# PROPOSED DUNKIN' DONUTS

SITE PLAN APPLICATION, EROSION AND SEDIMENTATION, SPECIAL USE PERMIT SEC.401.2Q (RESTAURANT/AUTOMOBILE ORIENTATED USE)

AND SEC.228 (DRIVE THROUGH FACILITIES)

MAP 12 LOTS 110 & 111 639 MAIN STREET (ROUTE 5) EAST HARTFORD, CONNECTICUT

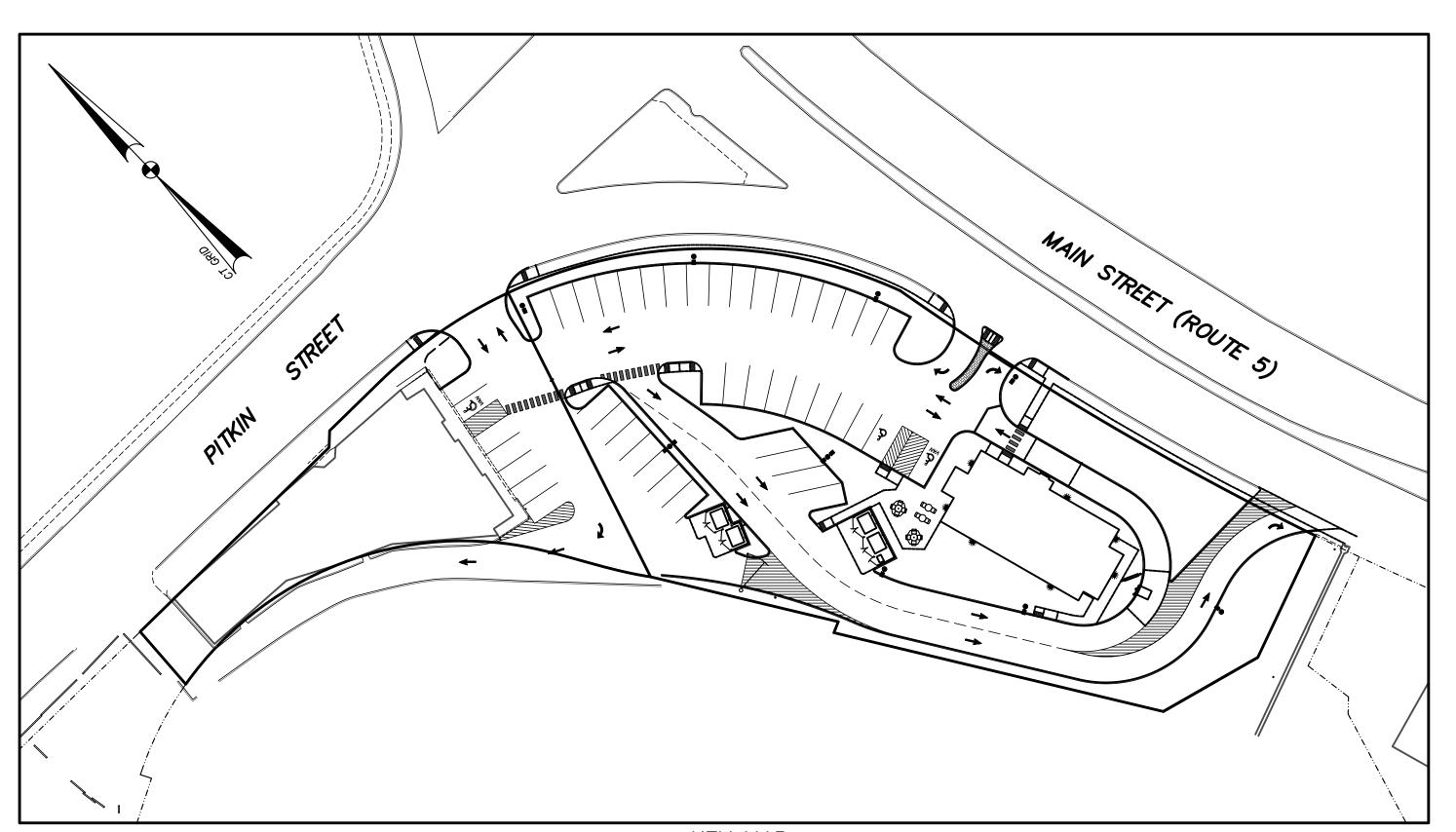
PROPERTY OWNER: ESTATE OF THERESA DIPERSIO

JZ, INC. C/O JIM ZAFIRIS

PREPARED BY

# DUTTON ASSOCIATES, LLC

67 EASTERN BOULEVARD GLASTONBURY, CT



KEY MAP SCALE: 1"=40'

	ZONING TABLE B-2 ZONE										
639	MAIN ST. PROPOSED DU (AFTER LOTS 111	INKIN DONUTS WITH DRIV & 112 COMBINATION)	7 PITKIN ST. EXISTING RETAIL PAWN SHOP								
ITEM	REQUIRED / ALLOWED	EXISTING	PROPOSED / PROVIDED	REQUIRED / ALLOWED	EXISTING	PROPOSED / PROVIDED					
LOT AREA	40,000 S.F.	39,227 S.F.	39,227 S.F	7,500 S.F	12,595 S.F	12,595 S.F					
LOT FRONTAGE	75 FT.	379.26 FT.	379.26 FT.	50 FT.	222.08 FT.	222.08 FT.					
FRONT YARD	20 FT.*	52.01 FT.	32.60 FT.	15 FT. (MIN)*	0.32 FT.± OVER FRONT P.L.	0.32 FT.± OVER FRONT P.L.					
SIDE YARD	5 FT. / 10 FT.	26.21 FT./115.83 FT.	55.32 FT./126.17 FT.	5 FT. / 10 FT.	20.27 FT.±/36.44 FT.	20.27 FT.±/36.44 FT.					
REAR YARD	25 FT.	16.62 FT.	37.72 FT.	25 FT.	0.11 FT± TO REAR P.L.	0.11 FT± TO REAR P.L.					
BUILDING COVERAGE	75% (29,420 S.F.)	7.25% (2,845 S.F.)	6.78% (2,659 S.F.)	75% (9,446 S.F.)	46.59% (5,868 S.F.)	49.64% (5,868 S.F.)					
BUILDING HEIGHT	100 FT.	18 FT.±	22 FT.	100 FT.	30 FT.±						
IMPERVIOUS AREA	85% (33,343 S.F.)	35,115 S.F. (89.52%)	28,638 S.F. (73.01%)	85% (10,706 S.F.)	12.136 S.F. (96.36%)	12,118.15 S.F. (96.21%)					
OPEN SPACE	15% (5,884 S.F.)	11.35% (4,454 S.F.)	10,589 S.F. (26.99%)	15% (1,889 S.F.)	459 S.F. (3.64%)	476.85 S.F. (3.79%)					
PARKING	N/A	N/A	30*** PLUS 16 STACKING	N/A	15 SPACES^	15 PLUS 26 ADDITIONAL^^					

\* REFER TO SECTION 212 OF THE EAST HARTFORD ZONING REGULATIONS. \*\* NON CONFORMING TO CURRENT REGULATIONS, CONDITION PRE-DATES THE REQUIREMENTS. \*\*\* OF THE 38 SPACES ON THE DUNKIN SITE, 7 SPACES ARE RESERVED FOR PAWN SHOP PARKING ONLY. ^ OF THE 14 SPACES, 10 ARE WITHIN AN EASEMENT ON THE DUNKIN SITE

^^ 27 ADDITIONAL SPACES ON THE DUNKIN DONUTS SITE PER AGREEMENT

# PARKING SUMMARY:

THE APPROVED SITE PLAN FOR 7 PITKIN STREET (PAWN SHOP) CONTAINED A TOTAL OF 15 PARKING SPACES. THE PROPOSED DUNKIN DONUTS REQUIRES A TOTAL OF 27 SPACES (BASED ON 1 SPACE / 100 S.F. OF BUILDING AREA). THE TOTAL PARKING REQUIRED IS 42 SPACES (27 + 15 = 42). THE TOTAL NUMBER OF SPACES PROVIDED (7 PITKIN ST. & 639 MAIN ST. COMBINED) IS 45.

AND LOTLINE ADJUSTMENT PLAN 6 OF 25 A-13-057-T TOPOGRAPHIC SURVEY 7 OF 25 A-13-057-DE DEMOLITION PLAN 8 OF 25 A-13-057-S SITE LAYOUT & MATERIALS PLAN A-13-057-TR 9 OF 25 TRUCK ACCESS 10 OF 25 A-13-057-U UTILITY PLAN 11 OF 25 A-13-057-G GRADING PLAN EROSION & SEDIMENTATION CONTROL PLAN 12 OF 25 A-13-057-E-S 13 OF 25 A-13-057-LS LANDSCAPE PLAN & DETAILS A-13-057-T/S1-T/S2 TRAFFIC & SIGNAGE PLANS 14-15 OF 25 16 OF 25 A-13-057-LTG1 LIGHTING PLAN A-13-057-LTG2 THRU LGT4 LIGHTING DETAILS 17-19 OF 25 A-13-057-D1 THRU D5 CONSTRUCTION NOTES & DETAILS 20-25 OF 25 TOWN OF EAST HARTFORD

WATER GATE, HYDRANT

STORM DRAIN LINE

DRAINAGE MANHOLE

CULVERT END SEDIMENT BARRIER

CONSTRUCTION ENTRANCE

DESCRIPTION

INDEX PLAN

200' RADIUS MAP

1/2 MILE RADIUS MAP

PLAN INDEX

BOUNDARY SURVEY/EASEMENT PLAN

\_\_\_\_ D \_\_\_\_ D \_\_\_\_ D \_\_\_\_ D \_\_\_

A-13-057-I

A-13-057-R1

A-13-057-R2

A-13-057-B1 & B2

PLANNING AND ZONING COMMISSION SITE PLAN CERTIFICATE OF APPROVAL EXPIRATION DATE NOTE: THE DEVELOPER SHALL NOTIFY THE TOWN OF EAST HARTFORD ENGINEERING DIVISION 24 HOURS PRIOR TO BEGINNING ANY STORM

RAINAGE, ROADWAY PREPARATION, PAVING, SIDEWALK, CURBING, STREET

LINE MONUMENTATION, PROPERTY CORNER PINS, ETC., TO SCHEDULE ISPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:30 AM - 4:3

JOHN R. MARTUCCI, P.E. #1945

JAMES W. DUTTON, L.S. #70074

1 OF 25 2 OF 25

3 OF 25

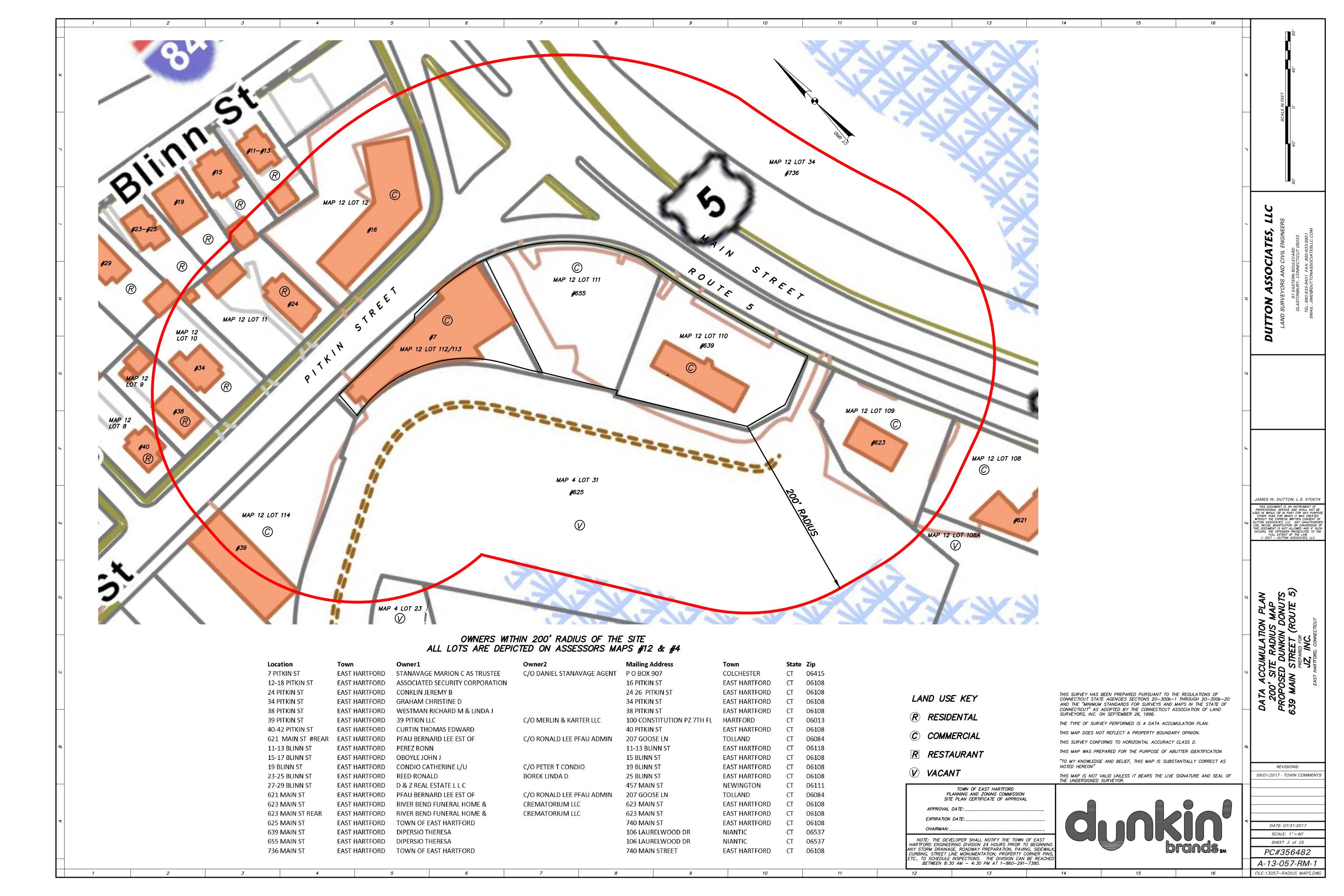
4 & 5 OF 25

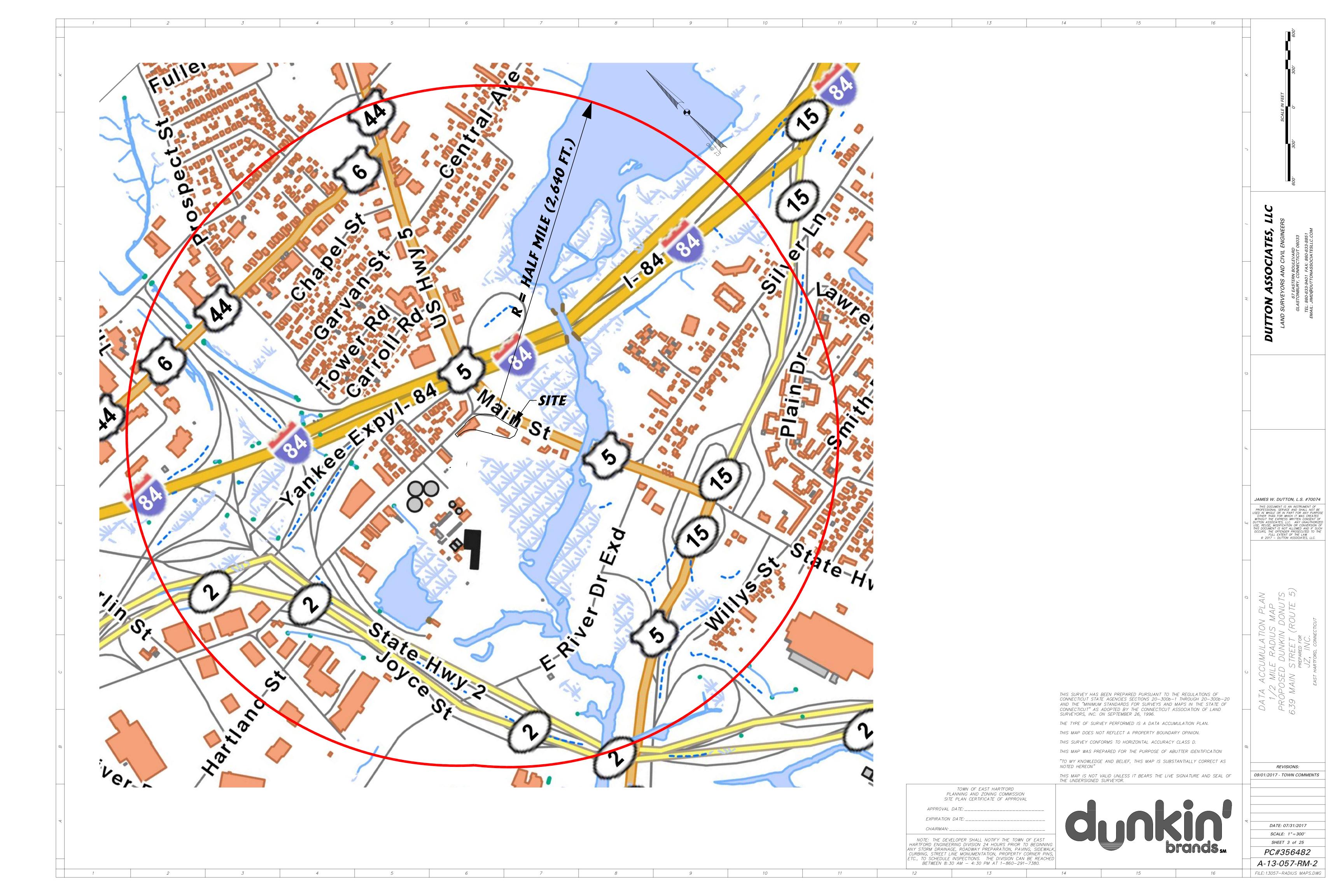
09/01/2017 - TOWN COMMENTS

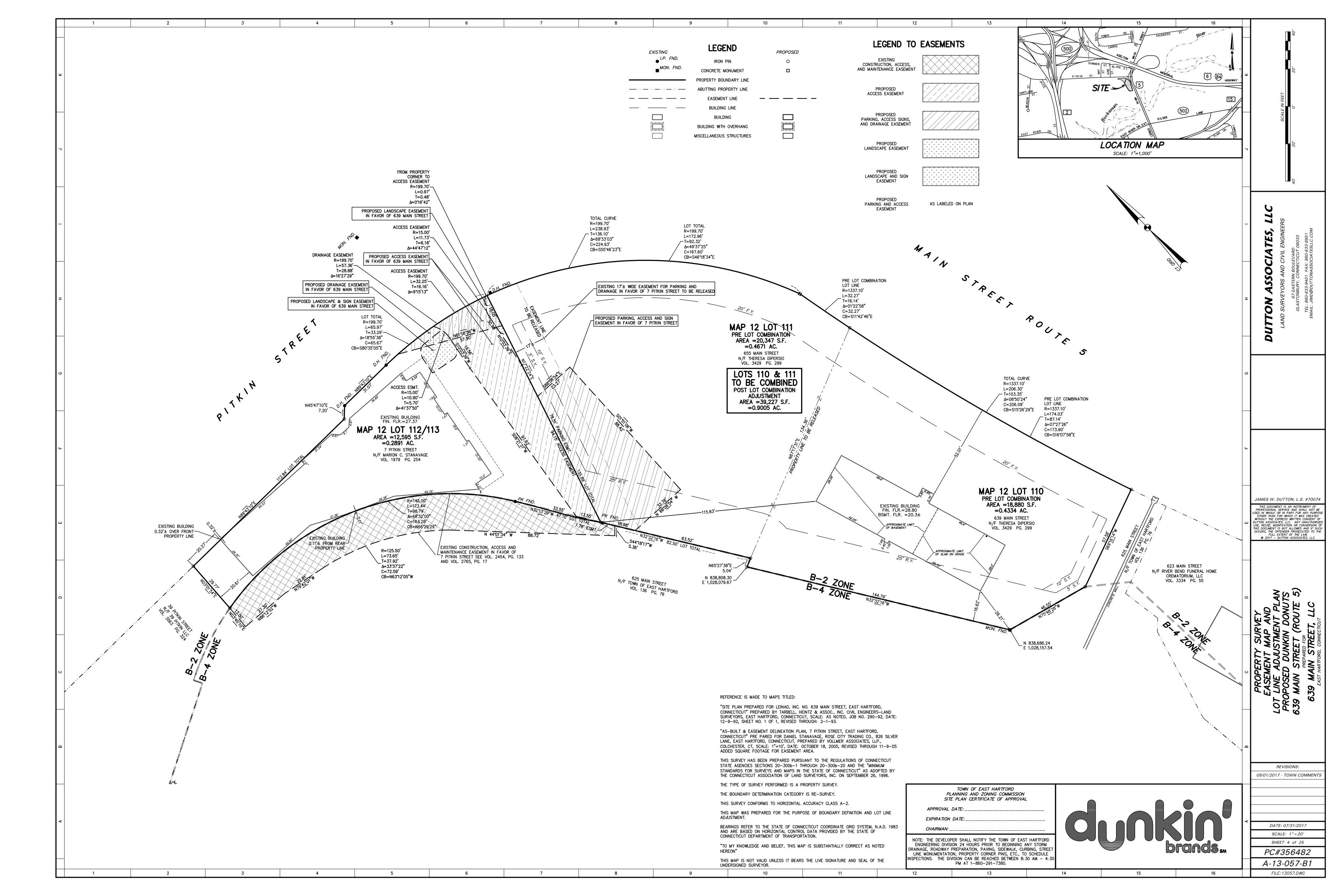
DATE: 07/31/2017 SCALE: AS SHOWN SHEET 1 of 25 PC#356482

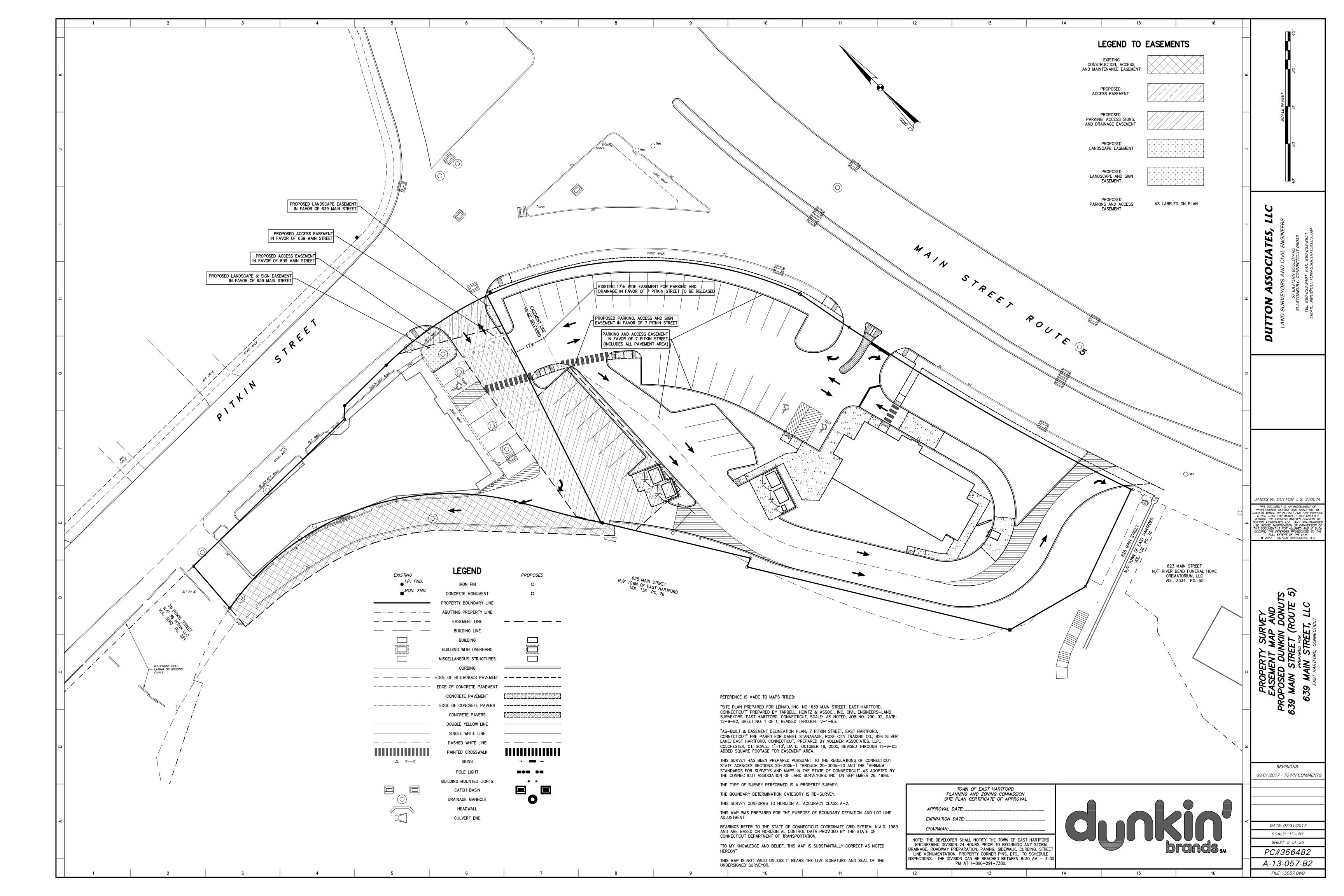
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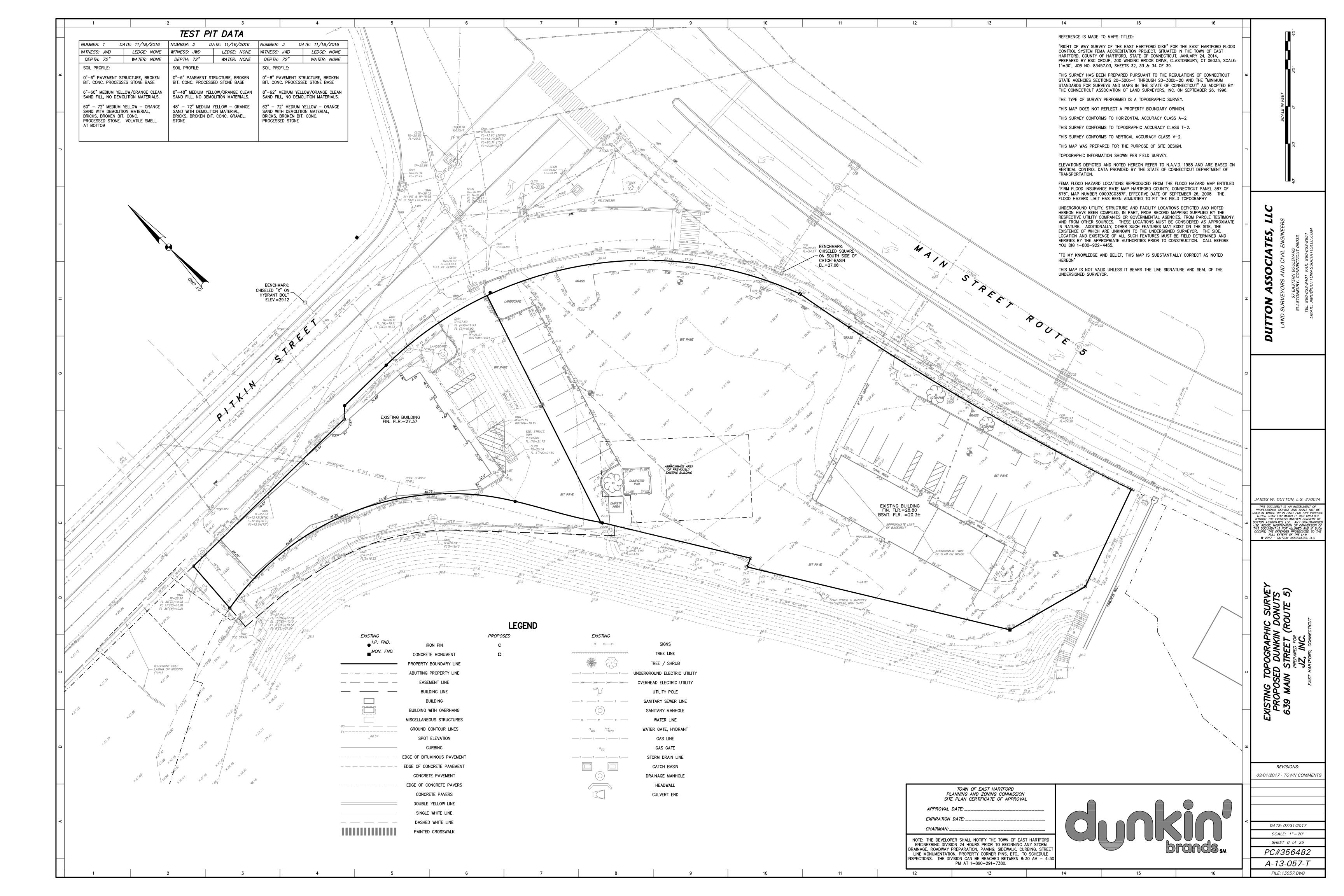
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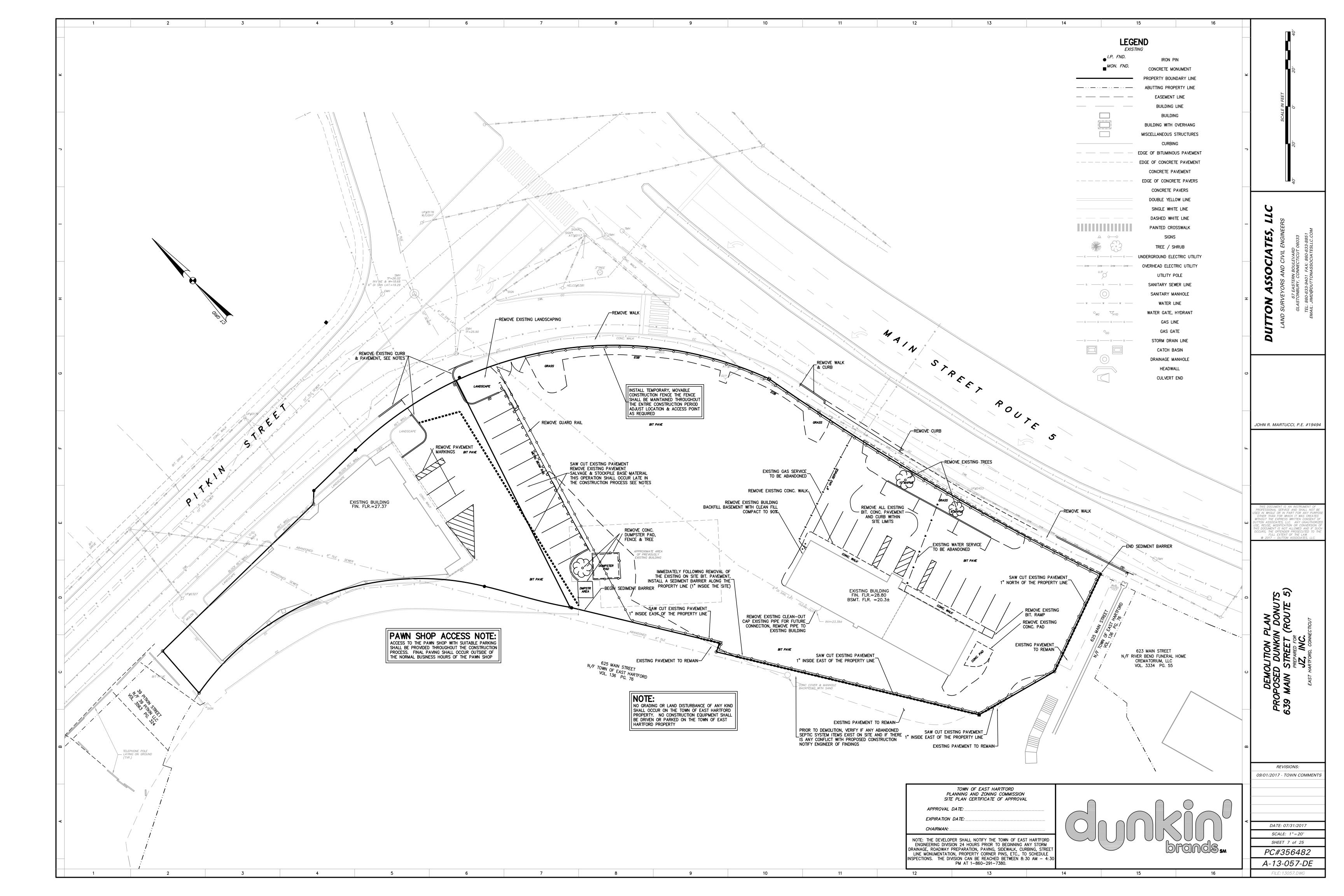


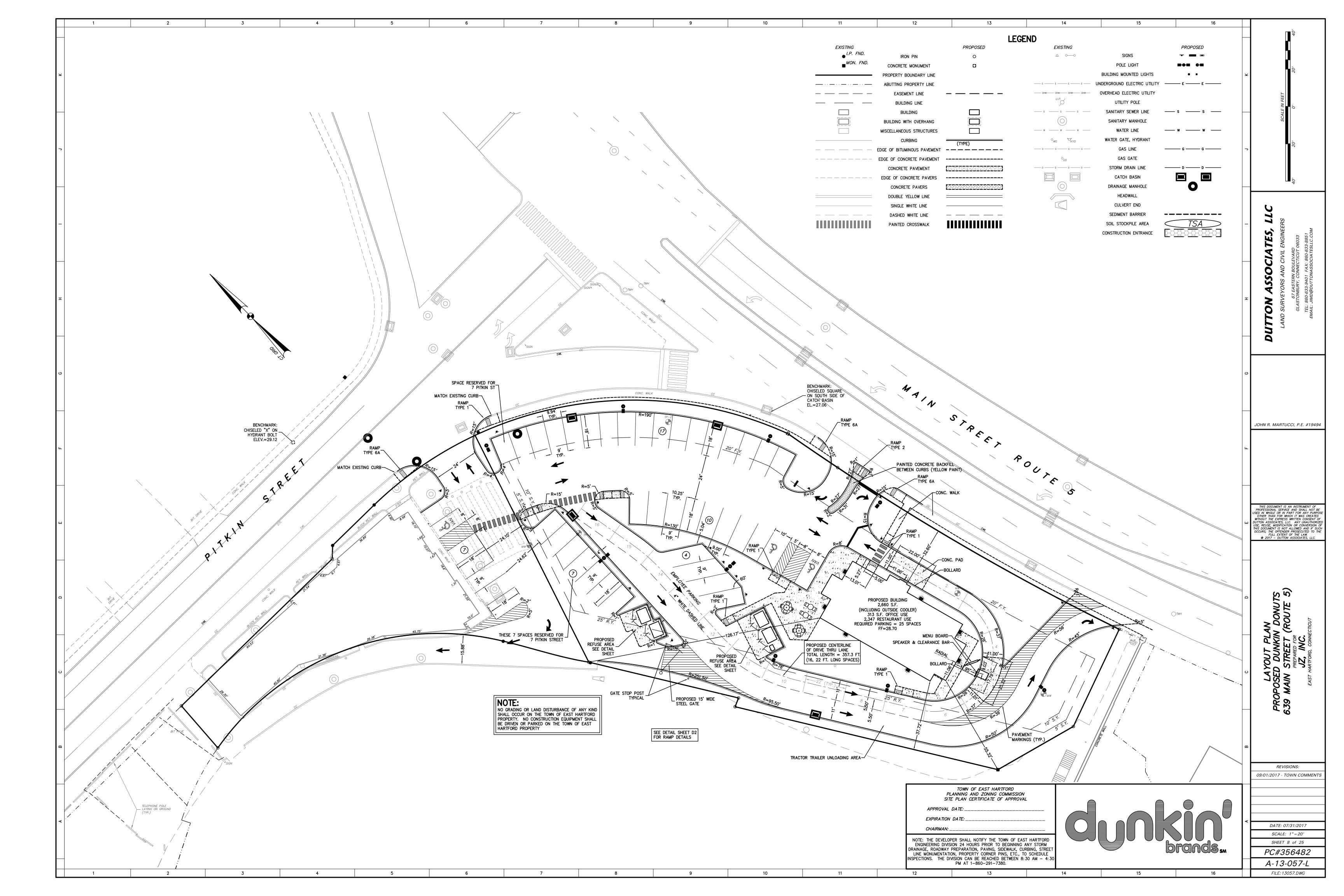


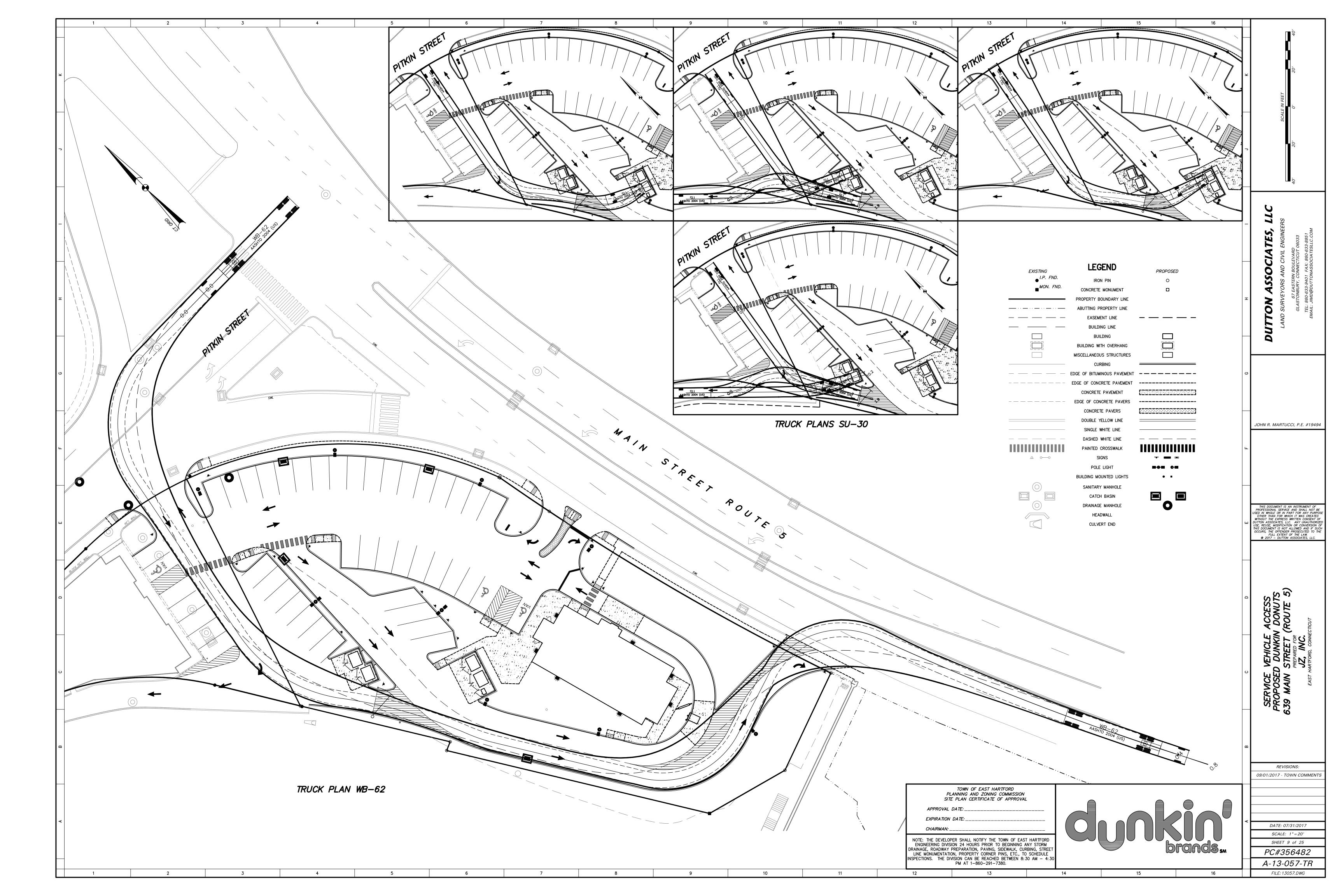


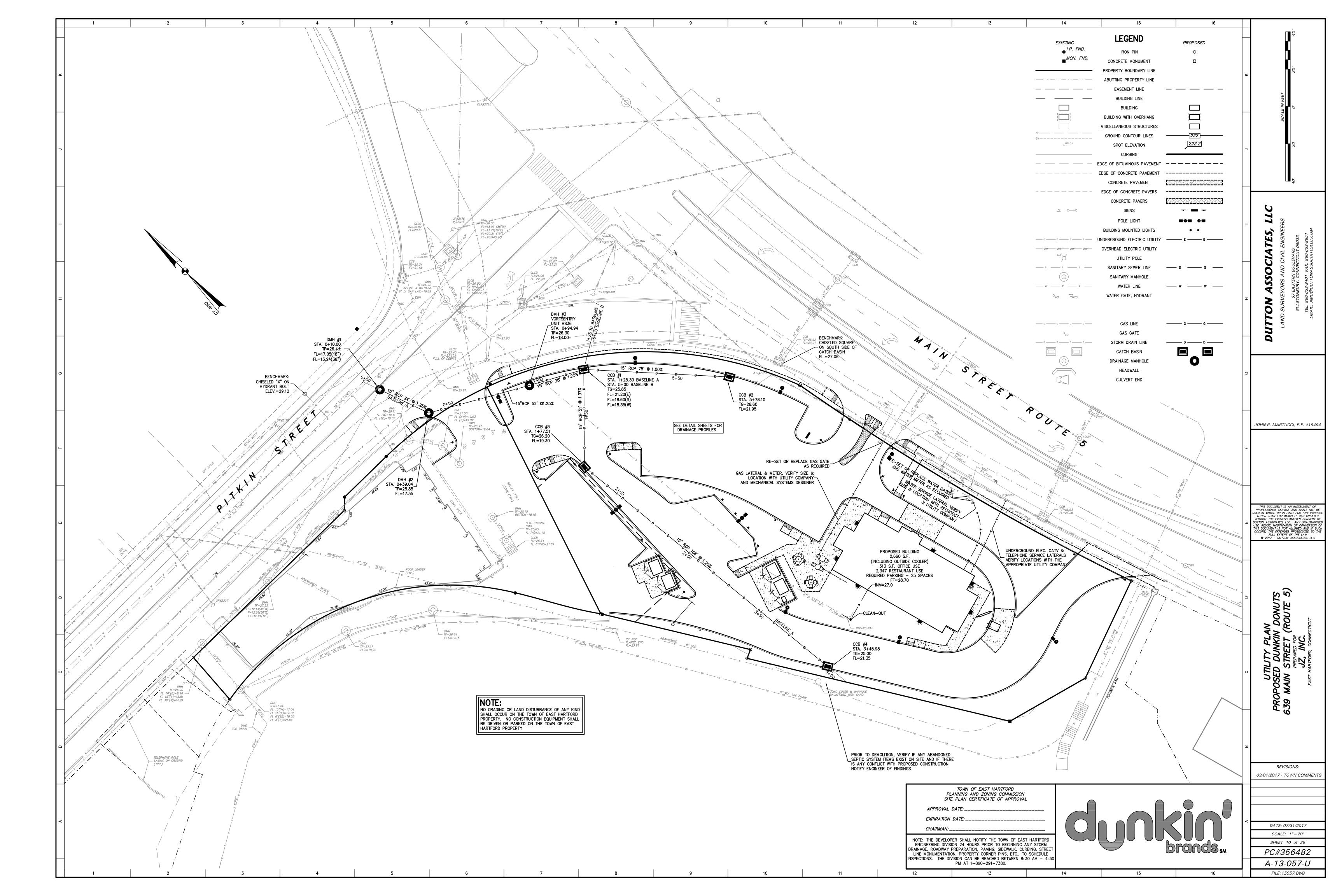


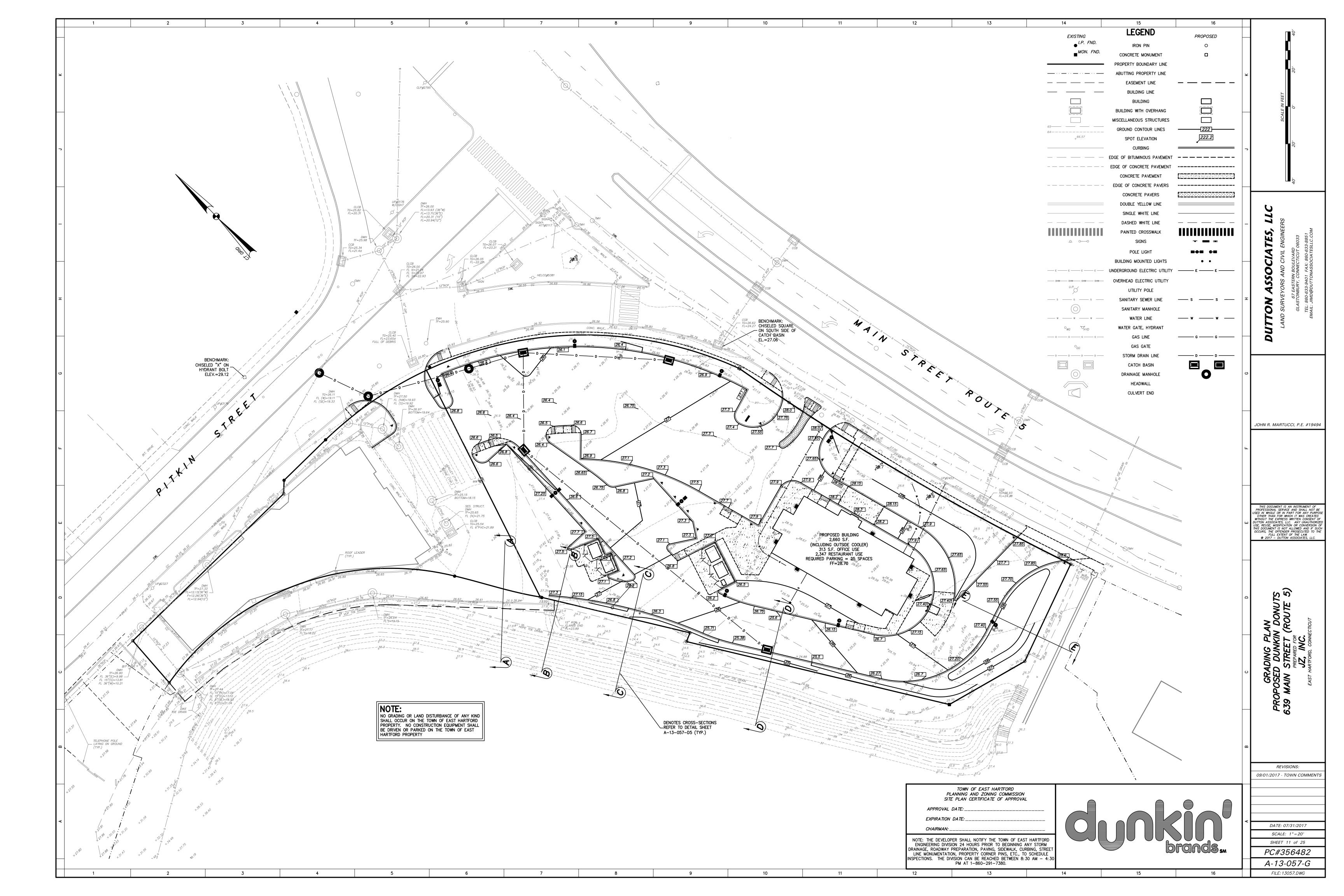


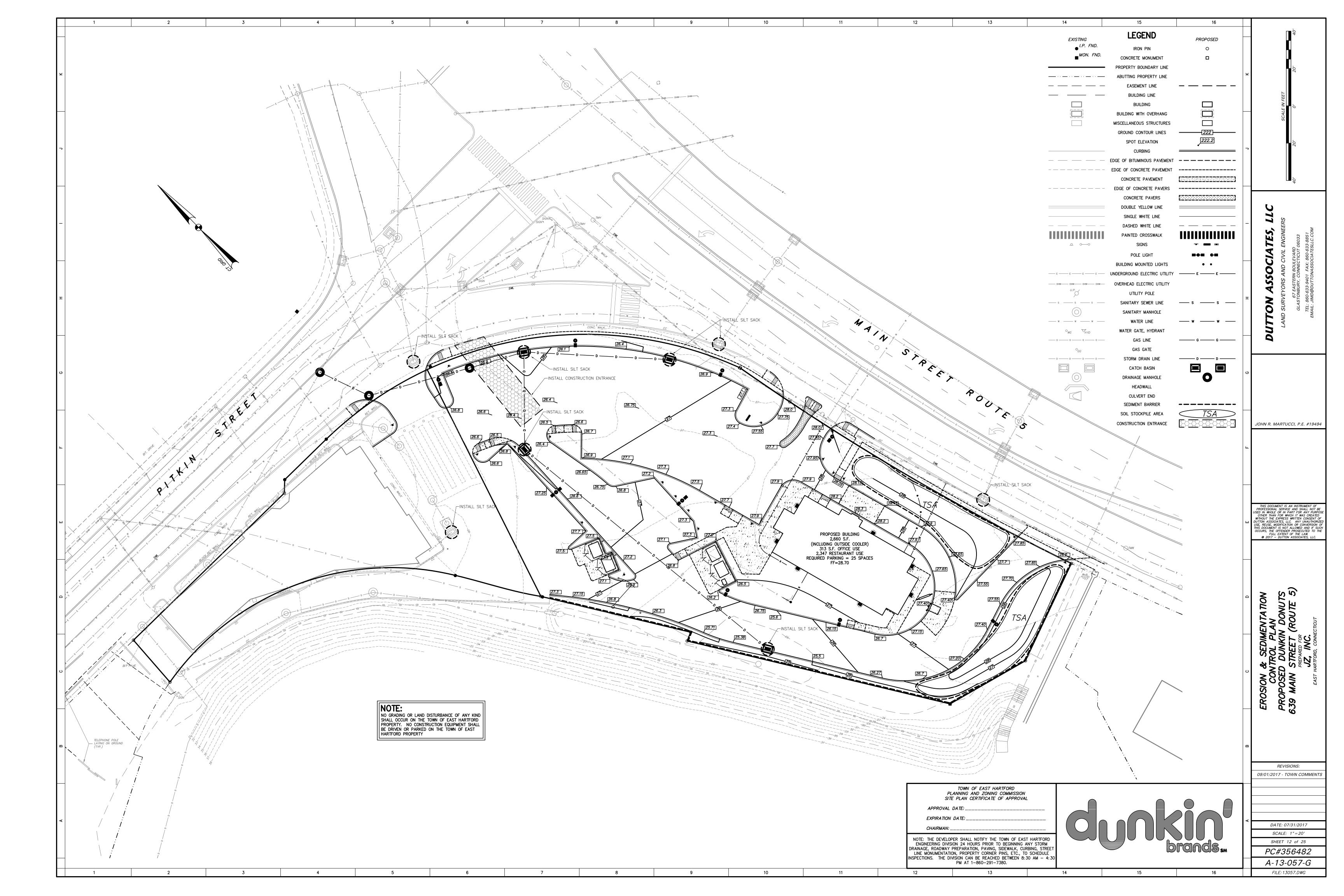


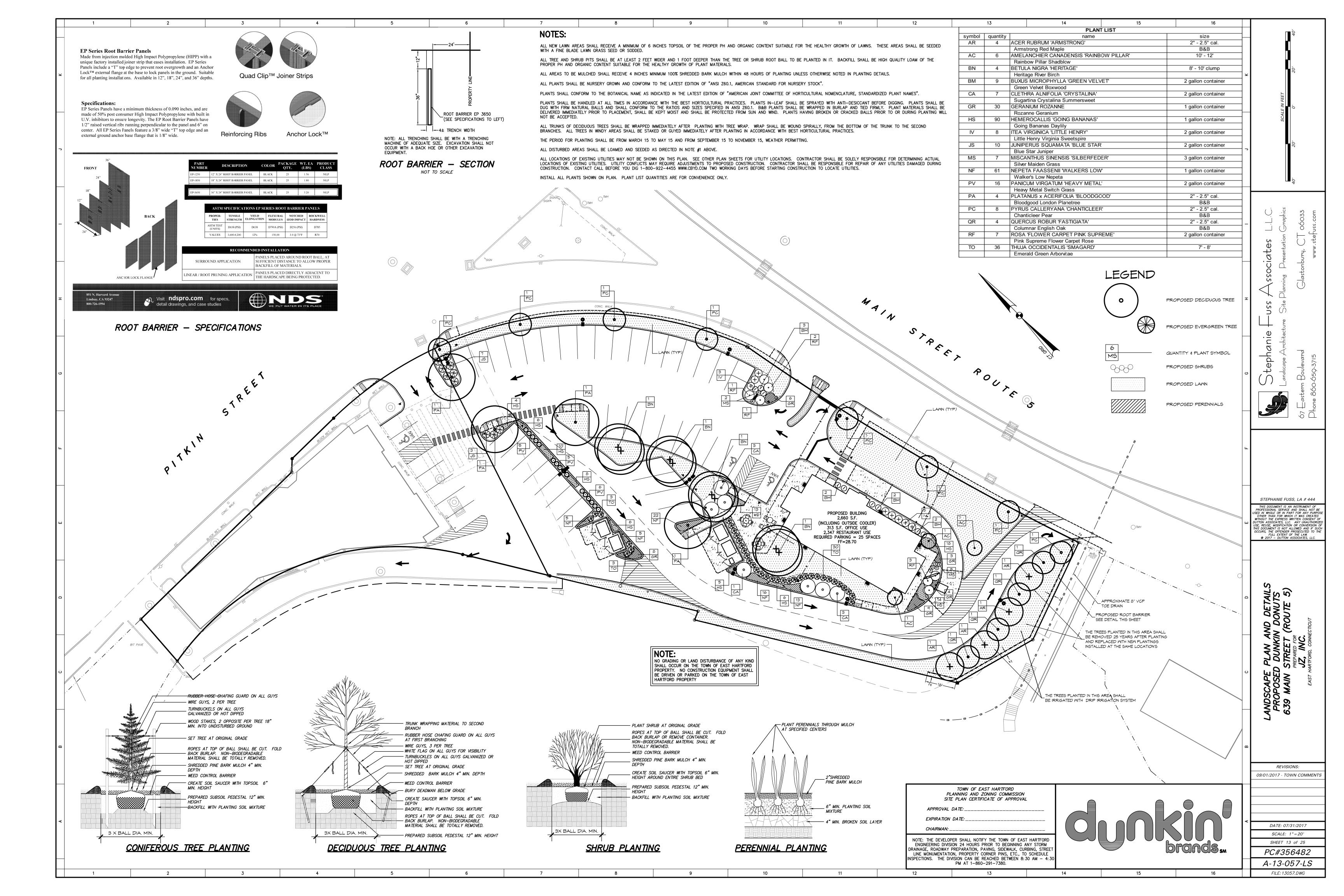


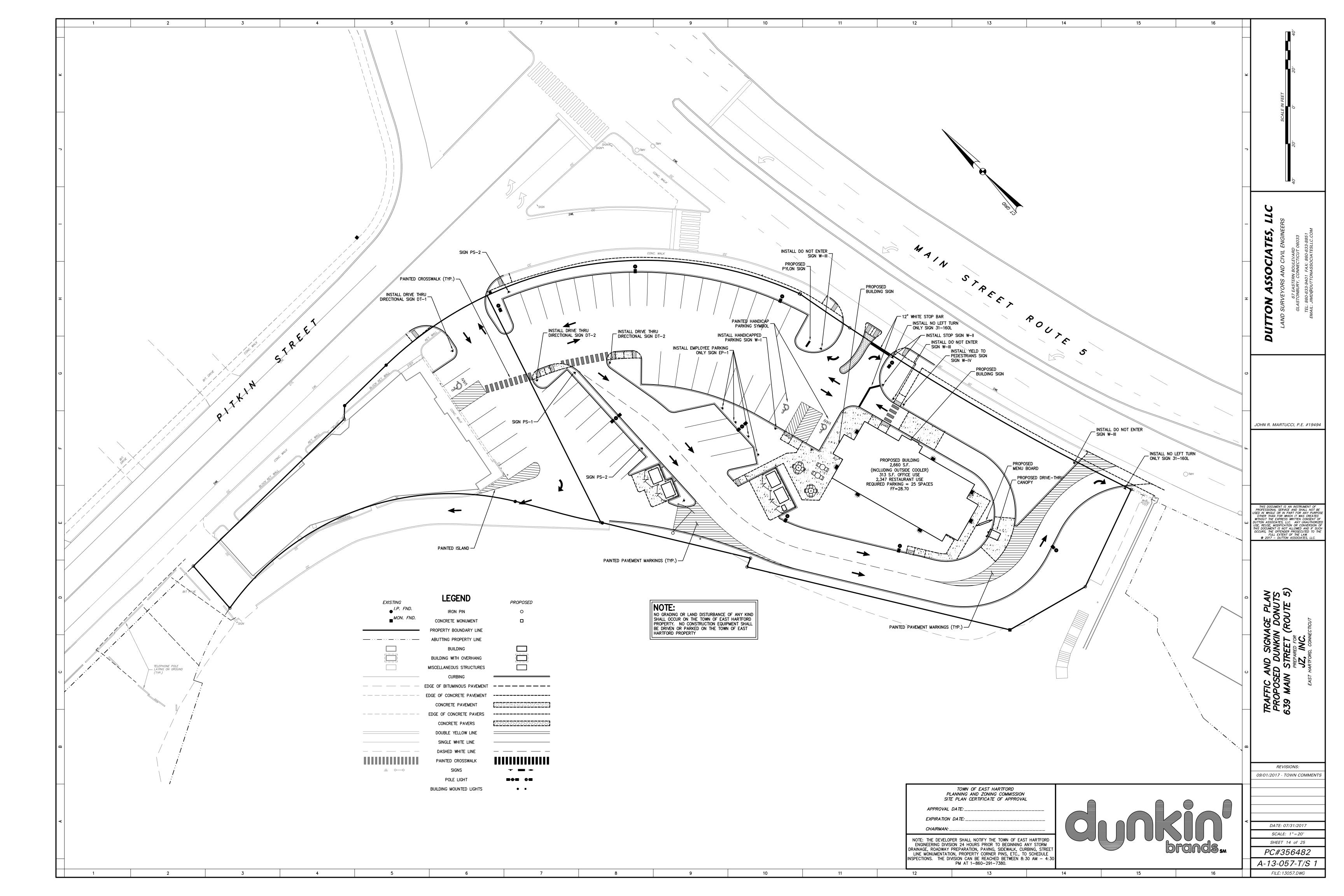


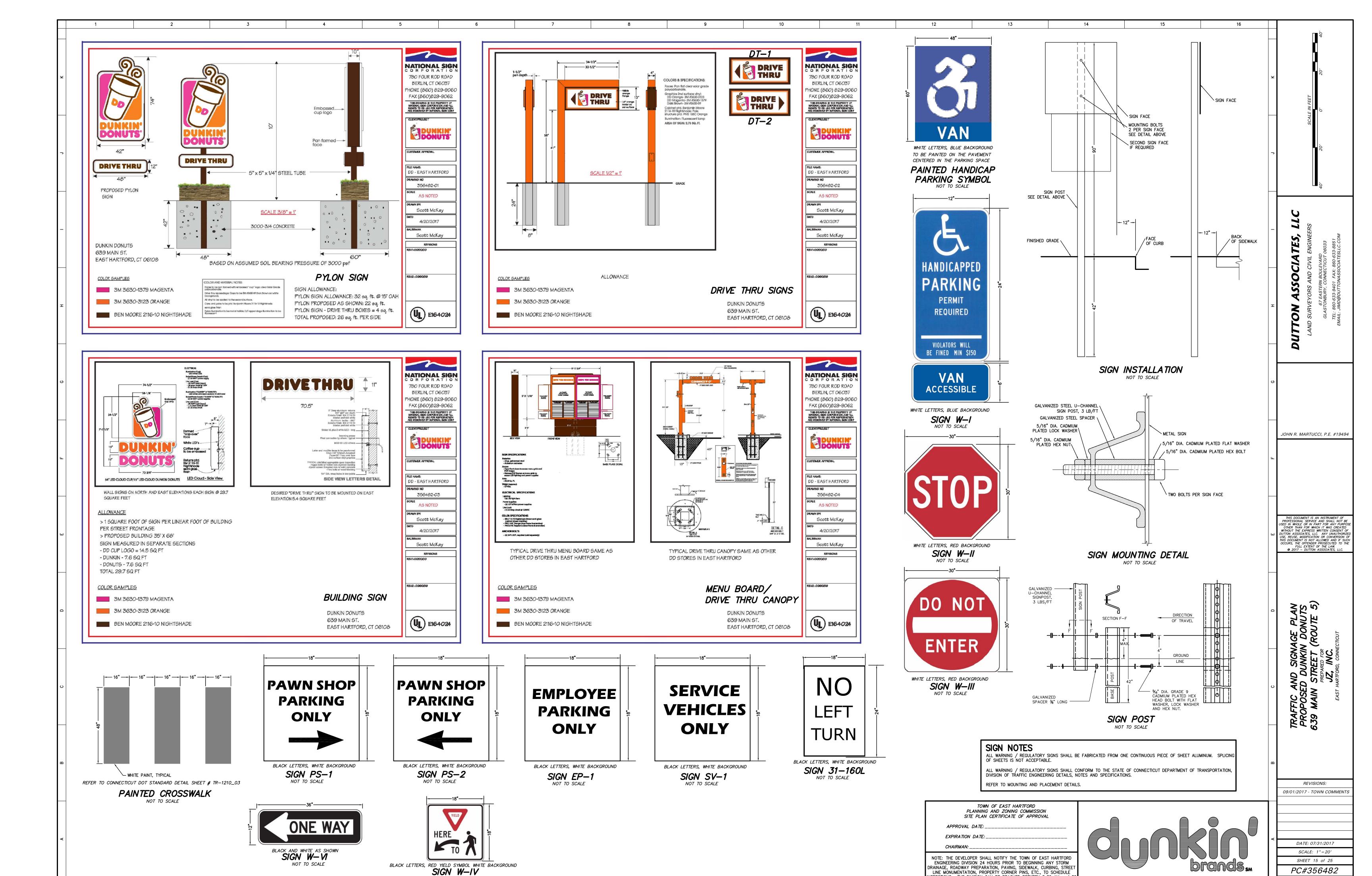








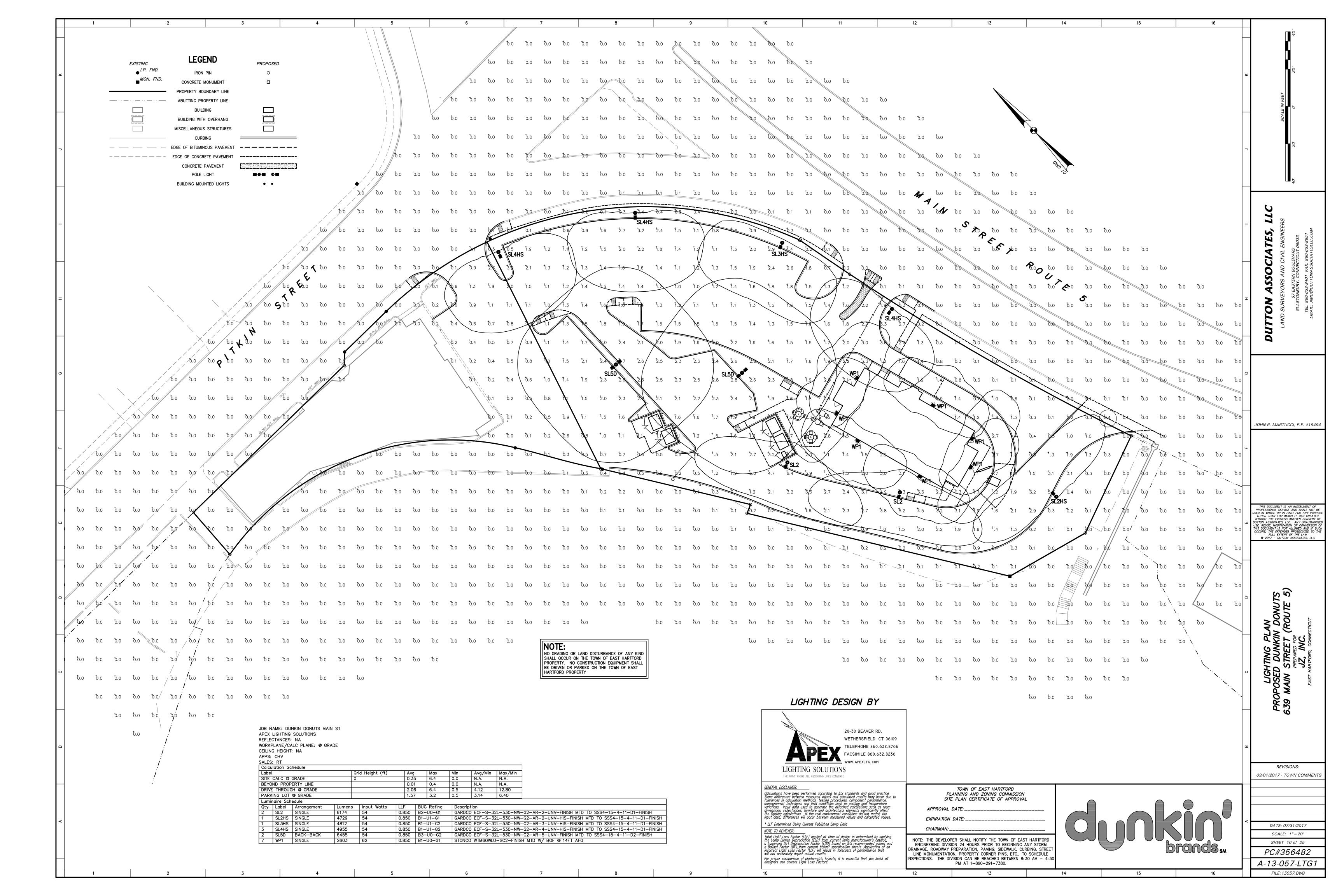




A-13-057-T/S 2

FILE: 13057.DWG

INSPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:30 AM - 4:30 PM AT 1-860-291-7380.



ECF-S small

The Philips Gardco EcoForm Gen-2 combines economy with performance in an LED area luminaire. Capable of delivering up to 26,400 lumens or more in a compact, low profile LED luminaire, EcoForm offers a new level of customer value. EcoForm features an innovative retrofit arm kit, simplifying site conversions to LED by eliminating the need to drill additional holes in most existing poles. Integral control systems available for further energy savings.

Prefix of LEDs Current Generation Mounting STATE	Distribution 2	Voltage UNV	Controls	Electrical	Luminaire	Finish FINISH
SCF-S coForm and I	2 Type 2 2 2-90 Rotated left 90° 2-270 Rotated right 270° 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0	120 120V 208 208V 240 240V 277 277V 480 480V UNV 120-277V (50/60Hz)	DD 0-10V Dimming Driver <sup>5</sup> DCC Dual Circuit Control <sup>6</sup> Photoelectric/Receptacle systems (Twist Lock Receptacle)  PCB Photocontrol Button <sup>23</sup> TLRD5 Twist Lock Receptacle 5 Pin TLRD7 Twist Lock Receptacle 7 Pin TLRD7 Twist Lock Receptacle 7 Pin TLRD7 Twist Lock Receptacle 7 Pin TLRD7 Twist Lock Receptacle 9/Photocell <sup>2</sup> DynaDimmer: Automatic Profile Dimming CSSO Safety 50% Dimming, 7 hours¹ CMSO Median 50% Dimming, 8 hours¹ CESO Economy 50% Dimming, 9 hours¹ DA5O All Night 50% Dimming¹ Infrared Motion Response Systems IMRI3 Integral with #3 lens <sup>8</sup> IMRI7 Integral with #7 lens <sup>8</sup> IMRI7 Integral with #7 lens <sup>8</sup> Pole Mounted Infrared Motion Response systems with DynaDimmer CSSO-IMRO with Safety 50% Dimming¹¹5 CMSO-IMRO with Median 50% Dimming¹¹5 CESO-IMRO with Median 50% Dimming¹¹5 CESO-IMRO with Median 50% Dimming¹¹5 CESO-IMRO with All Night 50% Dimming¹¹5 SW-IMRO Pole mounted motion response option Wireless system LLC2 Integral module with #2 lens¹¹6 LLC3 Integral module with #4 lens¹¹6	TB Terminal Block? Fusing F1 Single (120 277, 347VAC)² F2 Double (208, 240, 480VAC)² Pole Mount Fusing F91 Single (120 277, 347VAC)² F92 Double (208, 240, 480VAC)² F93 Canadian Double Pull (208, 240, 480VAC)² Surge Protection S91 Stardard 10kA S92 Increased 20kA	RPA Round Pole Adapter (fits to 3"- 39" OD. pole) '0 HIS Internal House Side Shield 4	Textured  BK Black WH White BZ Bronze DGY Dark Gray MGY Medium Gray  Customer specifier RAL Specify optional color or RAL (ex: RAL7024 CC Custom colo (Must supply color chip for required factory quote)

Dimming leads are supplied through back of luminai Must be ordered separately (See accessories page) square poles.

10. Not available with SF and WS. RPAs provided with bla PROJECT: DUNKIN DONUTS MAIN STREET TYPE: SL2 ECF-S\_Gen2 06/17 page 1 of 9 MANUFACTURER: GARDCO CAT# ECF-S-32L-530-NW-G2-AR-2-UNV-FINISH

SSS4-15-4-11-D1-FINISH

# **ECF-S** EcoForm small

Site & Area

Controls Accessories	Shielding Accessories 10	Luminaire Accessories
Pole Mount Motion Sensor MS-A-120V 1 120V Input	House Side shield Standard orientation:	ECF-BD-G2 Bird deterrent PTF2-(F) Pole top fitter fits 2 3/8-2 1/2" OD x 4" depth
MS-A-277V	HIS-32-H <sup>™</sup> Internal House Side Shield for 32 LEDs (2 modules) HIS-48-H <sup>™</sup> Internal House Side Shield for 48 LEDs (3 modules) HIS-64-H <sup>™</sup> Internal House Side Shield for 64 LEDs (4 modules)	tenon with 1, 2, 3 or 4 luminaires at 90°  PTF3-(F) Pole top fitter fits 3-3 1/2" OD x 6" depth tenor with 1, 2, 3 or 4 luminaires at 90°  PTF4-(F) Pole top fitter fits 3 1/2-4" OD x 6" depth tenor
LLCR2-(F)  #2 lens LLCR3-(F)  #3 lens LLCR4-(F)  #4 lens	At 90 or 270 orientation: <b>HIS-32-V</b> $^{\circ}$ Internal House Side Shield for 32 LEDs (2 modules) <b>HIS-48-V</b> $^{\circ}$ Internal House Side Shield for 48 LEDs (3 modules)	with 1, 2, 3 or 4 luminaires at 90°  ECF-SF-G2-(F) Slip Fitter Mount (fits to 23/8" O.D. teno  ECF-RAM-G2-(F) Retrofit Arm mount kit
Central Remote Motion Response (used connected to SiteWise main panel)	HIS-64-V <sup>12</sup> Internal House Side Shield for 64 LEDs (4 modules)	<b>ECF-WS-G2-(F)</b> Wall mount with surface conduit rear entry permitted
MS2-A-FVR-3 MS2-A-FVR-7		(F) = Specify finish
11. <b>DD</b> option required 12. Not available with Type <b>5</b> or <b>5W</b> optics		

Ambient Temperatur	Drive	iver mA Calculated L <sub>70</sub> Hours			L <sub>70</sub> I	oer TM-2	1	Lum	en Maint	enance %	at 60,00		
25°C	up to	1200 m	A >100	>100,000 hours		>60	>60,000 hours >		>889	-88%			
LED Wattage and	Lumer	ı Value	s										
		LED		Average		Type 2			Type 3			Type 4	
Ordering Code	Total LEDs	Current (mA)	Color Temp. <sup>3</sup>	System Watts <sup>1</sup>	Lumen Output <sup>1,2</sup>	BUG Rating	Efficacy (LPW)	Lumen Output <sup>1,2</sup>	BUG Rating	Efficacy (LPW)	Lumen Output <sup>1,2</sup>	BUG Rating	Efficacy (LPW)
ECF-S-32L-530-NW-G2-x	32	530	4000	56	6,864	B2-U0-G2	123	6,715	B1-U0-G2	121	7,025	B1-U0-G2	126
ECF-S-32L-700-NW-G2-x	32	700	4000	73	8,853	B2-U0-G2	121	8,661	B2-U0-G2	119	9,062	B1-U0-G2	124
ECF-S-32L-1A-NW-G2-x	32	1050	4000	106	12,464	B3-U0-G2	118	12,194	B2-U0-G2	115	12,757	B2-U0-G3	121
ECF-S-32L-1.2A-NW-G2-x	32	1200	4000	122	13,826	B3-U0-G3	114	13,526	B2-U0-G3	111	14,151	B2-U0-G3	116
ECF-S-48L-900-NW-G2-x	48	900	4000	135	16,409	B3-U0-G3	121	16,053	B2-U0-G3	119	16,795	B2-U0-G3	124
ECF-S-48L-1A-NW-G2-x	48	1050	4000	159	18,581	B3-U0-G3	117	18,178	B3-U0-G3	115	19,018	B2-U0-G4	120
ECF-S-48L-1.2A-NW-G2-x	48	1200	4000	183	20,627	B3-U0-G3	113	20,180	B3-U0-G4	110	21,112	B3-U0-G4	116
ECF-S-64L-900-NW-G2-x	64	900	4000	178	21,717	B3-U0-G3	122	21,246	B3-U0-G4	119	22,228	B3-U0-G4	125
ECF-S-64L-1A-NW-G2-x	64	1050	4000	206	24,467	B3-U0-G3	119	23,936	B3-U0-G4	116	25,043	B3-U0-G4	122
		LED		Average		Type 5			Type 5W			Type AFR	
Ordering Code	Total LEDs	Current (mA)	Color Temp. <sup>3</sup>	System Watts <sup>1</sup>	Lumen Output <sup>1,2</sup>	BUG Rating	Efficacy (LPW)	Lumen Output <sup>1,2</sup>	BUG Rating	Efficacy (LPW)	Lumen Output <sup>1,2</sup>	BUG Rating	Efficacy (LPW)
ECF-S-32L-530-NW-G2-x	32	530	4000	56	7.414	B3-U0-G2	133	7,175	B3-U0-G2	129	7,111	B2-U0-G1	128
ECF-S-32L-700-NW-G2-x	32	700	4000	73	9,563	B3-U0-G2	131	9,255	B4-U0-G2	127	9,172	B2-U0-G1	126
ECF-S-32L-1A-NW-G2-x	32	1050	4000	106	13,462	B4-U0-G2	127	13,030	B4-U0-G2	123	12,912	B3-U0-G2	122
ECF-S-32L-1.2A-NW-G2-x	32	1200	4000	122	14,933	B4-U0-G2	123	14,453	B4-U0-G2	119	14,322	B3-U0-G2	118
ECF-S-48L-900-NW-G2-x	48	900	4000	135	17,723	B4-U0-G2	131	17,154	B5-U0-G3	127	16,999	B3-U0-G2	126
ECF-S-48L-1A-NW-G2-x	48	1050	4000	159	20,069	B5-U0-G3	126	19,424	B5-U0-G3	122	19,248	B3-U0-G2	121
ECF-S-48L-1.2A-NW-G2-x	48	1200	4000	183	22,279	B5-U0-G3	122	21,563	B5-U0-G3	118	21,368	B3-U0-G2	117
								1					

1. Wattage and lumen output may vary due to LED manufacturer forward volt specification 2. Lumen values based on photometric tests performed in compliance with IESNA LM-79. and ambient temperature.

Wattage shown is average for 120V through 277V input. Measured wattage may vary due to variation in input voltage.

See Lament values asset on principlinatine tests periorined in compitance with IESNA LM-,

3. Warm white color temperature will result in decreased lumen output.

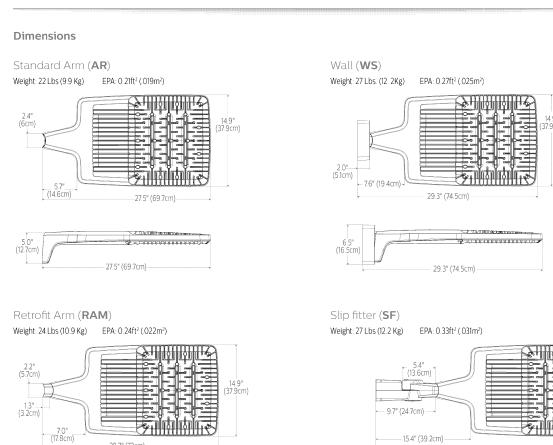
Contact outdoorlighting applications@philips.com for details or additional information. ECF-S\_Gen2 06/17 page 2 of 9

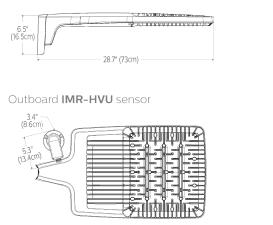
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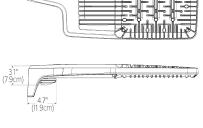
ECF-S-64L-1A-NW-G2-x 64 1050 4000 206 26,427 B5-U0-G3 128 25,577 B5-U0-G4 124 25,346 B3-U0-G2 123

# **ECF-S** EcoForm small

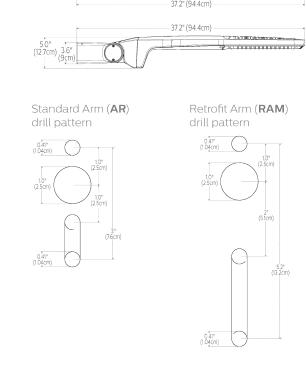
Site & Area







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# **ECF-S** EcoForm small

Site & Area

Luminaire options

DD: 0-10V dimming driver with leads supplied dimming profile with sensor detection, where DCC: Dual Circuit Control permits separate through back of luminaire (for secondary dimming controls by others).

TLRD5: Twist Lock Receptacle with 5 pins enabling dimming, can be used with a twistlock IMRO: Infrared Motion Response Outboard used with Philips or third party control system. an available automatic profile dimming option. system in order to offer a complete Receptacle located on top of luminaire housing. Combines the benefits of both automatic TLRD7: Twist Lock Receptacle with 7 pins enabling dimming and additional functionality sensor features a pole mounted Wattstopper (by others), can be used with twistlock photoelectric cell or a shorting cap. Can also be motion sensor per pole is required (order used with Philips or third party control system. MS-A-120 or MS-A-277 separately). Available Receptacle located on top of luminaire housing. in 120 or 277V only, IMRO sensors require TLRDPC: Receptacle with twistlock photoelectric cell (must specify voltage). Receptacle located on top of luminaire housing.

Dynadimmer Automatic Profile Dimming: Automatic dimming profiles (CS50/CM50/ CE50) offer safety, median, or economy settings, for shorter or longer duration. Dimming profiles provide flexibility towards energy savings goals while optimizing light levels during specific dark hours. 50% dimming is standard. DA50 offers 50% instantaneous dimming all night (during all dark hours). 75% and 25% dimming is also available if different light levels are required (contact Technical Support for details).

Economy 50% 9 hours 9 PM - 6 AM Median 50% 8 hours 10 PM - 6 AM 50% 7 hours 11 PM - 6 AM Reactive 50 50% dynamic all night

IMRI3, IMRI7: Infrared Motion Response Integral. IMRI module is mounted integral on driver door and is available with two different sensor lens types to accommodate various mounting heights and occupancy detection ranges (see charts for approximate detection patterns on page 7). Motion response used in combination of Dynadimmer and SiteWise are not programmable and used to override controllers schedule when motion is detected. When used not combined with any controller, IMRI is set/operates in the following fashion: The motion sensor is set to a constant 50%. When motion is detected by the PIR sensor, the luminaire returns to full power/light output. Dimming on low is factory set to 50% with 5 minute default in "full power" prior to dimming back to low. When no motion is detected for 5 minutes, the motion response system reduces the wattage by 50%, to 50% of the normal constant wattage reducing the light level. IMRI can also be specified with automatic profile dimming for the added benefit of a combined

ECF-S\_Gen2 06/17 page 4 of 9

are supplied by others, the customer is responsible for providing suitable mounting accommodations for the motion sensor in the pole (see Gardco Poles specification sheets for more information).

(PIR) motion sensor.

profile dimming and motion response using

detected during the time that the luminaire is

operating at profile dimming mode specified,

the luminaire returns to 100% power and light

no motion is detected for the duration period,

output. The luminaire remains on high until

from 5 minutes up to 15 minutes. The area

motion detector provides coverage equal to

after which the luminaire returns back to

the Philips DynaDimmer technology. PIR

the PIR sensor will override the dimming profile switching of a specific number of LED when occupancy is detected. Passive infrared modules. Available as an option with 2 through 4 modules.

**SW**: SiteWise option is a fully integrated photoelectric cell or a shorting cap. Can also be pole mounted sensor, must be specified with controller that connects to Philips SiteWise area lighting management system. The patented central dimming technology. SiteWise delivers it deliver optimal energy EW-200-120-W or the EW-200-277-W. One savings using your site's existing cabling. No additional wiring required, installation and app makes it easy for authorized users to set single voltage 120V or 277V input (see chart for schedules to meet site specific lighting needs, approximate detection patterns). If motion is local regulations, and energy codes.

Wireless systems: Controller radio/sensor module attached to luminaire arm and includes radio, photocell and motion sensor Available with #2 lens (LLC2) for 8' to 15' mounting height" or #3 lens (LLC3) for 15-25' mounting heights or #4 lens (LLC4) for 25automatic profile dimming. Duration period is factory set at 15 minutes, and is field adjustable 40' mounting heights. Also available with remote pod accessory where pod is mounted separate from luminaire to pole or wall (see up to 6 times the sensor height above ground, accessories and wireless system information

270° from the front-center of the sensor. Pole Details: IMRO requires that the pole **F1:** Fusing Single (for 120, 277 or 347VAC) include an additional hand hole 15 feet above **F2:** Fusing Double (for 208, 240 or 480VAC) the pole base, normally oriented 180° to the standard hand hole. For Philips Gardco FP1: Fusing Pole Single poles, order the pole with the Motion Sensor (pole mounted near handhole. for 120, 277 or 347VAC)

FP2: Fusing Pole Double (pole mounted near handhole. for 208, 240 or 480VAC). **FP3:** Fusing Pole Canadian Double Pull (pole mounted near handhole, for 208, 240 or 480VAC)

120-277V or 347-480V

2-4 LED modules.

SP1: Surge Protection, 10kV/5kA. Mounting (MSM) option which includes the hand hole and a special hand hole cover plate for the sensor with a 1/2" NPT receptacle centered on the hand hole cover plate into which the motion sensor mounts. Once the motion sensor is connected to the hand hole cover plate, then wiring connections are completed in the pole. The plate (complete with motion sensor attached and wired)

is then mounted to the hand hole. If poles

Distances are

SP2: Surge Protection, 20kV/10kA, 120-277V or 347-480V HIS: Internal House Side Shield. Injection molded in black finish. Ships installed with 1 per 16 LED module. Also available shipped separately as an accessory for

JOHN R. MARTUCCI, P.E. #19494

TES,

550

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TOWN OF EAST HARTFORD PLANNING AND ZONING COMMISSION SITE PLAN CERTIFICATE OF APPROVAL APPROVAL DATE:\_ EXPIRATION DATE: \_ CHAIRMAN: \_

WETHERSFIELD, CT 06109 TELEPHONE 860.632.8766 FACSIMILE 860.632.8236 WWW.APEXLTG.COM LIGHTING SOLUTIONS THE POINT WHERE ALL ASCENDING LINES CONVERGE

PM AT 1-860-291-7380.

NOTE: THE DEVELOPER SHALL NOTIFY THE TOWN OF EAST HARTFORD ENGINEERING DIVISION 24 HOURS PRIOR TO BEGINNING ANY STORM DRAINAGE, ROADWAY PREPARATION, PAVING, SIDEWALK, CURBING, STREE LINE MONUMENTATION, PROPERTY CORNER PINS, ETC., TO SCHEDULE INSPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:30 AM - 4:30

20-30 BEAVER RD.

DATE: 07/31/2017 SCALE: 1"=20' SHEET 17 of 25 PC#356482

**ECF-S** EcoForm small Site & Area

**Wireless system** – luminaire configuration information LLC2/LLC3/LLC4 Luminaire Mounted Controller LLCR2/LLCR3/LLCR4 Pole Mounted Controller Controller pod attached to luminaire and Includes In this configuration, radio, photocell and motion sensor with #2, #3 or the wireless controller

Recommended Sensor by Pole Height

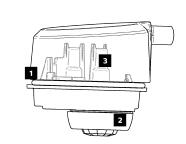
#4 lens for 8-40' mounting heights.

site, to extend motion response and add other luminaires that are not pole mounted will be mounted to the pole at a fifteen foot Consult factory for more information. mounting height. The number of luminaires of each pole, as well as the specific wattage choser will determine how many controllers will be required. When using the wireless remote accessory

option (LLCR-F) in a pole mount application. specify pole option (CL=Coupling Internal Thread, 3/4" size). Confirm required orientation of luminaire and wireless controller. Indicate height above pole base and orientation to hand hole. Recommended min pole height is 18ft, with option (CL) 15ft above pole base. Other heights are possible when choosing the appropriate sensor lens type. See pole specification sheets for more information

Wireless system sensor

LLC2 LLC3 - LLC4



ECF-S\_Gen2 06/17 page 5 of 9

1. Photocell - Ambient light photocell on every wireless

radio that averages the light levels of up to 5 controllers for an accurate reading and optimal light harvesting activity. - Reports ambient light readings to 1500 Fc.

2. Motion Response - Detects motion through passive infrared sensing technology with three different lens configurations. - Motion sensor coverage can be adjusted - RoHS Compliant from a narrow to a wide detection range, which helps reduce false triggers to further increase energy savings.

- Sensing profiles can be updated to adapt to activity levels in the environment, such as occupancy level, wind, and mounting height.

3. Wireless Radio - 1.8 Watts max (no load draw)

Remote Mount Wireless Controller

- Operating voltage 120-277 VAC RMS Communicates using the ZigBee protocol - Carries out dimming commands from Gateway - Reports ambient light readings to 1500 Ft-Cd

- Transmission Systems Operating within the band 2400-2483.5Mhz

**ECF-S** EcoForm small

Site & Area

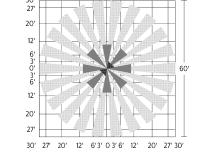
**Infrared Motion Response** – Coverage Patterns

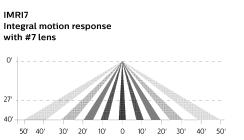
Luminaire or remote mount controller with #2 lens 8'

11' 7' 3' 0' 3' 7' 11' 24'

Luminaire or Remote mount controller with #3 lens

LLC4/LLCR4 Luminaire or Remote mount controlle with #4 lens





ECF-S\_Gen2 06/17 page 6 of 9

LLC2/LLCR2

IMRI3/LLC3/LLCR3

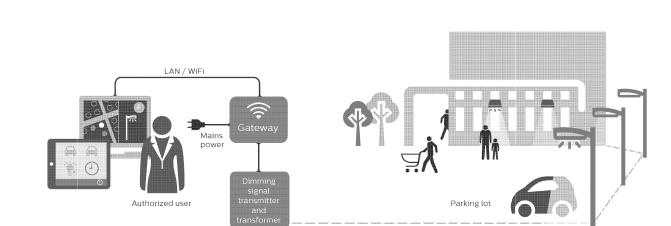
**ECF-S** EcoForm small

Site & Area

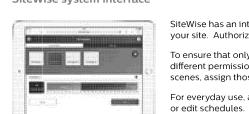
energy codes.

SiteWise system SiteWise is a complete area lighting management system including a luminaire integrated controller, dimming signal transmitter cabinet, and locally accessible user interface. Installation and commissioning are simple. The cabinet communicates with the Philips luminaires using a patented central dimming technology. The control signal is embedded on the existing electrical line – no new cabling is required. An intuitive, locally accessible interface makes it easy for authorized users to set schedules in order to meet site specific lighting needs, local regulations, and

SiteWise system diagram



SiteWise system interface



SiteWise has an intuitive user interface that makes it easy to plan, edit, and implement lighting schedules for your site. Authorized users can access the interface via a local app. To ensure that only authorized users can access your lighting, SiteWise offers two user types, each with different permissions. An advanced user, or administrator, can set and edit schedules using the ten pre-set scenes, assign those schedules to calendar days, and check system status. For everyday use, a basic user can manually override a schedule that is currently running but cannot create

SiteWise system specifications

The SiteWise system includes both luminaires and controls. The controls used for SiteWise are circuit load dependent. Required for a complete installation are the following Philips SiteWise components: user interface, control kit, dimming signal transmitter cabinet, and dimming signal receiver located in the Philips luminaire (**SW** option). Optional luminaire-integrated or external motion sensors may also be specified as required. Within the electrical closet, the control kit and dimming signal transmitter cabinet are installed into the electrical system between the existing breaker panel and the site luminaires. New LED luminaires containing the dimming signal receiver are installed on the site. Once completed use of the interface allows for scheduling and override capabilities. Wireless access point and tablet should be supplied by others. Complete information on the control system can be found on the SiteWise website at philips.com/sitewise

ECF-S\_Gen2 06/17 page 7 of 9

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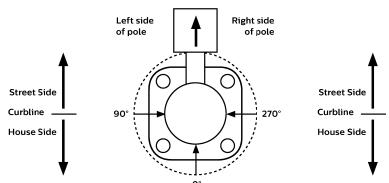
A-13-057-LTG2 FILE: 13057.DWG

09/01/2017 - TOWN COMMENTS

### Optical Orientation Information

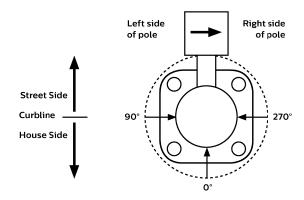
Standard Optic Position

Optic Rotated Left (90°) Optic Position Luminaires ordered with asymmetric optical systems in the standard Luminaires ordered with optical systems in the Optic Rotated Left (90°) optic position will have the optical system oriented as shown below: optic position will have the optical system oriented as shown below (Type 5 and 5W optics are not available with factory set rotatable optics):



Note: The hand hole will normally be located on the pole at the 0° point. Note: The hand hole will normally be located on the pole at the 0° point.

Optic Rotated Right (270°) Optic Position Luminaires ordered with optical systems in the Optic Rotated Right (270°) optic position will have the optical system oriented as shown below (Type 5 and 5W optics are not available with factory set rotatable optics):



Note: The hand hole will normally be located on the pole at the 0° point.

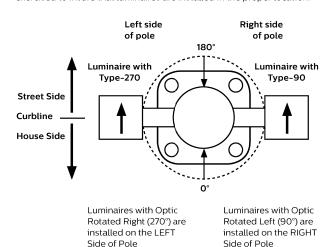
ECF-S\_Gen2 06/17 page 8 of 9

Twin Luminaire Assemblies with Type-90/Type-270 Rotated Optical Systems

Left side

of pole

Twin luminaire assemblies installed with rotated optical systems are an excellent way to direct light toward the interior of the site (Street Side) without additional equipment. It is important, however, that care be exercised to insure that luminaires are installed in the proper location.



Note: The hand hole location will depend on the drilling configuration ordered for the pole.

### **ECF-S** EcoForm small

# Site & Area

Specifications

LED Board and Array

board. RoHS compliant.

Energy saving benefits

during unoccupied periods.

LED Thermal management

The housing design allows the one piece

management critical to long LED system life

significant energy savings over Pulse Start

Metal Halide luminaires. Optional control

options provide added energy savings

housing to provide excellent thermal

System efficacy up to 133 lms/W with

One piece die cast aluminum housing with integral arm and separate, self retained hinged, one piece die cast door frame.

LED light engine rated IP66. Driver compartment rated to IP65. Vibration resistance

EcoForm with Standard Arm carries a 3G vibration rating that conforms to standards set forth by ANSI C136.31. Testing includes vibration to 3G acceleration in three axes, all performed on the same luminaire. Electrical

Driver efficiency (>90% standard). 120-480V available (restrictions apply). Open/short circuit protection. Optional 0-10V dimming to 10% power. RoHS compliant. Surge protector standard. 10KA per ANSI/IEEE C62.41.2.

site, independent lighting groups or individual luminaires while on-site or remotely. Based on a high density mesh network with an easy to use web-based portal, you can conveniently 32, 48, or 64 LEDs. Color temperatures access, monitor and manage your lighting 3000K +/- 125K, 4000K, 5000K +/- 200K. network remotely. Wireless controls can be Minimum CRI of 70. Aluminum metal clad combined with site and area, pedestrian. and parking garage luminaires as well, for a completely connected outdoor solution.

SiteWise network system

connection to BMS systems.

Wireless system

SiteWise system includes a controller fully

luminaires to communicate with a dimming

signal transmitter cabinet located on site

allows users to access the system and set

and scheduling. SiteWise is available with

light back to 100% when motion is detected.

Additional functionalities are available such

a Limelight system (sold by other). The system

allows you to wirelessly manage the entire

using Philips patented central dimming technology. A locally accessible mobile app

ntegrated in the luminaire that enables the

Type 2, 3, 4, 5, 5W, and AFR distributions available. Internal Shield option mounts to LED optics and is available with Type 2, 3, 4. and AFR distributions to control backlight. Types 2, 3, 4, and AFR, when specified and

used as rotated, are factory set only.

Standard luminaire arm mounts to 4" round poles. Square pole adapter included with every luminaire. Round Pole Adapter (RPA) required for 3-3.9" poles.

Retrofit Arm Mount

EcoForm features an innovative retrofit arm kit. When specified with the retrofit arm (RAM) option, EcoForm seamlessly simplifies site conversions to LED by eliminating the need for additional pole drilling on most existing poles. RAM will be boxed separately.

Туре: Notes:

Page I of 4

BRP

WP

oc

79415-17/0611

**PHILIPS** 

G GARDCO

Site & Area

ECF-S small

ECF-S\_Gen2 06/17 page 1 of 9

Bronze Paint

White Paint

FPGV Finished Paint over

Natural Aluminum Paint

Galvanized (specify color)

Optional Color Paint

Specify RAL designation

ex: OC-RAL7024.

Special Color Paint

Specify. Must supply color chip.

Galvanized (No Paint)

BLP Black Paint

functionalities such as ON/OFF, dimming levels UL/cUL listed to the UL 1598 standard. motion response options in order to bring the suitable for Wet Locations. Suitable for use in The quality systems of this facility have as communication with indoor lighting and been registered by UL to the ISO 9001 series standards. Most EcoForm configurations are DesignLights Consortium® qualified. Consult DLC Qualified Products list for more details. EcoForm luminaires are available with optional

wireless controllers ready to be connected to Each standard color luminaire receives a fade and abrasion resistant, electrostatically applied, thermally cured, triglycidal isocyanurate (TGIC) textured polyester bronze (BZ), black (BK), white (WH), dark gray (DGY), and medium gray (MGY). Consult factory for specs on optional or custom colors.

> EcoForm luminaires feature a 5 year limited warranty. Philips Gardco LED luminaires with LED arrays feature a 5 year limited warranty covering the LED arrays. LED Drivers also carry a 5 year limited warranty. Motion sensors are covered by warranty for 5 years

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ECF-S\_Gen2 06/17 page 9 of 9

ORIENTATION INFORMATION



Philips Lighting North America Corporation 200 Franklin Square Drive, Somerset, NJ 08873 Philips Lighting Canada Ltd.

Tel. 800-668-9008

281 Hillmount Rd, Markham, ON, Canada L6C 2S3

# Refer to Steel Pole Accessories sheet 79415-26 for additional accessories.

The Philips Gardco SSS straight steel pole consists of a one-piece square fabricated steel lighting standard.

The carbon steel base plate is secured to the shaft with a continuous circumferential weld providing

excellent strength and integrity. The poles are finished with an electrostatically applied, thermally cured

TGIC polyester powdercoat. All poles include anchor tolts, full base cover, hand hole, ground lug and top

4"

figurations are valid. Refer to notes below for exclusions and limitatiors. For questions or concerns, please consult the factory.

**OPTIONS** 

Couplings

FES Festoon Outlet

AHH Additional Hand Hole

Indicate size (1/2", 3/4", 1", 1 1/4", 1 1/2".) Indicate

height above base and orientation to hand hole. See

Pole Orientaiaion Information on Page 4.

CL Coupling - Internal thread

Indicate height above base and orientation to hand

hole. See Pole Orientation Information on Page 4.

Single Mount Bullhorn Brackets

**GM-080-19** Single - 1.9" OD

**GM-080-24** Single - 2.4" OD

Enter the order code into the appropriate box above. Note: Philips Gardco reserves the right to refuse a configuration. Not all combinations and con-

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notification as part of the company's continuing product improvement program.

# **PHILIPS**





Poles

4" Straight Square Steel

FINISH

D3

D4

For Festoon Outlets and Additional Hand Holes, indicate height above

base and orientation to original hand hole. See Pole Orientation

Motion Response Provisions

Information on Page 4.

**D2@90** 2 Way at 90°

3 Way

4 Way

**T2** 2 3/8" OD Tenon

Provision for Gardco HID

Motion Response System

Motion Sensor Mounting Provision for LED

Luminaires available with

Motion Response

Minimum Pole Height is 18'. Includes a 1/2" coupling

placed 180° to the hand hole, 12' above the pole base.

Minimum Pole Height is 18'. Includes a special hand

to the hand hole, 15' above the pole base.

hole with 1/2" coupling placed in the cover plate, 180°

T4 4" OD Tenon

DRILLING

D1

4" Straight Square Steel Page 2 of 4

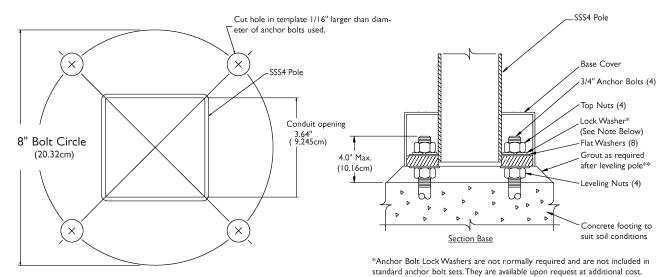
POLE DATA

MAXIMUM LUMINAIRE LOADING CATALOG ANCHOR BOLT DATA<sup>2</sup> **POLE SIZE** HIGH WIND CONDITIONS NUMBER 110 MPH 120 MPH 14 | 4 | 11 | 5.5 | 138 | 7.0 | 175 | 8.8 | 220 | 11.7 | 15.1 | 19.9 | 8.0" | 3/4 x 17 x 3 | 4.0" SSS | 15 | 4 | 11 | 3.8 | 95 | 5.0 | 125 | 6.7 | 168 | 8.9 | 11.8 | 15.9 | 8.0" | 3/4 x 17 x 3 | 4.0" 18 | 4 | 11 | 2.3 | 58 | 3.5 | 88 | 4.8 | 120 | 6.7 | 9.2 | 12.6 | 8.0" | 3/4 x 17 x 3 | 4.0" SSS 20 4 11 - - 1.9 48 3.3 83 4.5 6.7 9.6 8.0" 3/4 x 17 x 3 4.0" 4 7 4.3 108 5.6 140 7.4 185 8.8 11.8 16.0 8.0" 3/4 x 17 x 3 4.0" 
 SSS
 25
 4
 11
 1.0
 2.6
 4.8
 8.0"
 3/4 x 17 x 3
 4.0"

 SSS
 25
 4
 7
 1.6
 40
 2.6
 65
 3.8
 95
 5.4
 7.7
 10.8
 8.0"
 3/4 x 17 x 3
 4.0"
 SSS 30 4 7 - - - 1.2 50 2.6 4.4 6.7 8.0" 3/4 x 17 x 3 4.0"

1. Warning: Additional wind loading, in terms of EPA, from banners, cameras, floodlights and other accessories attached to the pole, must be added to the luminaire(s) EPA before selecting the pole with 2. Factory supplied template must be used when setting anchor bolts. Philips Gardco will not honor any claim for incorrect anchorage placement resulting from failure to use factory supplied templates

### **DIMENSIONS**



NOTE: Factory supplied template must be used when setting anchor bolts. Philips Gardco will not honor any claim for incorrect anchorage placement from failure to use factory supplied templates.

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andard anchor bolt sets. They are available upon request at additional cost. \*\* Grouting should include a drainage slot or tube (by others) to permit water to drain from the base of the pole. Failure to provide drainage may weaken the pole base structure over time and may result in pole base failure, for which Philips Gardco is not responsible

# **PHILIPS** G GARDCO

10

JOHN R. MARTUCCI, P.E. #19494

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4" Straight Square Steel

# Page 3 of 4

**SPECIFICATIONS** (.1196") or 7 ga (.1793") commercial carbon steel. The formed steel plate is plate and anchorage.

hot rolled carbon steel bar that meets or exceeds a minimum guarantee yield strength of 50,000 psi. Bolts have an "L" bend on one end and threaded FINISH: Poles are available with a bronze, natural, white or black on the opposite end. Anchor bolts are galvanized a minimum of 12" on electrostatically applied, thermally cured TGIC polyester powdercoat finish. the threaded end. Four (4) properly sized bolts, each furnished with two

POLE SHAFT: The pole shaft is fabricated from a single-piece of II ga BASE COVER: A two-piece base cover completely conceals the entire base

longitudinally welded providing minimum yield strength of 46 KSI. HAND HOLE: The reinforced hand hole has a nominal rectangular 2" X ANCHOR BASE: The pole anchor base is fabricated from A-36 structural 4" inside opening in the pole shaft. Included is a cover plate with attachment quality carbon steel with a minimum yield strength of 36 KSI. The base plate screws. The hand hole is located 18" above the base and 180° clockwise with telescopes the pole shaft and is circumferentially welded on both top and respect to the luminaire arm when viewed from the top of the pole for one

require special consideration. For example: coastal areas, airports and areas analysis or product selections. Failure to insure proper site analysis, pole

arm. For two arms the hand hole is located directly under one arm. **ANCHOR BOLTS:** Anchor bolts are fabricated from a commercial quality **POLE TOP CAP:** Each pole assembly is provided with a removable pole top cap.

(2) regular hex nuts and two (2) flat washers, are provided per pole, unless STOCK POLES: Poles provided from stock under the Quick Ship program are drilled for four (4) luminaires at 90° with three (3) hole sets plugged.

### GENERAL POLE INFORMATION

otherwise specified.

of special winds.

**DESIGN:** The poles as charted are designed to withstand dead loads and **WARNING:** This design information is intended as a general guideline only. predicted dynamic loads developed by variable wind speeds with an additional The customer is solely responsible for proper selection of pole, luminaire, 30% gust factor under the following conditions:

The charted weights include luminaire(s) and/or mounting bracket(s). The wind velocities are based on 10 mph increments from 80 mph through specific needs to ensure proper selection of the pole, luminaire, accessories, 100 mph. Poles to be located in areas of known abnormal conditions may and foundation. Philips Gardco assumes no responsibility for such proper

Poles are designed for ground mounted applications. Poles mounted on

consideration requiring Philips Gardco's recommendation. Height correction factors and drag coefficients are applied to the entire to each other. For applications of two (2) arms at 90° or other multiple arm structure. An appropriate safety factor is maintained based on the minimum applications, consult the factory. yield strength of the material incorporated in the pole.

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notification as part of the company's continuing product improvement program.

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accessory and foundation under the given site conditions and intended usage. The addition of any items to the pole, in addition to the luminaire, will dramatically impact the EPA load on that pole. It is strongly recommended that a qualified professional be consulted to analyze the loads given the user's

selection, loads and installation can result in pole failure, leading to

structures (such as buildings and bridges) may also necessitate special GENERAL INFORMATION: Mounting height is the vertical distance from the base of the lighting pole to the center of the luminaire arm at the point of luminaire attachment. Twin arms as charted are oriented at 180° with respect

serious injury or property damage.

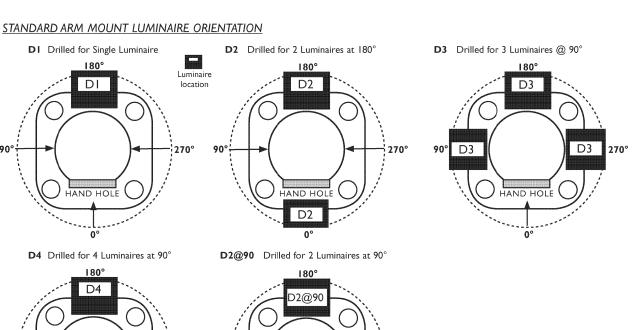
WARRANTY: Philips Gardco poles feature a 1 year limited warranty. See Warranty Information on www.sitelighting.com for complete details and exclusions.

# **PHILIPS**

# 4" Straight Square Steel Page 4 of 4

# FACTORY INSTALLED OPTIONS AND ACCESSORIES For Factory Installed Options and Accessories, Specify Orientation from Hand Hole and Height Above Pole Base Where Required. Height Above Pole Base

Orientation is measured clockwise from the Hand Hole Center.



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# **PHILIPS**

G GARDCO





The Philips Gardco EcoForm Gen-2 combines economy with performance in an LED area luminaire. Capable of delivering up to 26,400 lumens or more in a compact, low profile LED luminaire, EcoForm offers a new level of customer value. EcoForm features an innovative retrofit arm kit, simplifying site conversions to LED by eliminating the need to drill additional holes in most

_	Number	Drive	LED Color -				Options	I		
Prefix	of LEDs	Current	Generation	Mounting	Distribution	Voltage	Controls	Electrica	Luminaire	Finish
ECF-S	32L	530	NW-G2	AR	2	UNV		and the state of t	HIS	FINISH
ECF-S EcoForm Site and Area, Small	32L 32 LEDs (2 modules)	530 530 mA 700 700 mA 1A 1050 mA 1.2A	WW-G2 Warm White 3000K, 70CRI Generation 2 NW-G2 Neutral White 4000K, 70CRI	AR Arm Mount (standard)9  The following mounting kits must be ordered	Type 2 2 Type 2 2-90 Rotated left 90° 2-270 Rotated right 270°	120 120V 208 208V 240 240V 277 277V 347 347V 480 480V UNV 120-277V	DD 0-10V Dimming Driver <sup>5</sup> DCC Dual Circuit Control <sup>6</sup> Photoelectric/Receptacle systems (Twist Lock Receptacle) PCB Photocontrol Button <sup>2,3</sup> TLRD5 Twist Lock Receptacle 5 Pin TLRD7 Twist Lock Receptacle 7 Pin	TB Terminal Block <sup>7</sup> Fusing F1 Single (120 277, 347VAC) <sup>2</sup> F2 Double (20ξ, 240, 480VAC) <sup>2</sup>	RPA Round Pole Adapter (fits to 3"- 3.9" O.D. pole) <sup>10</sup> HIS Internal	Textured  BK Black WH White BZ Bronze DGY Dark Gray MGY Medium Gra  Customer specifie
	48L 48 LEDs (3 modules)	900 900mA 1A 1050mA 1.2A 1200mA	Generation 2  CW-G2 Cool White 5000K, 70 CRI Generation 2	separately (See accessories)  SF  Slip Fitter  Mount <sup>11</sup>	Type 3 3 Type 3 3-90 Rotated left 90° 3-270 Rotated right 270° Type 4	HVU 347-480V (50/60Hz)	TLRPC Twist Lock Receptacle w/Photocell <sup>2</sup> DynaDimmer: Automatic Profile Dimming CS50 Safety 50% Dimming, 7 hours <sup>1</sup> CM50 Median 50% Dimming, 8 hours <sup>1</sup> CE50 Economy 50% Dimming, 9 hours <sup>1</sup> DA50 All Night 50% Dimming <sup>1</sup> Infrared Motion Response Systems	Pole Mount Fusing  FP1 Single (120 277, 347VAC) <sup>2</sup> FP2 Double (206, 240, 480VAC) <sup>2</sup> FP3 Canadian Double Pull (206, 240, 480VAC) <sup>2</sup> Surge Protection	House Side Shield <sup>4</sup>	RAL Specify optional color or RAL (ex: RAL702- CC Custom colo (Must suppl) color chip
	64L EDS (4 modules) 110 1050 mA	with surfaction with surfactin with surfaction with surfaction with surfaction with surfaction	Wall mount with surface conduit rear entry permitted RAM Retrofit arm	4 Type 4 4-90 Rotated left 90° 4-270 Rotated right 270° Type 5 5 Type 5 5 Type 5 W Type 5W  AFR Auto Front Row		IMRI3 Integral with #3 lens <sup>8</sup> IMRI7 Integral with #3 lens <sup>8</sup> Pole Mounted Infrared Motion Response systems with DynaDimmer CSSO-IMRO with Safety 50% Dimming <sup>15</sup> CMSO-IMRO with Median 50% Dimming <sup>15</sup> CESO-IMRO with Geonomy 50% Dimming <sup>15</sup> CESO-IMRO with All Night 50% Dimming <sup>15</sup> Network system (SiteWise) SW Integral module <sup>1230</sup>	SPI Stardard 10kA SP2 Increased 20kA		for required factory quote)	
		AFR-9 Auto Fr Rotate AFR-2: Auto Fr	Auto Front Row AFR-90 Auto Front Row, Rotated left 90° AFR-270 Auto Front Row, Rotated right 270°	w,	SW-IMRO Pole mounted motion response option  Wireless system  LLC2 Integral module with #2 lens <sup>16</sup> LLC3 Integral module with #3 lens <sup>16</sup> LLC4 Integral module with #4 lens <sup>16</sup>					



THE POINT WHERE ALL ASCENDING LINES CONVERGE TOWN OF EAST HARTFORD PLANNING AND ZONING COMMISSION SITE PLAN CERTIFICATE OF APPROVAL APPROVAL DATE: \_ EXPIRATION DATE: CHAIRMAN:

NOTE: THE DEVELOPER SHALL NOTIFY THE TOWN OF EAST HARTFORD ENGINEERING DIVISION 24 HOURS PRIOR TO BEGINNING ANY STORM DRAINAGE, ROADWAY PREPARATION, PAVING, SIDEWALK, CURBING, STREET LINE MONUMENTATION, PROPERTY CORNER PINS, ETC., TO SCHEDULE INSPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:30 AM - 4:3 PM AT 1-860-291-7380.



SCALE: 1"=20' SHEET 18 of 25 PC#356482

REVISIONS:

10. Not available with SF and WS. RPAs area

MANUFACTURER: GARDCO

TYPE: SL2HS

SSS4-15-4-11-D1-FINISH

PROJECT: DUNKIN DONUTS MAIN STREET

CAT# ECF-S-32L-530-NW-G2-AR-2-UNV-HIS-FINISH

09/01/2017 - TOWN COMMENTS

20-30 BEAVER RD.

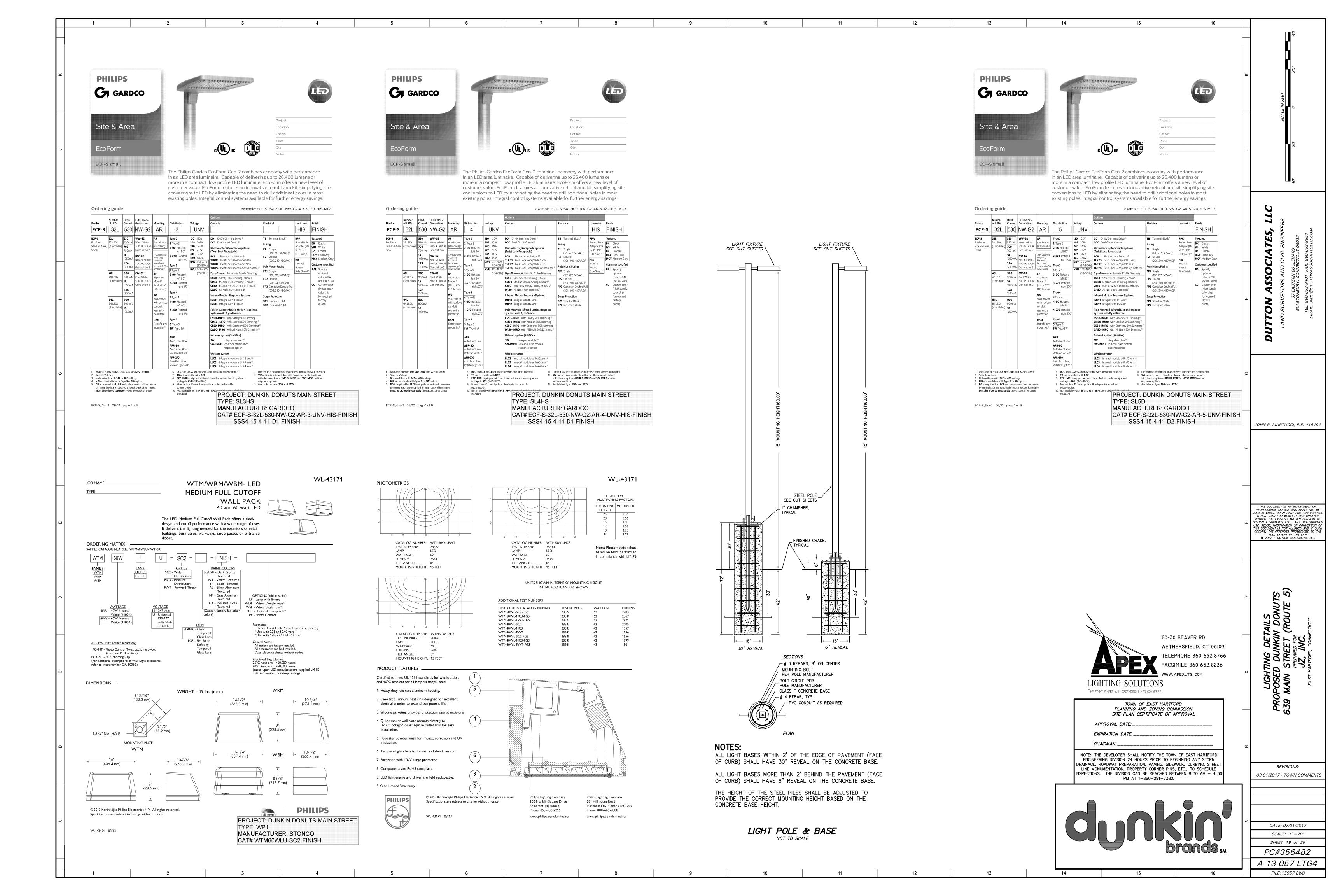
WETHERSFIELD, CT 06109

FACSIMILE 860.632.8236

TELEPHONE 860.632.8766

DATE: 07/31/2017

A-13-057-LTG3 FILE: 13057.DWG



MONUMENTS.

PRIOR TO CONSTRUCTION, ALL EXISTING STREET LINE MONUMENTATION SHALL BE STAKED AND FLAGGED. CARE SHOULD BE TAKEN DURING CONSTRUCTION NOT TO DAMAGE THE MONUMENTS. IF MONUMENTS ARE DAMAGED, THE CONTRACTOR SHALL REPLACE THE

PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES AT CROSSING AND CONNECTION POINTS. ANY CONFLICT OR DISCREPANCY WITH THE PLANS SHALL BE REPORTED TO THE ENGINEER SO THAT ADJUSTMENTS TO THE DESIGN CAN BE MADE.

PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL REQUEST AN UNDERGROUND UTILITY MARK OUT BY CALLING THE CONNECTICUT UNDERGROUND UTILITY PROTECTION PLAN (PHONE 1-800-922-4455).

THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS AND ARRANGE FOR ALL NECESSARY INSPECTIONS FOR THE WORK TO BE PERFORMED.

THE CONTRACTOR IS RESPONSIBLE FOR PAYMENT OF ALL PERMIT AND/OR INSPECTION FEES.

THE CONDITIONS OF APPROVAL ARE A PART OF THIS PLAN, THE CONTRACTOR SHALL

CONFORM TO ALL APPLICABLE CONDITIONS.

CONSTRUCTION WASTE AND/OR DEBRIS SHALL BE DISPOSED OF ONLY AT APPROVED LOCATIONS AND IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL LAWS AND/OR REGULATIONS.

CONSTRUCTION METHODS AND MATERIALS SHALL BE IN ACCORDANCE WITH; THE NOTES AND DETAILS ON THESE PLANS, IF NOT ON SAID PLAN THE TOWN OF EAST HARTFORD STANDARD DETAILS AND SPECIFICATIONS AND IF NOT INCLUDED IN ABOVE, THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS, BRIDGES AND INCIDENTAL CONSTRUCTION, FORM 816 AS APPLICABLE.

THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING STRUCTURES, SERVICES AND/OR PROPERTY CAUSED BY HIM DURING CONSTRUCTION. REPAIRS SHALL BE MADE TO THE SATISFACTION OF THE OWNER OF THE DAMAGED PROPERTY AT THE CONTRACTORS

PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL COORDINATE CONSTRUCTION WITH OUTSIDE UTILITY COMPANIES PROVIDING SERVICE TO THE SITE. CONFLICTS WITH SUCH UTILITIES SHALL BE REPORTED TO THE ENGINEER SO THAT ADJUSTMENTS TO THE DESIGN CAN BE MADE.

## STORM SEWER MAINTENANCE PLAN:

THE STORMWATER SYSTEM PROPOSED FOR THIS PROJECT UTILIZES CONCRETE INLET STRUCTURES WITH SUMPS AND A WATER QUALITY UNIT TO REDUCE THE TOTAL SUSPENDED SOLIDS IN THE STORMWATER RUNOFF. PROPER MAINTENANCE OF THE STORMWATER SYSTEM IS CRITICAL TO THE LONG TERM FUNCTION OF THE SYSTEM. THE FOLLOWING IS A LIST OF THE MINIMUM MAINTENANCE ITEMS REQUIRED FOR THE SYSTEM:

1. ON A YEARLY BASIS (LATE SPRING) ALL ACCUMULATED SEDIMENT SHALL BE REMOVED FROM THE WATER QUALITY UNIT AND CATCH BASINS. THE SEDIMENT SHALL BE DISPOSED OF OFF SITE AT AN APPROVED LOCATION IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

2. ON A YEARLY BASIS (LATE SPRING) THE PARKING AREA SHALL BE SWEPT CLEAN OF ALL ACCUMULATED SAND AND DEBRIS. ALL DEBRIS SHALL BE DISPOSED OF OFF SITE AT A SUITABLE LOCATION IN ACCORDANCE WITH ALL LAWS AND REGULATIONS.

3 ON A YEARLY BASIS (LATE FALL) ALL LEAVES AND LANDSCAPE DEBRIS SHALL BE COLLECTED AND DISPOSED OF OFF SITE AT A SUITABLE LOCATION IN ACCORDANCE WITH APPLICABLE LAWS AND REGULATIONS.

4. LANDSCAPE PRUNINGS FROM MAINTENANCE OPERATIONS SHALL BE COLLECTED AT THE TIME OF THE OPERATION AND DISPOSED OF OFF SITE AT A SUITABLE LOCATION IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

# MONITOR WELL ABANDONMENT NOTES:

ABANDONMENT OF WELLS, RESPONSIBILITY:

ANY WELL THAT IS ABANDONED SHALL NOT BE A SOURCE OR CAUSE OF CONTAMINATION OR POLLUTION OF GROUND WATER RESOURCES. ABANDONMENT PROCEDURES SHALL BE PERFORMED OR DIRECTED ONLY BY A REGISTERED WELL DRILLER. THE REGISTERED WELL DRILLING CONTRACTOR WHO PERFORMS THE WORK OF ABANDONMENT SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE PROCEDURE OF ABANDONMENT OF THE WELL, AS PROVIDED IN THIS PART AND SHALL NOTIFY THE LOCAL HEALTH AUTHORITY OF THE ABANDONMENT OF THE WELL.

PROCEDURE OF ABANDONMENT:

IN THE EVENT OF ABANDONMENT OF ANY WATER WELL OR OTHER TYPE OF WELL THE PROPER PROCEDURE AND MATERIALS SHALL BE USED AS FOLLOWS: (A) THE WELL SHALL BE PLUGGED TO PREVENT THE ENTRANCE OF SURFACE WATER, CIRCULATION OF WATER BETWEEN OR AMONG THE PRODUCING ZONES, OR ANY OTHER PROCESS RESULTING IN THE CONTAMINATION OR POLLUTION OF GROUND WATER RESOURCES.

(B) IN THE EVENT OF TEMPORARY ABANDONMENT OR DISCONTINUANCE OF THE USE OF ANY WELL, THE WELL SHALL BE SEALED WITH A WATERTIGHT CAP OR SEAL, AS PROVIDED BY BY SECTION 25-128-42 (c).

(C) THE WELL SHALL BE CHLORINATED PRIOR TO ABANDONMENT USING A CHLORINE SOLUTION WITH A MINIMUM CONCENTRATION OF ONE HUNDRED FIFTY PARTS PER MILLION (150-ppm) OF CHLORINE. THIS IS EQUIVALENT TO 5.5 QUARTS OF BLEACH AT 2.25% AVAILABLE CHLORINE TO FIVE HUNDRED (500) GALLONS OF WATER OR THREE HUNDRED AND THIRTY-THREE (333) FEET

OF SIX (6) INCH DIAMETER WELL. (D) THE WELL SHALL BE CHECKED FROM LAND SURFACE TO THE ENTIRE DEPTH OF THE WELL BEFORE IT IS SEALED, TO INSURE AGAINST THE PRESENCE OF ANY OBSTRUCTION THAT WILL INTERFERE WITH SEALING OPERATIONS.

(E) THE WELL BORE SHALL BE FILLED AND SEALED WITH ANY OF THE FOLLOWING MATERIALS; HEAT CEMENT GROUT, SAND CEMENT GROUT, BENTONITE CLAY GROUT, OR SAND CLAY OR BENTONITE CEMENT GROUT.

(F) THE GROUT MATERIAL SHALL BE PLACED IN SUCH A WAY TO PREVENT VOIDS IN THE GROUT OR DILUTION OF THE GROUT.

(G) ANY WELL CONSTRUCTED IN A CONSOLIDATED ROCK FORMATION, MAY BE FILLED WITH FINE SAND IN THE ZONE OR ZONES OF CONSOLIDATED ROCK. THE TOP OF THE SAND FILL SHALL BE AT LEAST (10) FEET BELOW THE BOTTOM OF THE CASING, AND THE REMAINING PORTIONS OF THE WELL SHALL BE FILLED WITH ANY OF THE MATERIALS SPECIFIED IN SUBSECTION (e). (H) ANY TEST WELL OR BORE SHALL BE ABANDONED IN SUCH A MANNER THAT IT DOES NOT BECOME A CHANNEL FOR THE VERTICAL MOVEMENT OF WATER OF OTHER SUBSTANCE TO THE

POTABLE GROUND WATER RESOURCES. (I) DEEP WASTE DISPOSAL OR OIL WELLS WITH CASINGS FREE OF ANY BREAKS, AND EXTENDING BELOW THE POTABLE GROUND WATER ZONES, MAY BE SEALED WITH A WATERTIGHT CAP OR

WELDED PLATE. (J) UPON COMPLETION OF ABANDONMENT OF THE WELL, THE TOP OF THE CASING OR GROUT

MATERIAL MAY BE TERMINATED AT LEAST FOUR (4) FEET BELOW THE GROUND SURFACE.

### **TOPSOILING:**

MATERIALS: TOPSOIL SHALL BE FRIABLE AND LOAMY (LOAM, SANDY LOAM OR SILT LOAM) AND SHALL BE FREE OF DEBRIS, TRASH, STUMPS, ROCKS, ROOTS AND NOXIOUS WEEDS. IT SHALL GIVE EVIDENCE OF BEING ABLE TO SUPPORT HEALTHY VEGETATION AND CONTAIN NO SUBSTANCE THAT IS POTENTIALLY TOXIC TO PLANT GROWTH.

ALL TOPSOIL SHALL BE TESTED BY A RECOGNIZED LABORATORY AND SHALL MEET THE FOLLOWING REQUIREMENTS: ORGANIC MATTER: NOT LESS THAN 1.5% BY WEIGHT.

Ph RANGE: 6.0-7.5 (IF LESS THAN 6.0, LIME SHALL BE APPLIED AS REQUIRED). SOLUBLE SALTS: SHALL NOT EXCEED 500 ppm.

APPLICABLE EROSION AND SEDIMENTATION CONTROLS (SEDIMENT BARRIERS, ETC.) SHALL BE IN

PLACE AND IN GOOD CONDITION PRIOR TO PLACING TOPSOIL.

TOPSOIL SHALL NOT BE APPLIED WHILE IN A FROZEN OR MUDDY CONDITION. TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED TO A MINIMUM COMPACTED DEPTH OF 6", SURFACE IRREGULARITIES SHALL BE CORRECTED AT TIME OF PLACEMENT TO AVOID

TOPSOIL SHALL BE COMPACTED ONLY ENOUGH TO ENSURE GOOD CONTACT WITH THE UNDERLYING SOIL AND TO OBTAIN A UNIFORM SEEDBED. OVER COMPACTING SHALL BE

### TEMPORARY VEGETATIVE COVER:

DEPRESSIONS AND WATER POCKETS

DAYS BETWEEN AUGUST 1 AND JUNE 15.

THE PURPOSE OF TEMPORARY VEGETATIVE COVER IS TO STABILIZE EXPOSED SOIL AND REDUCE WIND AND WATER EROSION.

TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED ON ALL SOIL STOCKPILE AREAS WHICH WILL BE IN PLACE FOR MORE THAN 21 DAYS BETWEEN AUGUST 1 AND JUNE 15.

TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED ON AREAS WHERE CONSTRUCTION HAS BEEN COMPLETED AND PERMANENT STABILIZATION WILL NOT TAKE PLACE WITHIN 21

IN ALL CASES, PERMANENT STABILIZATION SHALL BE COMPLETED WITHIN 12 MONTHS.

IF TEMPORARY VEGETATIVE COVER CANNOT BE ESTABLISHED BETWEEN THE PRIME SEEDING DATES INDICATED BELOW, THE AREA SHALL BE STABILIZED TO THE EXTENT POSSIBLE WITH

REFER TO THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL FOR ADDITIONAL INFORMATION

1. APPLICABLE EROSION AND SEDIMENTATION CONTROLS (SEDIMENT BARRIERS, ETC.) SHALL BE INSTALLED PRIOR TO ESTABLISHMENT OF TEMPORARY VEGETATIVE COVER.

2. REMOVE LOOSE ROCK AND LARGE STONES, DEBRIS, TRASH, STUMPS AND OTHER NOXIOUS

3. APPLY LIME PER SOIL TEST OR AT THE RATE OF 50 LB PER 1000 S.F.

4. APPLY FERTILIZER PER SOIL TEST OR AT THE RATE OF 7 LB PER 1000 S.F. OF 10-10-10 FERTILIZER.

5. UNLESS HYDROSEEDED, LIME AND FERTILIZER SHALL BE WORKED INTO SOIL TO A DEPTH OF

6. TILLAGE SHALL RESULT IN A UNIFORM CONTOUR, FREE FROM DEPRESSIONS AND WATER

1. APPLY ANNUAL RYEGRASS (OR APPROVED EQUAL) AT A RATE OF 1 LB PER 1000 S.F.

2. SEED SHALL BE APPLIED UNIFORMLY BY BROADCASTING, DRILLING OR HYDRAULIC APPLICATION.

3. UNLESS HYDROSEEDED, SEEDS SHALL BE COVERED WITH NOT MORE THAN 1/4 INCH OF

4. APPLY MULCH AS REQUIRED IMMEDIATELY AFTER SEEDING.

5. SEEDING SHALL OCCUR BETWEEN APRIL 1 TO JUNE 15 AND / OR AUGUST 1 TO OCTOBER

## **MULCHING:**

THE PURPOSE OF MULCHING IS TO PROTECT THE SOIL, CONTROL RUNOFF AND PROMOTE PLANT GROWTH.

ALL AREAS WHICH HAVE BEEN TEMPORARILY OR PERMANENTLY SEEDED SHALL BE MULCHED IMMEDIATELY FOLLOWING SEEDING.

MULCH SHALL BE USED ON ALL DISTURBED AREAS FOR PROTECTION FROM EROSION WHICH WILL BE EXPOSED FOR MORE THAN 21 DAYS AND CANNOT BE SEEDED WITHIN THE PRIME SEEDING DATES.

THE MATERIALS USED FOR MULCHING SHALL BE STRAW OR HAY FREE FROM COARSE MATTER

WHEN HYDROSEEDING, MULCH SHALL BE APPLIED SIMULTANEOUSLY WITH THE SEED. MULCH MATERIAL AND APPLICATION RATE SHALL BE AS RECOMMENDED BY THE MANUFACTURER.

OPERATION / WEEKS

E & S CONTROLS

ROUGH GRADING

FINAL GRADING

PAVEMENT BASE

PAVING & CURB

SPREAD TOPSOIL

LANDSCAPING

FINAL CLEANUP

DEMO

BUILDING

UTILITIES

MULCH SHALL BE APPLIED UNIFORMLY BY HAND OR BLOWER AT A RATE OF 90 LB/1000 S.F.

CRITICAL AREAS (SLOPES OVER 3 HORIZ. TO 1 VERT.) AND/OR AREAS IDENTIFIED ON THE PLAN SHALL BE MULCHED WITH HAY OR STRAW MULCH.

1. IF REQUIRED, MULCH SHALL BE ANCHORED IMMEDIATELY FOLLOWING APPLICATION.

SUGGESTED CONSTRUCTION SCHEDULE

2. STRAW AND HAY MULCH ON SLOPES IN EXCESS OF 5% SLOPE AND/OR AREAS AS DIRECTED BY THE ENVIRONMENTAL PLANNER SLOPE BE ANCHORED IN ACCORDANCE WITH CHAPTER 7 OF THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL, REVISED 1988..

2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18

# TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED ON ALL SOIL STOCKPILE AREAS

THE PURPOSE OF PERMANENT VEGETATIVE COVER IS TO STABILIZE EXPOSED SOIL, REDUCE DAMAGE FROM WIND & WATER EROSION AND ENHANCE THE ENVIRONMENT.

PERMANENT VEGETATIVE COVER:

WHICH WILL BE IN PLACE FOR MORE THAN 21 DAYS BETWEEN AUGUST 1 AND JUNE 15. PERMANENT VEGETATIVE COVER SHALL BE ESTABLISHED AS SOON AS POSSIBLE ON AREAS

WHERE CONSTRUCTION HAS BEEN COMPLETED. PERMANENT VEGETATIVE COVER SHALL BE ESTABLISHED BETWEEN THE PRIME SEEDING DATES

OF APRIL 15 THROUGH JUNE 15 AND AUGUST 15 THROUGH SEPTEMBER 15. IF TEMPORARY VEGETATIVE COVER CANNOT BE ESTABLISHED BETWEEN THE PRIME SEEDING

DATES, THE AREA SHALL BE STABILIZED TO THE EXTENT POSSIBLE WITH TEMPORARY MULCH

REFER TO THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL FOR ADDITIONAL INFORMATION.

SITE PREPARATION:

NITROGEN FOR TOPDRESSING.

POCKETS.

UNTIL THE NEXT PRIME SEEDING DATE.

1. APPLICABLE EROSION AND SEDIMENTATION CONTROLS (SEDIMENT BARRIERS, ETC.) SHALL BE INSTALLED PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.

MATERIALS. 3. UNLESS HYDROSEEDED, APPLY LIME PER SOIL TEST OR AT THE RATE OF 135 LB PER 1000

2. REMOVE LOOSE ROCK AND LARGE STONES, DEBRIS, TRASH, STUMPS AND OTHER NOXIOUS

4. UNLESS HYDROSEEDED, APPLY FERTILIZER PER SOIL TEST OR AT THE RATE OF 7.5 LB PER 1000 S.F. OF 10-10-10 FERTILIZER AND 7 LB PER 1000 S.F. OF 38-0-0 OF SLOW RELEASE

5. UNLESS HYDROSEEDED, LIME AND FERTILIZER SHALL BE WORKED INTO SOIL TO A DEPTH OF

WHEN HYDROSEEDING, THE SOIL SHALL BE TILLED AS DESCRIBED BELOW. LIME AND FERTILIZER OTHER ACCEPTABLE MEANS DURING THE CONSTRUCTION PERIOD. MAY BE APPLIED SIMULTANEOUSLY WITH THE SEED.

6. TILLAGE SHALL RESULT IN A UNIFORM CONTOUR, FREE FROM DEPRESSIONS AND WATER

1. SELECT AN APPROPRIATE SEED MIXTURE FROM THE LIST BELOW. ALTERNATE SEED MIXES SHALL BE APPROVED BY THE ENVIRONMENTAL PLANNER. APPLY PROPER INOCULANT WHEN USING LEGUME SEED.

2. SEED SHALL BE APPLIED UNIFORMLY BY BROADCASTING, DRILLING OR HYDRAULIC APPLICATION.

3. UNLESS HYDROSEEDED OR "CULTIPACKER" TYPE SEEDER IS USED, COVER THE SEEDS WITH NOT MORE THAN 1/4 INCH OF SOIL. THE SEEDBED SHALL BE FIRMED FOLLOWING SEEDING WITH A ROLLER OR LIGHT DRAG.

4. UNLESS HYDROSEEDED, APPLY MULCH AS REQUIRED IMMEDIATELY AFTER SEEDING.

5. SEEDING SHALL OCCUR BETWEEN APRIL 15 TO JUNE 15 AND / OR AUGUST 15 TO SEPTEMBER 15.

6. WHEN HYDROSEEDING, SEEDING RATES SHALL BE INCREASED BY 10 % (400% FOR

FIBER MULCH SHALL BE USED WHEN HYDROSEEDING EXCEPT FOR CRITICAL AREAS WHICH SHALL BE MULCHED WITH STRAW MULCH.

RECOMMENDED SEED MIXES:

SHADY SITE: CREEPING RED FESCUE - 1.10 LB/1000 S.F. PERENNIAL RYEGRASS - 0.10 LB/1000 S.F.

SUNNY / PARTIALLY SUNNY SITE: KENTUCKY BLUEGRASS - 0.50 LB/1000 S.F. CREEPING RED FESCUE - 0.50 LB/1000 S.F.

PERENNIAL RYEGRASS - 0.10 LB/1000 S.F

TALL FESCUE - 0.50 LB/1000 S.F.

CREEPING RED FESCUE - 1.00 LB/1000 S.F.

EROSION CONTROL/PROJECT NARRATIVE

PROPOSAL: CONSTRUCTION OF A 2273 SQ. FT. BUILDING (DUNKIN DONUT SHOP), PARKING AREA AND ASSOCIATED UTILITIES. SITE AREA: 43,214 S.F. (0.9921 AC.) AREA OF DISTURBANCE: 44,400 S.F.± (1.02 AC.)

WETLAND AREA: NONE TOPOGRAPHY: FLAT SOILS: UDORTHENTS-URBAN LAND COMPLEX VEGETATION: MINIMAL - SITE INTENSELY DEVELOPED DRAINAGE: CATCH BASIN / PIPE SYSTEM TO THE MDC PUMP STORAGE FACILITY

RESPONSIBLE PERSON DURING AND AFTER CONSTRUCTION: TED ZAFIRIS, PH. 860-916-7894

POTENTIAL E. & S. PROBLEMS / MITIGATION

UPLAND REVIEW AREA: NONE

THE FOLLOWING IS A DISCUSSION OF EROSION AND SEDIMENTATION CONCERNS AND THE SUGGESTED METHODS OF MITIGATION AND CONTROL. ALL EROSION AND SEDIMENTATION METHODS AND MATERIALS ARE SUBJECT TO THE REVIEW AND APPROVAL OF THE TOWN OF EAST HARTFORD ENVIRONMENTAL PLANNER. ADDITIONAL EROSION AND SEDIMENTATION CONTROLS MAY BE REQUIRED TO ADDRESS FIELD CONDITIONS.

1) SEDIMENT ENTERING THE EXISTING STORM SEWERS.

THE PLAN CALLS FOR ANY EXISTING STORM SEWER INLET SUBJECT TO RUNOFF FROM THE DISTURBED AREA HAVE ITS INLET PROTECTED WITH FILTER FABRIC. THE FILTER FABRIC PROTECTION SHOULD BE CHECKED AT REGULAR INTERVALS, THE ACCUMULATED SEDIMENT REMOVED AND THE FILTER FABRIC REPLACED TO AVOID EXCESSIVE PONDING AT THE INLETS.

WIND EROSION.

BECAUSE THE SITE IS MOSTLY FLAT AND SOMEWHAT EXPOSED DURING CONSTRUCTION, WIND EROSION OF SOIL STOCKPILES AND BLOWING DUST DURING CONSTRUCTION IS LIKELY TO OCCUR. THE PLAN CALLS FOR THE SOIL STOCKPILE AREAS TO BE VEGETATED AND THE SITE CONTRACTOR SHOULD BE PREPARED TO PROVIDE DUST CONTROL VIA A WATER TRUCK OR

3) INSPECTION AND MAINTENANCE OF E. & S. CONTROLS

INSPECTION AND PROPER MAINTENANCE OF ALL EROSION AND SEDIMENTATION CONTROL SYSTEMS IS CRITICAL TO THE ULTIMATE SUCCESS OF THE PROJECT. THE PLAN REQUIRES THE SITE CONTRACTOR TO INSPECT AND MAINTAIN THE EROSION AND SEDIMENTATION CONTROL SYSTEMS ON AT LEAST A WEEKLY BASIS AND PRIOR TO A PREDICTED RAIN EVENT.

4) EFFICIENT CONSTRUCTION AND TIMING

TO MINIMIZE THE EROSION AND SEDIMENTATION CONTROL PROBLEMS, THE SITE CONTRACTOR SHOULD CAREFULLY PLAN THEIR CONSTRUCTION ACTIVITIES TO MINIMIZE THE PERIOD OF TIME THE SITE IS EXPOSED TO EROSIVE FORCES AND TIME THE STABILIZATION WITH PRIME SEEDING

SUGGESTED CONSTRUCTION SEQUENCE

1) SAW CUT EXISTING PAVEMENT ALONG THE TOWN OF EAST HARTFORD PROPERTY (CT RIVER DIKE), REMOVE ENOUGH MATERIAL TO INSTALL A SEDIMENT BARRIER ALONG THE PROPERTY LINE. INSTALL SILT SACS IN EXISTING DRAINAGE STRUCTURES AS REQUIRED.

2) INSTALL TEMPORARY CONSTRUCTION ENTRANCE AND SAFETY FENCE.

3) BEGIN DEMOLITION OF THE EXISTING BUILDING AND OTHER SITE ITEMS.

4) ROUGH GRADE SITE.

5) BEGIN BUILDING CONSTRUCTION.

6) INSTALL DRAINAGE SYSTEM & SITE UTILITIES. INSTALL ADDITIONAL SILT SACS AS REQUIRED 7) FINE GRADE SITE.

TURN END SECTIONS

BYPASS OF WATER

OF SEDIMENT BARRIER

FILTER FABRIC-

CENTER, TYPICAL

OAK STAKES 10' ON

THE MIDDLE SECTION SHALL

THE GROUND CONTOUR LINE

AS NOTED ON PLANS

BE INSTALLED LEVEL FOLLOWING-

OPTIONAL HAY BALES ANCHORED

WITH WOOD STAKES (2 PER BALE).

UP SLOPE TO PREVENT

END SECTION -

8) INSTALL CURB (IF FULL DEPTH CURB USED) OR INSTALL PAVEMENT BASE (IF SLIP FORM CURB IS USED).

9) PLACE BIT. CONC BINDER, PLACE SLIP FORM CURB (IF USED).

10) SPREAD TOPSOIL AND INSTALL SITE LANDSCAPING. 11) CONDUCT FINAL SITE CLEANUP AND REMOVE SILT SACS. **EROSION CONTROL NOTES:** 

12

ALL EROSION AND SEDIMENTATION CONTROL METHODS SHALL BE IN ACCORDANCE WITH THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENTATION CONTROL, JAN. 2002 UNLESS SPECIFICALLY NOTED OTHERWISE ON THESE PLANS.

EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED WITHIN THE PROPER SEQUENCE DURING CONSTRUCTION (I.E. SEDIMENT BARRIERS INSTALLED DOWNSLOPE OF AREAS TO BE DISTURBED PRIOR TO DISTURBANCE).

ALL DISTURBED AREAS SHALL BE COVERED WITH 6 INCHES OF TOPSOIL, SEEDED AND MULCHED IMMEDIATELY UPON COMPLETION OF FINAL GRADING.

ALL CATCH BASIN GRATES SHALL BE PROTECTED FROM SEDIMENT ENTERING THE INLET BY USE OF FILTER FABRIC AROUND THE GRATE OR RINGED WITH SEDIMENT BARRIERS.

ALL SOIL STOCKPILE AREAS SHALL BE ENCIRCLED WITH SEDIMENT BARRIERS. TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED ON ANY STOCKPILE AREA WHICH IS TO REMAIN MORE THAN 21 DAYS.

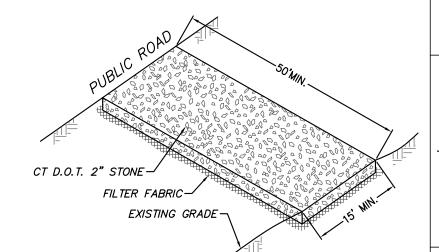
AND SUPPLIES ON SITE (HAY BALES, STONE, SHOVELS, ETC.).

REPAIRED OR MAINTAINED AS REQUIRED. EROSION AND SEDIMENTATION CONTROL MEASURES ARE SUBJECT TO REVIEW AND APPROVAL

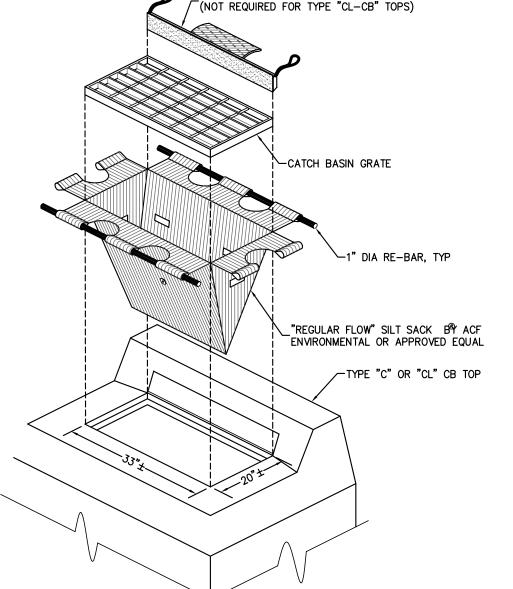
ADDITIONAL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED AS DIRECTED BY THE TOWN OF EAST HARTFORD ENVIRONMENTAL PLANNER TO ADDRESS FIELD

SUGGESTED SEED MIXES:

60% (BARON) KENTUCKY BLUEGRASS APPLY AT 170 LB/AC.



<u>CONSTRUCTION ENTRANCE</u>



POSE A DANGER TO WETLAND SYSTEMS.

ALL SILT SACKS ON SITE SHALL BE CHECKED WEEKLY AT A MINIMUM. ADDITIONALLY, THEY SHALL BE CHECKED (AND CLEANED AS REQUIRED) PRIOR TO AND FOLLOWING A RAIN EVENT.

THE SILT SACKS SHALL REMAIN IN PLACE UNTIL ALL UPSTREAM AREAS HAVE STABILIZED TO THE SATISFACTION OF THE TOWN ENVIRONMENTAL PLANNER. AT WHICH TIME THE SACKS SHALL BE REMOVE. ANY ACCUMULATED SEDIMENT PROPERLY DISPOSED OF. ADDITIONALLY, WHEN THE SACK IS REMOVED, THE STORM STRUCTURE (& PIPE SYSTEM) SHALL BE INSPECTED AND ANY ACCUMULATED SEDIMENT REMOVED, AND PROPERLY DISPOSED OF.

SEDIMENT REMOVED FROM THE SACKS SHALL BE DISPOSED OF AT A SUITABLE LOCATION AS TO NOT

ADDITIONAL INFORMATION CAN BE OBTAINED FROM: ACF FNVIRONMENTAL 2831 CARDWELL ROAD RICHMOND, VA 23234 1-800-448-3636

CONTACT PERSON - EROSION & SEDIMENTATION CONTROL ISSUES

WWW.ACFENVIRONMENTAL.COM

STORM INLET SEDIMENT CONTROL

"THE EAST HARTFORD PLANNING AND ZONING COMMISSION CERTIFIES THAT THE SOIL-EROSION AND SEDIMENT-CONTROL PLAN COMPLIES WITH THE REQUIREMENTS OF THE TOWN OF EAST HARTFORD REGULATIONS AND THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENTATION CONTROL DATED 1985, AS AMENDED. THE APPLICANT UNDER THIS PLAN IS RESPONSIBLE FOR ENSURING COMPLIANCE WITH THE PLAN. THE TOWN OF EAST HARTFORD SHALL NOT BE HELD LIABLE FOR IMPROPER INSTALLATION, LACK OF MAINTENANCE, OR OTHER NEGLECT ON BEHALF OF THE APPLICANT."

APPROVAL DATE:

CHAIRMAN

TOWN OF EAST HARTFORD PLANNING AND ZONING COMMISSION SITE PLAN CERTIFICATE OF APPROVAL

APPROVAL DATE:

EXPIRATION DATE:

CHAIRMAN: NOTE: THE DEVELOPER SHALL NOTIFY THE TOWN OF EAST HARTFORD ENGINEERING DIVISION 24 HOURS PRIOR TO BEGINNING ANY STORM RAINAGE, ROADWAY PREPARATION, PAVING, SIDEWALK, CURBING, STREET LINE MONUMENTATION, PROPERTY CORNER PINS, ETC., TO SCHEDULE

JOHN R. MARTUCCI, P.E. #19494

THIS DOCUMENT IS AN INSTRUMENT OF PROFESSIONAL SERVICE AND SHALL NOT B ED IN WHOLE OR IN PART FOR ANY PURP D IN WHULE OR IN PART FOR ANY FURP-DTHER THAN FOR WHICH IT WAS CREATEL THOUT THE EXPRESS WRITTEN CONSENT O TON ASSOCIATES, LLC. ANY UNAUTHORI E, REUSE, MODIFICATION OR CONVERSION IS DOCUMENT IS NOT ALLOWED AND IF SU DOCURS, THE OFFENDER PROSECUTED TO TI FULL EXTENT OF THE LAW. 2017 - DUTTON ASSOCIATES, LLC.

09/01/2017 - TOWN COMMENTS

DATE: 07/31/2017 SCALE: AS SHOWN

SHEET 20 of 25 PC#356482 A-13-057-D1

ISPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:30 AM - 4:3 PM AT 1-860-291-7380

FILE: 13057.DWG

►END SECTION

EXISTING GRADE, TYP.

-EXISTING GRADE, TYP.

FILTER FABRIC

FIRMLY EMBED

FILTER FABRIC

FI OW

-EMBED STAKE 12" MIN.

SEDIMENT BARRIER

NOT TO SCALE

THE CONTRACTOR SHALL KEEP A SUPPLY OF EROSION AND SEDIMENTATION CONTROL TOOLS

THE CONTRACTOR SHALL INSPECT THE EROSION AND SEDIMENTATION CONTROLS WEEKLY AND PRIOR TO A PREDICTED RAIN EVENT. THE EROSION AND SEDIMENTATION CONTROLS SHALL BE

BY THE TOWN OF EAST HARTFORD ENVIRONMENTAL PLANNER.

PERMANENT SEEDING 20% (JAMESTOWN II) CHEWINGS FESCUE 20% (PALMER II) PERENNIAL RYEGRASS

TEMPORARY SEEDING ANNUAL RYEGRASS (LOLIUM MULTIFLORUM) APPLY AT 40 LB/AC.

> GUTTER GATOR CURB INLET PROTECTION (NOT REQUIRED FOR TYPE "CL-CB" TOPS)

