

PROPOSED DUNKIN' DONUTS

SITE PLAN APPLICATION, EROSION AND SEDIMENTATION,
SPECIAL USE PERMIT SEC.401.2Q (RESTAURANT/AUTOMOBILE ORIENTATED USE)
AND SEC.228 (DRIVE THROUGH FACILITIES)

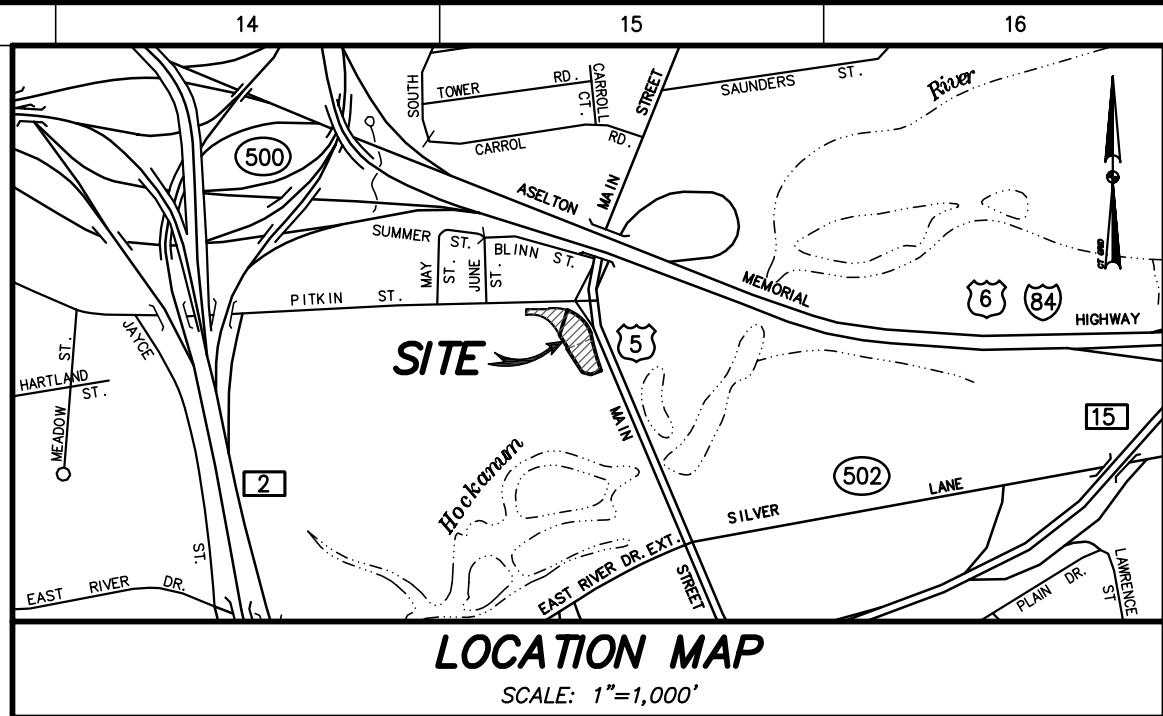
MAP 12 LOTS 110 & 111
639 MAIN STREET (ROUTE 5)
EAST HARTFORD, CONNECTICUT

PROPERTY OWNER:
ESTATE OF THERESA DIPERSIO

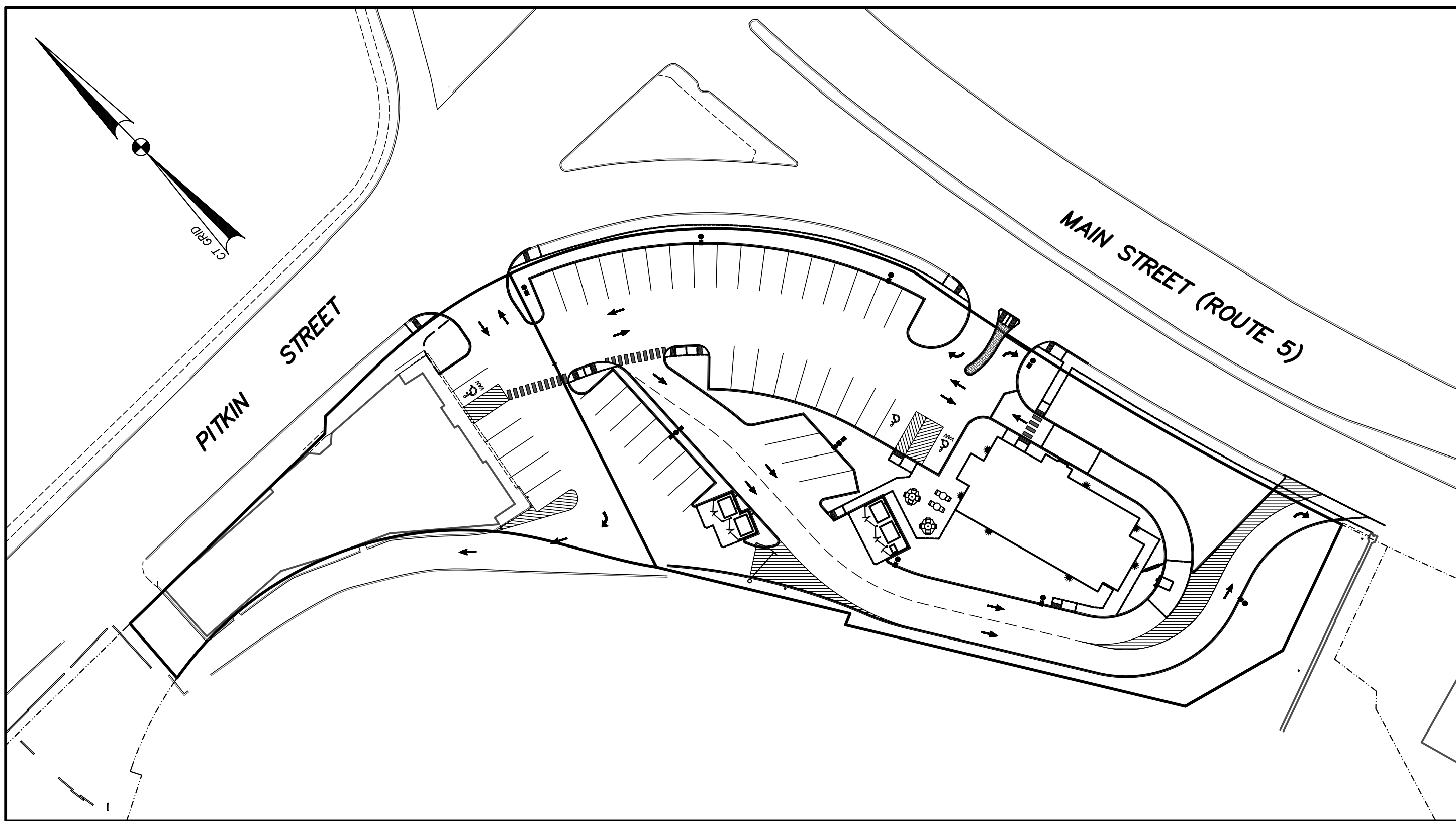
PREPARED FOR:
JZ, INC.
C/O JIM ZAFIRIS

PREPARED BY
DUTTON ASSOCIATES, LLC

67 EASTERN BOULEVARD
GLASTONBURY, CT



EXISTING	LEGEND	PROPOSED
● I.P. FND.	IRON PIN	○
■ MON. FND.	CONCRETE MONUMENT	□
---	PROPERTY BOUNDARY LINE	---
---	ABUTTING PROPERTY LINE	---
---	EASEMENT LINE	---
---	BUILDING LINE	---
---	BUILDING	---
---	BUILDING WITH OVERHANG	---
---	MISCELLANEOUS STRUCTURES	---
---	GROUND CONTOUR LINES	---
---	SPOT ELEVATION	---
---	CURBING	---
---	EDGE OF BITUMINOUS PAVEMENT	---
---	EDGE OF CONCRETE PAVEMENT	---
---	CONCRETE PAVEMENT	---
---	EDGE OF CONCRETE PAVERS	---
---	CONCRETE PAVERS	---
---	DOUBLE YELLOW LINE	---
---	SINGLE WHITE LINE	---
---	DASHED WHITE LINE	---
---	PAINTED CROSSWALK	---
---	SIGNS	---
---	TREE / SHRUB	---
---	POLE LIGHT	---
---	BUILDING MOUNTED LIGHTS	---
---	UNDERGROUND ELECTRIC UTILITY	---
---	OVERHEAD ELECTRIC UTILITY	---
---	UTILITY POLE	---
---	SANITARY SEWER LINE	---
---	SANITARY MANHOLE	---
---	WATER LINE	---
---	WATER GATE, HYDRANT	---
---	GAS LINE	---
---	GAS GATE	---
---	STORM DRAIN LINE	---
---	CATCH BASIN	---
---	DRAINAGE MANHOLE	---
---	HEADWALL	---
---	CULVERT END	---
---	SEDIMENT BARRIER	---
---	SOIL STOCKPILE AREA	---
---	CONSTRUCTION ENTRANCE	---



KEY MAP
SCALE: 1"=40'

ZONING TABLE B-2 ZONE						
639 MAIN ST. PROPOSED DUNKIN DONUTS WITH DRIVE THRU (AFTER LOTS 111 & 112 COMBINATION)				7 PITKIN ST. EXISTING RETAIL PAWN SHOP		
ITEM	REQUIRED / ALLOWED	EXISTING	PROPOSED / PROVIDED	REQUIRED / ALLOWED	EXISTING	PROPOSED / PROVIDED
LOT AREA	40,000 S.F.	39,227 S.F.	39,227 S.F.	7,500 S.F.	12,595 S.F.	12,595 S.F.
LOT FRONTAGE	75 FT.	379.26 FT.	379.26 FT.	50 FT.	222.08 FT.	222.08 FT.
FRONT YARD	20 FT.*	52.01 FT.	32.60 FT.	15 FT. (MIN)*	0.32 FT.± OVER FRONT P.L.	0.32 FT.± OVER FRONT P.L.
SIDE YARD	5 FT. / 10 FT.	26.21 FT./115.83 FT.	55.32 FT./126.17 FT.	5 FT. / 10 FT.	20.27 FT.±/36.44 FT.	20.27 FT.±/36.44 FT.
REAR YARD	25 FT.	16.62 FT.	37.72 FT.	25 FT.	0.11 FT.± TO REAR P.L.	0.11 FT.± TO REAR P.L.
BUILDING COVERAGE	75% (29,420 S.F.)	7.25% (2,845 S.F.)	6.78% (2,659 S.F.)	75% (9,446 S.F.)	46.59% (5,868 S.F.)	49.64% (5,868 S.F.)
BUILDING HEIGHT	100 FT.	18 FT.±	22 FT.	100 FT.	30 FT.±	30 FT.±
IMPERVIOUS AREA	85% (33,343 S.F.)	35,115 S.F. (89.52%)	28,638 S.F. (73.01%)	85% (10,706 S.F.)	12,136 S.F. (96.36%)	12,118.15 S.F. (96.21%)
OPEN SPACE	15% (5,884 S.F.)	11.35% (4,454 S.F.)	10,589 S.F. (26.99%)	15% (1,889 S.F.)	459 S.F. (3.64%)	476.85 S.F. (3.79%)
PARKING	N/A	N/A	30*** PLUS 16 STACKING	N/A	15 SPACES*	15 PLUS 26 ADDITIONAL**

* REFER TO SECTION 212 OF THE EAST HARTFORD ZONING REGULATIONS.
** NON CONFORMING TO CURRENT REGULATIONS, CONDITION PRE-DATES THE REQUIREMENTS.
*** OF THE 38 SPACES ON THE DUNKIN SITE, 7 SPACES ARE RESERVED FOR PAWN SHOP PARKING ONLY.
~ OF THE 14 SPACES, 10 ARE WITHIN AN EASEMENT ON THE DUNKIN SITE
~~ 27 ADDITIONAL SPACES ON THE DUNKIN DONUTS SITE PER AGREEMENT

PARKING SUMMARY:

THE APPROVED SITE PLAN FOR 7 PITKIN STREET (PAWN SHOP) CONTAINED A TOTAL OF 15 PARKING SPACES.

THE PROPOSED DUNKIN DONUTS REQUIRES A TOTAL OF 27 SPACES (BASED ON 1 SPACE / 100 S.F. OF BUILDING AREA).

THE TOTAL PARKING REQUIRED IS 42 SPACES (27 + 15 = 42).

THE TOTAL NUMBER OF SPACES PROVIDED (7 PITKIN ST. & 639 MAIN ST. COMBINED) IS 45.

TOWN OF EAST HARTFORD
PLANNING AND ZONING COMMISSION
SITE PLAN CERTIFICATE OF APPROVAL

APPROVAL DATE: _____

EXPIRATION DATE: _____

CHAIRMAN: _____

NOTE: THE DEVELOPER SHALL NOTIFY THE TOWN OF EAST HARTFORD ENGINEERING DIVISION 24 HOURS PRIOR TO BEGINNING ANY STORM DRAINAGE, ROADWAY PREPARATION, PAVING, SIDEWALK, CURBING, STREET LINE MONUMENTATION, PROPERTY CORNER PINS, ETC., TO SCHEDULE INSPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:30 AM - 4:30 PM AT 1-860-291-7380.

dunkin'
brandsSM

PLAN INDEX

PLAN	DESCRIPTION	SHEET
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A-13-057-DE	DEMOLITION PLAN	7 OF 25
A-13-057-S	SITE LAYOUT & MATERIALS PLAN	8 OF 25
A-13-057-TR	TRUCK ACCESS	9 OF 25
A-13-057-U	UTILITY PLAN	10 OF 25
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A-13-057-D1 THRU D5	CONSTRUCTION NOTES & DETAILS	20-25 OF 25

DUTTON ASSOCIATES, LLC

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JOHN R. MARTUCCI, P.E. #19494

JAMES W. DUTTON, L.S. #70074

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INDEX PLAN
PROPOSED DUNKIN DONUTS
639 MAIN STREET (ROUTE 5)
PREPARED FOR
JZ, INC.
EAST HARTFORD, CONNECTICUT

REVISIONS:
09/01/2017 - TOWN COMMENTS

DATE: 07/31/2017

SCALE: AS SHOWN

SHEET 1 of 25

PC#356482

A-13-057-I

FILE:13057.DWG



OWNERS WITHIN 200' RADIUS OF THE SITE
ALL LOTS ARE DEPICTED ON ASSESSORS MAPS #12 & #4

Location	Town	Owner1	Owner2	Mailing Address	Town	State	Zip
7 PITKIN ST	EAST HARTFORD	STANAVAGE MARION C AS TRUSTEE	C/O DANIEL STANAVAGE AGENT	P O BOX 907	COLCHESTER	CT	06415
12-18 PITKIN ST	EAST HARTFORD	ASSOCIATED SECURITY CORPORATION		16 PITKIN ST	EAST HARTFORD	CT	06108
24 PITKIN ST	EAST HARTFORD	CONKLIN JEREMY B		24 26 PITKIN ST	EAST HARTFORD	CT	06108
34 PITKIN ST	EAST HARTFORD	GRAHAM CHRISTINE D		34 PITKIN ST	EAST HARTFORD	CT	06108
38 PITKIN ST	EAST HARTFORD	WESTMAN RICHARD M & LINDA J		38 PITKIN ST	EAST HARTFORD	CT	06108
39 PITKIN ST	EAST HARTFORD	39 PITKIN LLC	C/O MERLIN & KARTER LLC	100 CONSTITUTION PZ 7TH FL	HARTFORD	CT	06013
40-42 PITKIN ST	EAST HARTFORD	CURTIN THOMAS EDWARD		40 PITKIN ST	EAST HARTFORD	CT	06108
621 MAIN ST #REAR	EAST HARTFORD	PFAU BERNARD LEE EST OF	C/O RONALD LEE PFAU ADMIN	207 GOOSE LN	TOLLAND	CT	06084
11-13 BLINN ST	EAST HARTFORD	PEREZ RONN		11-13 BLINN ST	EAST HARTFORD	CT	06118
15-17 BLINN ST	EAST HARTFORD	OBOYLE JOHN J		15 BLINN ST	EAST HARTFORD	CT	06108
19 BLINN ST	EAST HARTFORD	CONDIO CATHERINE L/U	C/O PETER T CONDIO	19 BLINN ST	EAST HARTFORD	CT	06108
23-25 BLINN ST	EAST HARTFORD	REED RONALD	BOREK LINDA D	25 BLINN ST	EAST HARTFORD	CT	06108
27-29 BLINN ST	EAST HARTFORD	D & Z REAL ESTATE L L C		457 MAIN ST	NEWINGTON	CT	06111
621 MAIN ST	EAST HARTFORD	PFAU BERNARD LEE EST OF	C/O RONALD LEE PFAU ADMIN	207 GOOSE LN	TOLLAND	CT	06084
623 MAIN ST	EAST HARTFORD	RIVER BEND FUNERAL HOME &	CREMATORIUM LLC	623 MAIN ST	EAST HARTFORD	CT	06108
623 MAIN ST REAR	EAST HARTFORD	RIVER BEND FUNERAL HOME &	CREMATORIUM LLC	623 MAIN ST	EAST HARTFORD	CT	06108
625 MAIN ST	EAST HARTFORD	TOWN OF EAST HARTFORD		740 MAIN ST	EAST HARTFORD	CT	06108
639 MAIN ST	EAST HARTFORD	DIPERSIO THERESA		106 LAURELWOOD DR	NIANTIC	CT	06537
655 MAIN ST	EAST HARTFORD	DIPERSIO THERESA		106 LAURELWOOD DR	NIANTIC	CT	06537
736 MAIN ST	EAST HARTFORD	TOWN OF EAST HARTFORD		740 MAIN STREET	EAST HARTFORD	CT	06108

LAND USE KEY

- RESIDENTAL
- COMMERCIAL
- RESTAURANT
- VACANT

TOWN OF EAST HARTFORD
PLANNING AND ZONING COMMISSION
SITE PLAN CERTIFICATE OF APPROVAL

APPROVAL DATE: _____

EXPIRATION DATE: _____

CHAIRMAN: _____

NOTE: THE DEVELOPER SHALL NOTIFY THE TOWN OF EAST HARTFORD ENGINEERING DIVISION 24 HOURS PRIOR TO BEGINNING ANY STORM DRAINAGE, ROADWAY PREPARATION, PAVING, SIDEWALK, CURBING, STREET LINE MONUMENTATION, PROPERTY CORNER PINS, ETC., TO SCHEDULE INSPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:30 AM - 4:30 PM AT 1-860-291-7380.

THIS SURVEY HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.

THE TYPE OF SURVEY PERFORMED IS A DATA ACCUMULATION PLAN.

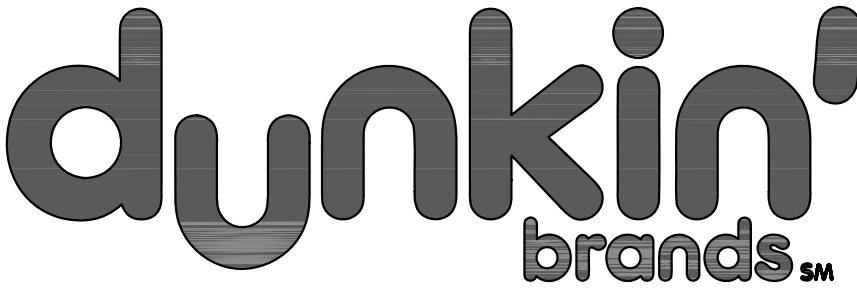
THIS MAP DOES NOT REFLECT A PROPERTY BOUNDARY OPINION.

THIS SURVEY CONFORMS TO HORIZONTAL ACCURACY CLASS D.

THIS MAP WAS PREPARED FOR THE PURPOSE OF ABUTTER IDENTIFICATION

"TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON"

THIS MAP IS NOT VALID UNLESS IT BEARS THE LIVE SIGNATURE AND SEAL OF THE UNDERSIGNED SURVEYOR.



DATA ACCUMULATION PLAN
200' SITE RADIUS MAP
PROPOSED DUNKIN' DONUTS
639 MAIN STREET (ROUTE 5)
PREPARED FOR
JZ INC.
EAST HARTFORD, CONNECTICUT

REVISIONS:

09/01/2017 - TOWN COMMENTS

DATE: 07/31/2017

SCALE: 1" = 40'

SHEET 2 of 25

PC#356482

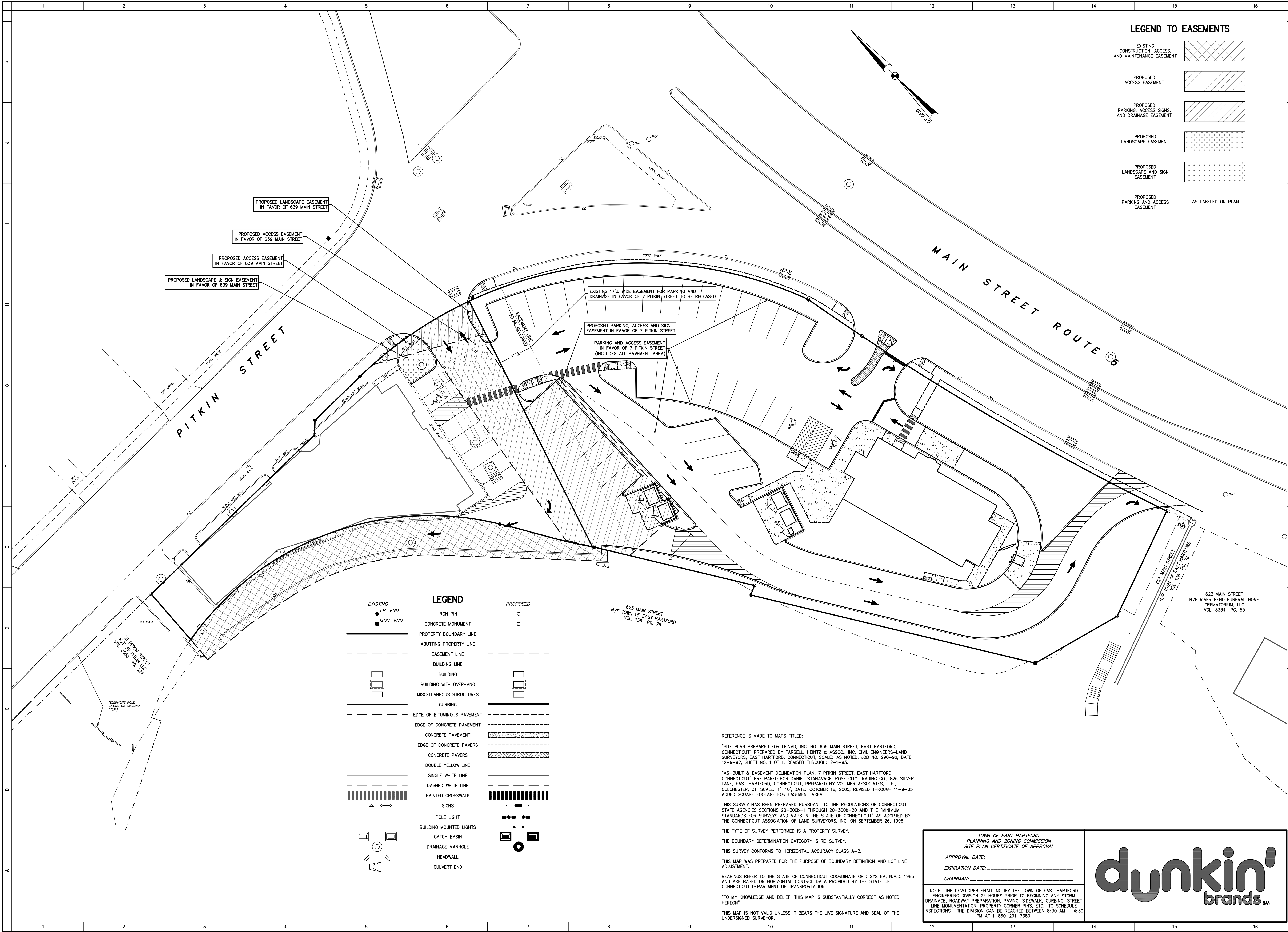
A-13-057-RM-1

FILE:13057--RADIUS MAPS.DWG

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LEGEND TO EASEMENTS

- EXISTING CONSTRUCTION, ACCESS, AND MAINTENANCE EASEMENT
- PROPOSED ACCESS EASEMENT
- PROPOSED PARKING, ACCESS SIGNS, AND DRAINAGE EASEMENT
- PROPOSED LANDSCAPE EASEMENT
- PROPOSED LANDSCAPE AND SIGN EASEMENT
- PROPOSED PARKING AND ACCESS EASEMENT AS LABELED ON PLAN



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**PROPERTY SURVEY
EASEMENT MAP AND
PROPOSED DUNKIN' DONUTS
639 MAIN STREET (ROUTE 5)
PREPARED FOR
639 MAIN STREET, LLC
EAST HARTFORD, CONNECTICUT**

REVISIONS:
09/01/2017 - TOWN COMMENTS

DATE: 07/31/2017
SCALE: 1"=20'
SHEET 5 of 25
PC#356482
A-13-057-B2
FILE: 13057.DWG

- LEGEND**
- | | | |
|-------------|-----------------------------|----------|
| EXISTING | IRON PIN | PROPOSED |
| ● I.P. FND. | CONCRETE MONUMENT | ○ |
| ■ MON. FND. | PROPERTY BOUNDARY LINE | □ |
| --- | ABUTTING PROPERTY LINE | --- |
| --- | EASEMENT LINE | --- |
| --- | BUILDING LINE | --- |
| --- | BUILDING | --- |
| --- | BUILDING WITH OVERHANG | --- |
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| --- | SIGNS | --- |
| --- | POLE LIGHT | --- |
| --- | BUILDING MOUNTED LIGHTS | --- |
| --- | CATCH BASIN | --- |
| --- | DRAINAGE MANHOLE | --- |
| --- | HEADWALL | --- |
| --- | CULVERT END | --- |

REFERENCE IS MADE TO MAPS TITLED:

"SITE PLAN PREPARED FOR LEINAD, INC. NO. 639 MAIN STREET, EAST HARTFORD, CONNECTICUT" PREPARED BY TARBEILL, HEINTZ & ASSOC., INC. CIVIL ENGINEERS-LAND SURVEYORS, EAST HARTFORD, CONNECTICUT, SCALE: AS NOTED, JOB NO. 290-92, DATE: 12-9-92, SHEET NO. 1 OF 1, REVISED THROUGH: 2-1-93.

"AS-BUILT & EASEMENT DELINEATION PLAN, 7 PITKIN STREET, EAST HARTFORD, CONNECTICUT" PREPARED FOR DANIEL STANAVAGE, ROSE CITY TRADING CO., 828 SILVER LANE, EAST HARTFORD, CONNECTICUT, PREPARED BY VOLLMER ASSOCIATES, LLP, COLCHESTER, CT, SCALE: 1"=10', DATE: OCTOBER 18, 2005, REVISED THROUGH 11-9-05 ADDED SQUARE FOOTAGE FOR EASEMENT AREA.

THIS SURVEY HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.

THE TYPE OF SURVEY PERFORMED IS A PROPERTY SURVEY.

THE BOUNDARY DETERMINATION CATEGORY IS RE-SURVEY.

THIS SURVEY CONFORMS TO HORIZONTAL ACCURACY CLASS A-2.

THIS MAP WAS PREPARED FOR THE PURPOSE OF BOUNDARY DEFINITION AND LOT LINE ADJUSTMENT.

BEARINGS REFER TO THE STATE OF CONNECTICUT COORDINATE GRID SYSTEM, N.A.D. 1983 AND ARE BASED ON HORIZONTAL CONTROL DATA PROVIDED BY THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION.

"TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON"

THIS MAP IS NOT VALID UNLESS IT BEARS THE LIVE SIGNATURE AND SEAL OF THE UNDERSIGNED SURVEYOR.

TOWN OF EAST HARTFORD
PLANNING AND ZONING COMMISSION
SITE PLAN CERTIFICATE OF APPROVAL

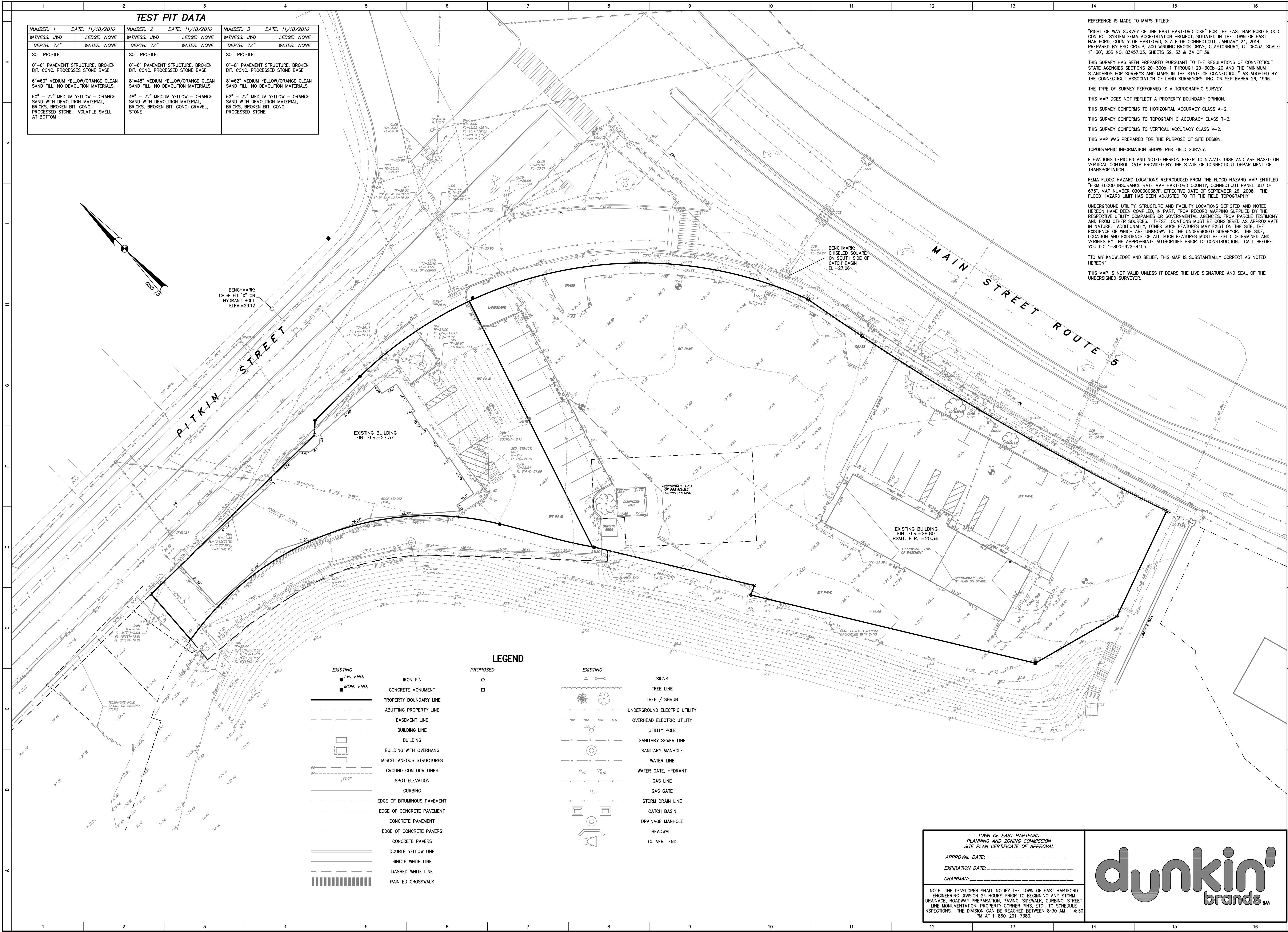
APPROVAL DATE: _____

EXPIRATION DATE: _____

CHAIRMAN: _____



NOTE: THE DEVELOPER SHALL NOTIFY THE TOWN OF EAST HARTFORD ENGINEERING DIVISION 24 HOURS PRIOR TO BEGINNING ANY STORM DRAINAGE, ROADWAY PREPARATION, PAVING, SIDEWALK, CURBING, STREET LINE MONUMENTATION, PROPERTY CORNER PINS, ETC., TO SCHEDULE INSPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:30 AM - 4:30 PM AT 1-860-291-7380.



TEST PIT DATA					
NUMBER: 1	DATE: 11/18/2016	NUMBER: 2	DATE: 11/18/2016	NUMBER: 3	DATE: 11/18/2016
WITNESS: JWD	LEDGE: NONE	WITNESS: JWD	LEDGE: NONE	WITNESS: JWD	LEDGE: NONE
DEPTH: 72"	WATER: NONE	DEPTH: 72"	WATER: NONE	DEPTH: 72"	WATER: NONE
SOIL PROFILE:		SOIL PROFILE:		SOIL PROFILE:	
0'-6" PAVEMENT STRUCTURE, BROKEN BIT. CONC. PROCESSED STONE BASE		0'-6" PAVEMENT STRUCTURE, BROKEN BIT. CONC. PROCESSED STONE BASE		0'-6" PAVEMENT STRUCTURE, BROKEN BIT. CONC. PROCESSED STONE BASE	
6"-80" MEDIUM YELLOW/ORANGE CLEAN SAND FILL, NO DEMOLITION MATERIALS.		8"-48" MEDIUM YELLOW/ORANGE CLEAN SAND FILL, NO DEMOLITION MATERIALS.		8"-62" MEDIUM YELLOW/ORANGE CLEAN SAND FILL, NO DEMOLITION MATERIALS.	
60" - 72" MEDIUM YELLOW - ORANGE SAND WITH DEMOLITION MATERIAL, BRICKS, BROKEN BIT. CONC. PROCESSED STONE. VOLATILE SMELL AT BOTTOM		48" - 72" MEDIUM YELLOW - ORANGE SAND WITH DEMOLITION MATERIAL, BRICKS, BROKEN BIT. CONC. GRAVEL, STONE		62" - 72" MEDIUM YELLOW - ORANGE SAND WITH DEMOLITION MATERIAL, BRICKS, BROKEN BIT. CONC. PROCESSED STONE	

REFERENCE IS MADE TO MAPS TITLED:

"RIGHT OF WAY SURVEY OF THE EAST HARTFORD DIKE" FOR THE EAST HARTFORD FLOOD CONTROL SYSTEM FEMA ACCREDITATION PROJECT, SITUATED IN THE TOWN OF EAST HARTFORD, COUNTY OF HARTFORD, STATE OF CONNECTICUT, JANUARY 24, 2014, PREPARED BY BSC GROUP, 300 WINDING BROOK DRIVE, GLASTONBURY, CT 06033, SCALE: 1"=30', JOB NO. 83457.03, SHEETS 32, 33 & 34 OF 39.

THIS SURVEY HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.

THE TYPE OF SURVEY PERFORMED IS A TOPOGRAPHIC SURVEY.

THIS MAP DOES NOT REFLECT A PROPERTY BOUNDARY OPINION.

THIS SURVEY CONFORMS TO HORIZONTAL ACCURACY CLASS A-2.

THIS SURVEY CONFORMS TO TOPOGRAPHIC ACCURACY CLASS T-2.

THIS SURVEY CONFORMS TO VERTICAL ACCURACY CLASS V-2.

THIS MAP WAS PREPARED FOR THE PURPOSE OF SITE DESIGN.

TOPOGRAPHIC INFORMATION SHOWN PER FIELD SURVEY.

ELEVATIONS DEPICTED AND NOTED HEREON REFER TO N.A.V.D. 1988 AND ARE BASED ON VERTICAL CONTROL DATA PROVIDED BY THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION.

FEMA FLOOD HAZARD LOCATIONS REPRODUCED FROM THE FLOOD HAZARD MAP ENTITLED "FIRM FLOOD INSURANCE RATE MAP HARTFORD COUNTY, CONNECTICUT PANEL 387 OF 675", MAP NUMBER 0903030387, EFFECTIVE DATE OF SEPTEMBER 26, 2008. THE FLOOD HAZARD LIMIT HAS BEEN ADJUSTED TO FIT THE FIELD TOPOGRAPHY.

UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROLE TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO THE UNDERSIGNED SURVEYOR. THE SIDE LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455.

"TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON"

THIS MAP IS NOT VALID UNLESS IT BEARS THE LIVE SIGNATURE AND SEAL OF THE UNDERSIGNED SURVEYOR.

67 EASTERN BOULEVARD
GLASTONBURY, CONNECTICUT 06033
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EMAIL: JMD@DUTTONASSOCIATESLLC.COM

DUTTON ASSOCIATES, LLC
LAND SURVEYORS AND CIVIL ENGINEERS

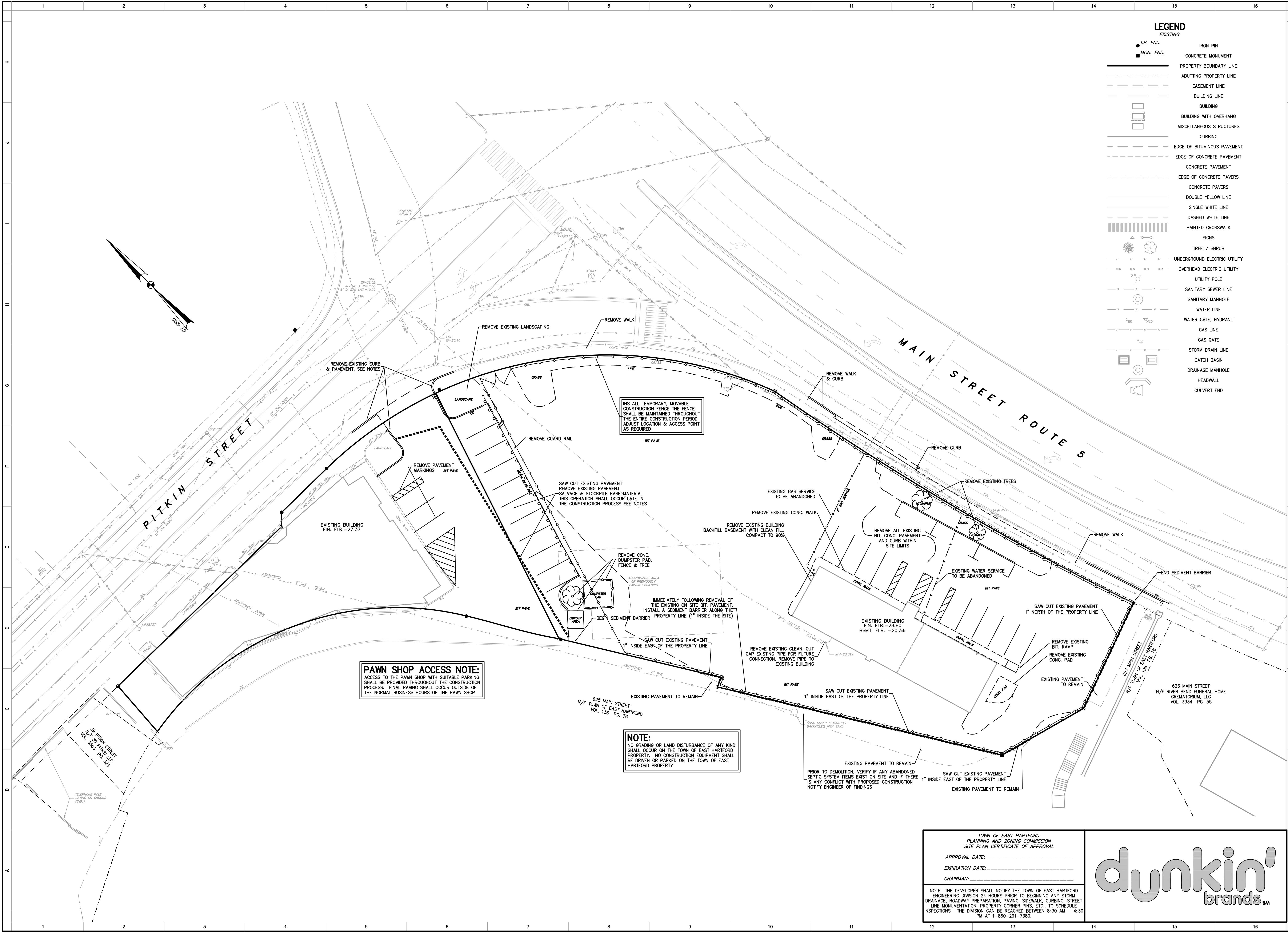
JAMES W. DUTTON, L.S. #70074
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EXISTING TOPOGRAPHIC SURVEY
PROPOSED DUNKIN' DONUTS
639 MAIN STREET (ROUTE 5)
PREPARED FOR
JZ, INC.
EAST HARTFORD, CONNECTICUT

REVISIONS:
09/01/2017 - TOWN COMMENTS

DATE: 07/31/2017
SCALE: 1"=20'
SHEET 6 of 25
PC#356482
A-13-057-T
FILE:13057.DWG





LEGEND

- EXISTING
 - I.P. FND.
 - MON. FND.
- IRON PIN
- CONCRETE MONUMENT
- PROPERTY BOUNDARY LINE
- ABUTTING PROPERTY LINE
- EASEMENT LINE
- BUILDING LINE
- BUILDING
- BUILDING WITH OVERHANG
- MISCELLANEOUS STRUCTURES
- CURBING
- EDGE OF BITUMINOUS PAVEMENT
- EDGE OF CONCRETE PAVEMENT
- CONCRETE PAVEMENT
- EDGE OF CONCRETE PAVERS
- CONCRETE PAVERS
- DOUBLE YELLOW LINE
- SINGLE WHITE LINE
- DASHED WHITE LINE
- PAINTED CROSSWALK
- SIGNS
 - TREE / SHRUB
- UNDERGROUND ELECTRIC UTILITY
- UTILITY POLE
- SANITARY SEWER LINE
- SANITARY MANHOLE
- WATER LINE
- WATER GATE, HYDRANT
- GAS LINE
- GAS GATE
- STORM DRAIN LINE
- CATCH BASIN
- DRAINAGE MANHOLE
- HEADWALL
- CULVERT END

DUTTON ASSOCIATES, LLC

LAND SURVEYORS AND CIVIL ENGINEERS
67 EASTERN BOULEVARD
GLASTONBURY, CONNECTICUT 06033
TEL: 860-633-9401 FAX: 860-633-8851
EMAIL: JMD@DUTTONASSOCIATESLLC.COM

JOHN R. MARTUCCI, P.E. #19494

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DEMOLITION PLAN
PROPOSED DUNKIN' DONUTS
639 MAIN STREET (ROUTE 5)
PREPARED FOR
JZ, INC.
EAST HARTFORD, CONNECTICUT

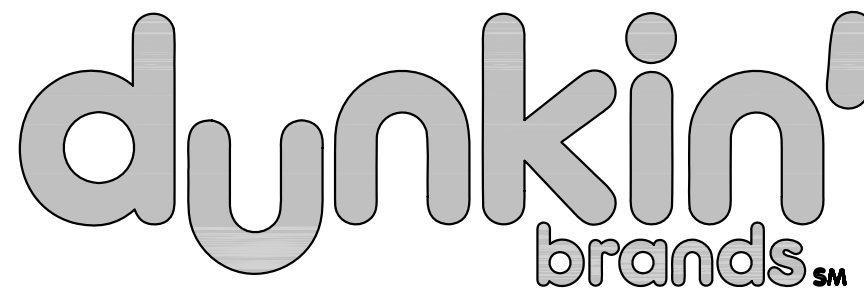
REVISIONS:
09/01/2017 - TOWN COMMENTS

DATE: 07/31/2017
SCALE: 1" = 20'
SHEET 7 of 25
PC#356482
A-13-057-DE

TOWN OF EAST HARTFORD
PLANNING AND ZONING COMMISSION
SITE PLAN CERTIFICATE OF APPROVAL

APPROVAL DATE: _____
EXPIRATION DATE: _____
CHAIRMAN: _____

NOTE: THE DEVELOPER SHALL NOTIFY THE TOWN OF EAST HARTFORD ENGINEERING DIVISION 24 HOURS PRIOR TO BEGINNING ANY STORM DRAINAGE, ROADWAY PREPARATION, PAVING, SIDEWALK, CURBING, STREET LINE MONUMENTATION, PROPERTY CORNER PINS, ETC., TO SCHEDULE INSPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:30 AM - 4:30 PM AT 1-860-291-7380.



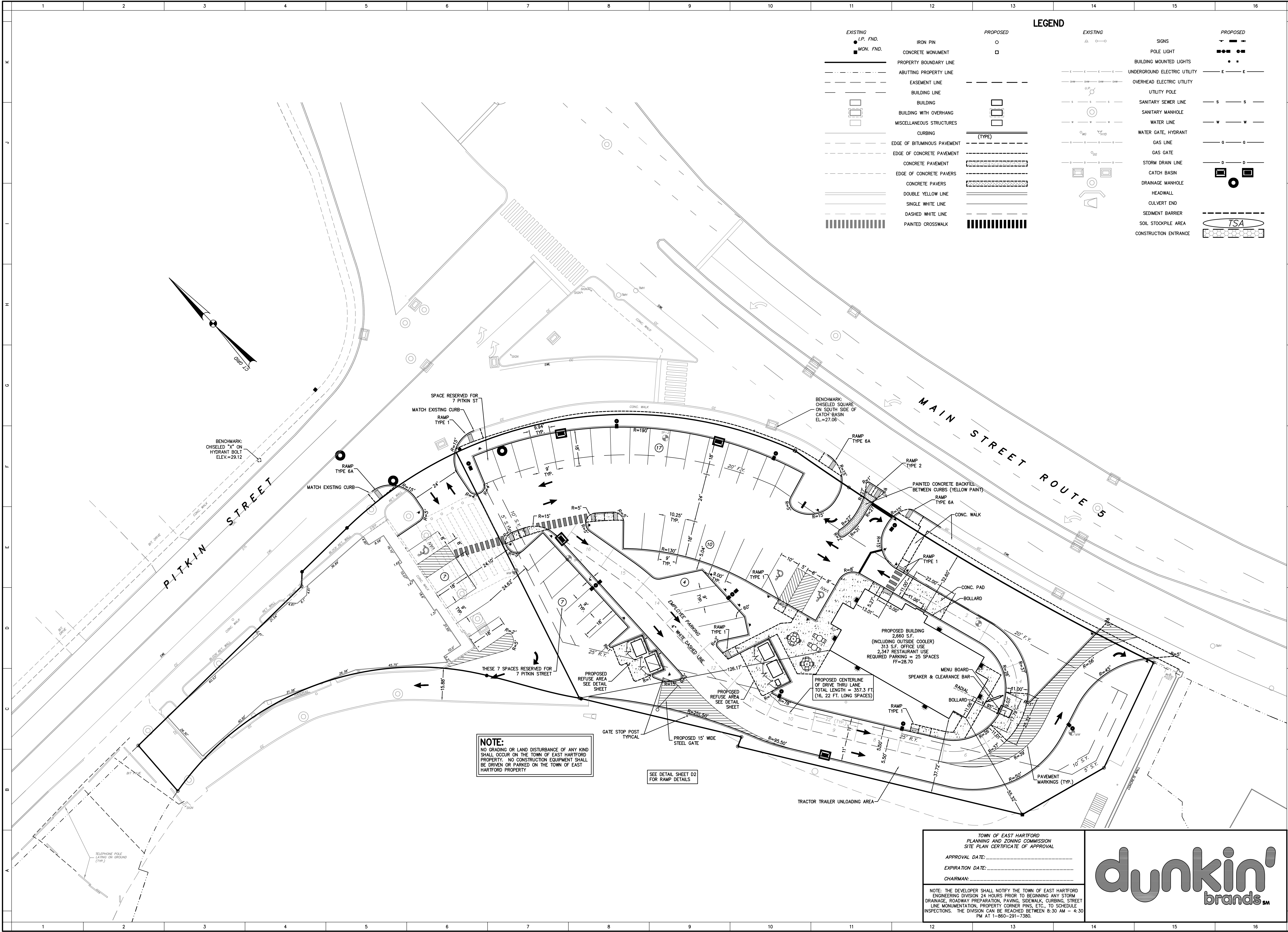
PAWN SHOP ACCESS NOTE:
ACCESS TO THE PAWN SHOP WITH SUITABLE PARKING SHALL BE PROVIDED THROUGHOUT THE CONSTRUCTION PROCESS. FINAL PAVING SHALL OCCUR OUTSIDE OF THE NORMAL BUSINESS HOURS OF THE PAWN SHOP.

NOTE:
NO GRADING OR LAND DISTURBANCE OF ANY KIND SHALL OCCUR ON THE TOWN OF EAST HARTFORD PROPERTY. NO CONSTRUCTION EQUIPMENT SHALL BE DRIVEN OR PARKED ON THE TOWN OF EAST HARTFORD PROPERTY.

INSTALL TEMPORARY, MOVABLE CONSTRUCTION FENCE. THE FENCE SHALL BE MAINTAINED THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD. ADJUST LOCATION & ACCESS POINT AS REQUIRED.

625 MAIN STREET
N/F TOWN OF EAST HARTFORD
VOL. 136 PG. 76

623 MAIN STREET
N/F RIVER BEND FUNERAL HOME
CREMATORIUM, LLC
VOL. 3334 PG. 55



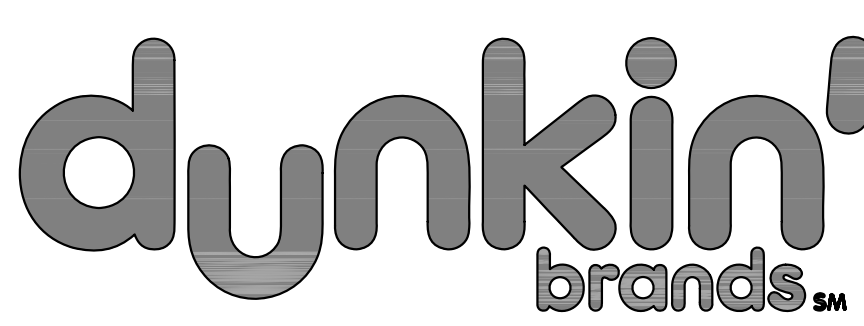
LEGEND			
EXISTING		PROPOSED	
	L.P. FND.		IRON PIN
	MON. FND.		CONCRETE MONUMENT
	PROPERTY BOUNDARY LINE		ABUTTING PROPERTY LINE
	EASEMENT LINE		BUILDING LINE
	BUILDING		BUILDING WITH OVERHANG
	MISCELLANEOUS STRUCTURES		CURBING (TYPE)
	EDGE OF BITUMINOUS PAVEMENT		EDGE OF CONCRETE PAVEMENT
	CONCRETE PAVEMENT		EDGE OF CONCRETE PAVERS
	CONCRETE PAVERS		DOUBLE YELLOW LINE
	SINGLE WHITE LINE		DASHED WHITE LINE
	PAINTED CROSSWALK		SIGN
	POLE LIGHT		BUILDING MOUNTED LIGHTS
	UNDERGROUND ELECTRIC UTILITY		UTILITY POLE
	SANITARY SEWER LINE		SANITARY MANHOLE
	WATER LINE		WATER GATE, HYDRANT
	GAS LINE		GAS GATE
	STORM DRAIN LINE		CATCH BASIN
	DRAINAGE MANHOLE		HEADWALL
	CULVERT END		SEDIMENT BARRIER
	SOIL STOCKPILE AREA		CONSTRUCTION ENTRANCE

NOTE:
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SEE DETAIL SHEET 02 FOR RAMP DETAILS

TOWN OF EAST HARTFORD
PLANNING AND ZONING COMMISSION
SITE PLAN CERTIFICATE OF APPROVAL
APPROVAL DATE: _____
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CHAIRMAN: _____

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LAND SURVEYORS AND CIVIL ENGINEERS
67 EASTERN BOULEVARD
GLASTONBURY, CONNECTICUT 06033
TEL: 860-633-9401 FAX: 860-633-8951
EMAIL: JMD@DUTTONASSOCIATESLLC.COM

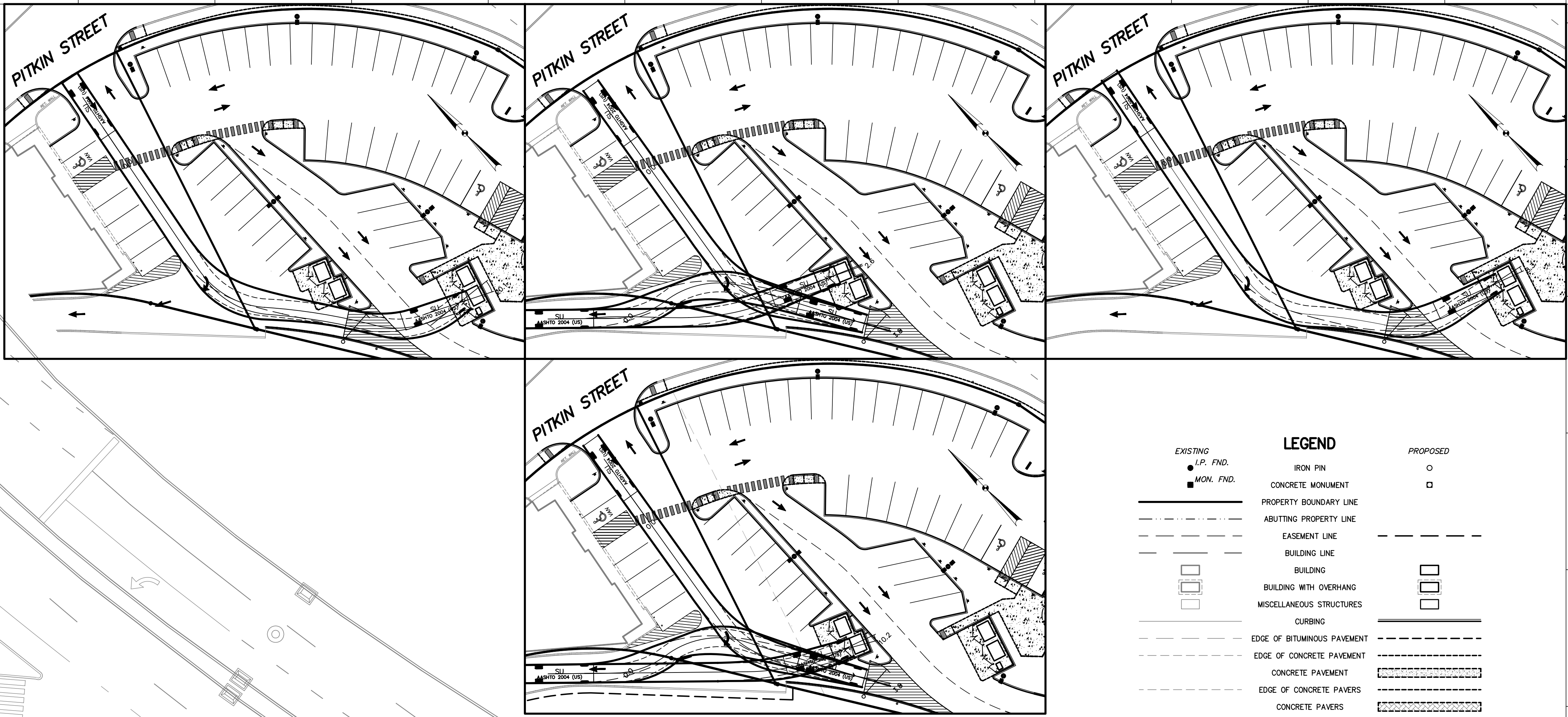
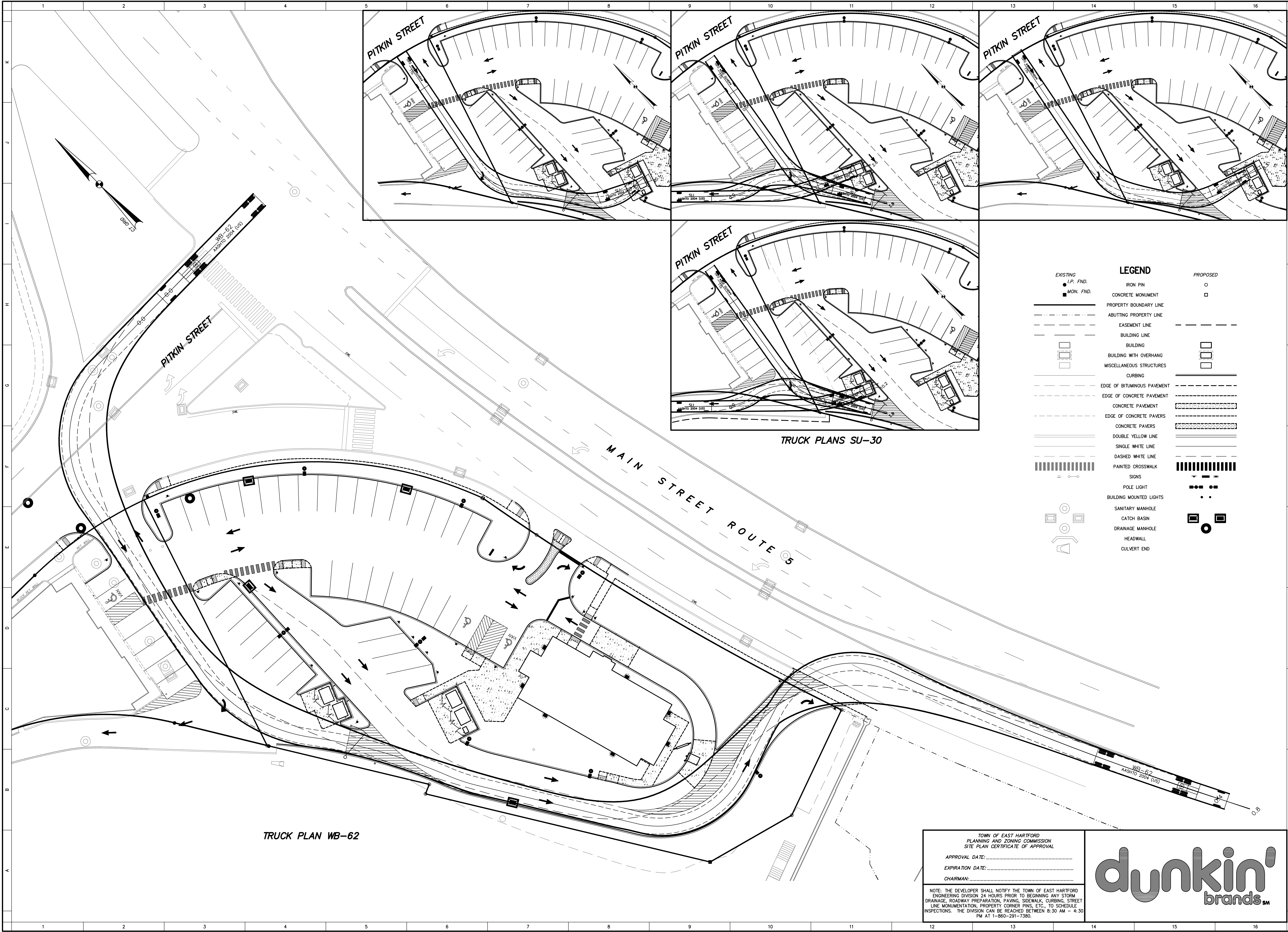
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**LAYOUT PLAN
PROPOSED DUNKIN' DONUTS
639 MAIN STREET (ROUTE 5)**
PREPARED FOR
JZ, INC.
EAST HARTFORD, CONNECTICUT

REVISIONS:
09/01/2017 - TOWN COMMENTS

DATE: 07/31/2017
SCALE: 1" = 20'
SHEET 8 of 25
PC#356482
A-13-057-L
FILE: 13057.DWG



TRUCK PLANS SU-30

TRUCK PLAN WB-62

EXISTING	LEGEND	PROPOSED
● I.P. FND.	IRON PIN	○
● MON. FND.	CONCRETE MONUMENT	□
---	PROPERTY BOUNDARY LINE	---
---	ABUTTING PROPERTY LINE	---
---	EASEMENT LINE	---
---	BUILDING LINE	---
---	BUILDING	---
---	BUILDING WITH OVERHANG	---
---	MISCELLANEOUS STRUCTURES	---
---	CURBING	---
---	EDGE OF BITUMINOUS PAVEMENT	---
---	EDGE OF CONCRETE PAVEMENT	---
---	CONCRETE PAVEMENT	---
---	EDGE OF CONCRETE PAVERS	---
---	CONCRETE PAVERS	---
---	DOUBLE YELLOW LINE	---
---	SINGLE WHITE LINE	---
---	DASHED WHITE LINE	---
---	PAINTED CROSSWALK	---
---	SIGNS	---
---	POLE LIGHT	---
---	BUILDING MOUNTED LIGHTS	---
---	SANITARY MANHOLE	---
---	CATCH BASIN	---
---	DRAINAGE MANHOLE	---
---	HEADWALL	---
---	CULVERT END	---

TOWN OF EAST HARTFORD
PLANNING AND ZONING COMMISSION
SITE PLAN CERTIFICATE OF APPROVAL

APPROVAL DATE: _____
EXPIRATION DATE: _____
CHAIRMAN: _____

NOTE: THE DEVELOPER SHALL NOTIFY THE TOWN OF EAST HARTFORD
ENGINEERING DIVISION 24 HOURS PRIOR TO BEGINNING ANY STORM
DRAINAGE, ROADWAY PREPARATION, PAVING, SIDEWALK, CURBING, STREET
LINE MONUMENTATION, PROPERTY CORNER PINS, ETC., TO SCHEDULE
INSPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:30 AM - 4:30
PM AT 1-860-291-7380.



DUTTON ASSOCIATES, LLC
LAND SURVEYORS AND CIVIL ENGINEERS
67 EASTERN BOULEVARD
GLASTONBURY, CONNECTICUT 06033
TEL: 860-633-9401 FAX: 860-633-8851
EMAIL: JMD@DUTTONASSOCIATESLLC.COM

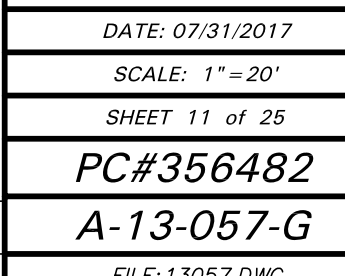
JOHN R. MARTUCCI, P.E. #19494

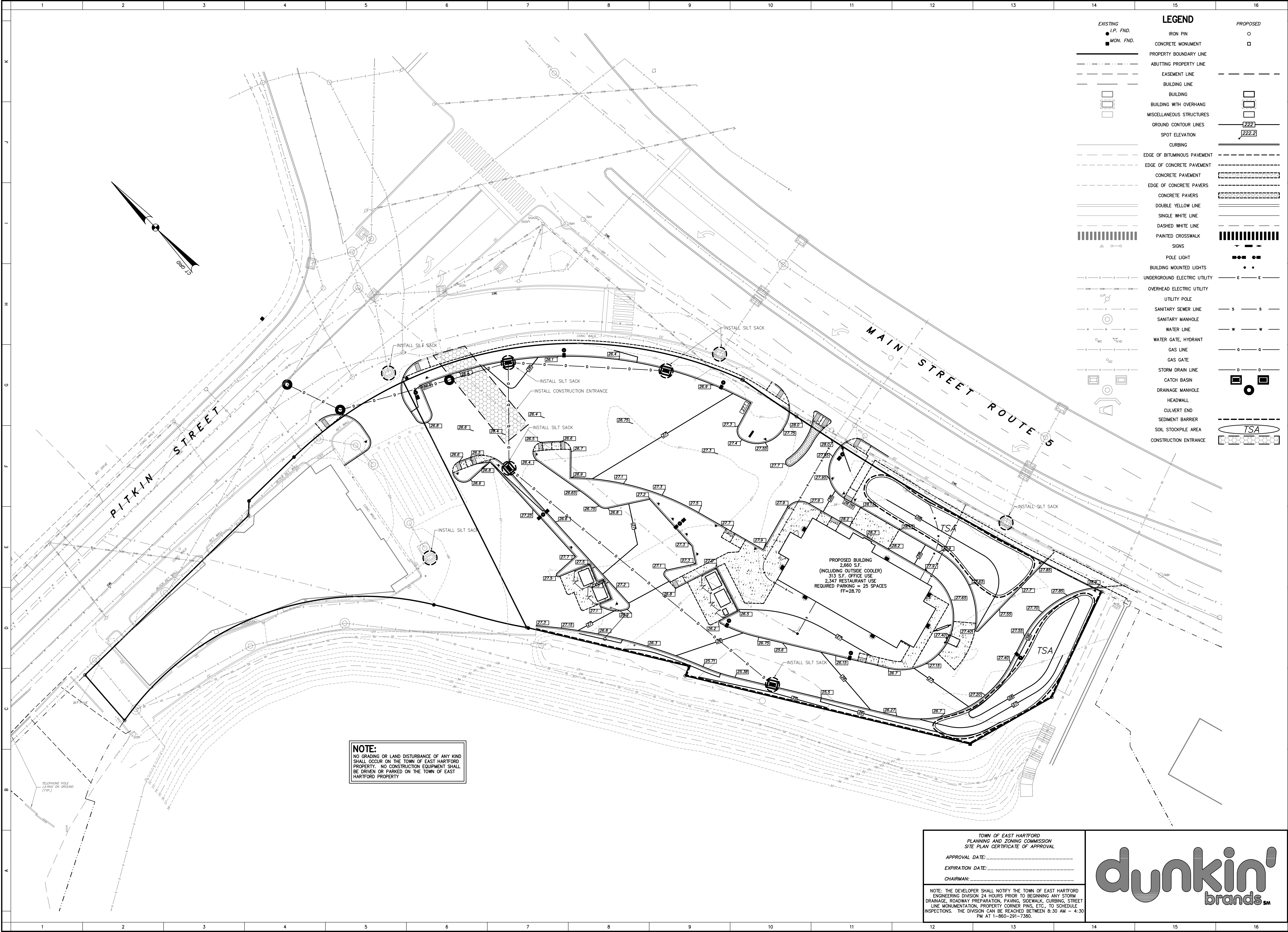
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**SERVICE VEHICLE ACCESS
PROPOSED DUNKIN' DONUTS
639 MAIN STREET (ROUTE 5)**
PREPARED FOR
JZ, INC.
EAST HARTFORD, CONNECTICUT

REVISIONS:
09/01/2017 - TOWN COMMENTS

DATE: 07/31/2017
SCALE: 1" = 20'
SHEET 9 of 25
PC#356482
A-13-057-TR
FILE:13057.DWG





NOTE:
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TOWN OF EAST HARTFORD
PLANNING AND ZONING COMMISSION
SITE PLAN CERTIFICATE OF APPROVAL

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SCALE IN FEET
40' 20' 0'

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67 EASTERN BOULEVARD
GLASTONBURY, CONNECTICUT 06033
TEL: 860.635.9401 FAX: 860.635.8851
EMAIL: INFO@DUTTONASSOCIATESLLC.COM

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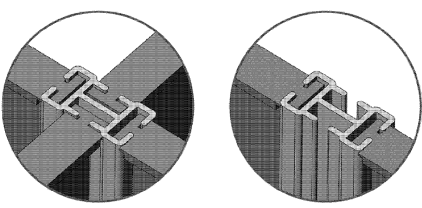
**EROSION & SEDIMENTATION
CONTROL PLAN
PROPOSED DUNKIN' DONUTS
639 MAIN STREET (ROUTE 5)**
PREPARED FOR
JZ INC.
EAST HARTFORD, CONNECTICUT

REVISIONS:
09/01/2017 - TOWN COMMENTS

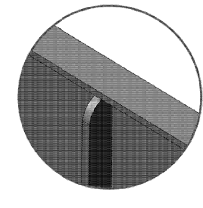
DATE: 07/31/2017
SCALE: 1"=20'
SHEET 12 of 25
PC#356482
A-13-057-G
FILE:13057.DWG

EP Series Root Barrier Panels
Made from injection molded High Impact Polypropylene (HIPP) with a unique factory installed joiner strip that eases installation. EP Series Panels include a "T" top edge to prevent root overgrowth and an Anchor Lock™ external flange at the base to lock panels in the ground. Suitable for all planting installations. Available in 12", 18", 24", and 36" depths.

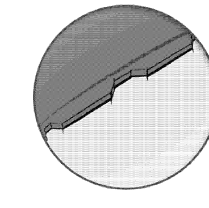
Specifications:
EP Series Panels have a minimum thickness of 0.090 inches, and are made of 50% post consumer High Impact Polypropylene with built in U.V. inhibitors to ensure longevity. The EP Root Barrier Panels have 1/2" raised vertical ribs running perpendicular to the panel and 6" on center. All EP Series Panels feature a 3/8" wide "T" top edge and an external ground anchor base flange that is 1/8" wide.



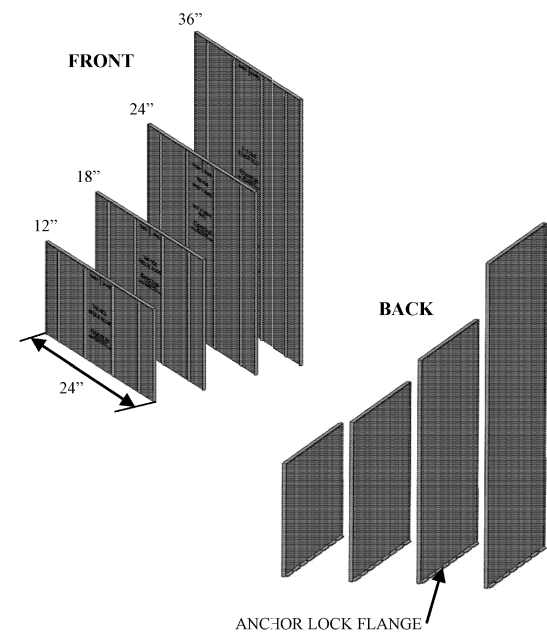
Quad Clip™ Joiner Strips



Reinforcing Ribs



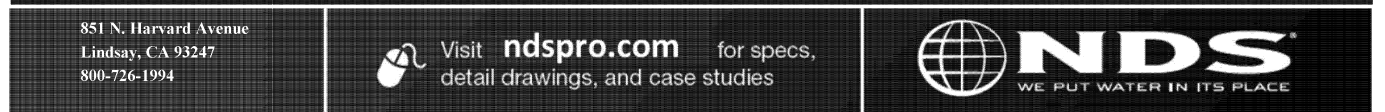
Anchor Lock™



PART NUMBER	DESCRIPTION	COLOR	PACKAGE QTY.	W.E.A. (LBS)	PRODUCT CLASS
EP-1200	12" X 24" ROOT BARRIER PANEL	BLACK	25	1.95	SILP
EP-1800	18" X 24" ROOT BARRIER PANEL	BLACK	25	1.80	SILP
EP-2400	24" X 24" ROOT BARRIER PANEL	BLACK	25	1.70	SILP
EP-3600	36" X 24" ROOT BARRIER PANEL	BLACK	25	1.20	SILP

ASTM SPECIFICATIONS EP SERIES ROOT BARRIER PANELS					
PROPERTIES	TENSILE STRENGTH	YIELD ELONGATION	FLEXURAL MODULUS	NOTCHED 180° IMPACT	ROCKWELL HARDNESS
ASTM TEST (UNITS)	D638 (PSI)	D638	D790A (PSI)	D256 (PSI)	D785
VALUES	3,600-4,200	12%	150,000	110 @ 73°F	R70

RECOMMENDED INSTALLATION	
SURROUND APPLICATION	PANELS PLACED AROUND ROOT BALL, AT SUFFICIENT DISTANCE TO ALLOW PROPER BACKFILL OF MATERIALS.
LINEAR / ROOT PRUNING APPLICATION	PANELS PLACED DIRECTLY ADJACENT TO THE HARDSCAPE BEING PROTECTED.

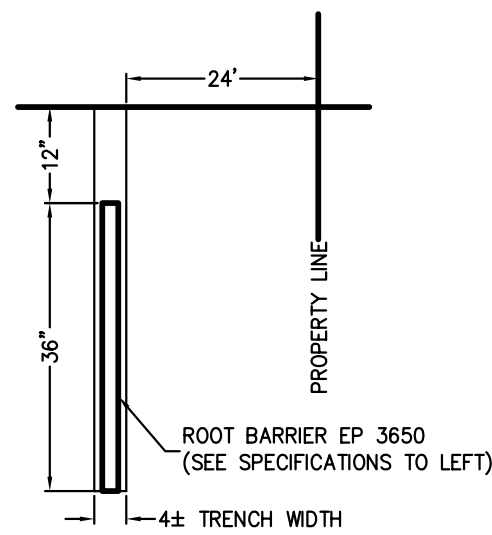


ROOT BARRIER - SPECIFICATIONS

ROOT BARRIER - SECTION

NOT TO SCALE

NOTE: ALL TRENCHING SHALL BE WITH A TRENCHING MACHINE OF ADEQUATE SIZE. EXCAVATION SHALL NOT OCCUR WITH A BACK HOE OR OTHER EXCAVATION EQUIPMENT.



NOTES:

ALL NEW LAWN AREAS SHALL RECEIVE A MINIMUM OF 6 INCHES TOPSOIL OF THE PROPER PH AND ORGANIC CONTENT SUITABLE FOR THE HEALTHY GROWTH OF LAWNS. THESE AREAS SHALL BE SEEDED WITH A FINE BLADE LAWN GRASS SEED OR SODDED.

ALL TREE AND SHRUB PITS SHALL BE AT LEAST 2 FEET WIDER AND 1 FOOT DEEPER THAN THE TREE OR SHRUB ROOT BALL TO BE PLANTED IN IT. BACKFILL SHALL BE HIGH QUALITY LOAM OF THE PROPER PH AND ORGANIC CONTENT SUITABLE FOR THE HEALTHY GROWTH OF PLANT MATERIALS.

ALL AREAS TO BE MULCHED SHALL RECEIVE 4 INCHES MINIMUM 100% SHREDDED BARK MULCH WITHIN 48 HOURS OF PLANTING UNLESS OTHERWISE NOTED IN PLANTING DETAILS.

ALL PLANTS SHALL BE NURSERY GROWN AND CONFORM TO THE LATEST EDITION OF "ANSI Z60.1, AMERICAN STANDARD FOR NURSERY STOCK".

PLANTS SHALL CONFORM TO THE BOTANICAL NAME AS INDICATED IN THE LATEST EDITION OF "AMERICAN JOINT COMMITTEE OF HORTICULTURAL NOMENCLATURE, STANDARDIZED PLANT NAMES".

PLANTS SHALL BE HANDLED AT ALL TIMES IN ACCORDANCE WITH THE BEST HORTICULTURAL PRACTICES. PLANTS IN-LEAF SHALL BE SPRAYED WITH ANTI-DESICCANT BEFORE DIGGING. PLANTS SHALL BE DUG WITH FIRM NATURAL BALLS AND SHALL CONFORM TO THE RATIOS AND SIZES SPECIFIED IN ANSI Z60.1. B&B PLANTS SHALL BE WRAPPED IN BURLAP AND TIED FIRMLY. PLANT MATERIALS SHALL BE DELIVERED IMMEDIATELY PRIOR TO PLACEMENT; SHALL BE KEPT MOIST AND SHALL BE PROTECTED FROM SUN AND WIND. PLANTS HAVING BROKEN OR CRACKED BALLS PRIOR TO OR DURING PLANTING WILL NOT BE ACCEPTED.

ALL TRUNKS OF DECIDUOUS TREES SHALL BE WRAPPED IMMEDIATELY AFTER PLANTING WITH TREE WRAP. WRAP SHALL BE WOUND SPIRALLY, FROM THE BOTTOM OF THE TRUNK TO THE SECOND BRANCHES. ALL TREES IN WINDY AREAS SHALL BE STAKED OR GUYED IMMEDIATELY AFTER PLANTING IN ACCORDANCE WITH BEST HORTICULTURAL PRACTICES.

THE PERIOD FOR PLANTING SHALL BE FROM MARCH 15 TO MAY 15 AND FROM SEPTEMBER 15 TO NOVEMBER 15, WEATHER PERMITTING.

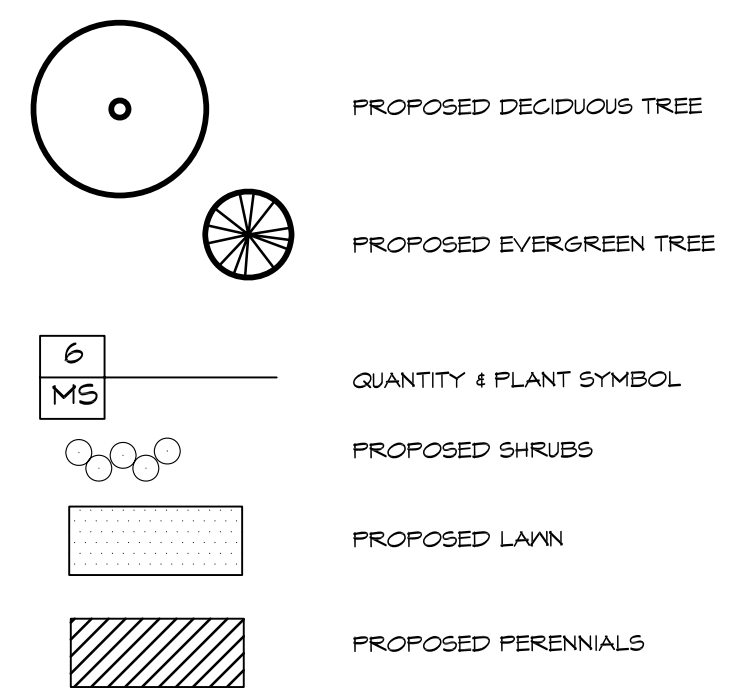
ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDED AS DIRECTED IN NOTE #1 ABOVE.

ALL LOCATIONS OF EXISTING UTILITIES MAY NOT BE SHOWN ON THIS PLAN. SEE OTHER PLAN SHEETS FOR UTILITY LOCATIONS. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS OF EXISTING UTILITIES. UTILITY CONFLICTS MAY REQUIRE ADJUSTMENTS TO PROPOSED CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OF ANY UTILITIES DAMAGED DURING CONSTRUCTION. CONTACT CALL BEFORE YOU DIG 1-800-922-4455 WWW.CBYD.COM TWO WORKING DAYS BEFORE STARTING CONSTRUCTION TO LOCATE UTILITIES.

INSTALL ALL PLANTS SHOWN ON PLAN. PLANT LIST QUANTITIES ARE FOR CONVENIENCE ONLY.

PLANT LIST			
symbol	quantity	name	size
AR	4	ACER RUBRUM 'ARMSTRONG'	2" - 2.5" cal.
AC	6	ARMSTRONG RED MAPLE	B&B
BN	4	AMELANCHIER CANADENSIS 'RAINBOW PILLAR'	10' - 12'
BN	4	Rainbow Pillar Shadblow	
BM	9	BETULA NIGRA 'HERITAGE'	8' - 10' clump
BM	9	Heritage River Birch	
CA	7	BUXUS MICROPHYLLA 'GREEN VELVET'	2 gallon container
CA	7	Green Velvet Boxwood	
GR	30	CLETHRA ALNIFOLIA 'CRYSTALINA'	2 gallon container
GR	30	Sugarina Crystallina Summersweet	
HS	90	GERANIUM ROZANNE	1 gallon container
HS	90	Rozanne Geranium	
IV	8	HEMEROCALLIS 'GOING BANANAS'	1 gallon container
IV	8	Going Bananas Daylily	
JS	10	ITEA VIRGINICA 'LITTLE HENRY'	2 gallon container
JS	10	Little Henry Virginia Sweetspire	
MS	7	JUNIPERUS SQUAMATA 'BLUE STAR'	2 gallon container
MS	7	Blue Star Juniper	
NF	61	MISCANTHUS SINENSIS 'SILBERFEEDER'	3 gallon container
NF	61	Silver Maiden Grass	
PV	16	NEPETA FAASSENII 'WALKERS LOW'	1 gallon container
PV	16	Walker's Low Nepeta	
PA	4	PANICUM VIRGATUM 'HEAVY METAL'	2 gallon container
PA	4	Heavy Metal Switch Grass	
PC	8	PLATANUS X ACERIFOLIA 'BLOODGOOD'	2" - 2.5" cal.
PC	8	Bloodgood London Planetree	B&B
OR	4	PYRUS CALLERYANA 'CHANTICLEER'	2" - 2.5" cal.
OR	4	Chanticleer Pear	B&B
RF	7	QUERCUS ROBUR 'FASTIGIATA'	2" - 2.5" cal.
RF	7	Columnar English Oak	B&B
TO	36	ROSA 'FLOWER CARPET PINK SUPREME'	2 gallon container
TO	36	Pink Supreme Flower Carpet Rose	
TO	36	THUJA OCCIDENTALIS 'SMAGARD'	7' - 8'
TO	36	Emerald Green Arborvitae	

LEGEND



Stephanie Fuss Associates LLC
Landscape Architecture Site Planning Presentation Graphics
67 Eastern Boulevard
Glastonbury, CT 06033
Phone 860-650-3715
www.stefuss.com

STEPHANIE FUSS, LA # 444
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LANDSCAPE PLAN AND DETAILS
PROPOSED DUNKIN' DONUTS
639 MAIN STREET (ROUTE 5)
EAST HARTFORD, CONNECTICUT
PREPARED FOR
JZ, INC.

REVISIONS:
09/01/2017 - TOWN COMMENTS

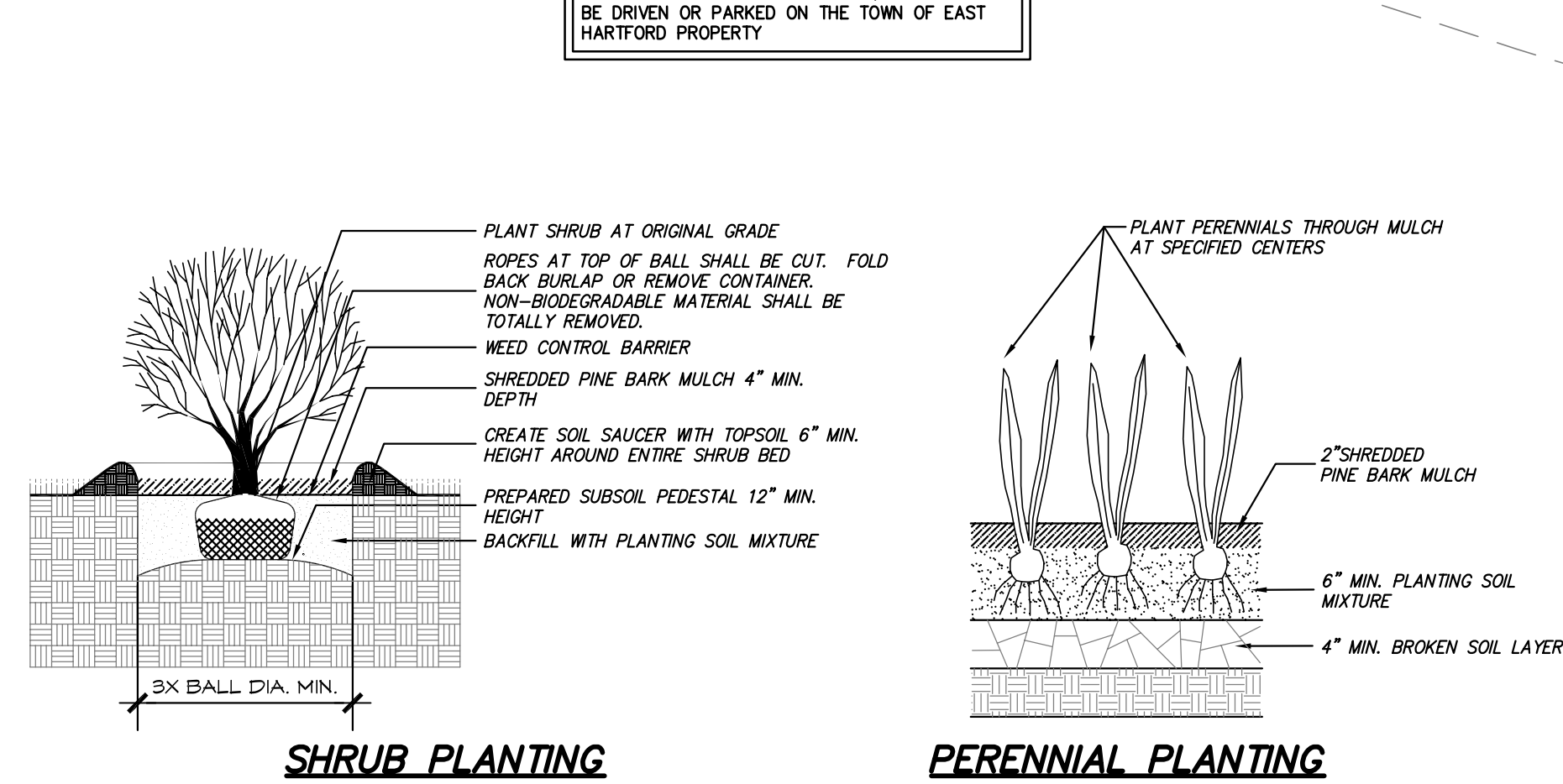
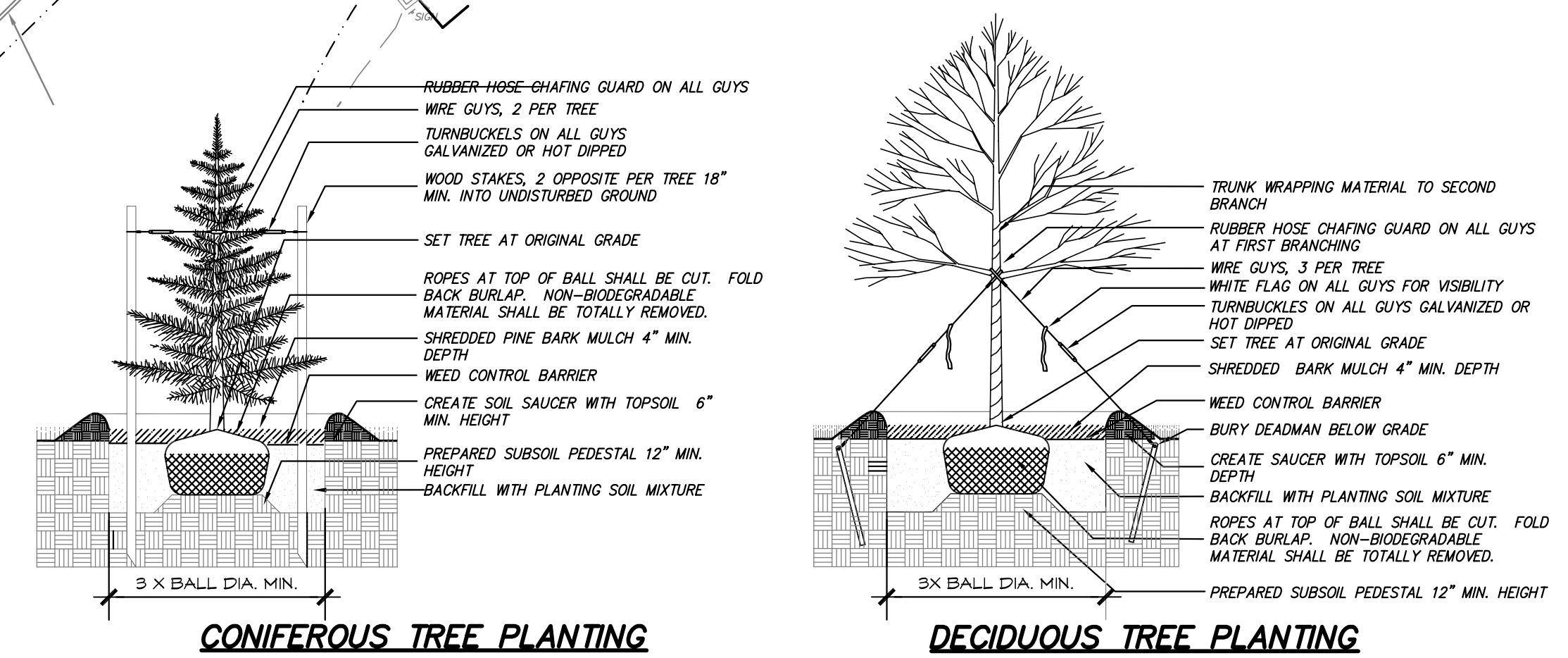
DATE: 07/31/2017
SCALE: 1" = 20'
SHEET 13 of 25
PC#356482
A-13-057-L5
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TOWN OF EAST HARTFORD
PLANNING AND ZONING COMMISSION
SITE PLAN CERTIFICATE OF APPROVAL

APPROVAL DATE: _____
EXPIRATION DATE: _____
CHAIRMAN: _____

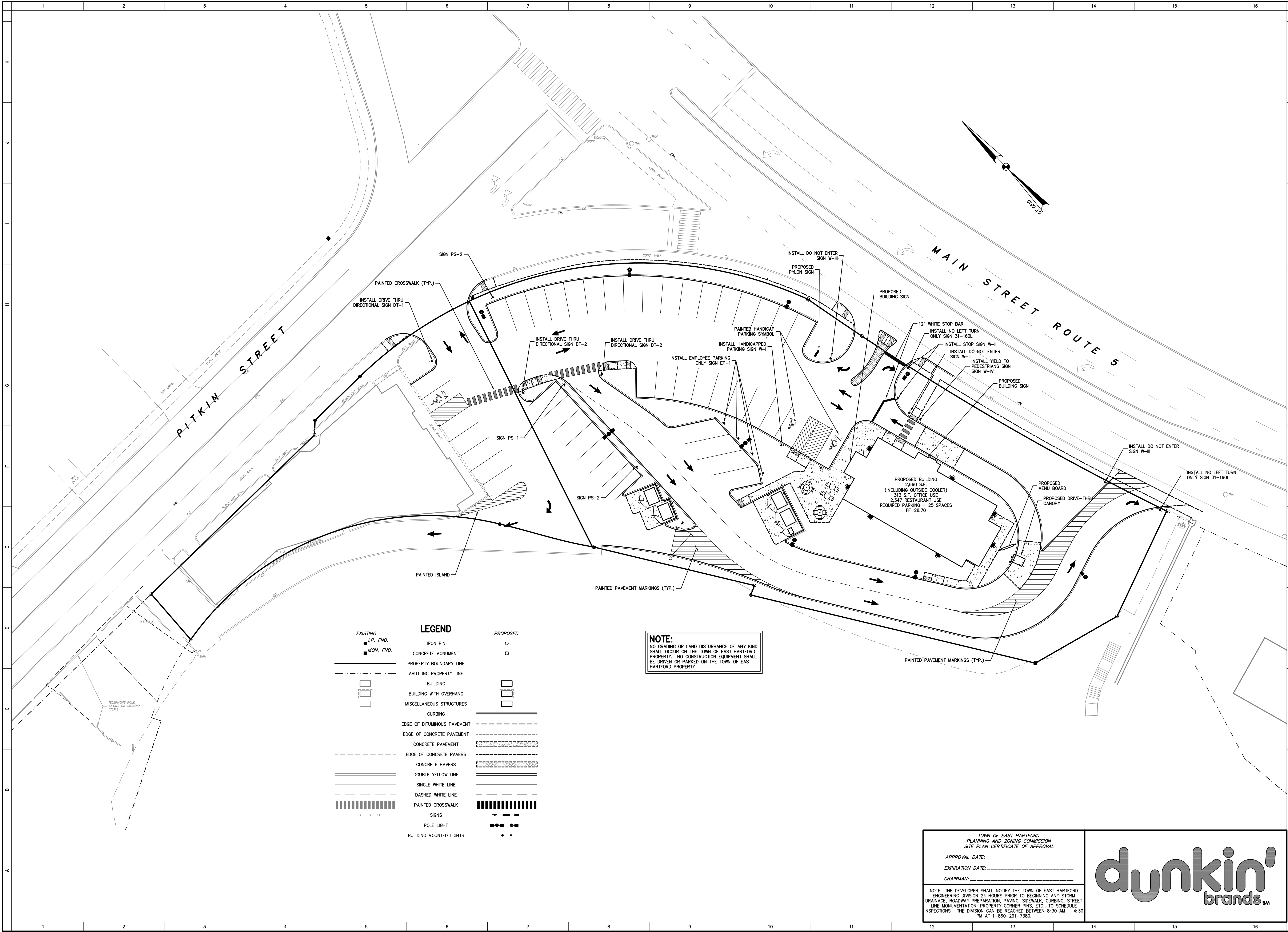
NOTE: THE DEVELOPER SHALL NOTIFY THE TOWN OF EAST HARTFORD ENGINEERING DIVISION 24 HOURS PRIOR TO BEGINNING ANY STORM DRAINAGE, ROADWAY PREPARATION, PAVING, SIDEWALK, CURBING, STREET LINE MONUMENTATION, PROPERTY CORNER PINS, ETC., TO SCHEDULE INSPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:30 AM - 4:30 PM AT 1-860-291-7380.

dunkin'
brandsSM



NOTE:
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APPROXIMATE 6" VCP TOE DRAIN
PROPOSED ROOT BARRIER SEE DETAIL THIS SHEET
THE TREES PLANTED IN THIS AREA SHALL BE REMOVED 25 YEARS AFTER PLANTING AND REPLACED WITH NEW PLANTINGS INSTALLED AT THE SAME LOCATIONS
THE TREES PLANTED IN THIS AREA SHALL BE IRRIGATED WITH DRIP IRRIGATION SYSTEM



EXISTING		LEGEND		PROPOSED	
(P. FND.	IRON PIN			○	
(MON. FND.	CONCRETE MONUMENT			□	
---	PROPERTY BOUNDARY LINE				
---	ABUTTING PROPERTY LINE				
[]	BUILDING			[]	
[]	BUILDING WITH OVERHANG			[]	
[]	MISCELLANEOUS STRUCTURES			[]	
---	CURBING			---	
---	EDGE OF BITUMINOUS PAVEMENT			---	
---	EDGE OF CONCRETE PAVEMENT			---	
---	CONCRETE PAVEMENT			---	
---	EDGE OF CONCRETE PAVERS			---	
---	CONCRETE PAVERS			---	
---	DOUBLE YELLOW LINE			---	
---	SINGLE WHITE LINE			---	
---	DASHED WHITE LINE			---	
	PAINTED CROSSWALK				
▲ ○	SIGNS			▲ ○	
●	POLE LIGHT			●	
●	BUILDING MOUNTED LIGHTS			●	

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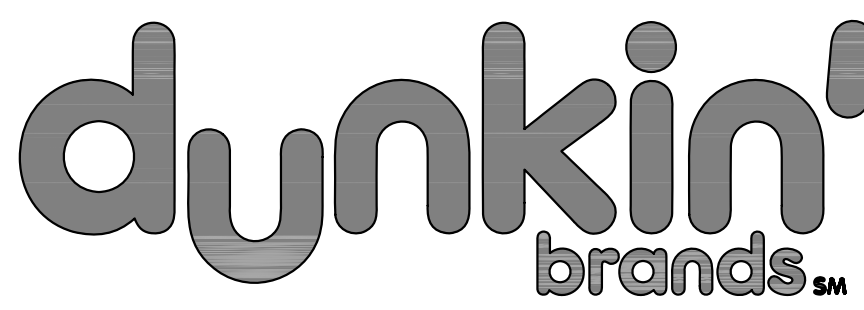
TOWN OF EAST HARTFORD
PLANNING AND ZONING COMMISSION
SITE PLAN CERTIFICATE OF APPROVAL

APPROVAL DATE: _____

EXPIRATION DATE: _____

CHAIRMAN: _____

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SCALE IN FEET
0' 20' 40'

DUTTON ASSOCIATES, LLC
LAND SURVEYORS AND CIVIL ENGINEERS
67 EASTERN BOULEVARD
GLASTONBURY, CONNECTICUT 06033
TEL: 860-633-9401 FAX: 860-633-8851
EMAIL: JMD@DUTTONASSOCIATESLLC.COM

JOHN R. MARTUCCI, P.E. #19494

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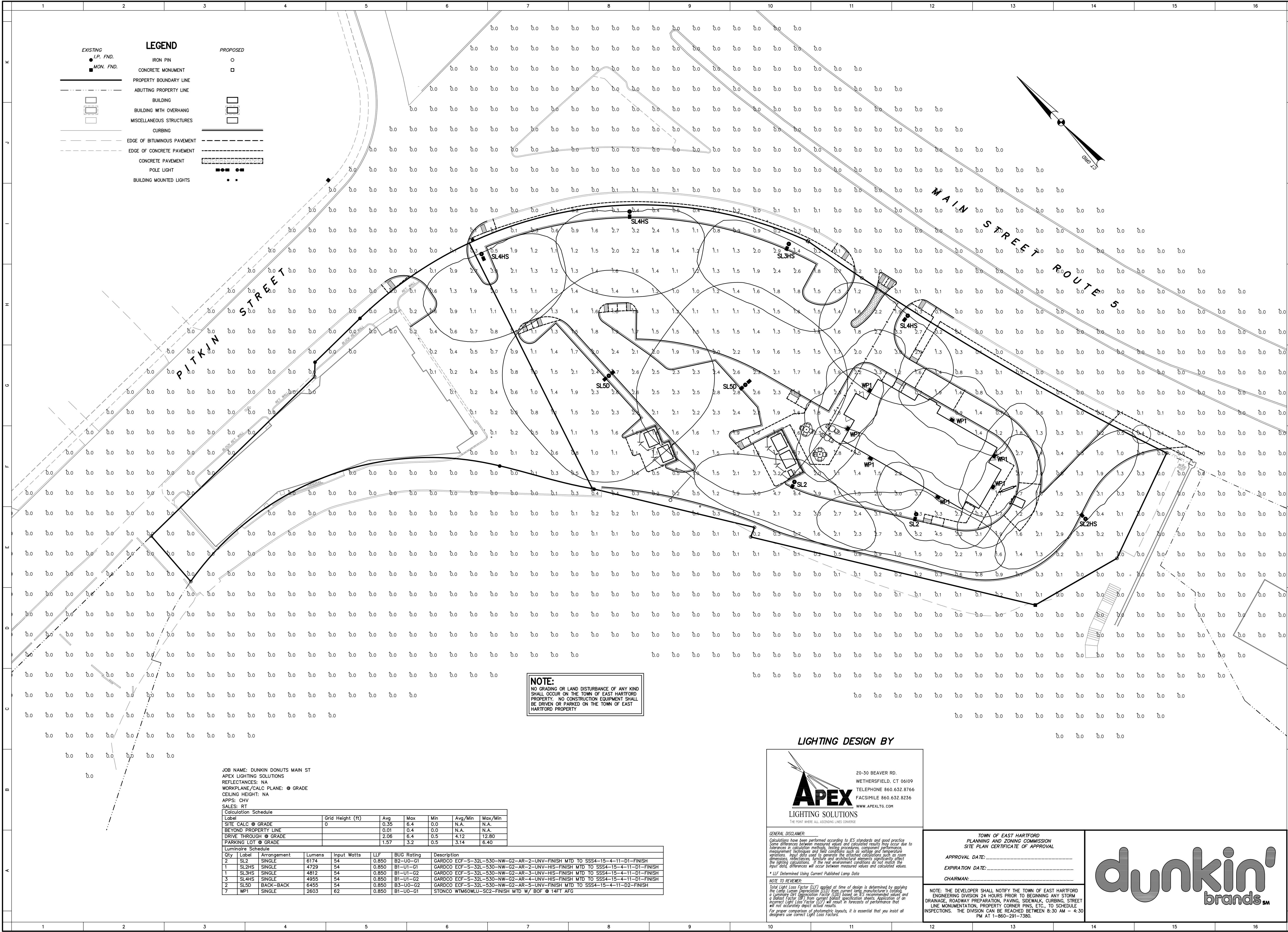
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TRAFFIC AND SIGNAGE PLAN
PROPOSED DUNKIN' DONUTS
639 MAIN STREET (ROUTE 5)

PREPARED FOR
JZ, INC.
EAST HARTFORD, CONNECTICUT

REVISIONS:
09/01/2017 - TOWN COMMENTS

DATE: 07/31/2017
SCALE: 1" = 20'
SHEET 14 of 25
PC#356482
A-13-057-T/S 1
FILE: 13057.DWG



LEGEND

- EXISTING
C.P. FND.
MON. FND.
- PROPOSED
O
□
- IRON PIN
CONCRETE MONUMENT
PROPERTY BOUNDARY LINE
ABUTTING PROPERTY LINE
BUILDING
BUILDING WITH OVERHANG
MISCELLANEOUS STRUCTURES
CURBING
EDGE OF BITUMINOUS PAVEMENT
EDGE OF CONCRETE PAVEMENT
CONCRETE PAVEMENT
POLE LIGHT
BUILDING MOUNTED LIGHTS

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JOB NAME: DUNKIN DONUTS MAIN ST
APEX LIGHTING SOLUTIONS
REFLECTANCES: NA
WORKPLANE/CALC PLANE: ● GRADE
CEILING HEIGHT: NA
APPS: CHV
SALES: RT

Calculation Schedule						
Label	Grid Height (ft)		Avg	Max	Min	Avg/Min
SITE CALC ● GRADE	0		0.35	6.4	0.0	N.A.
BEYOND PROPERTY LINE			0.01	0.4	0.0	N.A.
DRIVE THROUGH ● GRADE			2.06	6.4	0.5	4.12
PARKING LOT ● GRADE			1.57	3.2	0.5	3.14

Luminaire Schedule						
Qty	Label	Arrangement	Lumens	Input Watts	LLF	BUG Rating
2	SL2	SINGLE	6174	54	0.850	B2-U0-G1
1	SL3HS	SINGLE	4729	54	0.850	B1-U1-G1
3	SL4HS	SINGLE	4955	54	0.850	B1-U1-G2
2	SL5D	BACK-BACK	6455	54	0.850	B3-U0-G2
7	WP1	SINGLE	2603	62	0.850	B1-U0-G1

LIGHTING DESIGN BY

20-30 BEAVER RD.
WETHERSFIELD, CT 06109
TELEPHONE 860.632.8766
FACSIMILE 860.632.8256
WWW.APEXLIGHTING.COM

APEX
LIGHTING SOLUTIONS
THE POINT WHERE ALL DECISIONS LEAD CONVERGE

GENERAL DISCLAIMER:
Calculations have been performed according to IES standards and good practice. Some differences between measured values and calculated results may occur due to tolerances in calculation methods, testing procedures, component performance, measurement techniques and field conditions such as weather and temperature variations. Input data used to generate the attached calculations such as room dimensions, reflectances, furniture and architectural elements significantly affect the lighting calculations. If the real environment conditions do not match the input data, differences will occur between measured values and calculated values.

* LLF Determined Using Current Published Lamp Data

NOTE TO REVIEWER:
Total Light Loss Factor (LLF) applied at time of design is determined by applying the Lamp Lumen Maintenance (LLM) from current luminaire specification sheets and a Ballast Factor (BF) from current ballast specification sheets. Application of an incorrect Light Loss Factor (LLF) will result in forecasts of performance that will not accurately depict actual results.
For proper comparison of photometric layouts, it is essential that you insist all designers use correct Light Loss Factors.

TOWN OF EAST HARTFORD
PLANNING AND ZONING COMMISSION
SITE PLAN CERTIFICATE OF APPROVAL

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LIGHTING PLAN
PROPOSED DUNKIN DONUTS
639 MAIN STREET (ROUTE 5)
HARTFORD, CT
JZ, INC.
EAST HARTFORD, CONNECTICUT

REVISIONS:
09/01/2017 - TOWN COMMENTS

DATE: 07/31/2017
SCALE: 1" = 20'
SHEET 16 of 25
PC#356482
A-13-057-LTG1
FILE:13057.DWG



Site & Area

EcoForm

ECF-S small



The Philips Gardco EcoForm Gen-2 combines economy with performance in an LED area luminaire. Capable of delivering up to 26,400 lumens or more in a compact, low profile LED luminaire, EcoForm offers a new level of customer value. EcoForm features an innovative retrofit arm kit, simplifying site conversions to LED by eliminating the need to drill additional holes in most existing poles. Integral control systems available for further energy savings.

Ordering guide

example: ECF-S-64-,900-NW-G2-AR-5-120-HS-MGY

Profile	Number of LEDs	Drive Current	LED Color - Generation	Mounting	Distribution	Voltage	Controls	Enclosure	Luminaire	Finish
ECF-S	32L	530	NW-G2	AR	2	UNV				FINISH
ECF-S	48L	800	NW-G2	AR	2	UNV				FINISH
ECF-S	64L	900	NW-G2	AR	2	UNV				FINISH

Available only in 120, 200, 340, and 377 for UNV
Specify voltage
ECF-S-64L-900-NW-G2-AR-5-120-HS-MGY
HS not available with Type 5 or SW optics
ECF-S-64L-900-NW-G2-AR-5-120-HS-MGY
ECF-S-64L-900-NW-G2-AR-5-120-HS-MGY
ECF-S-64L-900-NW-G2-AR-5-120-HS-MGY

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ECF-S EcoForm small

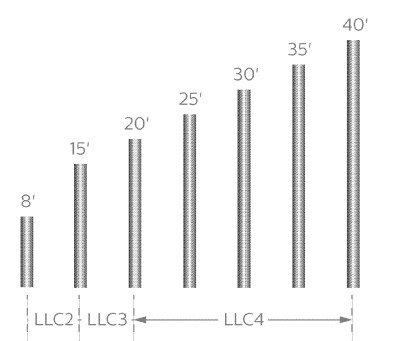
Site & Area

Wireless system - luminaire configuration information

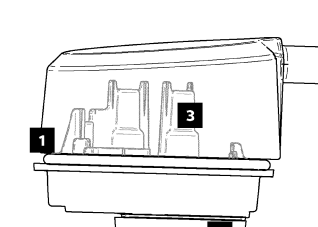
LLC2/LLC3/LLC4 Luminaire Mounted Controller

Controller pot attached to luminaire and includes radio, photocell and motion sensor with #2, #3 or #4 lens for 8-40' mounting heights.

Recommended Sensor by Pole Height



Wireless system sensor



LLC2/LLC3/LLC4 Pole Mounted Controller

In this configuration, the wireless controller will be mounted to the pole at a fifteen foot mounting height. The number of luminaires on each pole, as well as the specific wattage chosen, will determine how many controllers will be required.

When using the wireless remote accessory option (LLC4-F) in a pole mount application, specify pole option (CL-Coupling Internal Thread, 3/4" size). Confirm required orientation of luminaire and wireless controller. Indicate height above pole base and orientation to hand hole. Recommended min pole height is 18ft, with option (CL) 15ft above pole base. Other heights are possible when choosing the appropriate sensor lens type. See pole specification sheets for more information.

1. Photocell

- Ambient light photocell on every wireless radio that averages the light levels of up to 5 controllers for an accurate reading and optimal light harvesting activity.
- Reports ambient light readings to 1500 Fc.

2. Motion Response

- Detects motion through passive infrared sensing technology with three different lens configurations.
- Motion sensor coverage can be adjusted from a narrow to a wide detection range, which helps reduce false triggers to further increase energy savings.
- Sensing profiles can be updated to adapt to activity levels in the environment, such as occupancy level, wind, and mounting height.

3. Wireless Radio

- 1.8 Watts max (no load draw)
- Operating voltage 120-277 VAC RMS
- Communicates using the ZigBee protocol.
- Carries out dimming commands from Gateway.
- Reports ambient light readings to 1500 Ft-Cd
- Transmission Systems Operating within the band 2400-2483.5MHz
- RoHS Compliant

ECF-S_Gen2_06/17 page 5 of 9

ECF-S EcoForm small

Site & Area

EcoForm Accessories (ordered separately, field installed)

Controls Accessories	Shielding Accessories *	Luminaire Accessories
Pole Mount Motion Sensor MS-A-120V - 120V input MS-A-277V - 277V input Wireless systems Remote mount module	House Side Shield Standard orientation HS-32-W - Internal House Side Shield for 32 LEDs (2 modules) HS-48-W - Internal House Side Shield for 48 LEDs (3 modules) HS-64-W - Internal House Side Shield for 64 LEDs (4 modules) At 90 or 270 orientation: HS-32-V - Internal House Side Shield for 32 LEDs (2 modules) HS-48-V - Internal House Side Shield for 48 LEDs (3 modules) HS-64-V - Internal House Side Shield for 64 LEDs (4 modules)	ECF-80-G2 third element PTF2-(F) Pole top filter fits 2 3/8-2 1/2" OD x 4" depth PTF3-(F) Pole top filter fits 3 1/2-4" OD x 6" depth PTF3-(F) Pole top filter fits 3 1/2-4" OD x 6" depth ECF-SF-G2-(F) Retrofit Arm mount kit ECF-RAM-G2-(F) Retrofit Arm mount kit ECF-WFS-G2-(F) Wall mount with surface conduit entry permitted (F) = Factory finish

Predicted Lumen Depreciation Data

Predicted performance derived from LED manufacturer's data and engineering design estimates, based on IESNA LM-80 methodology. Actual experience may vary due to field application conditions. L₉₀ is the predicted time when LED performance depreciates to 70% of initial lumen output. Calculated per IESNA TM21-11. Published L₉₀ times limited to 6 times actual LED test hours.

Ambient Temperature °C	Driver mA	Calculated L ₉₀ Hours	L ₉₀ per TM-21	Lumen Maintenance % at 60,000 hrs
25°C	up to 1200 mA	>100,000 hours	>60,000 hours	>68%

LED Wattage and Lumen Values

Ordering Code	Total LEDs	LED Current (mA)	Average System Watts	Lumen Output*	BUG Rating	Efficiency (LPW)	Lumen Output*	BUG Rating	Efficiency (LPW)
ECF-S-32L-530-NW-G2-x	32	530	4000	36	8.84	83-U-02	123	8.76	83-U-02
ECF-S-48L-800-NW-G2-x	48	800	4000	73	8.83	83-U-02	123	8.66	82-U-02
ECF-S-64L-900-NW-G2-x	64	900	4000	106	12.854	83-U-02	123	12.84	82-U-02
ECF-S-32L-12A-NW-G2-x	32	1200	4000	122	13.836	83-U-02	123	13.528	82-U-02
ECF-S-48L-12A-NW-G2-x	48	1200	4000	185	16.409	83-U-02	123	16.365	82-U-02
ECF-S-64L-12A-NW-G2-x	64	1200	4000	268	20.627	83-U-02	123	20.380	82-U-02
ECF-S-32L-12A-NW-G2-x	32	1200	4000	122	13.836	83-U-02	123	13.528	82-U-02
ECF-S-48L-12A-NW-G2-x	48	1200	4000	185	16.409	83-U-02	123	16.365	82-U-02
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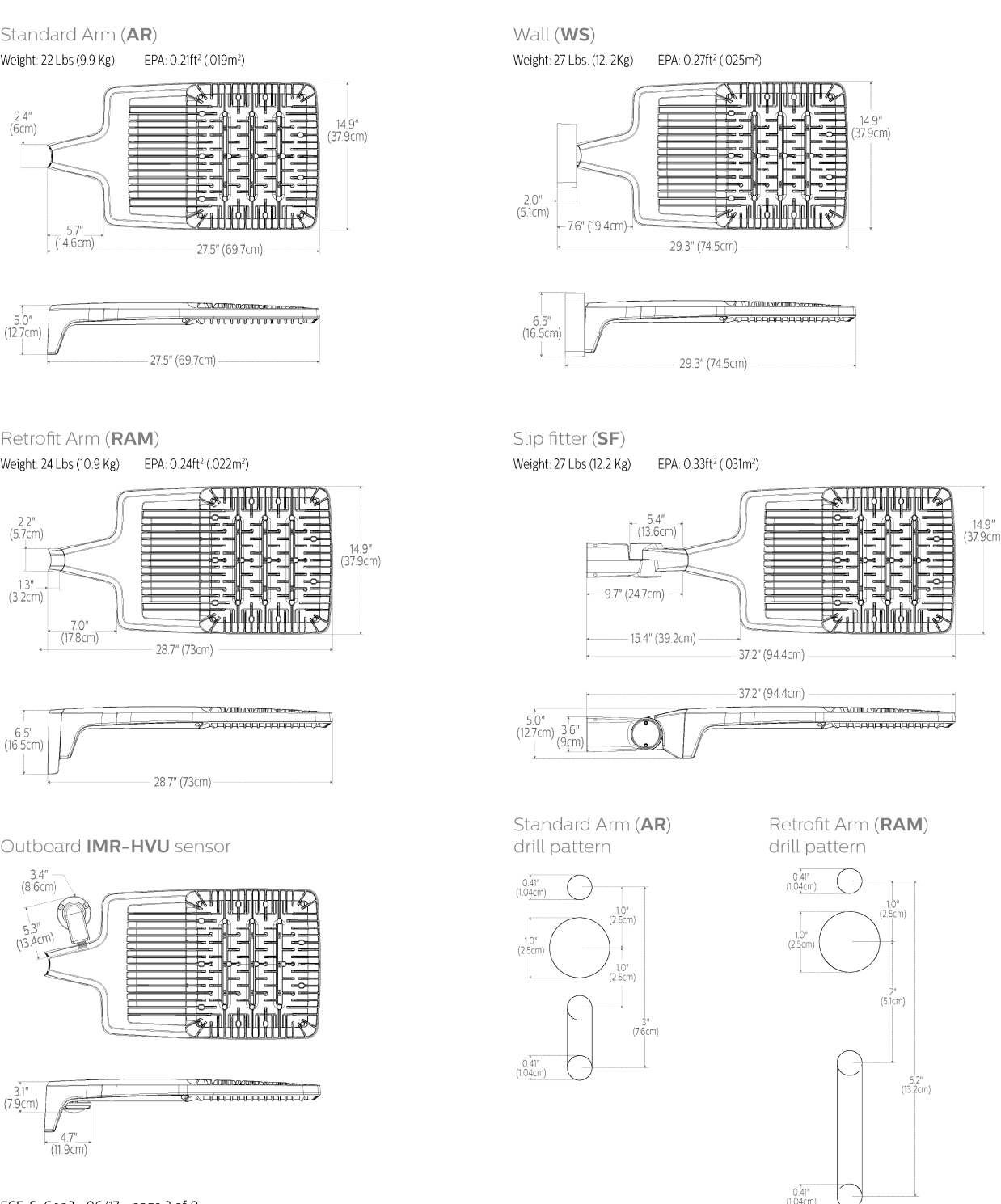
1. Wattage and lumen output may vary due to LED manufacturer forward volt specification and temperature.
2. Warm white color temperature will result in decreased lumen output.
3. Lumen values based on photometric tests performed in compliance with IESNA LM-79.

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ECF-S EcoForm small

Site & Area

Dimensions



ECF-S_Gen2_06/17 page 3 of 9

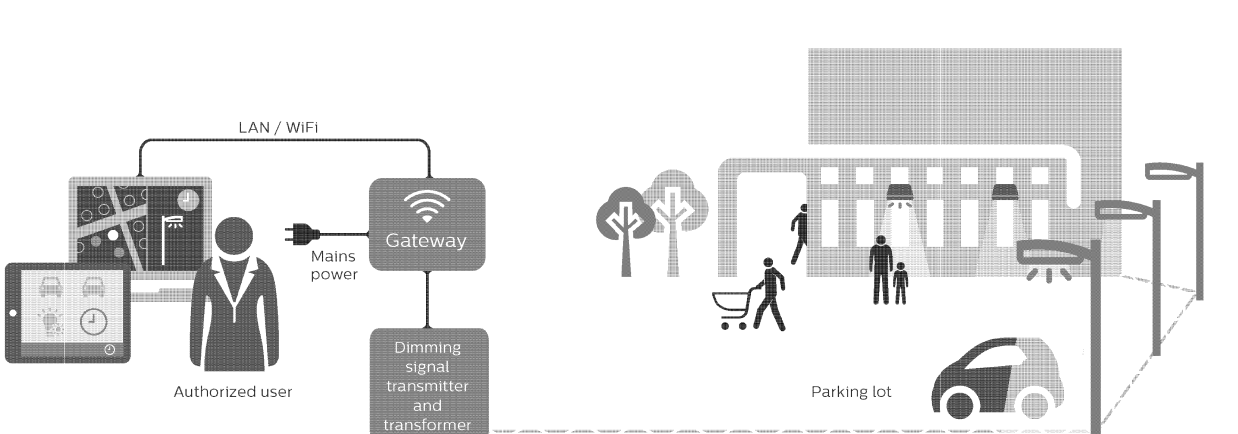
ECF-S EcoForm small

Site & Area

SiteWide system

SiteWide is a complete area lighting management system including a luminaire integrated controller, dimming signal transmitter cabinet, and dimming signal receiver located in the Philips luminaire (SW option). The control signal is embedded in the existing electrical line - no new cabling is required. An intuitive, locally accessible interface makes it easy for authorized users to set schedules in order to meet site specific lighting needs, local regulations, and energy codes.

SiteWide system diagram



SiteWide system interface

SiteWide has an intuitive user interface that makes it easy to plan, edit, and implement lighting schedules for your site. Authorized users can access the interface via a local app. To ensure that only authorized users can access your lighting, SiteWide offers two user types, each with different permissions. An advanced user, or administrator, can set and edit schedules using the ten pre-set scenes, assign those schedules to calendar days, and check system status. For everyday use, a basic user can manually override a schedule that is currently running but cannot create or edit schedules.

SiteWide system specifications

The SiteWide system includes both luminaires and controls. The controls used for SiteWide are circuit load dependent. Required for a complete installation are the following Philips SiteWide components: user interface, control kit, dimming signal transmitter cabinet, and dimming signal receiver located in the Philips luminaire (SW option). Optional luminaire-integrated or external motion sensors may also be specified as required. Within the electrical closet, the control kit and dimming signal transmitter cabinet are installed into the electrical system between the existing breaker, panel and the site luminaires. New LED luminaires containing the dimming signal receiver are installed on the site. Once completed, use of the interface allows for scheduling and override capabilities. Wireless access point and tablet should be supplied by others. Complete information on the control system can be found on the SiteWide website at philips.com/sitewise.

ECF-S_Gen2_06/17 page 7 of 9

ECF-S EcoForm small

Site & Area

Luminaire options

DD-0-10V dimming driver with leads supplied through back of luminaire (for secondary dimming control by others)

TLRDPS, Twist Lock Receiptable with 5 pins enabling dimming, can be used with a twistlock photoelectric cell or a shoring cap. Can also be used with Philips or third party control system. Receiptable located on top of luminaire housing.

TLRDP, Twist Lock Receiptable with 2 pins enabling dimming and additional functionality (by others), can be used with twistlock photoelectric cell or a shoring cap. Can also be used with Philips or third party control system. Receiptable located on top of luminaire housing.

TLRDP, Receiptable with twistlock photoelectric cell (must specify voltage). Receiptable located on top of luminaire housing.

Dynamid Automatic Profile Dimming: Automatic dimming profiles (C50/C45/C50/C45) for safety, median, or economy settings; for shorter or longer duration. Dimming profiles provide flexibility towards energy savings goals while optimizing light levels during specific dark hours. 50% dimming is standard. D450 offers 50% instantaneous dimming all night (during all dark hours). 75% and 25% dimming is also available if different light levels are required (contact Technical Support for details).

IMRIS, IMRIS7, Infrared Motion Response Integral, IMRIS module is mounted integral on driver door and is available with two different sensor lens types to accommodate various mounting heights and occupancy detection ranges (see charts for approximate detection patterns on page 7). Motion response used in combination of Dynamid and SiteWide are not programmable and used to override controllers schedule when motion is detected. When used not combined with any controller, IMRIS is set operates in the following fashion: The motion sensor is set to a constant 50%. When motion is detected by the PIR sensor, the luminaire returns to full power/light output. Dimming on low is factory set to 50% with 5 minute default in "full power" prior to dimming back low. When no motion is detected for 5 minutes, the motion response system reduces the wattage by 50% to 50% of the normal constant wattage reducing the light level. IMRIS can also be specified with automatic profile dimming for the added benefit of a combined

dimming profile with sensor detection, where the PIR sensor will override the dimming profile when occupancy is detected. Passive infrared (PIR) motion sensor.

IMRO, Infrared Motion Response Outboard pole mounted sensor, must be specified with an available automatic profile dimming option. Combines the benefits of both automatic profile dimming and motion response using the Philips Dynamid dimming technology. PIR sensor features a pole mounted WattsTapper EW-200-120-W or the EW-200-277-W. One motion sensor per pole is required (order MS-A-120 or MS-A-277 separately). Available in 120 or 277V only. IMRO sensors require single voltage 120V or 277V input (see chart for approximate detection patterns). If motion is detected during the time that the luminaire is operating at profile dimming mode specified, the luminaire returns to 100% power and light output. The luminaire remains on high until no motion is detected for the duration period, after which the luminaire returns back to automatic profile dimming. Duration period is factory set at 15 minutes, and is field adjustable from 5 minutes up to 15 minutes. The area motion detector provides coverage equal to up to 6 times the sensor height above ground, 270° from the front-center of the sensor.

Pole Details: IMRO requires that the pole include an additional hand hole 15 feet above the pole base, normally oriented 180° to the standard hand hole. For Philips Gardco poles, order the pole with the Motion Sensor

IMRIS7, IMRIS7, Infrared Motion Response Integral, IMRIS7 module is mounted integral on driver door and is available with two different sensor lens types to accommodate various mounting heights and occupancy detection ranges (see charts for approximate detection patterns on page 7). Motion response used in combination of Dynamid and SiteWide are not programmable and used to override controllers schedule when motion is detected. When used not combined with any controller, IMRIS7 is set operates in the following fashion: The motion sensor is set to a constant 50%. When motion is detected by the PIR sensor, the luminaire returns to full power/light output. Dimming on low is factory set to 50% with 5 minute default in "full power" prior to dimming back low. When no motion is detected for 5 minutes, the motion response system reduces the wattage by 50% to 50% of the normal constant wattage reducing the light level. IMRIS7 can also be specified with automatic profile dimming for the added benefit of a combined

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ECF-S_Gen2_06/17 page 4 of 9

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EMAIL: JMD@DUTTONASSOCIATESLLC.COM

JOHN R. MARTUCCI, P.E. #19494

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LIGHTING DETAILS
PROPOSED DUNKIN' DONUTS
639 MAIN STREET (ROUTE 5)
HARTFORD, CT 06109
PREPARED FOR
JZ, INC.
EAST HARTFORD, CONNECTICUT

20-30 BEAVER RD.
WETHERSFIELD, CT 06109
TELEPHONE 860.632.8766
FACSIMILE 860.632.8236
WWW.APEXLTG.COM

APEX LIGHTING SOLUTIONS
THE POINT WHERE ALL ASCENDING LINES CONVERGE

TOWN OF EAST HARTFORD
PLANNING AND ZONING COMMISSION
SITE PLAN CERTIFICATE OF APPROVAL

APPROVAL DATE: _____

EXPIRATION DATE: _____

CHAIRMAN: _____

NOTE: THE DEVELOPER SHALL NOTIFY THE TOWN OF EAST HARTFORD ENGINEERING DIVISION 24 HOURS PRIOR TO BEGINNING ANY STORM DRAINAGE, ROADWAY PREPARATION, PAVING, SIDEWALK, CURBING, STREET LINE MONUMENTATION, PROPERTY CORNER PINS, ETC., TO SCHEDULE INSPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:30 AM - 4:30 PM AT 1-860-291-7380.

REVISIONS:
09/01/2017 - TOWN COMMENTS

DATE: 07/31/2017

SCALE: 1" = 20'

SHEET 17 of 25

PC#356482

A-13-057-LTG2

FILE:13057.DWG

The Philips Gardco EcoForm Gen-2 combines economy with performance in an LED area luminaire. Capable of delivering up to 26,400 lumens or more in a compact, low profile LED luminaire, EcoForm offers a new level of customer value. EcoForm features an innovative retrofit arm kit, simplifying site conversions to LED by eliminating the need to drill additional holes in most existing poles. Integral control systems available for further energy savings.

PROJECT: DUNKIN DONUTS MAIN STREET
TYPE: SL3HS
MANUFACTURER: GARDCO
CAT# ECF-S-32L-530-NW-G2-AR-3-UNV-HIS-FINISH
SSS4-15-4-11-D1-FINISH

ORDERING MATRIX
SAMPLE CATALOG NUMBER: WT690WLV-FW-BX

WTM	60W	L	U	SC2	-	-	-	-
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FAMILY WLM WRM VLM	LAMP SOURCE L - LED	OPTICS SC2 - Wide Distribution BLK - Beam N - NiteM D - Distraction FW - Forward Focus	PAINT COLORS BLANK - Dark Bronze WT - White Textured BLK - Black Textured AL - Silver Aluminum Textured NP - Gray Aluminum Textured GY - Industrial Gray Textured (Consult factory for other colors)
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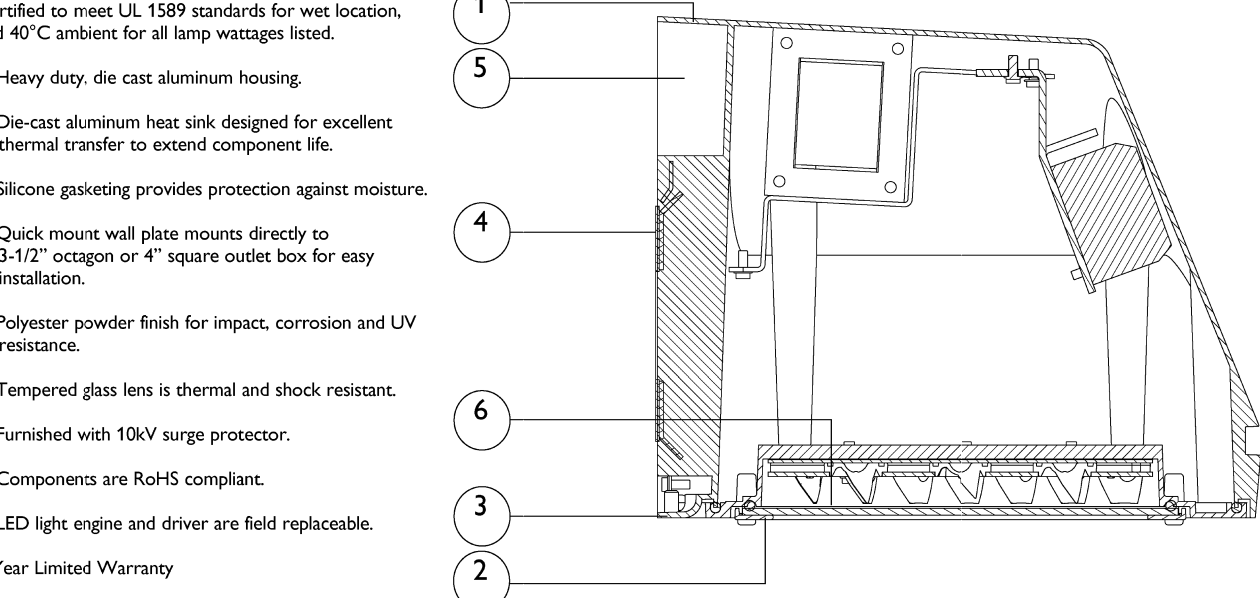
WATTAGE 40W - 40W Neutral White (4000K) 60W - 60W Neutral White (4100K)	VOLTAGE 120-277V 347-480V 120-277 with 50Hz or 60Hz	LENS BLANK - Clear T - Tempered FGS - Fluor Solite Diffusing Tempered Glass Lens	OPTIONS (add as suffix) LP - Lamp with fixture WDF - Wired Double Fuse WSG - Wired Single Fuse PCR - Photo Resistant PE - Photo Control Footcandle *Order Twist Lock Photo Control separately. *Use with 238 and 240 volts. *Use with 122, 237 and 247 volt. General Notes: All options are factory installed. All accessories are field installed. Data subject to change without notice. Predicted Life Uptime: 25°C Ambient - >60,000 hours 45°C Ambient - >60,000 hours (based upon LED manufacturer's supplied L10-80 data and in-lab laboratory testing)
--------------------------------------------------------------------------------------------	---------------------------------------------------------------------------	-----------------------------------------------------------------------------------------------------------	----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------


ACCESSORIES (order separately)
 PC-PT1 - Photo Control 1 Twist Lock Multi-volt
 (Must use PCR option)
 PCR-SC - PCR Shoring Cap
 (For additional descriptions of Wall Light accessories
 refer to sheet number OA-50030)

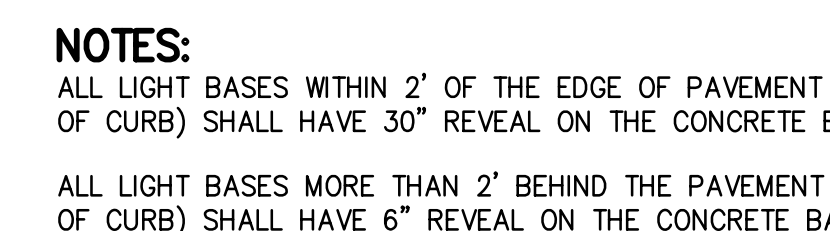


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PROJECT: DUNKIN DONUTS MAIN STREET
TYPE: SL4HS
MANUFACTURER: GARDCO
CAT# ECF-S-32L-53C-NW-G2-AR-4-UNV-HIS-FINISH
SSS4-15-4-11-D1-FINISH



	<p>© 2013 Koninklijke Philips Electronics N.V. All rights reserved. Specifications are subject to change without notice.</p>	<p>Philips Lighting Company 200 Franklin Square Drive Somerset, NJ 08873 Phone: 855-486-2216 www.philips.com/luminaires</p>	<p>Philips Lighting Company 281 Hillmount Road Markham ON, Canada L6C Phone: 800-668-9008 www.philips.com/luminaires</p>
<p>WL-43171 03/13</p>			



NOTES:
ALL LIGHT BASES WITHIN 2' OF THE EDGE OF PAVEMENT
(OF CURB) SHALL HAVE 30" REVEAL ON THE CONCRETE


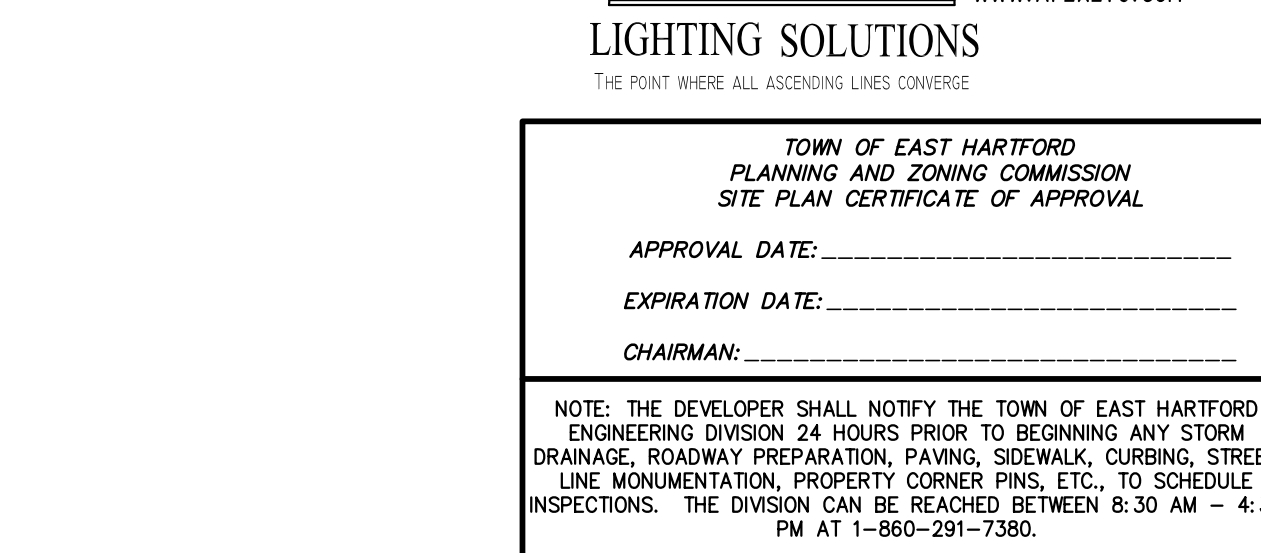
ALL LIGHT BASES MORE THAN 2' BEHIND THE PAVEMENT
OF CURB) SHALL HAVE 6" REVEAL ON THE CONCRETE B

THE HEIGHT OF THE STEEL PILES SHALL BE ADJUSTED TO PROVIDE THE CORRECT MOUNTING HEIGHT BASED ON THE CONCRETE BASE HEIGHT.

LIGHT POLE & BASE
NOT TO SCALE

The Philips Gardco EcoForm Gen-2 combines economy with performance in an LED area luminaire. Capable of delivering up to 26,400 lumens or more in a compact, low profile LED luminaire, EcoForm offers a new level of customer value. EcoForm features an innovative retrofit arm kit, simplifying site conversions to LED by eliminating the need to drill additional holes in most existing poles. Integral control systems available for further energy savings.

PROJECT: DUNKIN DONUTS MAIN STREET
TYPE: SL5D
MANUFACTURER: GARDCO
CAT# ECF-S-32L-530-NW-G2-AR-5-UNV-FINISH
SSS4-15-4-11-D2-FINISH



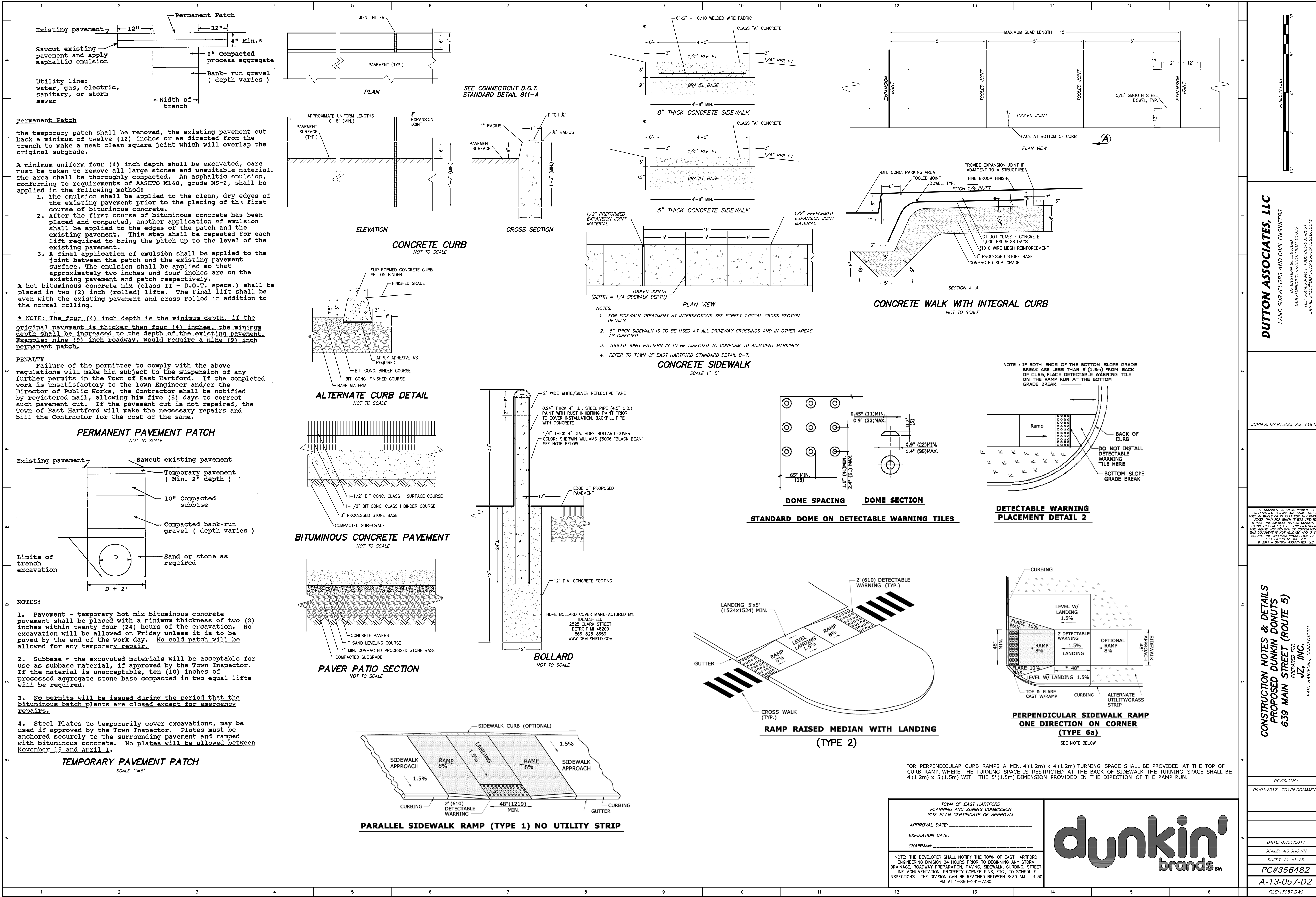
DUTTON ASSOCIATES, LLC
LAND SURVEYORS AND CIVIL ENGINEERS
67 EASTERN BOULEVARD
GLASTONBURY, CONNECTICUT 06033
TEL 860-633-3401 FAX: 860-633-8851
EMAIL: JIM@DUTTONASSOCIATESLLC.COM

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**LIGHTING DETAILS
FOR
PROPOSED DUNKIN' DONUTS
MAIN STREET (ROUTE 5)
PREPARED FOR
JZ, INC.
EAST HARTFORD, CONNECTICUT**

REVISIONS:
 09/01/2017 - TOWN COMMENTS

 DATE: 07/31/2017
 SCALE: 1"=20'
 SHEET 19 of 25
 PC#356482
 A-13-057-LTG4
 SUE 130623.DWG



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CONSTRUCTION NOTES & DETAILS
PROPOSED DUNKIN' DONUTS
639 MAIN STREET (ROUTE 5)
PREPARED FOR:
JZ, INC.
EAST HARTFORD, CONNECTICUT

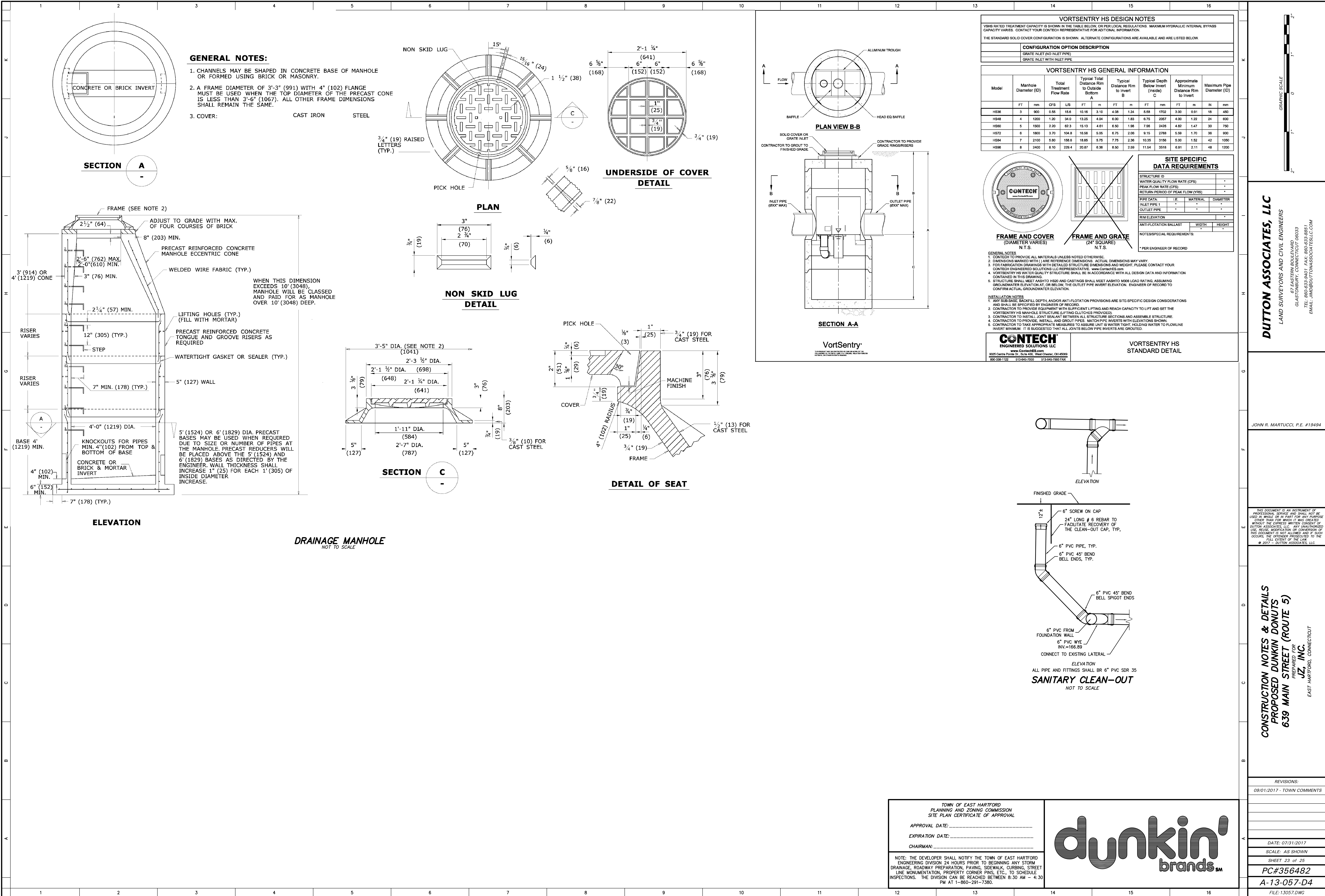
REVISIONS:
09/01/2017 - TOWN COMMENTS

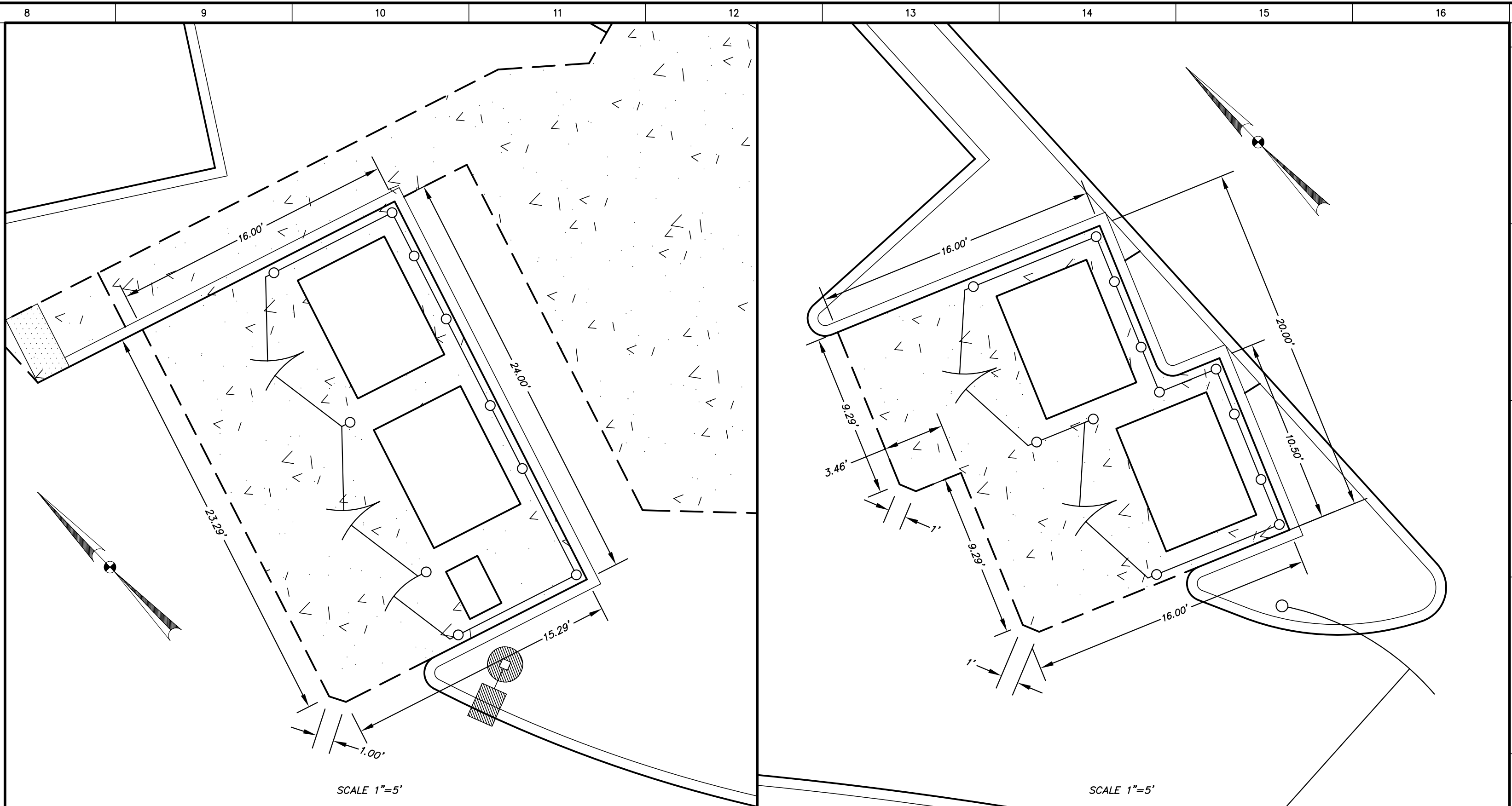
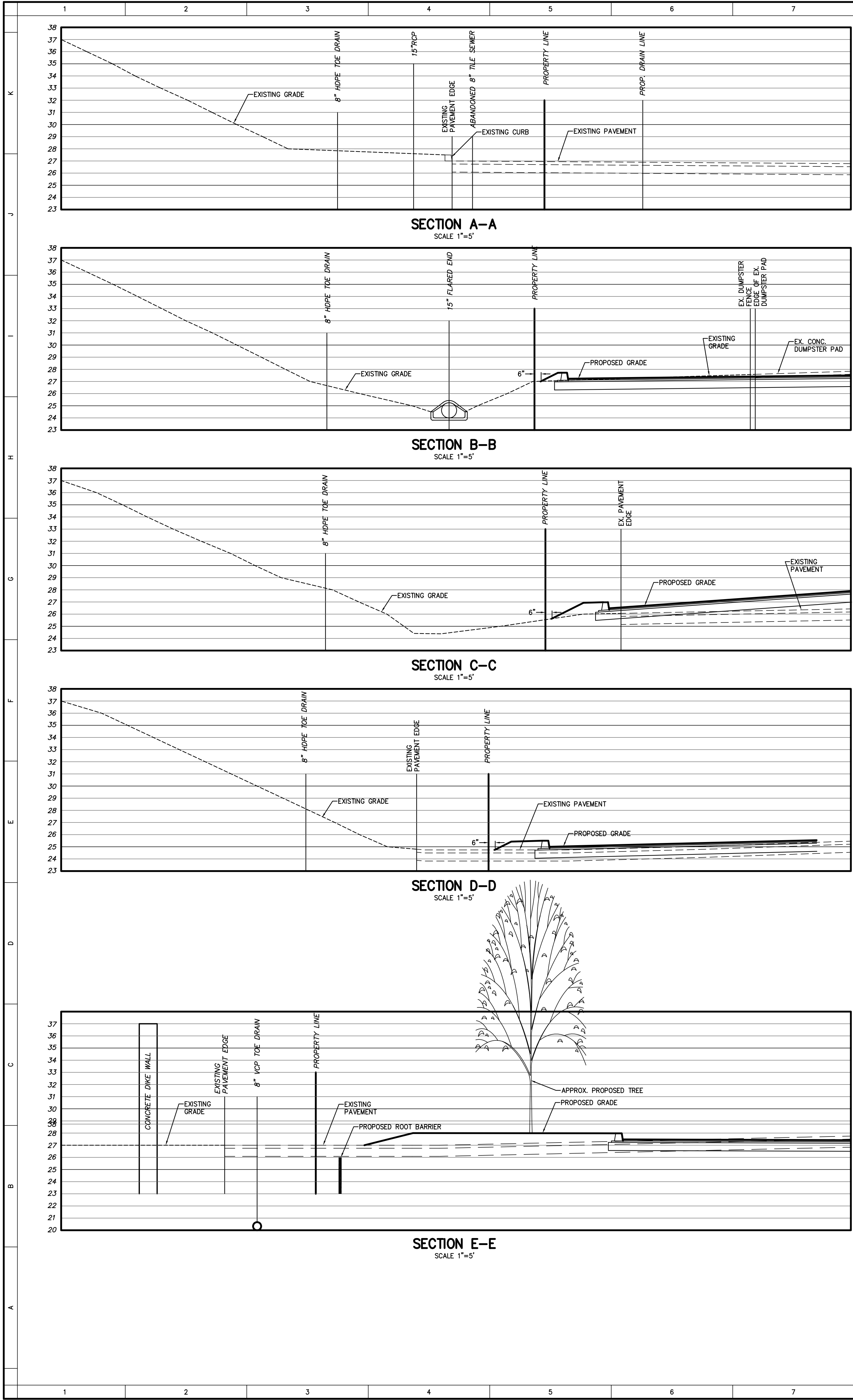
DATE: 07/31/2017
SCALE: AS SHOWN
SHEET 21 of 25
PC#356482
A-13-057-D2
FILE:13057.DWG

TOWN OF EAST HARTFORD
PLANNING AND ZONING COMMISSION
SITE PLAN CERTIFICATE OF APPROVAL

APPROVAL DATE: _____
EXPIRATION DATE: _____
CHAIRMAN: _____

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GRAPHIC SCALE
2" = 1" = 1" = 1"

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PROPOSED DUNKIN' DONUTS
639 MAIN STREET (ROUTE 5)
PREPARED FOR
JZ, INC.
EAST HARTFORD, CONNECTICUT

REVISIONS:
09/01/2017 - TOWN COMMENTS

DATE: 07/31/2017
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SHEET 24 of 25
PC#356482
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