INSIDE THE BASIN.
4. BIO-RETENTION SWALE & BASINS SLOPES SHALL BE MOWED ONCE A YEAR. MORE FREQUENT MOWING WILL ELIMINATE NATIVE FORBS SEDGES FROM THE MEADOW COVER.
5. LANDSCAPING: LANDSCAPED AREAS WILL BE MAINTAINED. NORMAL LANDSCAPING MAINTENANCE WILL CONSIST OF PRUNING, MULCHING, PLANTING MOWING LAWN, RAKING LEAVES, ECT. USE OF FERTILIZERS AND PESTICIDE WILL BE CONTROLLED AND LIMITED TO MINIMAL AMOUNTS NECESSARY FOR HEALTHY LANDSCAPE MAINTENANCE. THE LAWN AREAS, ONCE ESTABLISHED, WILL BE MAINTAINED AT A TYPICAL HEIGHT OF 3 1/2". THIS WILL ALLOW THE THE GRASS TO BE MAINTAINED WITH A MINIMAL IMPACT FROM WEEDS AND/OR PEST. THE REAR (EASTERLY) SLOPE AREAS WILL BE MAINTAINED AS A MEADOW OR ALLOWED TO REVERT BACK TO WOODLANDS. PESTICIDE WILL ONLY BE USED AS A CONTROL METHOD WHEN A PROBLEM HAS BEEN IDENTIFIED AND OTHER NATURAL CONTROL METHODS ARE NOT SUCCESSFUL. ALL PESTICIDE APPLICATION SHALL BE BY LICENSED APPLICATORS, WHERE NECESSARY. TOPSOIL, BRUSH, LEAVES, CHIPPINGS, MULCH, EQUIPMENT, AND OTHER MATERIALS SHALL BE STORED OFF SITE.
6. MAINTAIN EXISTING NATIVE VEGETATION: EXISTING VEGETATION ALONG THE EASTERLY EDGE OF THE DEVELOPMENT, ADJACENT TO THE WETLANDS SHALL REMAIN IN ITS NATIVE CONDITIONS NO CLEARING, GRADING, STOCKPILING, STORAGE, OR DEVELOPMENT WILL OCCUR IN THESE AREAS WITHOUT PRIOR APPROVAL FROM THE APPROPRIATE AGENCIES.
7. TRASH COLLECTION: ALL TRASH WILL BE CONTAINED IN DUMPSTERS. ALL DUMPSTERS WILL BE EQUIPPED WITH COVERS. ALL TRASH WILL BE COLLECTED ON A REGULAR BASIS AND DISPOSED OF LEGALLY OFF-SITE.
8. OUTDOOR STORAGE: THERE WILL BE NO OUTDOOR OF HAZARDOUS CHEMICALS, FERTILIZER, PESTICIDES, OR HERBICIDES ANYWHERE AT THE FACILITY.
9. THE OWNER SHALL BE KEEP AN ON-SITE LOG OF STORMWATER MAINTENANCE MEASURES PERFORMED AND DATES THEY WERE IMPLEMENTED. THIS LOG BOOK SHALL BE AVAILABLE FOR THE TOWN OF EAST HARTFORD INSPECTION.
10. ALL AREAS DISTURBED DURING CONSTRUCTION ARE TO REDEVE 6" TOPSOIL, LOAM AND SEEDED.

NOTE:
The developer shall notify The Town of East Hartford Engineering Division 24 hours prior to beginning any storm drainage, roadway preparation, paving, sidewalk, curbing, street line monumentation, property corner pins, etc., to schedule inspections. The Division can be reached between 8:30 A.M. – 4:30 P.M. at 291-7380.

TOWN OF EAST HARTFORD
PLANNING AND ZONING COMMISSION
SITE PLAN CERTIFICATE
OF APPROVAL

APPROVAL DATE _____

EXPIRATION DATE _____

CHAIRMAN

HALLISEY, PEARSON & CASSIDY

CIVIL ENGINEERS & LAND SURVEYORS

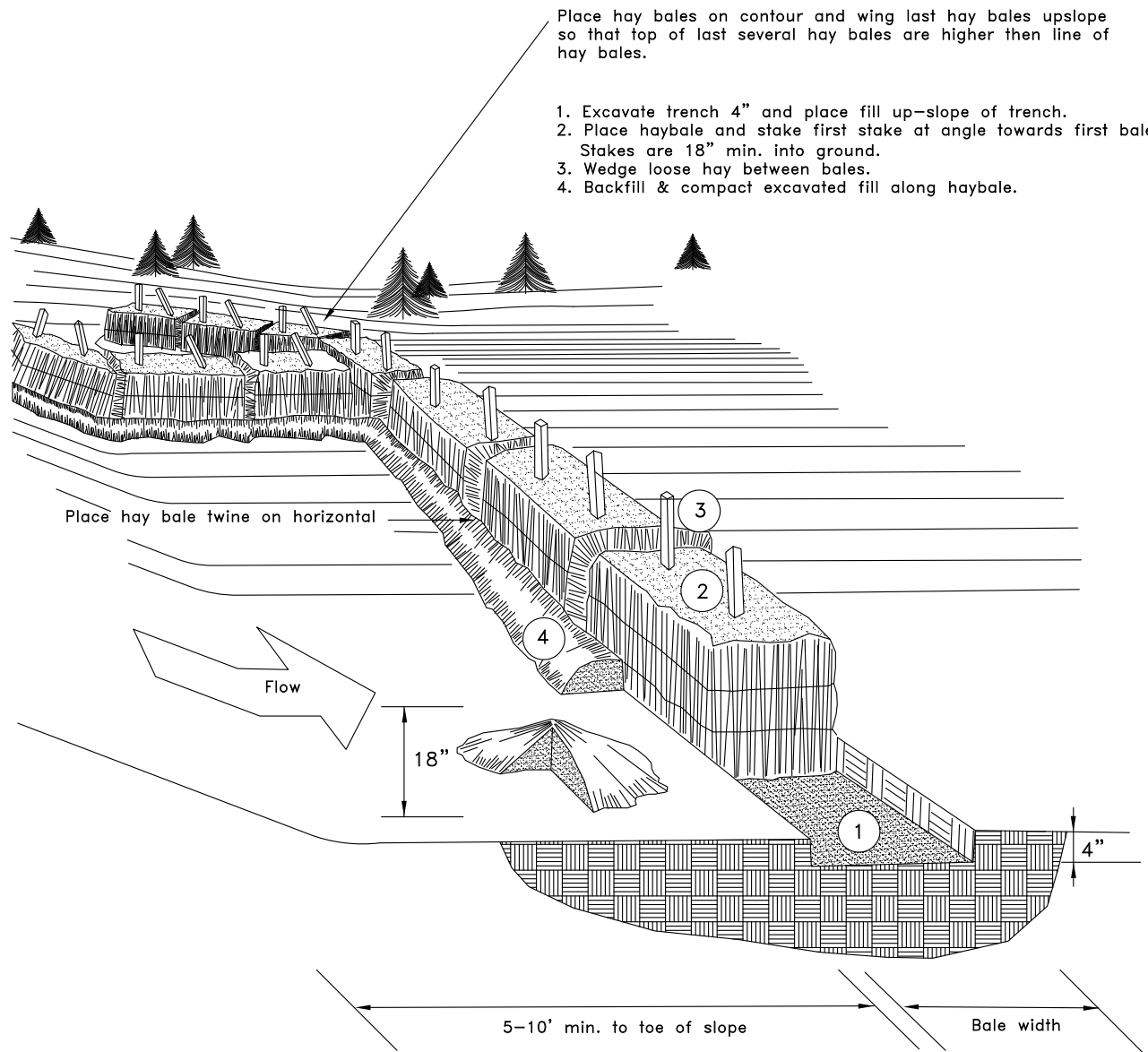
630 MAIN STREET, UNIT #1A
CROWELL, CONNECTICUT 06416

PHONE: (860)-529-6812, FAX: (860)-721-7709

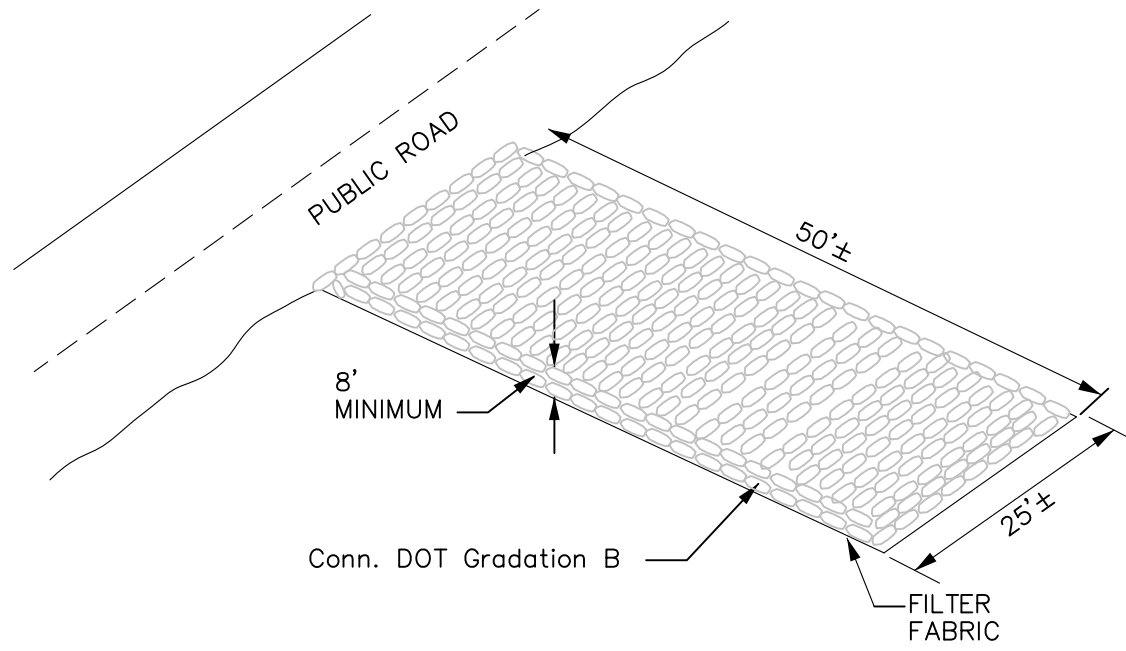
GENERAL NOTES

PREPARED FOR
LEGGETT STREET REALTY, LLC
PROPERTY LOCATED AT
#69 LEGGETT STREET
EAST HARTFORD, CONNECTICUT





TOE OF SLOPE HAY BALE BARRIER
NO SCALE

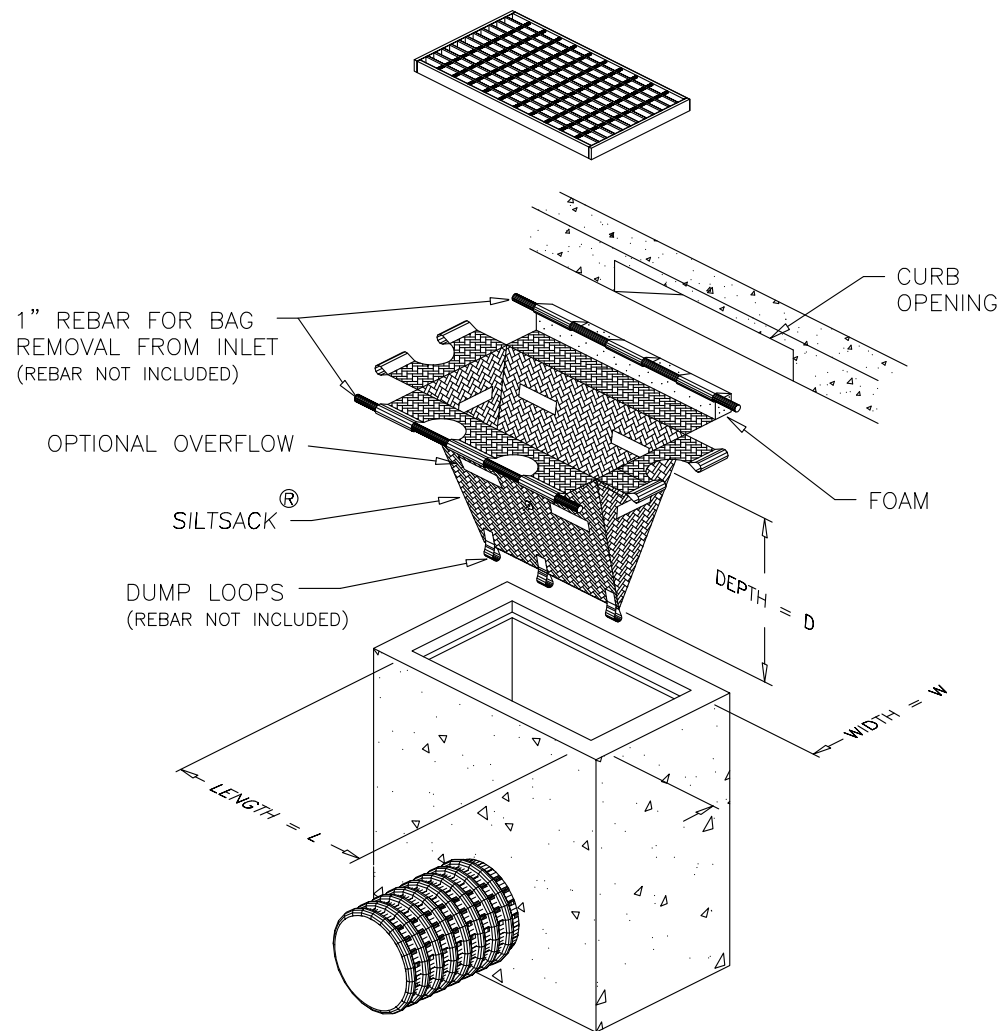


CONSTRUCTION ENTRANCE
NO SCALE

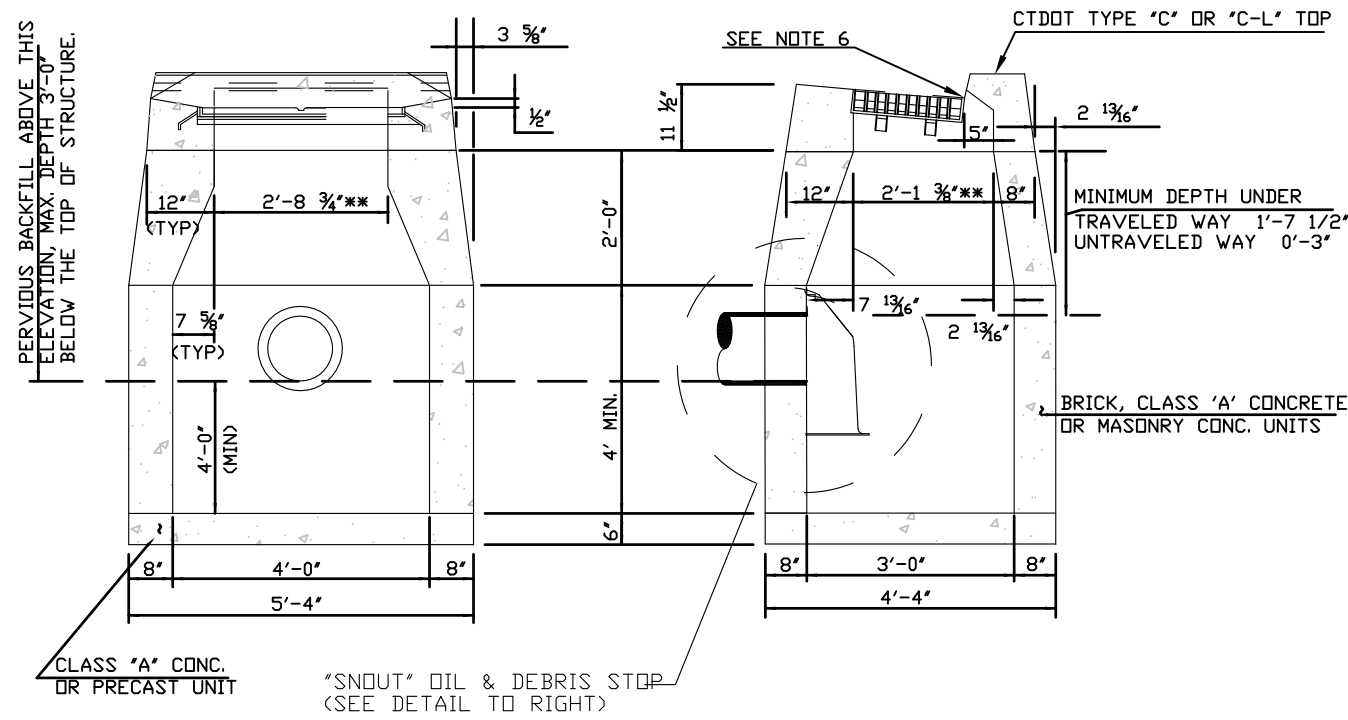
MAINTENANCE OF CONSTRUCTION ENTRANCE

MAINTAIN THE ENTRANCE IN A CONDITION WHICH WILL PREVENT TRACKING AND WASHING OF SEDIMENT ONTO PAVED SURFACES. PROVIDE PERIODIC TOP DRESSING WITH ADDITIONAL STONE OR ADDITIONAL LENGTH AS CONDITIONS DEMAND. REPAIR ANY MEASURES USED TO TRAP SEDIMENT AS NEEDED. IMMEDIATELY REMOVE ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PAVED SURFACES. ROADS ADJACENT TO A CONSTRUCTION SITE SHALL BE LEFT CLEAN AT THE END OF EACH DAY.

IF THE CONSTRUCTION ENTRANCE IS BEING PROPERLY MAINTAINED AND THE ACTION OF VEHICLE TRAVELING OVER THE STONE PAD IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF THE SEDIMENT, THEN EITHER (1) INCREASE THE LENGTH OF THE CONSTRUCTION ENTRANCE, (2) MODIFY THE CONSTRUCTION ACCESS ROAD SURFACE, OR (3) INSTALL WASHING RACKS AND ASSOCIATED SETTLING AREA OR SIMILAR DEVICES BEFORE THE VEHICLE ENTERS A PAVED AREA.

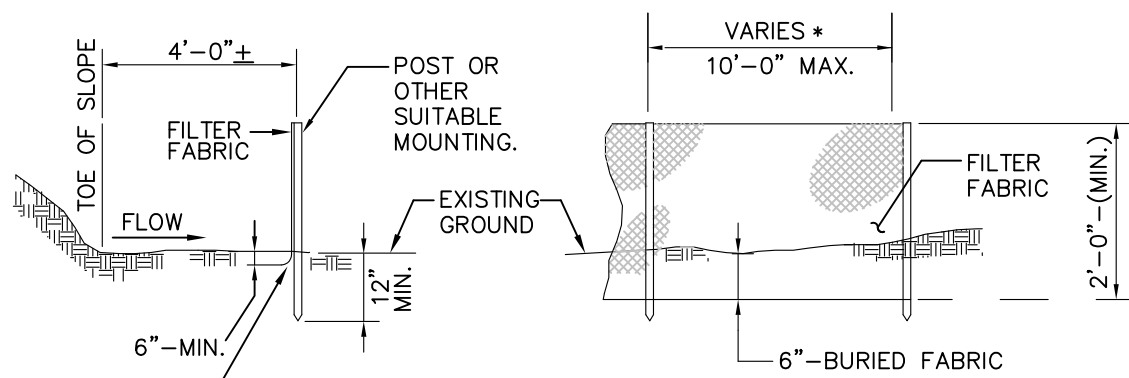


DETAIL OF INLET SEDIMENT CONTROL DEVICE WITH CURB DEFLECTOR



- NOTES:**
- 1) WALLS OF ALL CATCH BASINS OVER 10 FT. DEEP SHALL BE INCREASED TO 12" THICKNESS. INSIDE DIMENSIONS SHALL REMAIN THE SAME.
 - 2) PROVIDE DRAINAGE OPENING IN EACH WALL AT LOWEST INVERT ELEVATION.
 - 3) WHERE BRICK OR MASONRY CONCRETE UNITS ARE USED, CORBELLING WILL BE PERMITTED. MAXIMUM CORBEL SHALL BE 3". NO PROJECTION SHALL EXTEND INSIDE OF LIMITS NOTED BY **.
 - 4) PRECAST CONCRETE CATCH BASIN UNITS MAY BE USED, AS DESCRIBED IN THE STANDARD SPECIFICATIONS.
 - 5) WHERE PRECAST CONCRETE UNIT IS USED FOR THE SUMP, THE TOP OF THE UNIT SHALL BE AT LEAST 6" BELOW THE BOTTOM OF THE PIPE OUTLET FROM THE CATCH BASIN.
 - 6) TOP OF FRAME ELEVATION SHALL BE DECREASED 1" BELOW NORMAL GUTTER GRADE.
 - 7) PROVIDE 6"(MIN) GRANULAR FILL UNDER STRUCTURE TO REPLACE UNSUITABLE MATERIAL.

TYPICAL CATCH BASIN
NOT TO SCALE



NOTE:
* POST SPACING AND EMBEDMENT VARIES BASED ON THE MANUFACTURERS REQUIREMENTS.

SILT FENCE
NO SCALE

MAINTENANCE OF SILT FENCE

INSPECT THE SILT FENCE AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL AMOUNT OF 0.5 INCH OR GREATER TO DETERMINE MAINTENANCE NEEDS. WHEN USED FOR DEWATERING OPERATIONS, INSPECT FREQUENTLY BEFORE, DURING AND AFTER PUMPING OPERATIONS.

REMOVE THE SEDIMENT DEPOSITS OR, IF ROOM ALLOWS, INSTALL A SECONDARY SEDIMENT FENCE UP SLOPE OF THE EXISTING FENCE WHEN SEDIMENT DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE EXISTING FENCE.

REPLACE OR REPAIR THE FENCE WITHIN 24 HOURS OF OBSERVED FAILURE. FAILURE OF THE FENCE HAS OCCURRED WHEN SEDIMENT FAILS TO BE RETAINED BY THE FENCE BECAUSE:

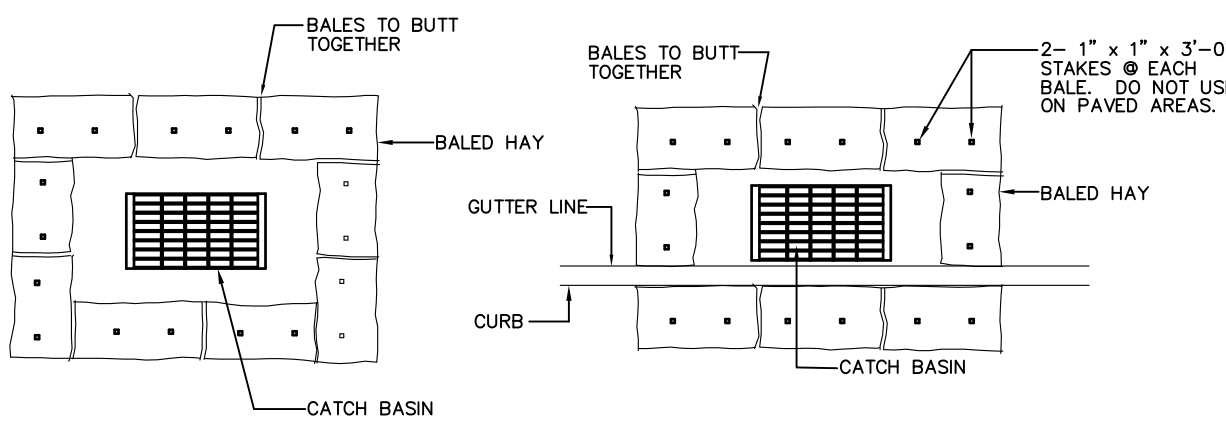
- (A) THE FENCE HAS BEEN OVER TOPPED, UNDERCUT OR BYPASSED BY RUNOFF WATER,
- (B) THE FENCE HAS BEEN MOVED OUT OF POSITION (KNOCKED OVER), OR
- (C) THE GEOTEXTILE HAS DECOMPOSED OR BEEN DAMAGED.

WHEN REPETITIVE FAILURES OCCURED AT THE SAME LOCATION, REVIEW CONDITIONS AND LIMITATION FOR USE AND DETERMINE IF ADDITIONAL CONTROLS (e.g. TEMPORARY STABILIZATION OF CONTRIBUTING AREA, DIVERSIONS, STONE BARRIERS) ARE NEEDED TO REDUCE FAILURE RATE OR REPLACE FENCE.

MAINTAIN THE FENCE UNTIL THE CONTRIBUTING AREA IS STABILIZED.

AFTER THE CONTRIBUTING AREA IS STABILIZED DETERMINE IF SEDIMENT CONTAINED BY THE SILT FENCE REQUIRES REMOVAL OR REGRADING AND STABILIZATION. IF THE DEPTH IS GREATER THAN OR EQUAL TO 6 INCHES, REGRADING OR REMOVAL OF THE ACCUMULATED SEDIMENT IS REQUIRED. NO REMOVAL OR REGRADING IS REQUIRED IF SEDIMENT DEPTH IS LESS THAN 6 INCHES.

REMOVE THE FENCE BY PULLING UP THE SUPPORT POSTS AND CUTTING THE GEOTEXTILE AT GROUND LEVEL. REGRADE OR REMOVE SEDIMENT AS NEEDED, AND STABILIZE DISTURBED SOILS.



SEDIMENTATION CONTROL BALES
NO SCALE

MAINTENANCE OF HAY BALE CHECK DAM

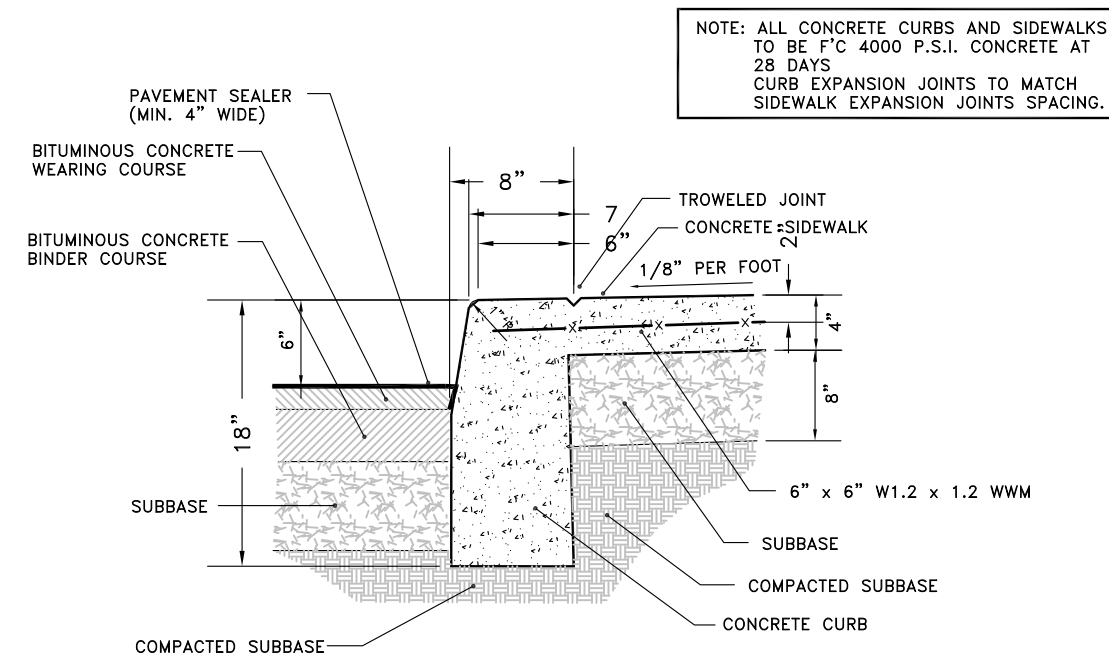
INSPECT THE HAY BALE CHECK DAM AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL AMOUNT OF 0.5 INCHES OR GREATER TO DETERMINE MAINTENANCE NEEDS. FOR DE WATERING OPERATIONS AND, INSPECT FREQUENTLY BEFORE, DURING AND AFTER PUMPING OPERATIONS.

REMOVE THE SEDIMENT DEPOSITS OR INSTALL A SECONDARY BARRIER WHEN SEDIMENT DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. REPLACE OR REPAIR THE BARRIER WITHIN 24 HOURS OF OBSERVED FAILURE. FAILURE OF THE BARRIER HAS OCCURRED WHEN SEDIMENT FAILS TO BE RETAINED BY THE BARRIER BECAUSE:

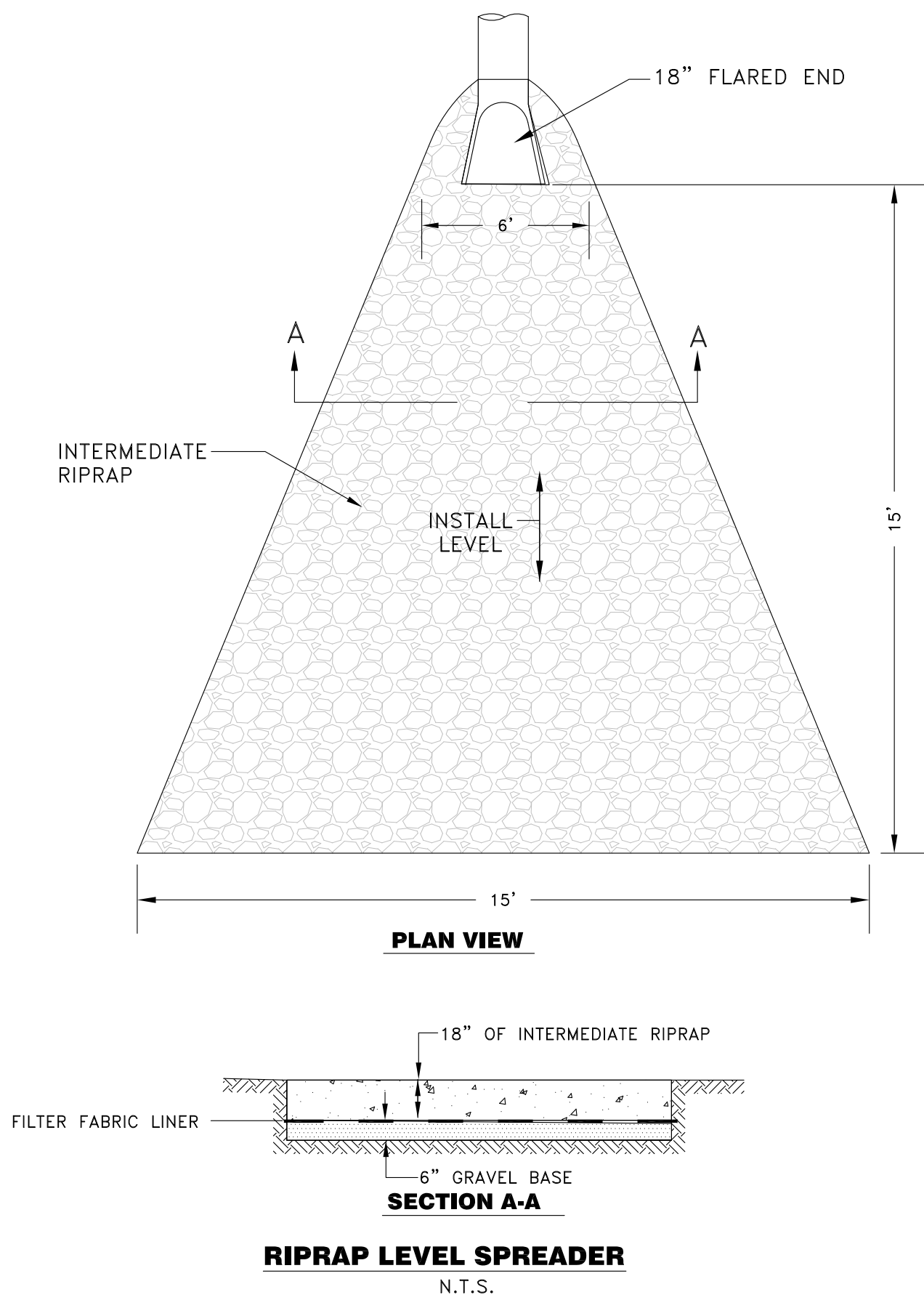
- (A) THE BARRIER HAS BEEN OVERTOPPED, UNDERCUT, OR BYPASSED BY RUNOFF WATER
- (B) THE BARRIER HAS BEEN MOVED OUT OF POSITION.
- (C) THE HAY BALES HAVE DETERIORATED.

WHEN REPETITIVE FAILURE OCCUR AT THE SAME LOCATION REVIEW CONDITIONS AND LIMITATIONS FOR USE AND DETERMINE IF ADDITIONAL CONTROLS ARE NEEDED TO REDUCE FAILURE RATE OR REPLACE HAY BALE BARRIER.

MAINTAIN HAY BALE BARRIER UNTIL CONTRIBUTING AREA IS STABILIZED. AFTER UPSLOPE AREAS HAVE BEEN STABILIZED PULL THE STAKES OUT OF THE HAYBALES. UNLESS OTHERWISE REQUIRED NO REMOVAL OF OR REGRADING OF ACCUMULATED SEDIMENT IS NECESSARY. THE HAY BALES MAY THEN BE LEFT IN PLACE OR BROKEN UP FOR GROUND COVER.



CONCRETE CURB DETAIL WITH MONOLITHIC SIDEWALK ONSITE
N.T.S.



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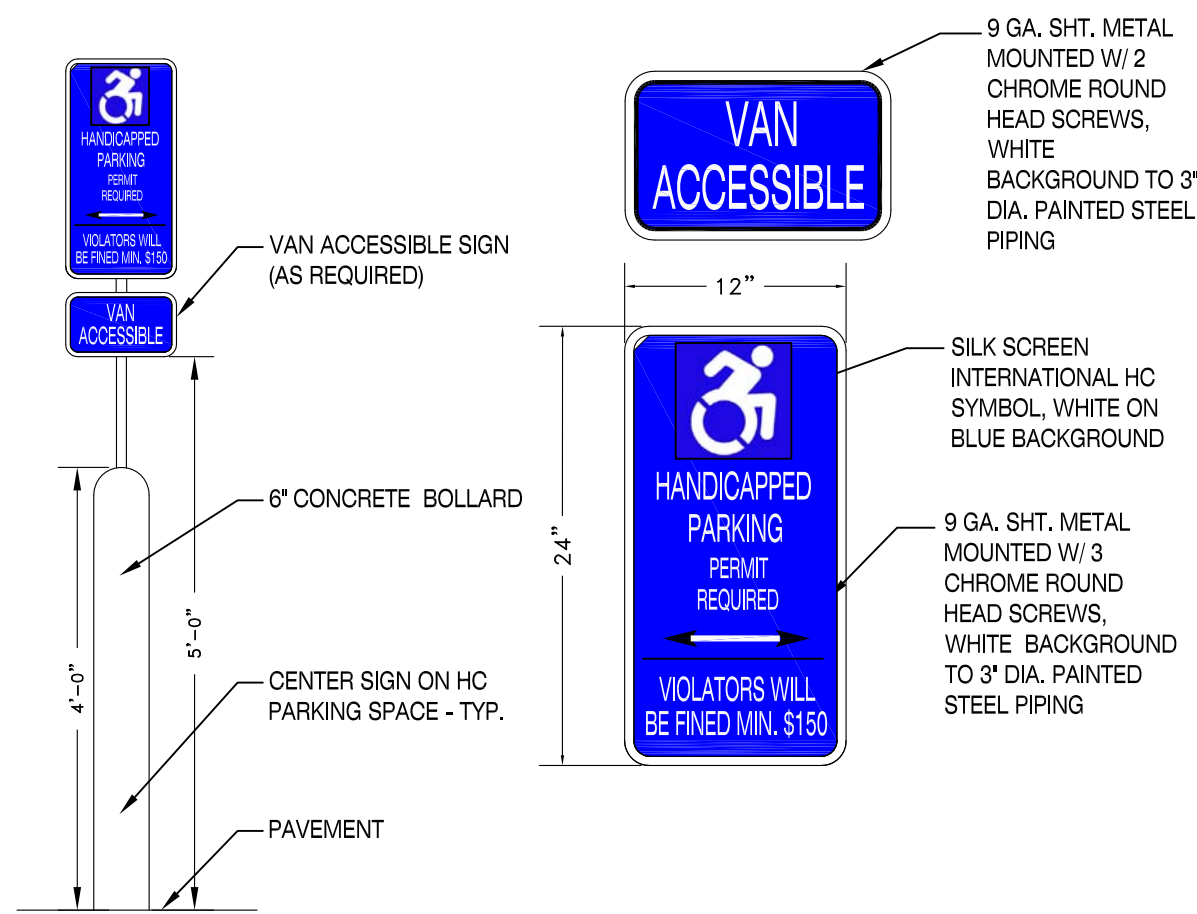
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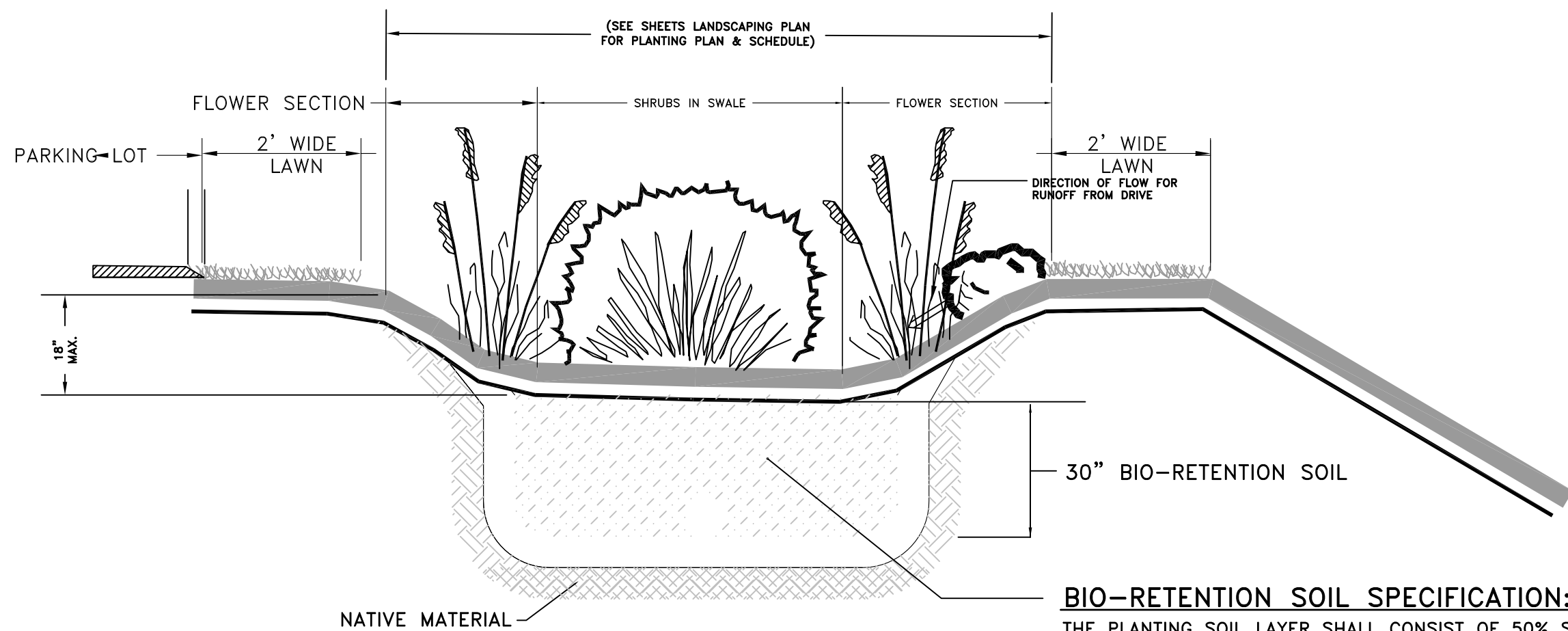
SCALE: N.T.S.	CHECKED BY: J.P.C.
DATE: JAN. 17, 2018	DRAWN BY: G.T.
JOB No.: 1347-BKM	ACAD FILE: 1347-BKM-ET
SHEET: 7	OF: 8
REVISIONS:	



NEW ACCESSIBLE PARKING SPACE
SYMBOL ADOPTED JUNE 2016.
PAINTED H.C. PARKING SYMBOL
NO SCALE

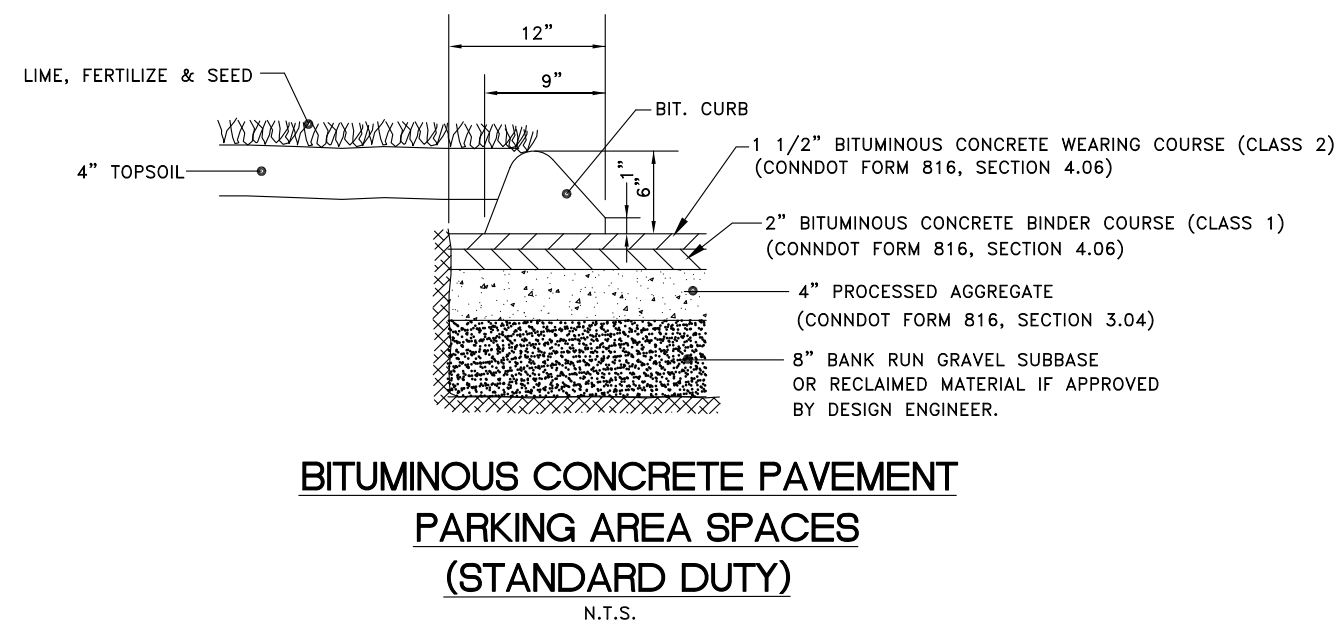


B HANDICAPPED PARKING SIGN DETAIL
SCALE: N.T.S.

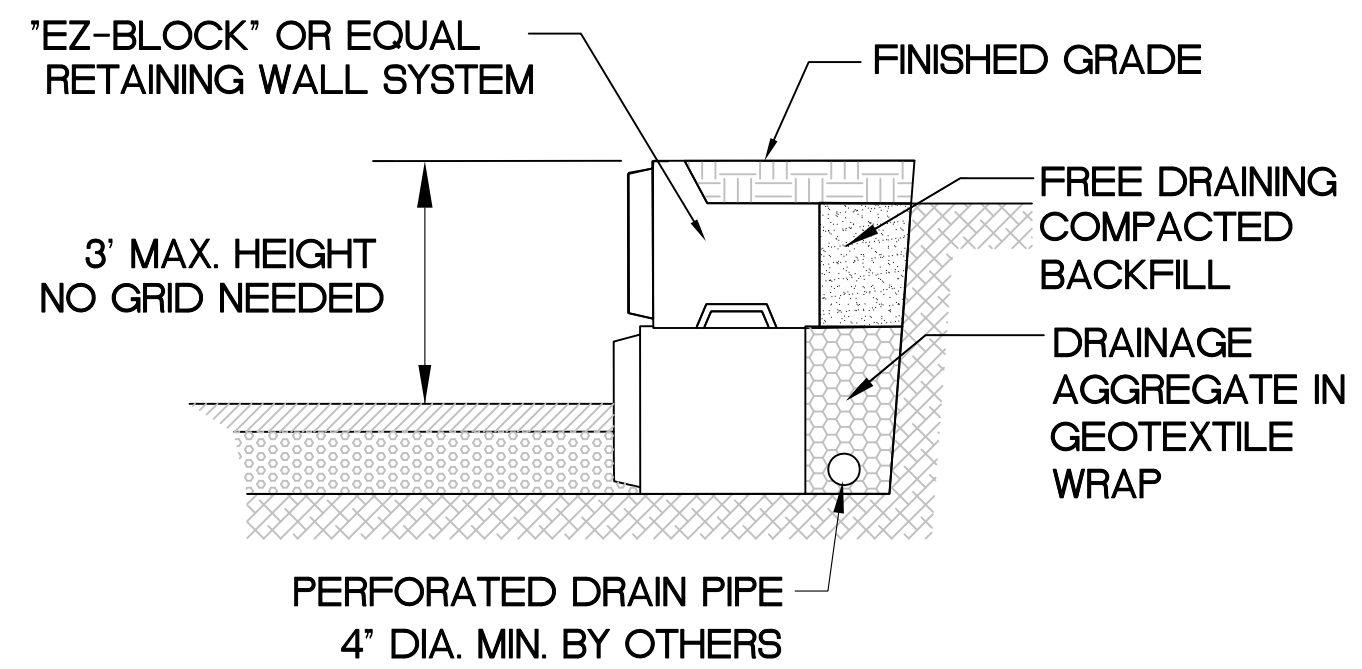


**TYPICAL SECTION OF
BIO RETENTION SWALE**
N.T.S.

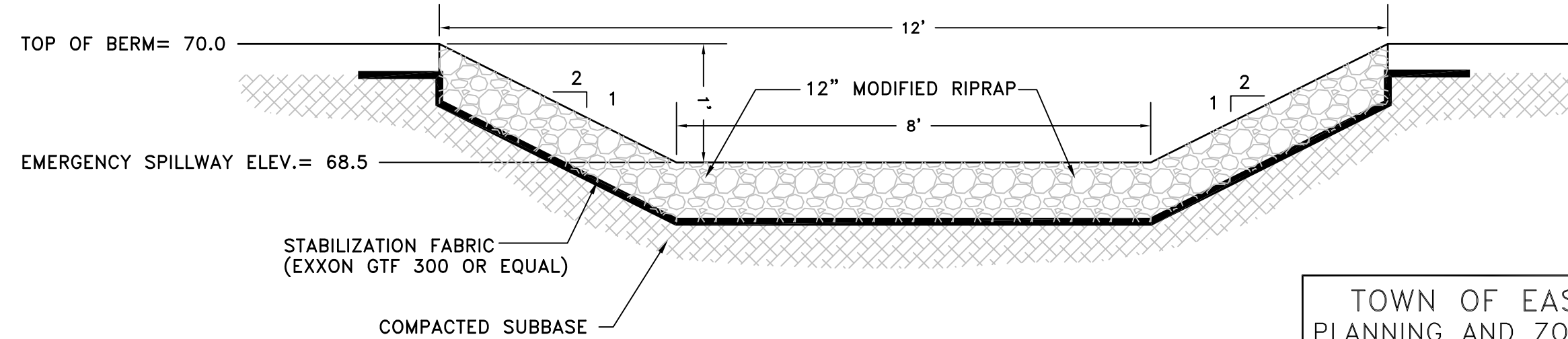
BIO-RETENTION SOIL SPECIFICATION:
THE PLANTING SOIL LAYER SHALL CONSIST OF 50% SAND,
25% TOPSOIL, AND 25% COMPOST. SAND SHALL BE A
MEDIUM SAND (ASTM C033 CONCRETE SAND).
PLANTING SOIL SUBSTRATE SHOULD BE PLACED IN 12" LIFTS.
SOIL COMPACTING MUST BE AVOIDED DURING CONSTRUCTION.



**BITUMINOUS CONCRETE PAVEMENT
PARKING AREA SPACES
(STANDARD DUTY)**
N.T.S.



"EZ-BLOCK" RETAINING WALL SYSTEM
N.T.S.



**RIRRAP OUTLET SPILLWAY
FROM BIO RETENTION SWALE**
N.T.S.

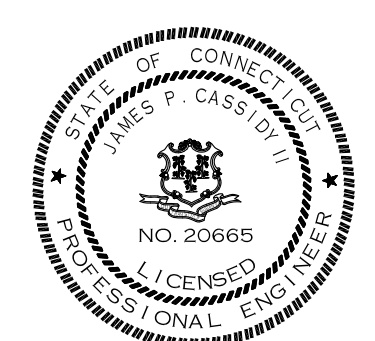
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