
**Application for
Town of East Hartford Planning & Zoning Commission
Flood Hazard Zone – Major Development
Soil Erosion and Sedimentation Control**

**Pratt & Whitney
East Hartford, Connecticut**

September 2017

**Prepared for

PRATT & WHITNEY
400 Main Street
East Hartford, Connecticut 06118**

**Prepared by

LOUREIRO ENGINEERING ASSOCIATES, INC.
100 Northwest Drive
Plainville, Connecticut 06062**

An Employee Owned Company

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1. INTRODUCTION

On behalf of United Technologies Corporation/Pratt & Whitney Division (Pratt & Whitney), Loureiro Engineering Associates, Inc. (Loureiro) has prepared this application package to provide the information and documentation necessary for the “Town of East Hartford Planning & Zoning Commission Application Form” (“Application”) for Flood Hazard Zone for Major Development along with Soil Erosion and Sedimentation Control Certification. This Application is being submitted for the proposed South Klondike Culvert Extension Project (hereinafter referred to as the “Project”) at the Pratt & Whitney facility located at 400 Main Street in East Hartford, Connecticut.

Pratt & Whitney is proposing to perform construction activities to eliminate the discharge of groundwater impacted with Volatile Organic Compounds (VOCs) to the surface water by extending an existing culvert. Section 3 of this application has been prepared in order to delineate the appropriate measures to be taken in order to minimize and control soil erosion and sedimentation during the proposed construction activities.

1.1 Construction Area

Construction activities will take place in the South Klondike Area situated in the southeast corner of the Pratt & Whitney Main Street campus. The project limits are located east of Runway Road along an existing watercourse which ultimately discharges into Pewter Pot Brook. The area of construction is approximately 1.13 acres. Drawing 1 shows the approximate location of the construction area.

1.2 Construction Activities

The major elements for the completion of the project include the installation of a 36-inch culvert and backfill to elevation 42. The existing swale downstream of the culvert will be improved with a plunge pool at the culvert discharge and a permanent stone check dam. Since there will be filling within the proposed limits of the culvert extension, the size of the swale will be increased to provide compensatory flood storage and a wetlands restoration area.

The proposed construction activities involve the installation of soil erosion and sediment controls, filling and grading activities, and the restoration of all areas disturbed by construction activities.

1.3 **Construction Activity Sequencing**

Construction activities are anticipated to take place between October 23, 2017 and December 31, 2017, provided that approval has been granted from all regulatory agencies having jurisdiction over the construction activities. The proposed sequencing is as follows:

- Acquire any and all permits required to perform the work
- Coordinate access and barricade zones, construct the anti-tracking pad
- Install perimeter silt fence indicated on the plans or as determined necessary to facilitate the work and mitigate the discharge of sediment
- Install the 36-inch culvert and associated stormwater structures
- Excavate the swale downstream of the new culvert to replace flood storage volume eliminated by the installation of the culvert and subsequent backfilling
- Backfill the areas where 36-inch culvert was installed
- Install and construct the permanent erosion control features in the swale
- Restore all disturbed areas
- Remove erosion control measures following stabilization

The above list has been prepared to provide the reader with a general understanding of the likely sequence of construction activities. The contractor will have the responsibility to follow the general sequence of activities and install and maintain all soil erosion and sediment controls during the performance of the project. For a detailed sequencing of the specific sediment and erosion controls over the course of the construction, refer to Drawings 1 and 2.

2. PERMIT APPLICATION FORM

**TOWN OF EAST HARTFORD
PLANNING & ZONING COMMISSION
APPLICATION FORM**

DATE: 8/7/2017

Official Receipt Date:

 / /

1. APPLICATION TYPE: (CHECK ALL THAT APPLY)

***COMPLETE SECTION ON PAGE 2 OR 3**

- | | |
|--|--|
| <input type="checkbox"/> SITE PLAN APPLICATION | <input type="checkbox"/> NATURAL RESOURCES REMOVAL AND FILLING |
| <input type="checkbox"/> SITE PLAN MODIFICATION | <input type="checkbox"/> SPECIAL USE PERMIT* |
| <input checked="" type="checkbox"/> FLOOD HAZARD – MAJOR* | <input type="checkbox"/> ZONING MAP CHANGE* |
| <input type="checkbox"/> FLOOD HAZARD – MINOR* | <input type="checkbox"/> TEXT AMENDMENT* |
| <input checked="" type="checkbox"/> SOIL EROSION AND SEDIMENTATION - Cumulative disturbed area (sq. ft.): <u>49,200 SF</u> | |

2. SITE AND PROJECT INFORMATION

PROPERTY ADDRESS: 400 Main Street ZONE: DDD1

ASSESSORS MAP AND LOT: 20-45 PARCEL SIZE (ACRES OR SQ. FT.): 788.82 acres

PROJECT NAME: South Klondike Culvert Extension

PROJECT DESCRIPTION (ATTACH ADDITIONAL SHEETS IF NEEDED):

See Attached

3. PROPERTY OWNER INFORMATION

☐ CHECK IF PRIMARY CONTACT

OWNER OF RECORD: United Technologies Corporation / Pratt & Whitney Division

OWNER ADDRESS: 400 Main Street, East Hartford, Connecticut 06118

OWNER PHONE: (860) 565-0886 OWNER EMAIL: renee.welsh@pw.utc.com

OWNER SIGNATURE:  PRINT NAME: L. Renée Welsh

The undersigned owner hereby authorizes: **(1)** this application, and **(2)** the Planning and Zoning Commission and Town of East Hartford staff the right to enter upon the property for the purposes of inspection associated with this application.

4. APPLICANT INFORMATION

☐ CHECK IF PRIMARY CONTACT

☒ CHECK IF APPLICANT IS SAME AS PROPERTY OWNER

APPLICANT: _____

APPLICANT ADDRESS: _____

APPLICANT PHONE: _____ APPLICANT EMAIL: _____

APPLICANT SIGNATURE: _____ PRINT NAME: _____

5. DESIGN PROFESSIONAL INFORMATION

☒ CHECK IF PRIMARY CONTACT

FIRM: Loureiro Engineering Associates, Inc. PHONE: (860) 410-2905

CONTACT PERSON: Christopher C. Winter, P.E. EMAIL: ccwinter@loureiro.com

- COMPLETE ONLY THE SECTIONS THAT APPLY TO YOUR APPLICATION TYPE -

A. SPECIAL USE PERMIT

(ATTACH ADDITIONAL SHEETS IF NEEDED)

1) Applicable Section of the Zoning Regulations: _____

2) Describe how the proposed Special Use Permit relates to the Plan of Conservation and Development:

3) Describe how the proposed Special Use Permit will benefit the Town of East Hartford:

B. FLOOD HAZARD ZONE – MAJOR DEVELOPMENT OR MINOR DEVELOPMENT

1) Name of associated watercourse: Pewter Pot Brook

2) Total amount of land (in sq. ft.) to be affected within the:

a. Flood Hazard Zone: Zone A: 31,629 SF / Zone X: 17,542 SF

b. Floodway: 31,629 SF

c. Floodway fringe: 17,542 SF

3) Enumerate methods of compliance with Sections 601.10, 601.11, and 601.12 of the Zoning Regulations:

See Attached

- COMPLETE ONLY THE SECTIONS THAT APPLY TO YOUR APPLICATION TYPE -

C. ZONING MAP CHANGE

(ATTACH ADDITIONAL SHEETS IF NEEDED)

1) Zoning information:

a. Existing Zoning District: _____

b. Proposed Zoning District: _____

2) Describe the existing and proposed use of land and buildings in zone change area:

3) Describe how the proposed Zone Change relates to the Plan of Conservation and Development:

4) Describe how the proposed Zone Change will benefit the Town of East Hartford:

D. TEXT AMENDMENT

(ATTACH ADDITIONAL SHEETS IF NEEDED)

1) Section number and wording of existing Zoning Regulation proposed for amendment:

2) Proposed revision, addition, or change in wording to the Zoning Regulations:

3) Describe the circumstance that justifies the proposed amendment:

4) Describe how the proposed amendment clarifies or improves the Zoning Regulations and improves development in the Town of East Hartford:

5) Describe how the proposed amendment relates to the Plan of Conservation and Development:

**EAST HARTFORD PLANNING AND ZONING COMMISSION
PUBLIC HEARING SIGN AFFIDAVIT**

FOR THE FOLLOWING APPLICATIONS:

SECTION 207 - SPECIAL USE PERMIT

SECTION 601 - FLOOD HAZARD ZONE

SECTION 602 - COMPREHENSIVE REHABILITATION ZONE

SECTION 603 - DESIGN DEVELOPMENT DISTRICT

SECTION 714 - ZONING MAP AMENDMENT

Address/location of subject parcel (s): 400 Main Street, East Hartford, CT 06118

Applicant: United Technologies Corporation / Pratt & Whitney Division

SIGN(S) RECEIVED BY: _____ **Date** _____

I hereby swear that I/we have complied with the applicable Public Notice section of the East Hartford Zoning Regulations for the following application:

- ☐ SPECIAL USE PERMIT
☒ MAJOR FLOOD HAZARD DEVELOPMENT
☐ ZONING MAP AMENDMENT

The applicant shall display a sign or signs which indicate that an application has been filed for the area on which the sign or signs have been posted. Said sign or signs shall be erected and maintained by the applicant wherever the parcel abuts each public or private street from the day that the notice of public hearing has been posted until the first secular day following the public hearing.



APPLICANT SIGNATURE

8.3.17

DATE

**TOWN OF EAST HARTFORD PLANNING & ZONING COMMISSION
APPLICATION INFORMATION AND FEE SCHEDULE**

	APPLICATION	FEE	REGULATION SECTION	APPLICATION DESCRIPTION (SEE ZONING REGULATIONS FOR COMPLETE REQUIREMENTS)
USE PLANNING & ZONING COMMISSION APPLICATION FORM FOR THESE APPLICATIONS	SITE PLAN APPLICATION	\$160 + \$10/1000 sq. ft. building area or part thereof, or change of use	702	Any alteration or modification to the exterior of a building that requires a Building Permit – Multiple family dwellings (4+ units) and non-residential structures only
	SITE PLAN MODIFICATION	\$110 + \$10/1000 sq. ft. of additional building	702	Any modification to a previously approved site plan
	SPECIAL USE PERMIT	\$260	207	Any use designated as a “Special Permit Use” in the regulations
	SOIL EROSION AND SEDIMENTATION CONTROL PLAN	\$95	217	Cumulative disturbance of greater than one half (0.5) acres of land
	FLOOD HAZARD ZONE – MAJOR DEVELOPMENT	\$260	601	Any development activity occurring in the flood zone (see flood zone map)
	FLOOD HAZARD ZONE – MINOR DEVELOPMENT	\$95	601	Any development activity occurring in the flood zone (see flood zone map)
	SITE LOCATION APPROVAL	\$205	VARIOUS	Any automobile related use (dealer, repairer, gas station, etc.)
	TEXT AMENDMENT	\$260	712	Request to change Zoning Regulation text
	ZONE CHANGE	\$260	713	Request to change Zoning Map
	NATURAL RESOURCES REMOVAL AND FILLING PERMIT	\$125	218	Any excavation, removal, or filling of earthen materials
REQUIRES SEPARATE APPLICATION FORM	SIGN	\$115	210	Any sign installation, panel replacement, or alteration to a sign
	SUBDIVISION FINAL LAYOUT	\$160	REFER TO SUBDIVISION REGULATIONS	The creation of a new building lot
	SUBDIVISION PRELIMINARY LAYOUT	\$90/lot (\$200 minimum)	REFER TO SUBDIVISION REGULATIONS	The creation of a new building lot
	BOND RELEASE / REDUCTION REQUEST	\$0	VARIOUS	Request to release a bond for site work or erosion and sedimentation control measures
	DIGITAL DATA AFFIDAVIT FORM	N/A	705.2.b.1(e)	Accompanies final plans that lack a digital signature

Town of East Hartford Planning & Zoning Commission Application Form
United Technologies Corporation / Pratt & Whitney Division
400 Main Street, East Hartford, Connecticut

2. Site and Project Information: United Technologies Corporation / Pratt & Whitney Division (Pratt & Whitney) is proposing to perform construction activities to eliminate the discharge of groundwater impacted with Volatile Organic Compounds (VOCs) to the surface water by extending an existing culvert. The existing culvert is located in the South Klondike Area situated in the southeast corner of their Main Street campus. The project limits are located east of Runway Road along an existing watercourse which ultimately discharges into Pewter Pot Brook. The project site is entirely within the previously developed area of the former Rentschler Field airport. The major elements for the completion of the project are listed below.

- Installation of temporary soil erosion and sediment controls along project limits.
- Installation of approximately feet of 36-inch culvert and backfill to elevation 42.
- Excavation of the swale downstream of the new culvert to replace flood storage volume eliminated by the installation of the culvert and subsequent backfilling.
- Installation and construction of erosion control features in the swale.
- Restoration of all disturbed areas.

Town of East Hartford Planning & Zoning Commission Application Form
United Technologies Corporation / Pratt & Whitney Division
400 Main Street, East Hartford, Connecticut

B. Flood Hazard Zone – Major Development or Minor Development

3. Enumerate methods of compliance with Sections 601.10, 601.11, 601.12 of the Zoning Regulations:

- Compensatory storage will be provided in the swale downstream of the 36-inch culvert.
- Due to the compensatory storage the base flood elevation (BFE), as determined by the Federal Emergency Management Agency (FEMA), will remain at elevation 42.
- Improvements to be made within the flood zone include the installation of a 36-inch culvert and modifications to the existing swale located south of the culverts. Watertight pipes and pipe connections will be used for the culverts. Culverts will have been designed using the manufacturer's specification to have sufficient cover to prevent floatation or lateral movement during the event of a 100-year storm.
- If a major flood is forecast or does occur during the period when construction within the 100-year or 500-year flood zone is proceeding, and it appears that damage might occur, the work area will be evacuated.
- Stockpiles, equipment and vehicles shall be stored above the BFE of 42.

3. SOIL EROSION AND SEDIMENT CONTROLS

This section presents the soil erosion and sediment controls to be utilized during the course of the proposed construction activities. The section also discusses the design considerations taken into account when choosing the construction strategy and in choosing the proper soil erosion and sediment controls to be utilized.

Pursuant to Section 3(d) of the General Permit for the Discharge of Stormwater and Dewatering Wastewaters Associated with Construction Activities, “for construction projects with a total disturbed area (regardless of phasing) of between one and five acres, the permittee shall agree to adhere to the erosion and sediment control land use regulations of the town in which the construction activity is conducted. No registration pursuant to Section 4 of this general permit shall be required for such construction activity as long as it receives town review and written approval of its erosion and sediment control measures and follows the Guidelines.” The total disturbed area of construction for this project will be in the aforementioned range (1.13 acres) and will not require registration with the commissioner of the Connecticut Department of Energy and Environmental Protection (DEEP).

3.1 Soil Erosion and Sediment Control During Construction

There are two areas where soil erosion and sediment control measures must be undertaken at the Site. The first area is located on the north side of the existing 36-inch culvert located within the project limits. This area is approximately 0.20 acres. The second area where soil erosion and sediment control measures will be installed is on the south side of the existing 36-inch culvert. This area is approximately 0.93 acres.

The initial activities to be performed at the Site include installing the anti-tracking pad along the construction entrance and the silt fence around both of the previously mentioned areas to prevent silt from leaving the work area.

3.2 Post Construction Stormwater Handling

No special post-construction stormwater handling issues are associated with the proposed construction activities. After construction is completed, all stormwater features in the immediate vicinity will be restored to their current configuration.

4. INSPECTIONS, MAINTENANCE AND RECORDS

This section details the minimum soil erosion and sediment control inspections to be performed during and following construction of the culvert extension. It should be noted that the contractor will be responsible for completing all inspections noted below, and also for the maintenance and integrity of all soil erosion and sediment controls during the entire duration of construction activities.

4.1 Weekly Inspections

A qualified project representative shall conduct weekly inspections. In general, these inspections shall be completed until final stabilization has been achieved and shall address disturbed areas that have not been stabilized, structural control measures, vehicle exit and entrance areas, and material storage areas.

4.2 Post Rainfall Inspections

A project representative shall perform an inspection of disturbed areas that have not been stabilized, structural control measures, vehicle exit and entrance areas, and material storage areas within 24 hours of the end of a storm in which 0.5 inches or more rain has fallen. These inspections need only be conducted until post-construction stabilization is achieved.

4.3 Post Construction Inspections

A qualified project representative shall perform post-construction inspections based on the above criteria until stabilization of the entire Site is documented. Post construction inspections shall, at a minimum, extend for a three-month period after final stabilization has been achieved.

4.4 Maintenance

Maintenance will be necessary throughout the project to mitigate potential soil erosion and sedimentation. Maintenance activities shall be performed on all aspects of the work as needed to maintain the soil erosion and sedimentation controls as defined herein and as added throughout the project for specific needs as they arise. Maintenance will entail replacing or repairing the controls designated in this plan to their original function. Maintenance may also include the installation of additional erosion control measures as needed to adequately mitigate potentially erosion or sedimentation.

At a minimum, the following controls may require regular maintenance:

- Stockpiles and related silt fences
- Site entrance and exit anti-tracking controls

4.5 **Reporting and Record Retention**

Upon the completion of a weekly, post rainfall, or post construction inspection, a brief report shall be prepared detailing the scope of the inspection, the name of the inspector(s), the date of the inspection, observations effecting the Soil Erosion and Sediment Control Plan, and corrective actions required to ensure proper operation of erosion and pollution control measures. A qualified project representative must sign this report.

ATTACHMENT A

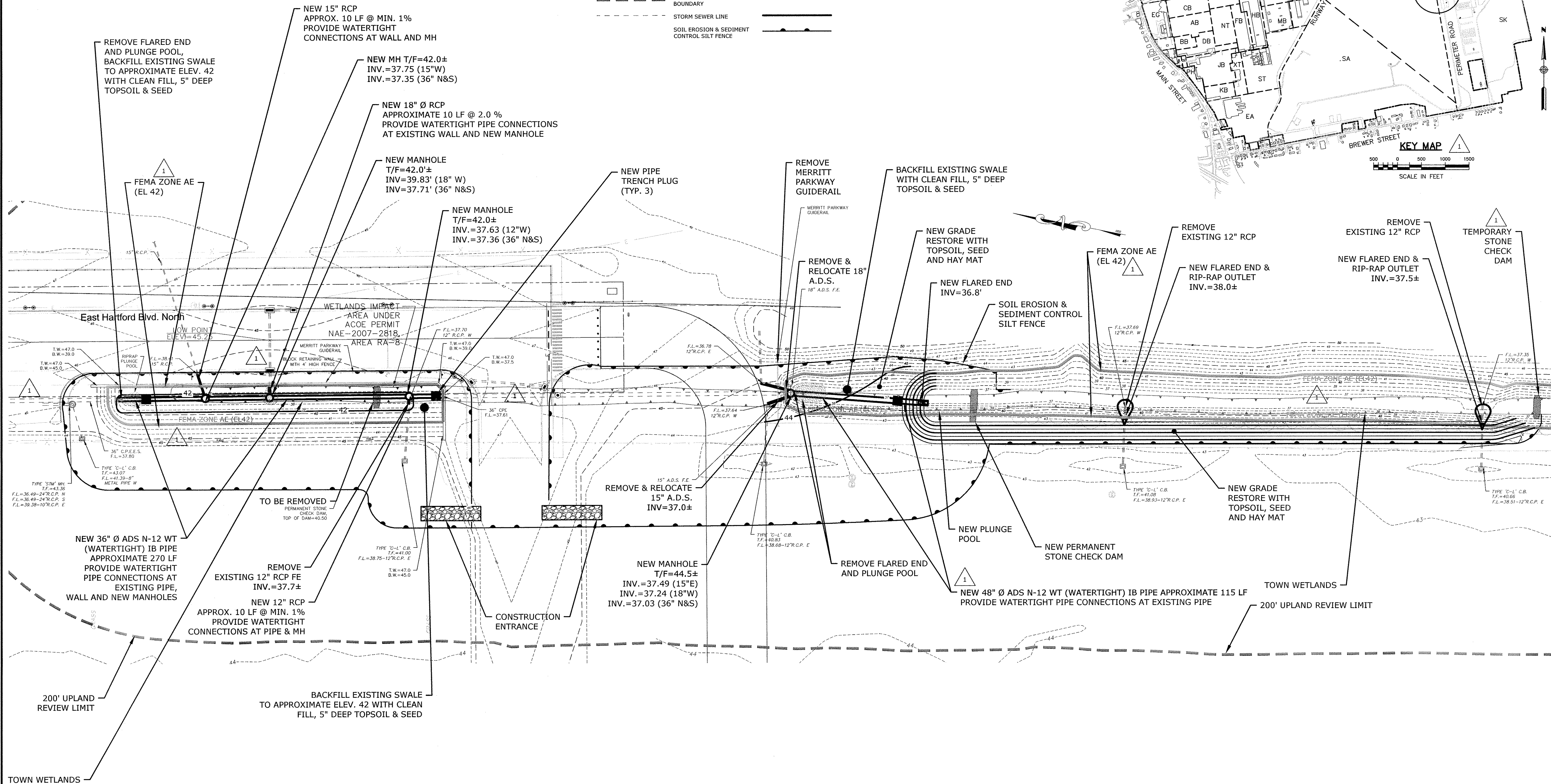
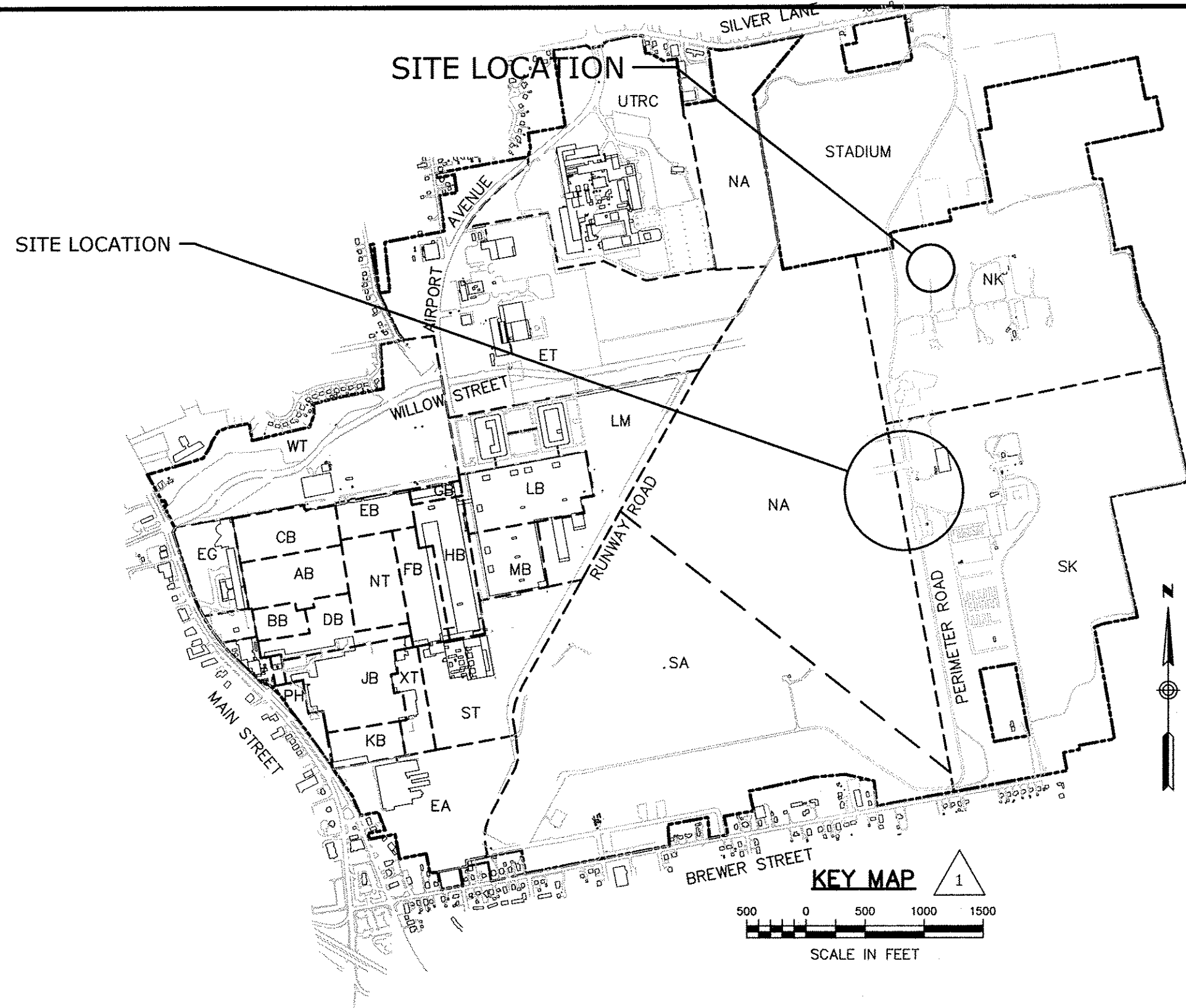
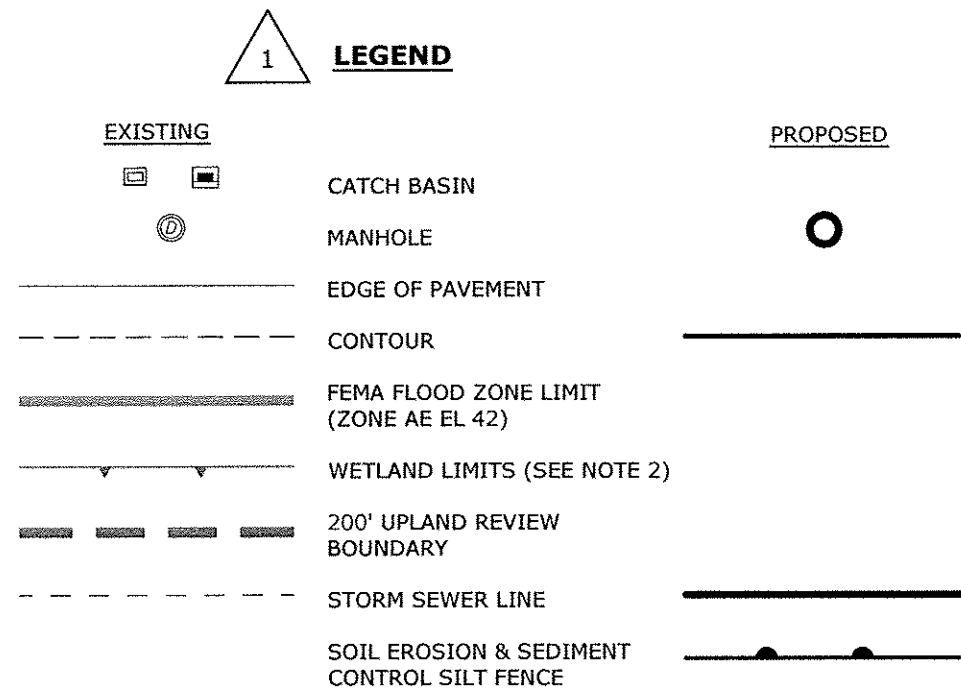
Drawing 1 Culvert Extension

Drawing 2 Culvert Extension Details

Flood zone storage capacity calculations were performed using 3D computer modeling, volumes by triangulation. The 100 year flood elevation (42) provided in the FEMA study was used as the upper limit for the calculations; the existing topography was used for all other limits below elevation 42. The project was broken up into 3 segments: north, middle and south. The north and middle segments are where the new culverts are being installed and the south segment is where the compensatory excavation is being performed. For each segment, the fill volume was calculated for the area within the wetlands and the upland review area below elevation 42. A summary table of calculated volumes is provided below:

Location	Cut (Cubic Yards)	Fill (Cubic Yards)
North	0.00	874.96
Middle	0.27	718.92
South	1,617.60	47.46
Culverts (36" & 48")	124.21	0.00
Totals	1,741.81	1641.34

Based on the calculations, there will be an increase in flood storage volume of approximately 100 cubic yards.



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This document contains no technical data subject to the EAR or the ITAR

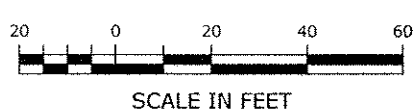
MAP REFERENCES:

1. SITE BACKGROUND PROVIDED ELECTRONICALLY FROM DRAWINGS ENTITLED: "RENTSCHLER FIELD - PHASE 2 ROADWAY IMPROVEMENTS EAST HARTFORD BOULEVARD NORTH EXTENSION, EAST HARTFORD, CONNECTICUT CONSTRUCTION PLAN SET - ADDENDUM #7", DRAWING GR-3, MAY 12, 2016, REVISED 10/24/2016 BY F.A. HESKETH & ASSOCIATES, INC.
2. WETLANDS DIGITIZED FROM MAPPING PROVIDED BY THE TOWN OF EAST HARTFORD, MAPS 21 AND 25 OF 34, DATED 4-29-05, SCALE 1"=200'.

The East Hartford Planning and Zoning Commission certifies that the *soil-erosion and sediment control plan* complies with the requirements of the Town of East Hartford regulations and the Connecticut Guidelines for Soil Erosion and Sediment Control dated 2002, as amended. The applicant under this plan is responsible for ensuring compliance with the plan. The Town of East Hartford shall not be held liable for improper installation, lack of maintenance, or other neglect on behalf of the applicant.

Approval Date:

Chairman:



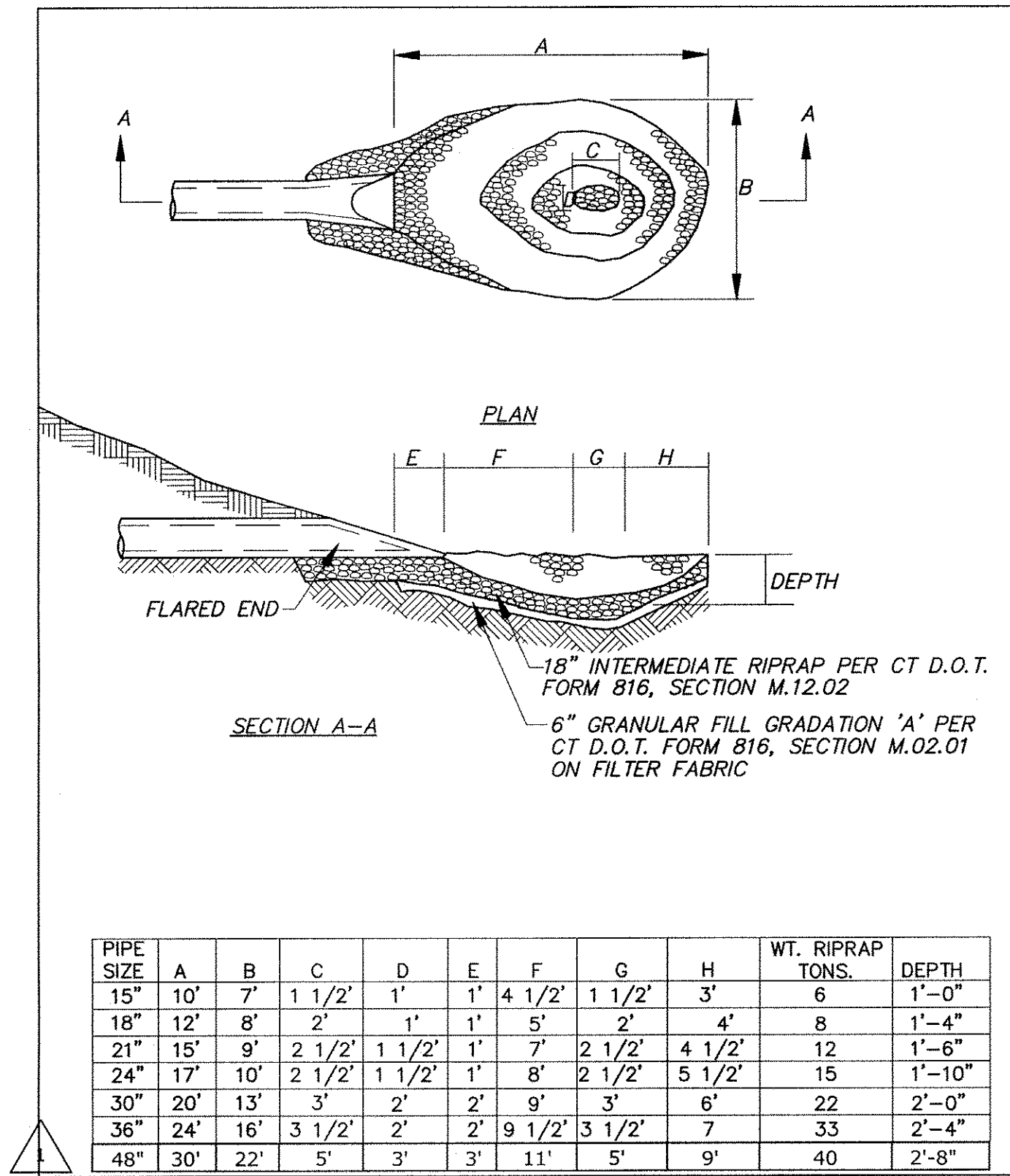
CULVERT EXTENSION

SOUTH KLONDIKE
400 MAIN STREET, EAST HARTFORD, CONNECTICUT
PREPARED FOR:
UNITED TECHNOLOGIES (UTC)

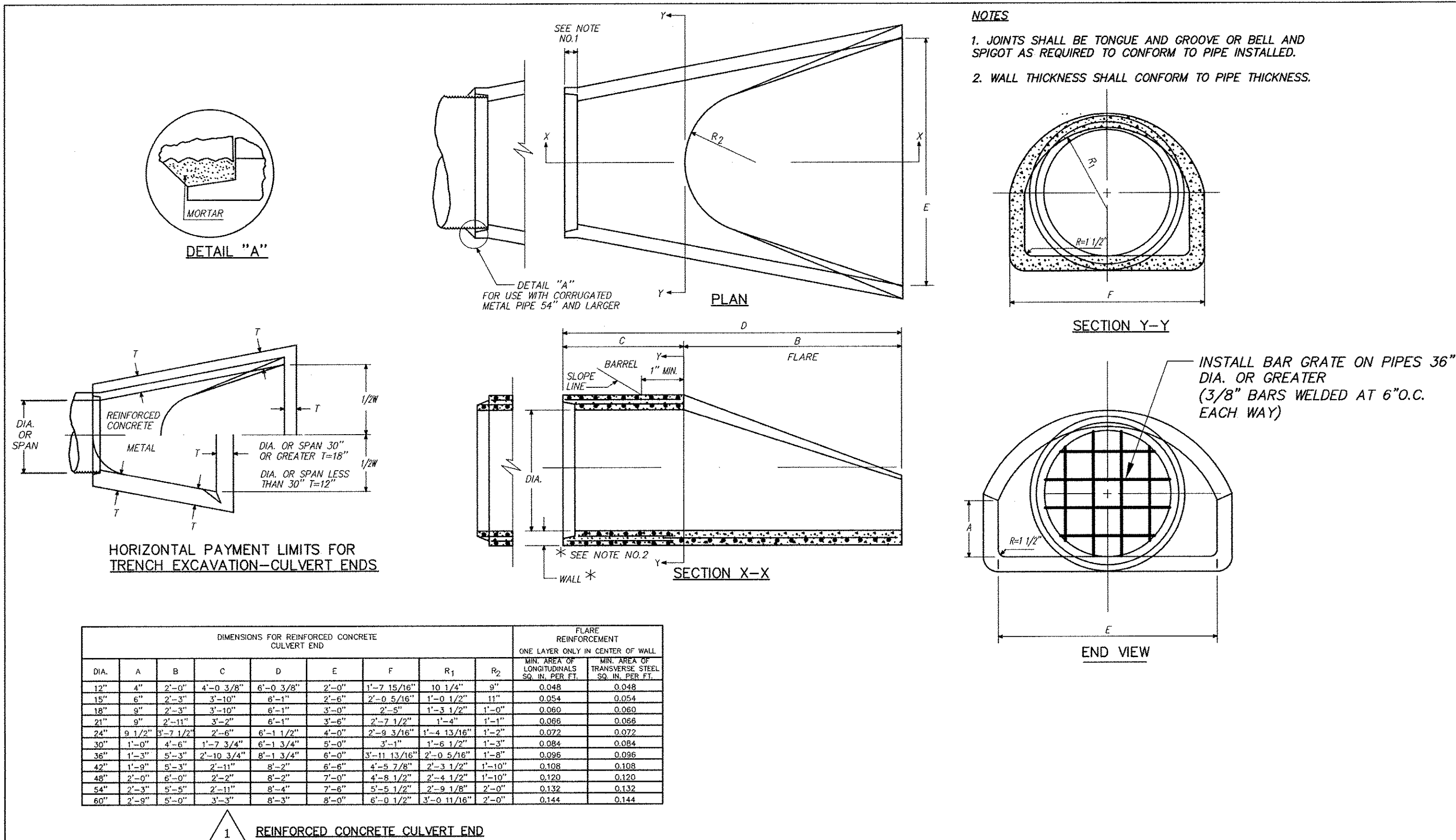
DRAWING

1

SHEET NO.	1	NO. OF SHEETS	2
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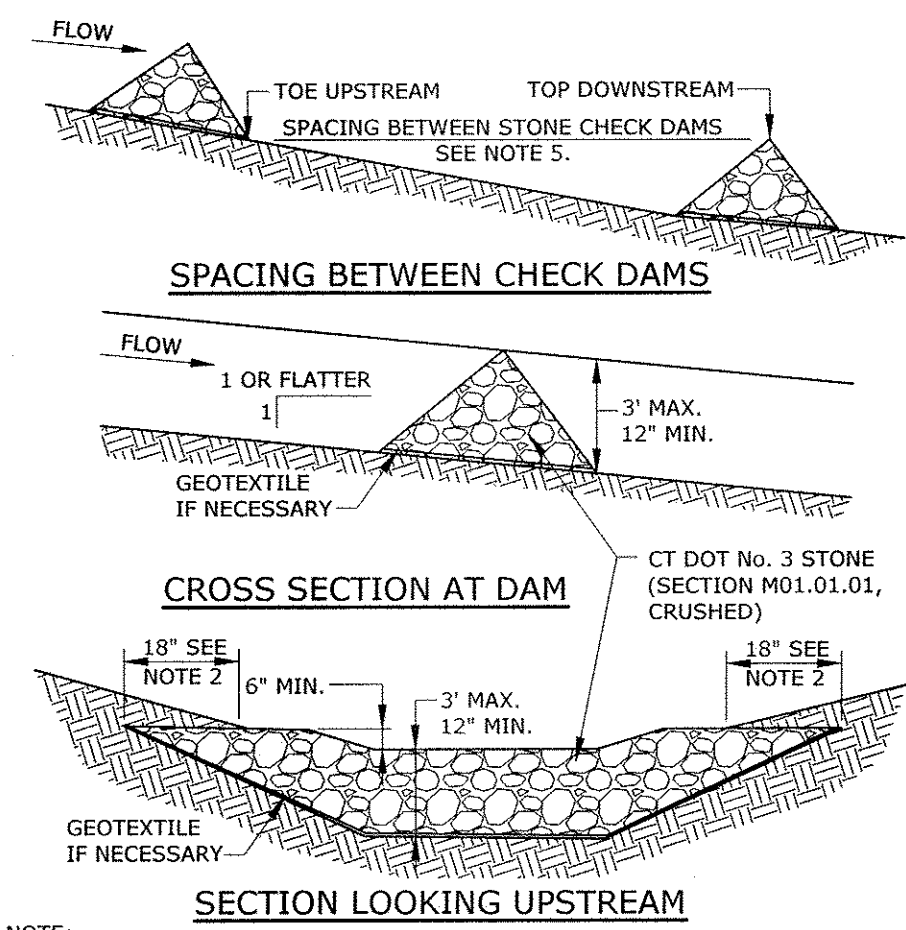
RIPRAP PLUNGE POOL (RRPP)
SCALE: NONE



FLARED END SECTION
SCALE: NONE

Sequence of Construction Activities

- Acquire any and all permits required to perform the work (including town and/or state permits).
- Coordinate access and barricade work zones. Construct the anti-tracking pad.
- Install perimeter silt fence as indicated or as determined necessary to facilitate the work and mitigate the discharge of sediment.
- Install 36-inch culvert and associated stormwater structures.
- Excavate swale downstream of new culvert.
- Backfill areas where culvert was installed.
- Install and construct permanent erosions control features in swale.
- Restore all disturbed areas.
- Remove erosion control measures following site stabilization.



- NOTE:
- SEE PLAN FOR LOCATION.
 - KEY STONE INTO THE DITCH BANKS AND EXTEND INTO THE ABUTMENTS A MINIMUM OF 18" TO PREVENT FLOW FROM FLANKING THE CHECK DAM.
 - THE MINIMUM DESIGN CAPACITY SHALL CONVEY A 2 YEAR - 24 HOUR PEAK FLOW.
 - RIPRAP SIZE AND THICKNESS SHALL BE AS INDICATED UNLESS OTHERWISE AS DETERMINED BY ENGINEER.
 - THE MAXIMUM SPACING BETWEEN CHECK DAMS SHALL BE SUCH THAT THE TOE OF THE UPSTREAM CHECK DAM IS AT THE SAME ELEVATION AS THE TOP OF THE CENTER OF THE DOWNSTREAM CHECK DAM.

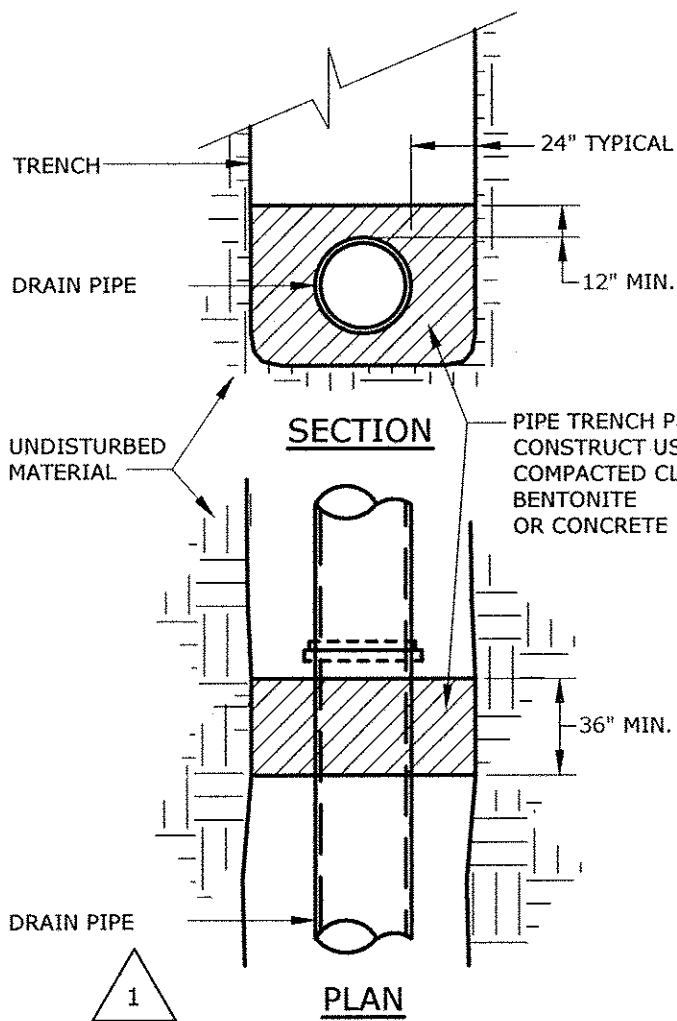
Reference: 2002 CT Guidelines for Erosion and Sediment Control, DEEP Bulletin 34, Figure SCD-2.

TYPICAL STONE CHECK DAM INSTALLATION IN DRAINAGEWAYS

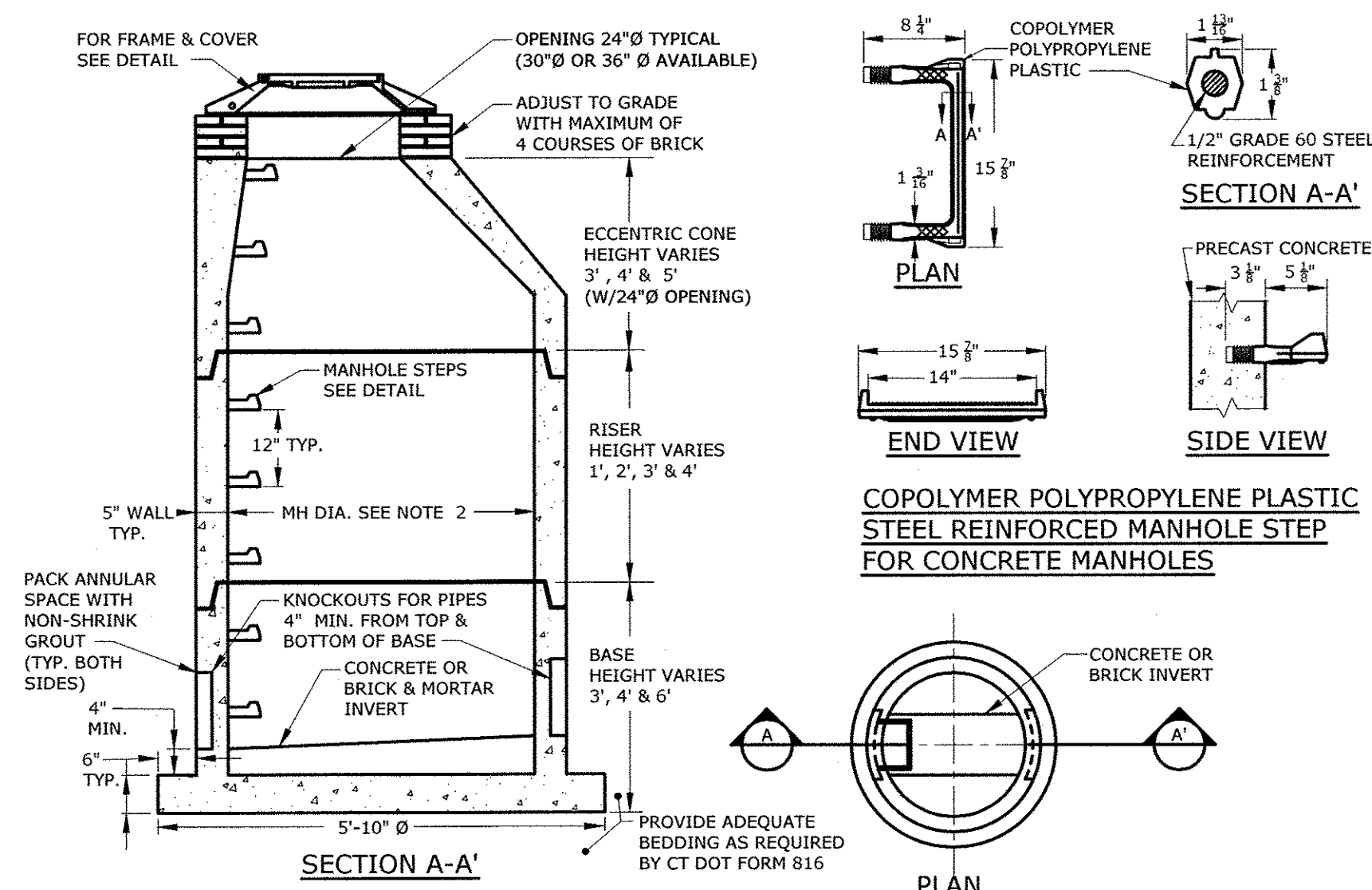
SCALE: NONE

STONE CHECK DAM DETAILS

NOTE: ALL EROSION DISSIPATING STRUCTURES SHALL BE FURNISHED, INSTALLED AND MAINTAINED IN ACCORDANCE WITH 2002 CT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROLS, AS AMENDED.



PIPE TRENCH PLUG DETAIL
SCALE: NONE



- NOTES:
- PRECAST CONCRETE MANHOLE COMPONENTS SHALL CONFORM TO CTDOT STANDARD SHEET HW-507.10 AS AMENDED.
 - 4", 5" OR 6" PRECAST CONCRETE BASE DIAMETERS MAY BE USED WHEN REQUIRED DUE TO SIZE OR NUMBER OF PIPES AT THE MANHOLE. PRECAST REDUCERS WILL BE PLACED ABOVE THE 5" AND 6" BASES AS DIRECTED BY THE ENGINEER. WALL THICKNESS SHALL INCREASE 1" FOR EACH 1" OF INSIDE DIAMETER INCREASE.
 - JOINT SEALANT SHALL BE BUTYL RUBBER MASTIC TYPE SEAL THAT CONFORMS TO LATEST AASHTO SPECIFICATION M-198 & MEETS FEDERAL SPECIFICATION SS-5-0021(210-A).
 - REINFORCING STEEL DEFORMED BARS ARE NOT SHOWN AND SHALL CONFORM TO LATEST CTDOT STANDARDS & SUPPLEMENTALS AND ASTM SPECIFICATION A615, GRADE 60, MINIMUM COVER 2", UNLESS OTHERWISE NOTED.
 - ALL PIPE OPENINGS SHALL BE CLOSED USING MATERIALS WHICH CONFORM TO STATE OF CT STANDARD SPECIFICATIONS SECTION M.08.02.
 - REINFORCING STEEL WELDED WIRE FABRIC SHALL CONFORM TO LATEST ASTM SPECIFICATION A185.
 - CONCRETE COMPRESSIVE STRENGTH SHALL BE MINIMUM 4000 PSI AT 28 DAYS, SELF COMPACTING CONCRETE MIX.
 - MANHOLE STEPS SHALL MEET LATEST OSHA REGULATIONS, (29 CFR 1910.27), SECTION 16 OF ASTM SPECIFICATION C478 AND SECTION 10 OF ASTM SPECIFICATION C497.
 - WHEN SPECIFIED, MANHOLES ARE TO BE COATED WITH BAY OIL, "EBONY".
 - METHOD OF MANUFACTURE SHALL BE WET CAST.
 - BASE SECTION IS MONOLITHIC.
 - MANHOLE INTERIOR DIAMETER: 4'-0" FOR 8" TO 36" PIPE DIAMETERS 5'-0" FOR 42" PIPE DIAMETER 6'-0" FOR 48" PIPE DIAMETER.

STANDARD PRECAST CONCRETE STORM MANHOLE DETAIL

SCALE: NONE

The East Hartford Planning and Zoning Commission certifies that the *soil-erosion and sediment control plan* complies with the requirements of the Town of East Hartford regulations and the Connecticut Guidelines for Soil Erosion and Sediment Control dated 2002, as amended. The applicant under this plan is responsible for ensuring compliance with the plan. The Town of East Hartford shall not be held liable for improper installation, lack of maintenance, or other neglect on behalf of the applicant.

Approval Date:

Chairman:

SOIL EROSION AND SEDIMENT CONTROL NOTES

All applicable regulations and requirements of the State of Connecticut Department of Energy & Environmental Protection (DEEP) and the local land use requirements shall be adhered to including the placement of the proposed SE&SC barriers as specified herein. When the construction work is completed, the Contractor shall clean the SE&SC barriers and restore the natural drainage areas affected by his operations to their original condition unless otherwise noted.

Prior to construction, all SE&SC barriers shall be placed to confine sediment as shown on drawings and where otherwise required based on the Contractor's means/methods and construction sequencing. All SE&SC barriers shall be left in place and maintained until the work has been completed and surfaces stabilized.

It shall be the responsibility of the Contractor to monitor the condition of the SE&SC structures. If the effectiveness or integrity of any structures is found to be insufficient or if the structures are damaged in any way, the Contractor shall make whatever repairs are necessary to ensure that proper erosion control is maintained. Monitoring of the erosion control structures is particularly important following periods of rainfall. All repairs of erosion control structures shall be made by the Contractor as soon as the damage is discovered.

If additional SE&SC control structures are necessary to minimize erosion and sedimentation, as determined in the field, the Contractor shall install said additional structures as required.

In addition to the above general provisions, the Contractor shall comply with the following special requirements:

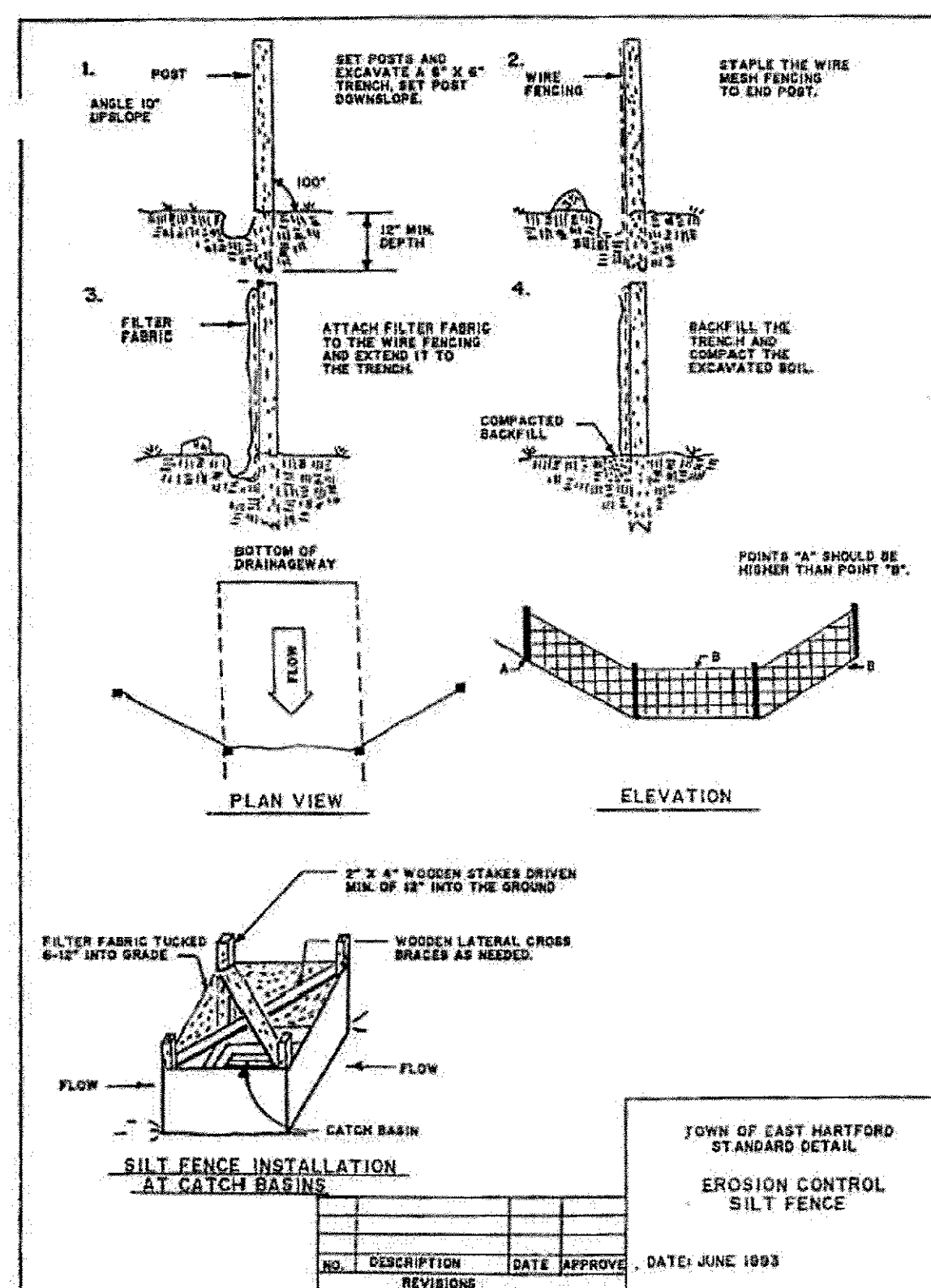
- Land disturbance shall be kept to a minimum; reestablishment shall be scheduled as soon as practicable following construction. Project sequencing will be necessary to minimize SE&SC control liabilities. The Contractor shall sequence his operations so as to provide manageable work areas with limited opportunity for soil erosion to occur.
- All graded areas are to be restored as soon as possible after construction work is completed. Erosion controls will be implemented throughout construction for stabilization of disturbed areas.
- All other areas affected by construction and not to be filled, paved or otherwise stabilized are to be restored with topsoil and seeded as shown on the drawings.
- For specific details on the design, application and installation of the erosion and sedimentation control structures, the Contractor shall refer to the Connecticut guidelines for Soil Erosion and Sediment Control, dated May 2002, as amended or otherwise replaced.
- Perimeter SE&SC barriers for this site include provisions for the use of hay bales and staked silt fences. The Contractor shall inspect regularly to ensure the placement is maintained.
- Catch basins not previously identified and found to be receiving stormwater runoff from the fenced work area down gradient of the construction site will be covered with filter fabric or equipped with Siltsacks® to prevent sedimentation from project vehicles and inspected regularly.
- Fabric for silt fence shall consist of woven polypropylene, 36" in width and fastened to hardwood posts with three, one inch wide crown staples. Posts shall be of sound hardwood, forty eight inches (48") in length with a minimum cross section of 1 1/8 square inches. Staked hay bales may be substituted for silt fence. All SE&SC barriers shall be installed as shown on this drawing and at the toe of all slopes located down gradient of the construction work.
- Sediment removed from SE&SC barriers and structures shall be disposed of in a manner which is consistent with the intent of the plan.
- A detailed Soil Erosion and Sediment Control Plan has been prepared for this project. This plan shall be maintained at the site at all times and shall be implemented at the Contractors expense. His responsibility includes the installation and maintenance of all required SE&SC control measures, informing all parties engaged on the construction site of the requirements and objectives of the plan, and notifying the local permitting authorities of any transfers of this responsibility.
- Since the disturbed area associated with this project is under five acres the Contractor does not need to register under a General Permit for Stormwater and Dewatering Wastewaters from Construction Activities through the Connecticut DEEP. The permittee shall adhere to the soil erosion and sediment control land use regulations of the Town of East Hartford and the 2002 Connecticut Guidelines for Soil Erosion and Sediment Control.
- The Contractor is responsible for notifying the local land use agency and other appropriate authorities at least 72 hours prior to the start of any construction activity.
- The Contractor shall use approved methods and materials for prevention of dispersion of dust including misting, chemical application (salts), and/or mulch surfacing.
- The Contractor shall inspect all erosion control measures daily during construction and after each significant rain storm event. Damage shall be repaired immediately.

The Contractor shall be fully responsible for ownership of all soil erosion and sediment controls as necessary to protect this site. During the progress of construction, interim erosion controls may be necessary based on the Contractors means, methods and sequencing. The erosion control measures presented on these plans represent the minimum controls deemed necessary based on the expected final project grades and features. Interim measures required to stabilize the site during construction shall be installed by the Contractor as needed based upon his assessment of the site through his own site inspections and observations. All Contractor provided soil erosion and sediment control measures shall be designed and installed in accordance with the 2002 Connecticut Guidelines for Soil Erosion and Sediment Control as amended or otherwise replaced.

In the event that a rain event occurs and the Contractor provided SE&SC controls fail to maintain the site in a stabilized condition, the Contractor shall be fully responsible for any and all remediation, mitigation or other damage that may occur.

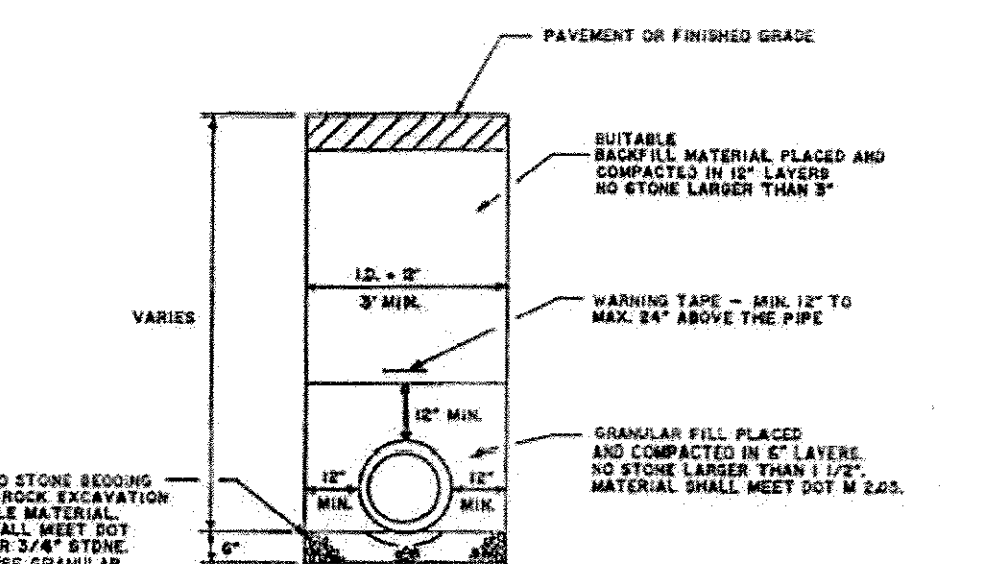
Anticipated project start early September 2017; anticipated completion date December 2017. Hours of operation shall be between 7 A.M. and 5 P.M.

All control measures and facilities shall be maintained in effective condition to ensure the compliance of this certified soil-erosion and sediment control plan.



CONSTRUCTION ENTRANCE

SCALE: NONE



TYPICAL TRENCH DETAIL

SCALE: NONE

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This document contains no technical data subject to the EAR or the ITAR.

DATE	9/2/2017	CCV	APPR.
DESCRIPTION OF REVISION	1	Response to Town comments on 8-18-2017.	
REV.			
Loureiro Engineering Associates, Inc. 100 Northwood Drive • East Hartford, Connecticut 06108 An Employee Owned Company • www.Loureiro.com ©Loureiro Engineering Associates, Inc. All rights reserved 2017			
SCALE	AS NOTED	COMP. NO.	8807734.001
DRAWN BY	GFB	DATE	8/2/2017
APPROVED BY	CCV	DATE	8/2/2017
CULVERT EXTENSION DETAILS SOUTH KLONDIKE 400 MAIN STREET, EAST HARTFORD, CONNECTICUT PREPARED FOR UNITED TECHNOLOGIES (UTC)			
DRAWING 2			
SHEET NO.	2	NO. OF SHEETS	2

ATTACHMENT B

Abutting Property Owners

UTC East Hartford
List of Abutting Property Owners
Town of East Hartford Assessor's Records January 12, 2015

Map	Lot	Address Number	Street	Owner Name	Co-Owner Name
10	28	419	Main Street	Benettieri Lena	
10	29	421	Main Street	Benettieri Lena	
10	30	425	Main Street	United Aircraft Corporation	
10	31	431	Main Street	Brazos Automotive Properties LP	Monroe Muffler Brake Inc.
10	33	441	Main Street	The Willows LLC	
10	33	441 #101	Main Street	Pinero Fabian	
10	33	441 #102	Main Street	Crespo Ana	
10	33	441 #103	Main Street	Mhs Enterprises Llc	
10	33	441 #104	Main Street	Cyr Donald	
10	33	441 #105	Main Street	Beaulieu Ronald P	
10	33	441 #106	Main Street	Ortiz Elsa	
10	33	441 #107	Main Street	Downs Debra & Granville	
10	33	441 #108	Main Street	Walsh Donald A	
10	33	441 #109	Main Street	Nadeau Mary C	
10	33	441 #110	Main Street	Beaupre Donna D	
10	33	441 #111	Main Street	Jean Sharon & Peter R	
10	33	441 #201	Main Street	Collazo Alfonso	
10	33	441 #202	Main Street	Fecko John B	
10	33	441 #203	Main Street	Lange William G	
10	33	441 #204	Main Street	Bajonero Christian	
10	33	441 #205	Main Street	Cyr Bonnie L	
10	33	441 #206	Main Street	Chevrette Maricel	
10	33	441 #207	Main Street	White Edward F	
10	33	441 #208	Main Street	Huy Vuthy & Varin	
10	33	441 #209	Main Street	Allard Roger	
10	33	441 #210	Main Street	Neron John	
10	33	441 #211	Main Street	Bentley Steven	
10	33	441 #401	Main Street	Keppner Louis	
10	33	441 #402	Main Street	Nguyen Lien	
10	33	441 #403	Main Street	Renteria Christian Noe	
10	33	441 #404	Main Street	Beauchamp Alfred Rene	Iris Vega
10	33	441 #405	Main Street	Cyr Ryan	
10	33	441 #406	Main Street	Brown Roger	
10	33	441 #407	Main Street	Sirois William & Bertha	
10	33	441 #408	Main Street	Nguyen Danny	Le Van T
10	33	441 #409	Main Street	Festor Charles C & Kathleen F	
10	33	441 #410	Main Street	Nguyen Thuan & Be	
10	33	441 #600	Main Street	Tiece Van	
10	33	441 #601	Main Street	Nguyen Niem	
10	33	441 #602	Main Street	Moreau Maurice	
10	33	441 #603	Main Street	Wilson Jennifer Lynn	
10	33	441 #604	Main Street	Misseri Frank J	
10	33	441 #605	Main Street	Brown Michael J	
10	33	441 #606	Main Street	Baldwin David B & Carla E	
10	33	441 #610	Main Street	Maudsley Joseph & Leigh	
10	33	441 #611	Main Street	Almada George	
10	33	441 #700	Main Street	Nguyen Lien Tran	
10	33	441 #701	Main Street	Bancroft Janine	
10	33	441 #702	Main Street	Beauchamp Justin Rene	
10	33	441 #703	Main Street	Chau Ky	
10	33	441 #704	Main Street	Tran Hoang N	
10	33	441 #705	Main Street	Bergeron Bernice C	
10	33	441 #706	Main Street	Maldonado Joycelyn	Alicea Rroberto Jr
10	33	441 #707	Main Street	London Glenna O	
10	33	441 #708	Main Street	Nguyen Toan X	
10	33	441 #709	Main Street	Soltys Adam	
10	33	441 #710	Main Street	Nguyen Toan	
10	33	441 #711	Main Street	Serge Peter M	
10	33	441 #712	Main Street	Lam Bao Q	

UTC East Hartford
List of Abutting Property Owners
Town of East Hartford Assessor's Records January 12, 2015

Map	Lot	Address Number	Street	Owner Name	Co-Owner Name
10	33	441 #713	Main Street	Colonial Holdings Llc	
10	33	441 #714	Main Street	Novey Mary B	
10	33	441 #715	Main Street	Cramer Jeffery A & Maria	
10	33	441 #800	Main Street	Martino Denise	
10	33	441 #801	Main Street	Vo Anh Huynh	Tran Hue Thi
10	33	441 #802	Main Street	Roberts Kenneth E & Patricia A	
10	33	441 #803	Main Street	Allard Steven	
10	33	441 #804	Main Street	Kujawa Victoria	
10	33	441 #805	Main Street	Du Anh K	
10	33	441 #806	Main Street	Daigle Valerien	
10	33	441 #807	Main Street	Nguyen Hoa	
10	33	441 #808	Main Street	Nieves Esperanza	
10	33	441 #809	Main Street	Cao Vu	
10	33	441 #809	Main Street	Tesi Geri A	
10	33	441 #810	Main Street	Bogucki Donald	
10	33	441 #811	Main Street	Boucher Venus	
10	33	441 #812	Main Street	Rossi Michelle	
10	33	441 #813	Main Street	Webb Ronald P	
10	33	441 #900	Main Street	Aronson Estelle & Swen A	
10	33	441 #901	Main Street	Klimaszewski Joan	
10	33	441 #902	Main Street	Allard Roger	
10	33	441 #903	Main Street	Smart Jack	
10	33	441 #904	Main Street	Marrero Antonio	
10	33	441 #905	Main Street	Spaulding Judith	
10	33	441 #906	Main Street	Nguyen Huyen Linh	
10	33	441 #907	Main Street	Nguyen Hong Thu	
10	33	441 #908	Main Street	Patterson Betsy	
10	33	441 #909	Main Street	Pacheco Amadeo	
10	33	441 #910	Main Street	Magno Sandra J & Francis J	
10	33	441 #911	Main Street	Bonilla Carmen Marty	
10	33	441 #912	Main Street	Johnson James W Jr	
10	33	441 #1000	Main Street	Elliott Katherine	
10	33	441 #1001	Main Street	Bowie David	
10	33	441 #1002	Main Street	Burke Therese	
10	33	441 #1003	Main Street	Martin Daniel R	
10	33	441 #1004	Main Street	Boccaccio Diane M	Struthers Scott
10	33	441 #1006	Main Street	Stasko Elizabeth	
10	33	441 #1007	Main Street	Generous Jacqueline	
10	33	441 #1008	Main Street	Ramirez Francisco	
10	33	441 #1009	Main Street	Aylward Julie L	
10	33	441 #1010	Main Street	Kolodziej Alexandria	Pierce Laurel
10	33	441 #A	Main Street	Luong Ninh	
10	33	441 #B	Main Street	Mhs Enterprises Llc	
10	33	441 #C	Main Street	Johnson Bernard D	
10	33	441 #D	Main Street	Kimball George	
10	33	441 #E	Main Street	Rodriguez Carmen	
10	33	441 #F	Main Street	Rediker Joyce	
10	40	365	Main Street	Goodwin College, Inc.	
10	98	373	Main Street	French Social Circle Building Association	
10	100	381	Main Street	Goodwin College, Inc.	
10	101	385	Main Street	Eno Paul N	
10	102	389	Main Street	Campus Realty LLC	
10	103-105	393-397	Main Street	Madison Motor Inn	
10	106	397A	Main Street	Main Street Wine & Liquor LLC	
10	109	403	Main Street	Goodwin College, Inc.	
10	112	417	Main Street	American Eagle Federal Credit Union	
11	203	51	Risley Street	Isabelle D Hall Revocable Trust	C/O Isabelle D Hall Trustee
11	204	47	Risley Street	Bidwell Leroy M	
11	205	43	Risley Street	Pelkey John P	

UTC East Hartford
List of Abutting Property Owners
Town of East Hartford Assessor's Records January 12, 2015

Map	Lot	Address Number	Street	Owner Name	Co-Owner Name
11	206	35	Risley Street	Velez Migdalia	
11	207	29	Risley Street	Ten Beach St LLC	
11	208	23	Risley Street	Sanzo Patrick & Michelle K	
11	209	17	Risley Street	Martinez German	
11	224	438	Main Street	Skelly Patrick M	
11	226	434	Main Street	United Technologies Corp. Pratt & Whitney	UTC C/O K McFadden Asst Counsel
11	229	446	Main Street	442 Main Street LTD Partnership	SHP Mngt Corp Attn Jennifer Saunders
20	13	31 #2101	High Street	Obermeier Carol L	
20	13	31 #2102	High Street	Davidson Charles A	
20	13	31 #2103	High Street	Dacruz Mark	
20	13	31 #2104	High Street	Cruz Lisette	
20	13	31 #2105	High Street	Edwards Carron R	
20	13	31 #2106	High Street	O Shea Kevin Michael & Dawn L	
20	13	31 #2201	High Street	Dupont Kenneth G	
20	13	31 #2202	High Street	Connecticut Housing Finance Authority	
20	13	31 #2203	High Street	Perry Chanae	
20	13	31 #2204	High Street	Boyd Linda A	
20	13	31 #2205	High Street	Dowdell Malesha G & Daphne L	
20	13	31 #2206	High Street	Nash Timothy C	
20	13	31 #3101	High Street	Pedemonti Laura J	
20	13	31 #3102	High Street	Lyon Michelle A	
20	13	31 #3103	High Street	Edwards Gary	
20	13	31 #3104	High Street	Wiese Kristofer F	
20	13	31 #3105	High Street	Deprey Myra R	
20	13	31 #3106	High Street	Torres Melissa	
20	13	31 #3107	High Street	Jones Michael W	
20	13	31 #3108	High Street	Pederzoli Family Revocable Trust	Pederzoli Thomas E Jr & Mary Ellen Trust
20	13	31 #3201	High Street	Cyr Paul	
20	13	31 #3202	High Street	Labonne Martha S	
20	13	31 #3203	High Street	Spera Mark S	
20	13	31 #3204	High Street	Kowalski Kevin M	
20	13	31 #3205	High Street	Miller Kaitlin L	
20	13	31 #3206	High Street	Ekstrom Robert C	
20	13	31 #3207	High Street	Castro Carlos	
20	13	31 #3208	High Street	Hartline Peter H & Larissa M	Kucera Rebecca B
20	13	31 #3303	High Street	Gibbs Derrick C Jr	
20	13	31 #3304	High Street	Rotherforth Robin K	
20	13	31 #3307	High Street	Outlaw Sherry	
20	13	31 #3308	High Street	Cicero Kara D	
20	13	31 #4101	High Street	Monaco Lori B	
20	13	31 #4102	High Street	Lenares Karen	
20	13	31 #4103	High Street	Taylor James M	
20	13	31 #4104	High Street	Edwards Gary	Venti Rozann
20	13	31 #4105	High Street	Brown Tonya T	
20	13	31 #4106	High Street	Campus Realty Llc	
20	13	31 #4107	High Street	Swanson Cynthia B	
20	13	31 #4108	High Street	Linlar Inc	
20	13	31 #4201	High Street	Boucher Bradford	
20	13	31 #4202	High Street	Hayes Andrew P	
20	13	31 #4203	High Street	Zak Daniel	
20	13	31 #4204	High Street	Boles Neil	
20	13	31 #4205	High Street	Stenson Minisha M	
20	13	31 #4206	High Street	Simpson Demain E	
20	13	31 #4207	High Street	Moore Shenikka T	
20	13	31 #4208	High Street	Johnson Zachary S	
20	13	31 #4303	High Street	Thompson Eric M	
20	13	31 #4304	High Street	Scott Jeremy J & Lindsay N	
20	13	31 #4307	High Street	Bannon Timothy M & Denise M	
20	13	31 #4308	High Street	Claffey William F	

UTC East Hartford
List of Abutting Property Owners
Town of East Hartford Assessor's Records January 12, 2015

Map	Lot	Address Number	Street	Owner Name	Co-Owner Name
20	13	31 #5101	High Street	Bruno Linda J & Leonard	
20	13	31 #5102	High Street	James Adrian	
20	13	31 #5103	High Street	Haberern Sonya E	
20	13	31 #5104	High Street	Chimu L L C	
20	13	31 #5105	High Street	Chimu L L C	
20	13	31 #5106	High Street	Chimu L L C	
20	13	31 #5107	High Street	Verderber Jeffrey	
20	13	31 #5108	High Street	Rivera Evelyn	
20	13	31 #5201	High Street	Way Charnghsiou	
20	13	31 #5202	High Street	Forbes Deborah	
20	13	31 #5203	High Street	Jones Camilla B	
20	13	31 #5204	High Street	Guzek Irene B	
20	13	31 #5205	High Street	Baribault Philip J Iii &	Delorge James V Ii
20	13	31 #5206	High Street	Rabinowitz Aaron M	
20	13	31 #5207	High Street	Williams Karen L	
20	13	31 #5208	High Street	Fowle Daniel	
20	13	31 #5303	High Street	Ten Beach Street Llc	
20	13	31 #5304	High Street	Hallberg Robert V	
20	13	31 #5307	High Street	Ten Beach St Llc	
20	13	31 #5308	High Street	La Querre Chris	
20	13	31 #6101	High Street	Welchman M Barbara	
20	13	31 #6102	High Street	Pugliese Benjamin	
20	13	31 #6103	High Street	Edwards Gary	
20	13	31 #6104	High Street	Pederzoli Family Revocable Trust	Pederzoli Thomas E Jr & Mary Ellen Trust
20	13	31 #6105	High Street	Banks Aisha	
20	13	31 #6106	High Street	Springer Wayne	
20	13	31 #6201	High Street	Crane Michael	
20	13	31 #6202	High Street	Grard Stephanie L	
20	13	31 #6203	High Street	Berry Brendon Thomas	
20	13	31 #6204	High Street	Dacosta Jose	Dacosta Cheryl
20	13	31 #6205	High Street	Ling Scott	
20	13	31 #6206	High Street	Zea David	
20	13	31 #7101	High Street	Guerrero Graciela	
20	13	31 #7102	High Street	Turgeon Steven J	
20	13	31 #7103	High Street	Sullivan Patrick	
20	13	31 #7104	High Street	Harris Stephanie	
20	13	31 #7105	High Street	Lemay Lucy D	
20	13	31 #7106	High Street	Fee William M & Schwartz L N	
20	13	31 #7107	High Street	Chettri Jyotsna Khattri	
20	13	31 #7108	High Street	Goodwin Arthur & Anita L	
20	13	31 #7201	High Street	Long Jerome E	Lovejoy Long Anne P
20	13	31 #7202	High Street	Foreshaw Ebony	
20	13	31 #7203	High Street	Gonzalez Delia I	
20	13	31 #7204	High Street	Harris Tyron V	Feurtado Doriel L Iii
20	13	31 #7205	High Street	Charon Kathleen L	
20	13	31 #7206	High Street	Bousquet Roger G Jr	
20	13	31 #7207	High Street	Kidane Nebiat	
20	13	31 #7208	High Street	Glaser Michael S	
20	13	31 #7303	High Street	Loftus Dawn	
20	13	31 #7304	High Street	Picone Richard J	
20	13	31 #7307	High Street	Hilliman Mary A	
20	13	31 #7308	High Street	Parkinson Angela M	
20	13	31 #8101	High Street	Rochester Joscelyn	
20	13	31 #8102	High Street	Pettiford Allan J	
20	13	31 #8103	High Street	Resnikoff Miriam	
20	13	31 #8104	High Street	Bilodeau Marc A & Leona R	
20	13	31 #8105	High Street	Randall Marie	
20	13	31 #8106	High Street	Espinar Johnathan &	Bermudez Elvis K
20	13	31 #8107	High Street	Scully Brian M	

UTC East Hartford
List of Abutting Property Owners
Town of East Hartford Assessor's Records January 12, 2015

Map	Lot	Address Number	Street	Owner Name	Co-Owner Name
20	13	31 #8108	High Street	Pouliot Lisa	
20	13	31 #8201	High Street	Chaves Meagan & Steve D	
20	13	31 #8202	High Street	McLean Andrew R	
20	13	31 #8203	High Street	Cooney Patrick N	
20	13	31 #8204	High Street	Heinly Jason	
20	13	31 #8205	High Street	Wilcox Kimberly A	
20	13	31 #8206	High Street	Wyzatecki Alexander	
20	13	31 #8207	High Street	Giofriddo Paul	
20	13	31 #8208	High Street	Rivera Bernadette	
20	13	31 #9101	High Street	Robinson Mary L	
20	13	31 #9102	High Street	Lee David W & Sharon L	
20	13	31 #9103	High Street	Rodriguez Luis R	
20	13	31 #9104	High Street	Wroblewski Iwona	
20	13	31 #9201	High Street	Magnano Anthony	
20	13	31 #9202	High Street	Collins Nancy	Kulpanowski Arthur
20	13	31 #9203	High Street	Taff Stephanie	
20	13	31 #9204	High Street	Correa Taimyra	
20	13	31 #10101	High Street	Ekstrom Robert	
20	13	31 #10102	High Street	Owens Rosalin R	
20	13	31 #10103	High Street	Trindade Steven	
20	13	31 #10104	High Street	Ellis Oliva	
20	13	31 #10105	High Street	Petersen Robert J Jr & Lynda	
20	13	31 #10106	High Street	Hoag Ralph W & Dorothy A	
20	13	31 #10107	High Street	Mbatuddex Beatrice	Tamale Aloysius
20	13	31 #10108	High Street	Forbes Michael W & Tracey L	
20	13	31 #10201	High Street	Campus Realty Llc	
20	13	31 #10202	High Street	Coloccio Suzanne	
20	13	31 #10203	High Street	Frank Kendra C	
20	13	31 #10204	High Street	Eason Lucy & David I I	
20	13	31 #10205	High Street	Smith Tina	
20	13	31 #10206	High Street	Hilton Michael J	
20	13	31 #10207	High Street	Breton Audra N	
20	13	31 #10208	High Street	Ten Beach Street Llc	
20	13	31 #10303	High Street	Young Shawn T & Loretta	
20	13	31 #10304	High Street	Adamcewicz Lisa M	
20	13	31 #10307	High Street	Ramirez Norberto	
20	13	31 #10308	High Street	Price Brian J	
20	13	31 #11101	High Street	Montalvo Hermenes	
20	13	31 #11102	High Street	Haberern Elizabeth	Haberern Elizabeth A
20	13	31 #11103	High Street	Forschino Marc M	
20	13	31 #11104	High Street	Ferrabelo Raul & Maria	
20	13	31 #11105	High Street	Wortham Troy D	
20	13	31 #11106	High Street	Di Paola Jessica M & Pasquale	
20	13	31 #11107	High Street	Bowen Gregory A	
20	13	31 #11108	High Street	Williams Jean C	
20	13	31 #11201	High Street	Zak Daniel &	Muraski Linda K
20	13	31 #11202	High Street	Campus Realty Llc	
20	13	31 #11203	High Street	Elwood Jonathan	
20	13	31 #11204	High Street	White Laura	
20	13	31 #11205	High Street	Gold Shirley Ann	
20	13	31 #11206	High Street	Connecticut Housing Finance Authority	
20	13	31 #11207	High Street	Simonetti Nicholas M	
20	13	31 #11208	High Street	Landers Annette K	
20	13	31 #11303	High Street	Aucion Kristin H	
20	13	31 #11304	High Street	Yates Deidre L	
20	13	31 #11307	High Street	Agbaje Olufumilayo	
20	13	31 #11308	High Street	Miller Dean Anthony	
20	15	21	High Street	Linlar, Inc.	
20	16	11	High Street	Linlar, Inc.	

UTC East Hartford
List of Abutting Property Owners
Town of East Hartford Assessor's Records January 12, 2015

Map	Lot	Address Number	Street	Owner Name	Co-Owner Name
20	18	1	High Street	Campus Realty LLC	
20	19	24	High Street	C P D Properties 24 High Street LLC	
20	20	317	Main Street	Zafiris James T & Theodora D	
20	29	303	Main Street	Cedar of New England Ltd	
20	30	330	Main Street	Labbe David & Barbara A.	
20	31	326	Main Street	Abo Bill E	
20	33	320	Main Street	Augie & Rays Milk Bar	
20	34	314	Main Street	Augie & Rays Milk Bar	
20	39/40	8	Brewer Street	Amirzai Property Management LLC	
20	41	10	Brewer Street	Abo Bill Edward Sr.	
20	42	18	Brewer Street	18 Brewer Associates, LLC	
20	43	22	Brewer Street	Fraser Lorna	
20	47	40	Brewer Street	Sousa Anthony A. Jr. & Maria L.	
20	48	46	Brewer Street	Sousa Anthony A. Jr. & Maria L.	
20	49	52	Brewer Street	Sousa Anthony A. Jr. & Maria L.	
20	50	58	Brewer Street	Wilson Easton	
20	51	62	Brewer Street	Jackson Lascelles & Lorna A	
20	52	68	Brewer Street	Russell Wilbur B Jr.	
20	53	72	Brewer Street	Lapointe Laurette	
20	54	76-78	Brewer Street	United Technologies Corporation	Tax Dept Property Tax MS8FS-2
20	57	160	Brewer Street	Ally Mohamed M Aqeel	
20	58	166	Brewer Street	Goupil Family Irrevocable Trust	James McGuire Trustee
20	59	159-161	Brewer Street	Flores Roberto E	
20	60	155-157	Brewer Street	Rhone Caroline	
20	109A	125	Brewer Street	Southern New England Tele Co	
20	109B	141	Brewer Street	Town of East Hartford	
20	118	3-5	Glenn Road	John & Sophia Sahnas	
20	119	105	Brewer Street	Anderson Marlon	
20	120	103	Brewer Street	Hough Tryangela	
20	124	81	Brewer Street	Clayton Georgiann April	
20	125	77	Brewer Street	Leonard Alfred W Jr	
20	129	69	Brewer Street	Januario Carlos	
20	138	3	Hamilton	Wright Sidney M & Linda O	
20	139	25	Brewer Street	Church Francis E & Stanislaw	
20	121/123	95	Brewer Street	Feliciano Juan	
21	1	339	Main Street	Viggiano Joseph M	
21	2	345	Main Street	Goodwin College, Inc.	
21	3	347	Main Street	Goodwin College, Inc.	
21	4	349	Main Street	Goodwin College, Inc.	
21	5	351	Main Street	Goodwin College, Inc.	
21	6	353-353A	Main Street	Willowbrook Assoc	
21	7	355	Main Street	Willowbrook Assoc	
21	8	357	Main Street	IAM Building Association Inc.	Industrial Aircraft Lodge 1746
21	9	361	Main Street	Goodwin College, Inc.	
22	3	129	Risley Street	Randolph Keith E	
22	4	123	Risley Street	Le May Ronald M	
22	5	119	Risley Street	Lopez Javier	
22	6	113	Risley Street	Quiros Everson	
22	7	109	Risley Street	Agostino Domenick	
22	8	103	Risley Street	Lariviere Theresa M	
22	9	97	Risley Street	Lenane John J.	
22	10	93	Risley Street	Devorse Earl & Jewell M.	
22	11	87	Risley Street	Pitts Ophelia	
22	12	83	Risley Street	Potter Edward & Jean	Potter Steven E & Daniel J
22	13	71	Risley Street	Rodriguez John	Garcia Wanda I
22	14	67	Risley Street	Wolff Virginia	
22	15	63	Risley Street	Callahan Ashley	
22	16	59	Risley Street	Springer Trevor P.	
22	17	55	Risley Street	Nguyen Sang T & Thu Thi Hong	

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Map	Lot	Address Number	Street	Owner Name	Co-Owner Name
22	33	132	Risley Street	Gionfriddo Mary T.	
22	34	183	Sisson Street	Masi Dana R.	
22	65	188	Sisson Street	Boroze Mazami	
22	66	167	Mercer Avenue	Corbin Edna	
22	67	159	Mercer Avenue	Santana Valentin & Iris	
22	68	149	Mercer Avenue	Santana Valentin Jr	
22	94	139	Mercer Avenue	Parker Arthur W	
22	95	135	Mercer Avenue	Wilson Rodney M & Lynda L	
22	96	131	Mercer Avenue	Breen Rachel	
22	97	139	Whiting Road	Stevens Gerald W	
22	131	101	Mercer Avenue	Hajkowski John	
22	134	115	Mercer Avenue	Arboleda Rosalba	
22	135	109	Mercer Avenue	Adams Mejia April E	Urban Suburban Affordables Inc
22	139	98	Mercer Avenue	United Technologies Corporation	Tax Dept Property Tax MS8FS-2
22	141	107	Whitney Street	Latiff Zaheed & Binmattie	
22	147	102	Mercer Avenue	Philippe Emiliana	
22	148	41	Footpath Lane	Aforismo Mark A & Margarita I	
22	149	35	Footpath Lane	Orellana Olga 1/2 INT	Orellana Carol 1/2 INT
22	150	29	Footpath Lane	Le Jim & Vo Dawn Bao	
22	152	93	Whitney Street	Taylor Errol G	
22	153	83	Whitney Street	Williams Britt & Deborah	
23	25	364	Silver Lane	364 Silver Lane LLC	
23	27	374	Silver Lane	364 Silver Lane LLC	
23	28	382	Silver Lane	Hahn Jean F Trustee	
23	29	398	Silver Lane	Hahn Dwight	
23	35	430	Silver Lane	Martin & Rothman Inc Realtors	
23	36	438	Silver Lane	Pike Properties LLC	
23	74	451	Silver Lane	Eastern Holdings LLC	
23	75	453-455	Silver Lane	Eastern Holdings LLC	
23	76	445	Silver Lane	Ruggiero Georgiana	Ruggiero Anthony P
23	80	391	Silver Lane	Pratt & Whitney Aircraft	United Technologies Corporation
23	81	377	Silver Lane	United Technologies Corporation	Pratt & Whitney Division
23	82	367-369	Silver Lane	East Hartford Redevelopment LLC	
23	83	351	Silver Lane	Chicoine Wilfred P	
23	86	28	Warren Drive	Clarke Marla Jean Dorothy	
23	87	32	Warren Drive	Diaz Miguel	
23	88	36	Warren Drive	Henley Marianne	
23	89	40	Warren Drive	Mason John M	
23	90	44	Warren Drive	Smarrelli Joseph	
23	91	48	Warren Drive	Khounviengsay Tenny	
23	92	52	Warren Drive	Millette Roland J. & Virginia A.	
23	93	56	Warren Drive	Johnson Lori J	
23	94	60	Warren Drive	Williams Ardel Mrs.	
23	95	64	Warren Drive	Alomari Zeyad Q & Nasreen P	
23	96	68	Warren Drive	Armour Garner & Barbara J	
23	97	72	Warren Drive	Prunier Richard J	
23	98	78	Warren Drive	Federal National Mortgage Assn.	
23	99	82	Warren Drive	Reeder Christopher J	
23	100	88	Warren Drive	Cotto Elga I & Elvin J	
23	101	92	Warren Drive	Wright James M & Rose M	
23	102	102	Warren Drive	James Brenda F	
23	143	68	Whitney Street	Thongsithavong Manivone K	
23	145	70-72	Whitney Street	Malia Matthew L	
23	146	80	Whitney Street	Gustafson Carl E	
23	147	79	Whitney Street	Hendricks Lois G	
23	148	67	Whitney Street	Brady John	
23	149	61	Whitney Street	Guaranteed Maintenance and Development LLC	
23	191	467-479	Silver Lane	Eastern Holdings LLC	

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Map	Lot	Address Number	Street	Owner Name	Co-Owner Name
31	1	170	Brewer Street	Lowen Diba F	
31	2	176	Brewer Street	Tomlin Diance C	Goslee Richard
31	3	186	Brewer Street	Cabelas Inc.	
31	4	198	Brewer Street	Lynch Patrick E & Noella P	
31	5	202	Brewer Street	Ramos Jose D & Nancy V	
31	6	210	Brewer Street	Moir Richard D & Marilyn R Co-Trustees	Richard D Moir Revocable Trust Agreement
31	7	220	Brewer Street	Cichowicz Paul M & Barbara A	
31	8	226	Brewer Street	Schultz Joseph W	
31	9	236	Brewer Street	Schultz William C	
31	10	260	Brewer Street	Schultz Jospeh William	
31	11	270	Brewer Street	Schultz Jospeh W	
31	12	274	Brewer Street	Guiei John & Donna M	
31	14	359	Brewer Street	Gucwa Bucasas Stanley	
31	15	353	Brewer Street	Rosales Jorge D. & Violeta J.	
31	16	349	Brewer Street	Rojas Carlos A	
31	19	335	Brewer Street	Pratt & Whitney Aircraft	United Technologies Corporation
31	21	327	Brewer Street	Kmiec Susan	
31	22	323	Brewer Street	Glasscock Crystal	
31	23	319	Brewer Street	Lynch Neal P & Dolores A	
31	24	315	Brewer Street	Alvarez Evangelita	
31	25	305	Brewer Street	Pratt & Whitney Aircraft Corporation	United Technology Corporation
31	28	303	Brewer Street	Pratt & Whitney Aircraft	c/o United Technology Corp
31	30	289	Brewer Street	Pratt & Whitney Aircraft	United Technologies Corporation
31	31	281	Brewer Street	Pratt & Whitney Aircraft Corporation	Tax Dept Property Tax MS8FS-2
31	32	271	Brewer Street	Willette David J & Janet A	
31	33	269	Brewer Street	Pentsak Cindy L	
31	129	195	Brewer Street	Kamm Gary Roger	Roger Howard
31	130	185	Brewer Street	Pentsak Cindy L	
31	131	179	Brewer Street	Schultz Joseph W	
32	1	364	Brewer Street	Mcilvane William H	
32	5	392	Brewer Street	Landry Joshua R	
32	6	396	Brewer Street	Smalls Willaim D	
32	7	402	Brewer Street	Luis Pedro M & Sonia N	
32	8	410	Brewer Street	Breault Gerard O & Sandra S	
32	12	393	Brewer Street	Caplette Joseph L & Patricia	
32	13	385	Brewer Street	McGowan Melvin H	
32	14	375	Brewer Street	Parker Michael & Carolyn	
32	15	371	Brewer Street	Potter Marsha & Shawn	
32	16	367	Brewer Street	Ward Philip J	
32	17	363	Brewer Street	Vasquez Alejandro	
34	9	490	Silver Lane	Dougherty Shawn P & Zaida	
34	11	494	Silver Lane	Diaz Amneris	
34	12	502-504	Silver Lane	Castagna Christine M 1/2 Int	Castagna Vincent A 1/2 Int
34	13	510	Silver Lane	Garcia Barbara M	
34	15	514	Silver Lane	Dame Bernice J	
34	16	520	Silver Lane	Beaulier Joseph	
34	17	526	Silver Lane	Pawlus Frank & Gail M	
34	18	530	Silver Lane	D N M Enterprises L L C	
34	21	544	Silver Lane	Lopez Brunilda	Perez Noel
34	113	699	Silver Lane	United Technologies Corporation	Tax Dept Property Tax MS8FS-2
34	120	627	Silver Lane	Griffin Margaret M	
34	124	611	Silver Lane	State of Connecticut	
34	126	583	Silver Lane	Gonzalez Noel	
34	130A	487	Silver Lane	Eastern Holdings LLC	
34	131	483	Silver Lane	Alliance Energy LLC	
43	1	414	Brewer Street	Pinthiere Jean	
43	17	33	Dobson Drive	Sullivan Tara M	
43	18	37	Dobson Drive	Hall Marjorie E	
43	19	41	Dobson Drive	Murphy Bernadette	

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43	20	45	Dobson Drive	Hidalgo Maria E & Fiorela & Jose L	
43	21	49	Dobson Drive	Drew Carol L	
43	34	71	Roxbury Road	Batista Michael B	
43	35	75	Roxbury Road	Dumez Karen J. & Charles A	
43	36	79	Roxbury Road	Serignese Joseph M	
43	37	83	Roxbury Road	Blais Real L	
43	38	87	Roxbury Road	Majewski Karl & Angela M	
43	39	93	Roxbury Road	Schiavone Elvira & Baldino Est of	
43	40	97	Roxbury Road	Wallace Marcel	
43	41	101	Roxbury Road	Ashner Donald & Lori	
43	42	105	Roxbury Road	Landry Francis R.	
43	43	109	Roxbury Road	Spencer Verona	
43	44	111	Roxbury Road	Wiggins Gloria & Ernest C.	
43	45	115	Roxbury Road	Harris Tonja M.	
43	46	121	Roxbury Road	Brescia Sandra Ann & John T.	
43	110	899	Forbes Street	Family 2nd LLC	
43	111	895 R	Forbes Street	Kenyon Family First LLC	
43	112	891	Forbes Street	Kenyon Connie	
44	5	857/869	Forbes Street	Town of East Hartford	
44	74	745	Silver Lane	EH Patrolmen & Firemen	
44	185	17	Leonard Drive	Town of East Hartford	
45	45	747	Silver Lane	Thomas Kelly Nikki Trustee	Couloucondis Gerogette A Trustee
45	46	701	Silver Lane	Phillips Lillian A 1/2 Unit Int	Phillips Joseph L
45	120	825	Silver Lane	825 Silver Lane LLC	
45	123	711	Silver Lane	Futtner Blacey J et al	