



ASSESSOR'S INFO: 178-182 ROBERTS STREET, MAP/LOT: 35-45/51

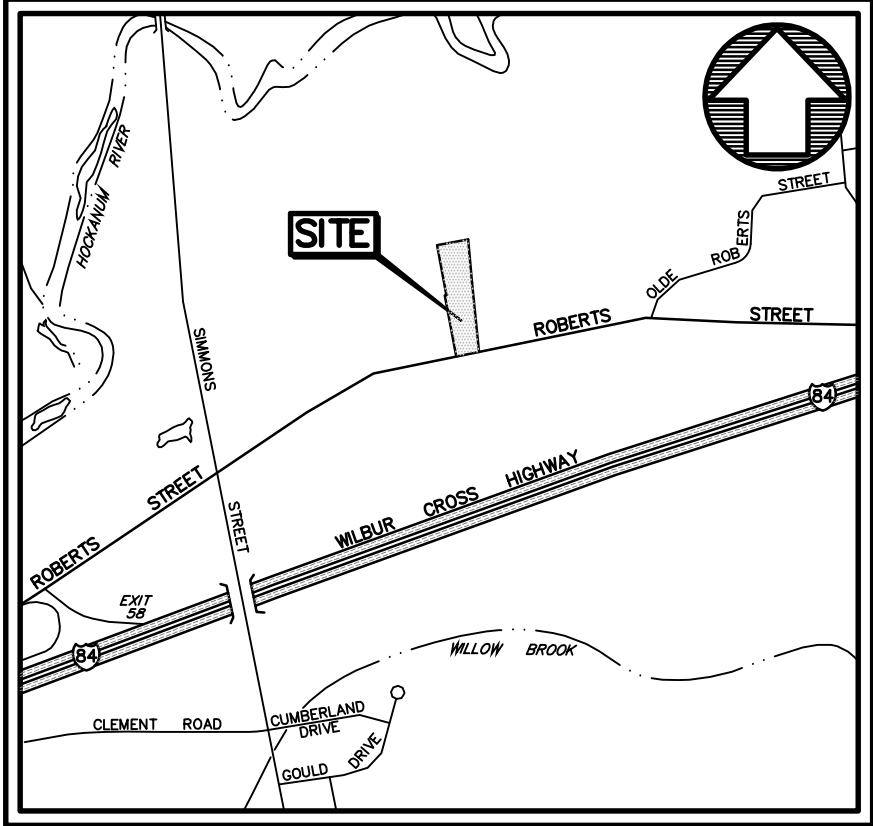
**AERIAL PHOTO**  
NOT TO SCALE

# FREIGHTLINER OF HARTFORD

178-182 ROBERTS STREET, EAST HARTFORD, CT

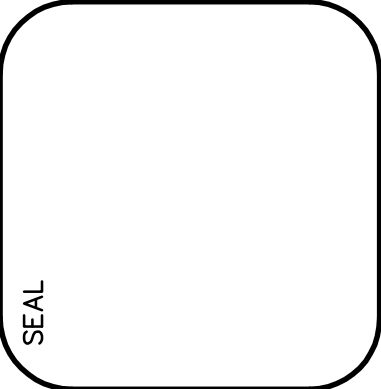
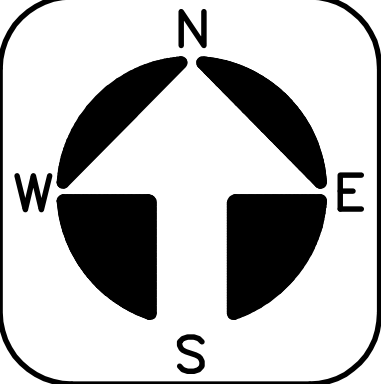
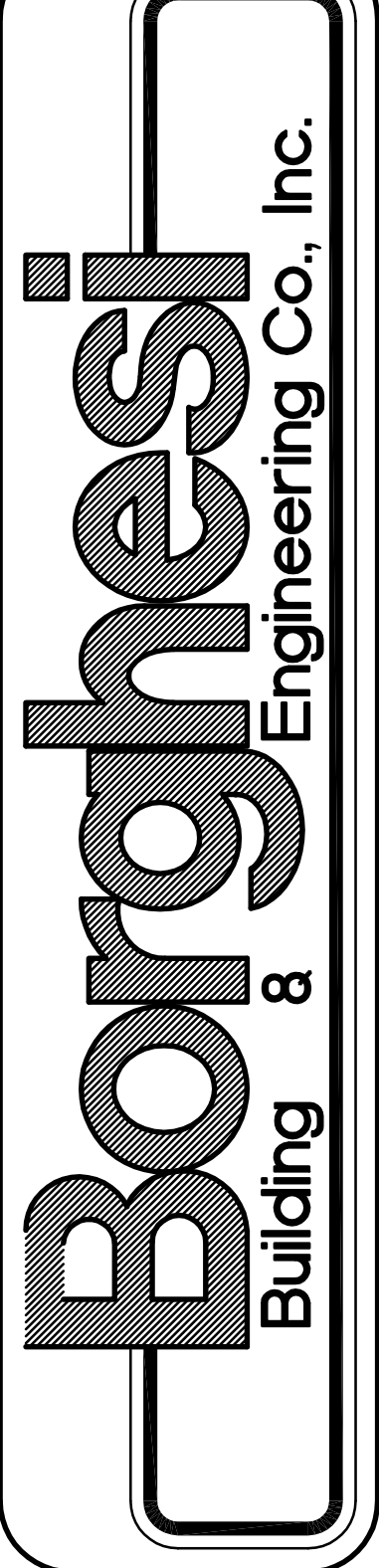
## INDEX OF SHEETS

COVER	COVER SHEET
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A1	FLOOR PLAN (REV. TO 06-05-18)
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A2A	ELEVATIONS (REV. TO 06-05-18)



**LOCATION MAP**  
APPROX. SCALE: 1"=1000'

ZONING INFORMATION TABLE		
ZONE: I-2 (INDUSTRY 2) ASSESSOR'S INFO: 178-182 ROBERTS STREET, MAP/LOT: 35-45/51 EXISTING USE OF PROPERTY: STORAGE OF PARTS & ACCESSORIES PROPOSED USE OF PROPERTY: SAME + TRUCK ASSEMBLY WORK (MANUFACTURING) GROSS FLOOR AREA (GFA) OF EXISTING BUILDING: 29,412(±)SF NOTE: EXISTING BUILDING TO BE DEMOLISHED & REPLACED GFA OF PROPOSED BUILDING: 29,346(±)SF (GROUND FLOOR) 2,070(±)SF (MEZZANINE) 31,416(±)SF (TOTAL)		
ITEM	REQUIRED	PROVIDED
MIN. LOT AREA	20,000 SF	83,391 SF / 1.91 ACRES
MIN. LOT WIDTH	100'	120.7'(±)
MIN. YARD SETBACKS FRONT SIDE REAR	25' 10' MINIMUM, 25' TOTAL 25'	26'(±) 10.5'(±); 55'(±) TOTAL 130'(±)
MAX. COVERAGE (BLDG.s)	75% (ALLOWED)	31,416/83,391=37.7% (PROPOSED) 29,412/83,391=35.3% (EXISTING)
MAX. HEIGHT	50'	34'(±)
MAX. IMPERVIOUS SURFACE COVERAGE	85% (ALLOWED)	68,328/83,391=82.0% (PROPOSED) 70,906/83,391=85.0% (EXISTING)
PARKING	MFG.=1/1,000 SF GFA 31,416/1,000=31.4 SPACES 32 SPACES REQUIRED	30 SPACES + 2 HC 32 SPACES
LOADING	>20,000 SF, <40,000 SF=1	1



PROJECT <b>FREIGHTLINER</b> 178-182 ROBERTS STREET EAST HARTFORD, CT	APPROVED BY J.H.P.	
	SCALE	DATE
DRAWN BY G.R.W.		06-07-18
DATE		2155 EAST MAIN STREET TORRINGTON, CT 06790 860-462-7613/WEB: WWW.BORGHESIBUILDING.COM

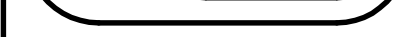
SHEET NO.  
**COVER SHEET**

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1) MAP REFERENCES:

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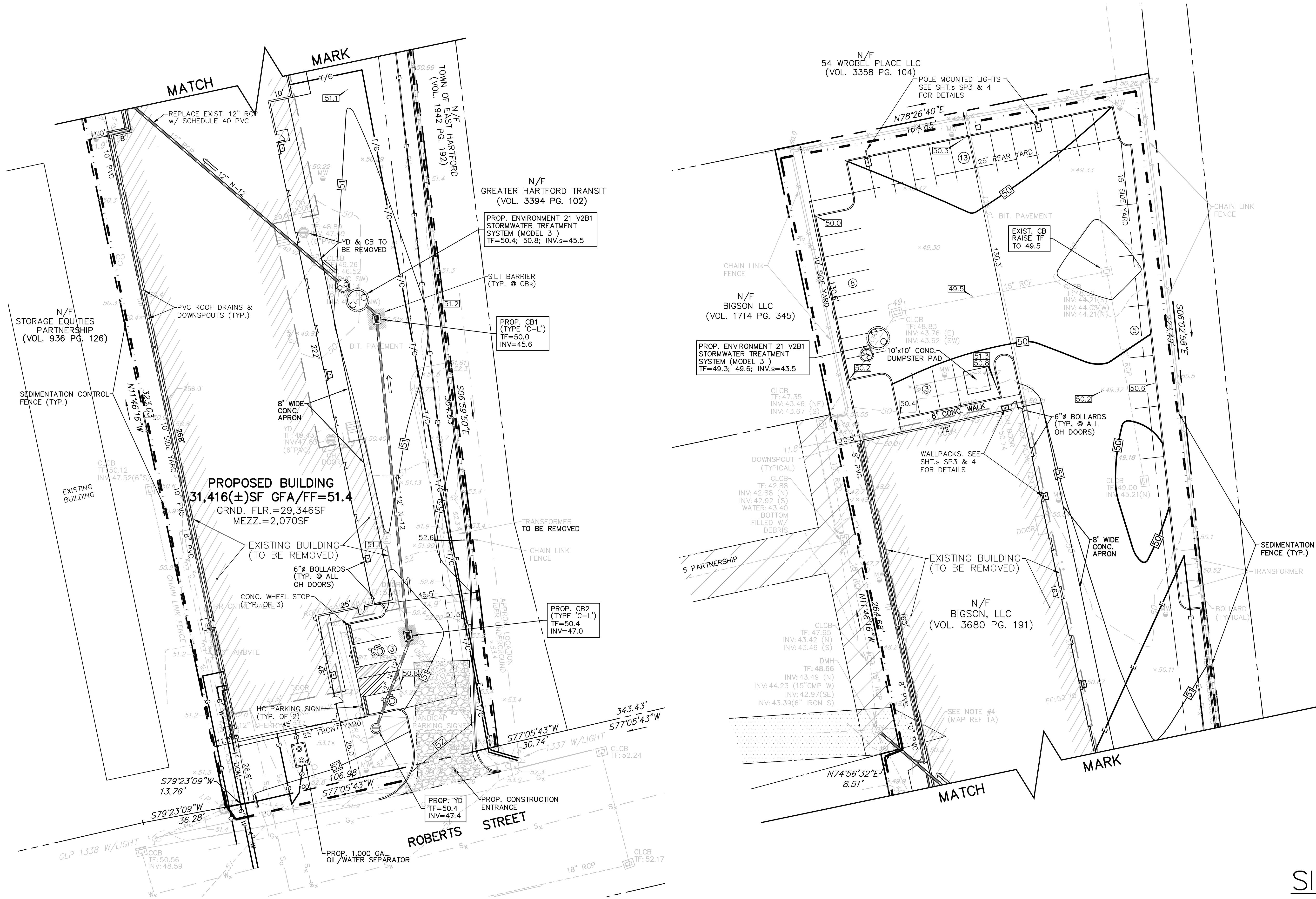
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SCALE: 1"=30'

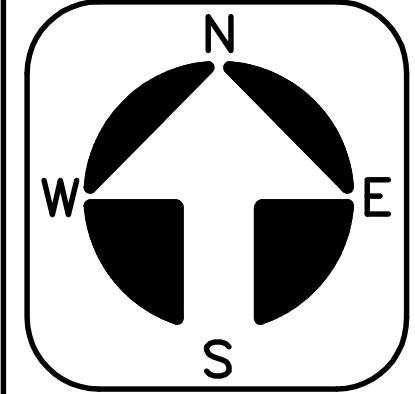
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SITE PLAN  
SCALE: 1"=20'

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
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REVISIONS  
6-24-18 AND INV. V2B1 TREATMENT UNITS (2) TO STORM DRAINAGE SYSTEM  
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DATE	SCALE	AS NOTED
05-17-18	SCALE	AS NOTED
2155 EAST MAIN STREET TORRINGTON, CT 06790 860-462-7613/WEB: WWW.BORGHESIBUILDING.COM		

SHEET NO.  
SP2



Luminaire Schedule							
Symbol	Qty	Label	Arrangement	Lum. Lumens	Lum. Watts	LLF	Description
	2	SL-4	SINGLE	6945	70	0.900	Lithonia DSX1 LED P2 40K TFTM MVOLT SPA PER HS DDBXD - SSS 18 4C DM19AS DDBXD 18FT POLE
	1	W-4	SINGLE	8198	71	0.900	Lithonia DSXW2 LED 30C 700 40K T3M 277 PE DDBXD
	6	W-4	SINGLE	6375	54	0.900	Lithonia DSXW2 LED 30C 530 40K TFTM 277 PE DDBXD

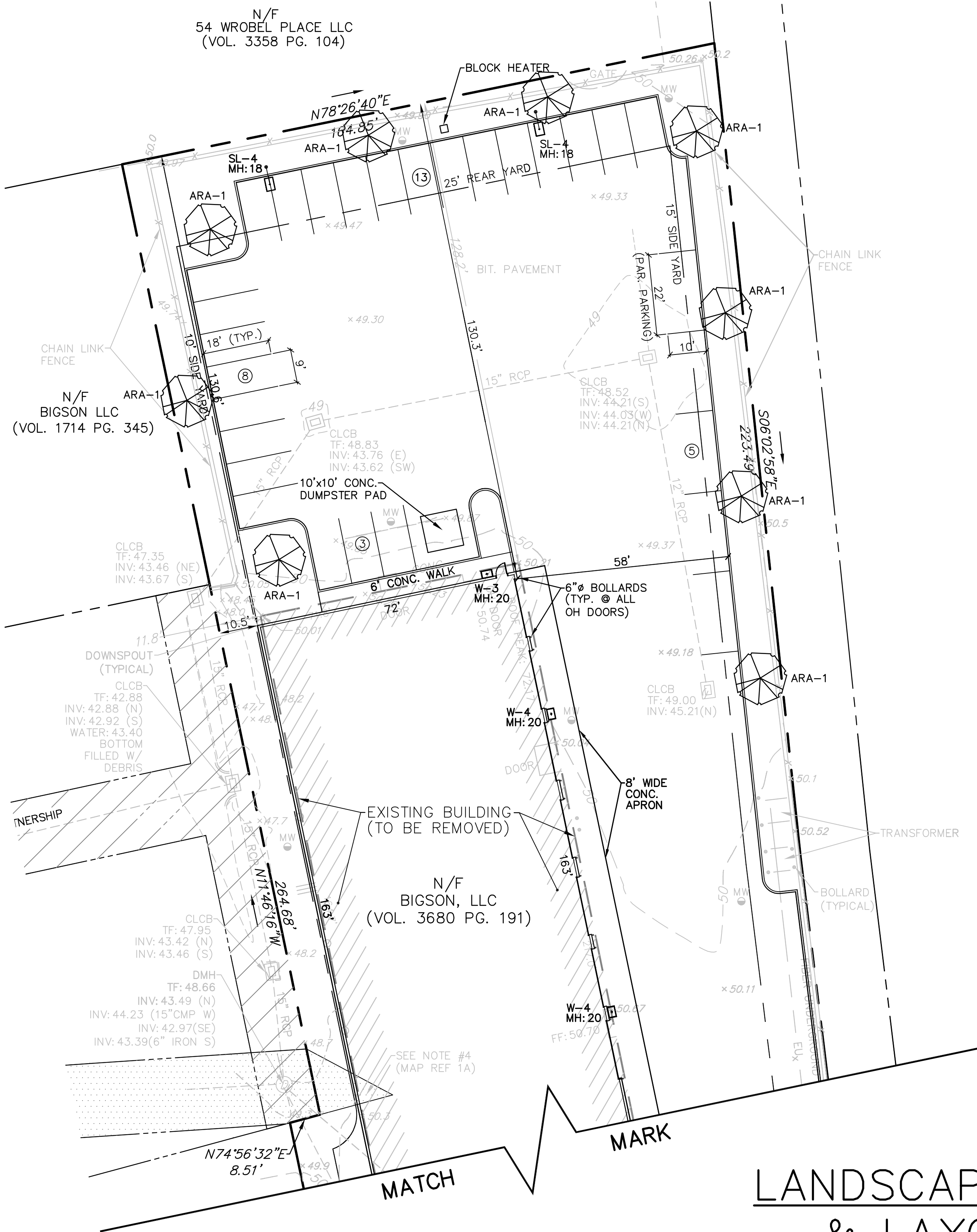
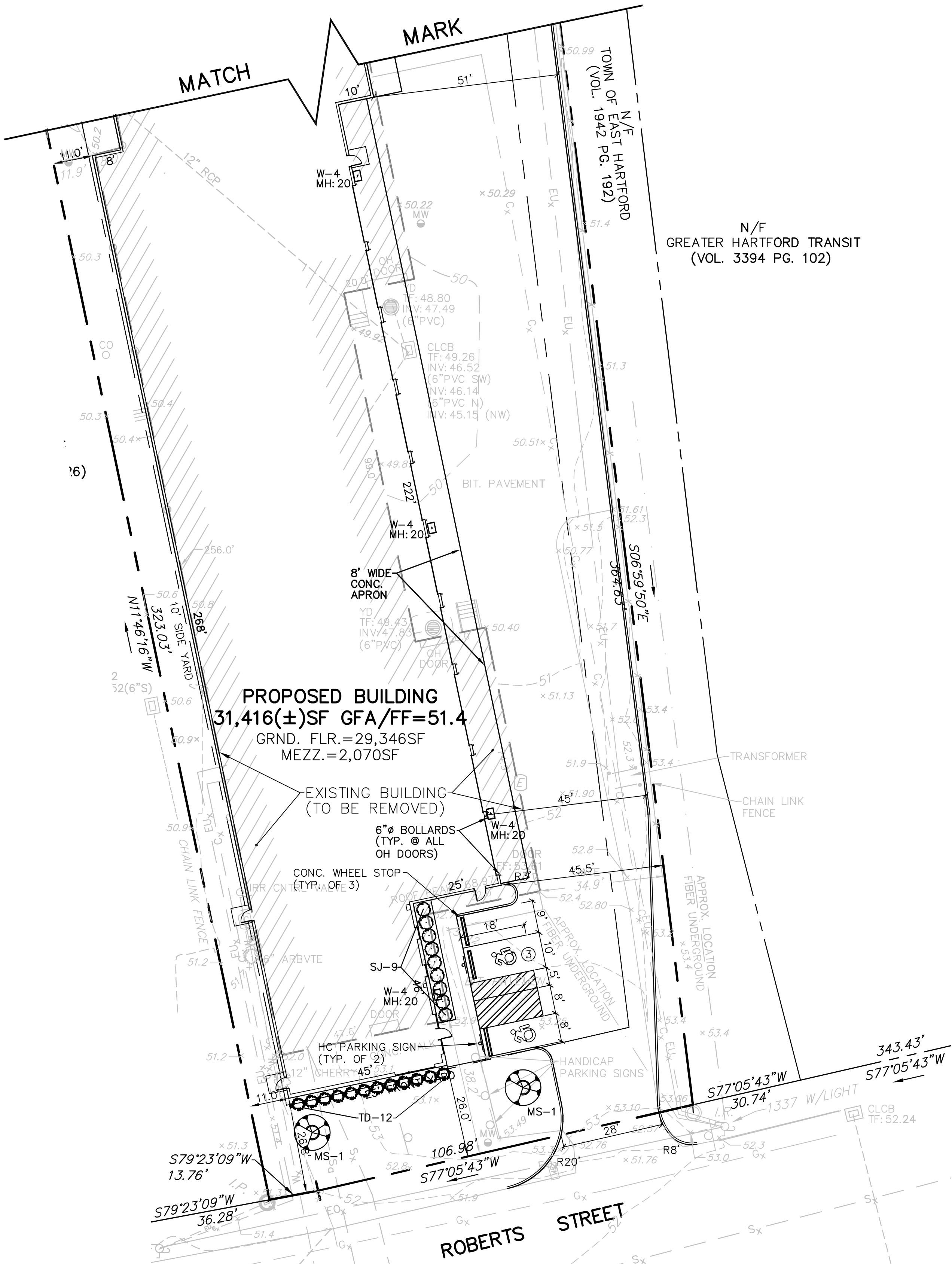
Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
SITE	Illuminance	Fc	0.51	2.9	0.0	N.A.	N.A.
PARKING + DRIVEWAY	Illuminance	Fc	0.93	2.9	0.1	9.30	29.00

Greg Loda  
Lighting Affiliates  
1208 Cromwell Ave  
Rocky Hill, CT 06067

website: www.lightingaffiliates.com  
Voice Number : (860) 721-1171 x 219  
Email Address : gloda@lightingaffiliates.com

PLANTING LEGEND				
KEY	QUANT.	COMMON NAME	BOTANICAL NAME	SIZE
AR	9	ARMSTRONG RED MAPLE	ACER x FREEMANII HYBRID 'ARMSTRONG'	2 1/2"-3" CAL.
MS	2	WHITE FLOWERING CRABAPPLE	MALUS 'SPRING SNOW'	2"-2 1/2" CAL.
SJ	9	LITTLE PRINCESS SPIRAEA	SPIRAEA JAPONICA 'LITTLE PRINCESS'	3 GAL.
TD	12	DENSE SPREADING YEW	TAXUS x MEDIA 'DENSIFORMIS'	18"-24"

- PLANTING NOTES:
- 1) ALL PLANT MATERIALS SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
  - 2) PLANTING SOIL MIX SHALL CONSIST OF LOAM THOROUGHLY INCORPORATED WITH COMPOST PROPORTIONED 5 CY:1 CY ALONG WITH AN ORGANIC STARTER FERTILIZER AT RECOMMENDED RATES.
  - 3) MULCH FOR PLANTING BEDS & TREE SAUCERS TO BE AGED, DOUBLE GROUND PINE BARK APPLIED AT A DEPTH OF THREE (3) INCHES.
  - 4) ALL OTHER DISTURBED AREAS, NOT COVERED BY BUILDINGS, PAVEMENT, ETC., SHALL BE GRADED & SEED TO LAWN, MEADOW, WILDFLOWER, ETC., AS DIRECTED BY THE OWNER.
  - 5) LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR ONE (1) FULL YEAR FROM DATE OF ACCEPTANCE. PROPER LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
  - 6) SHADE TREES SHALL HAVE A BRANCHING HEIGHT OF FIVE (5') MINIMUM.

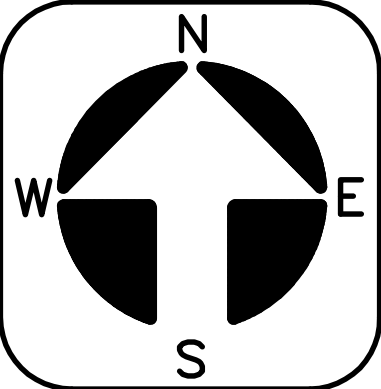
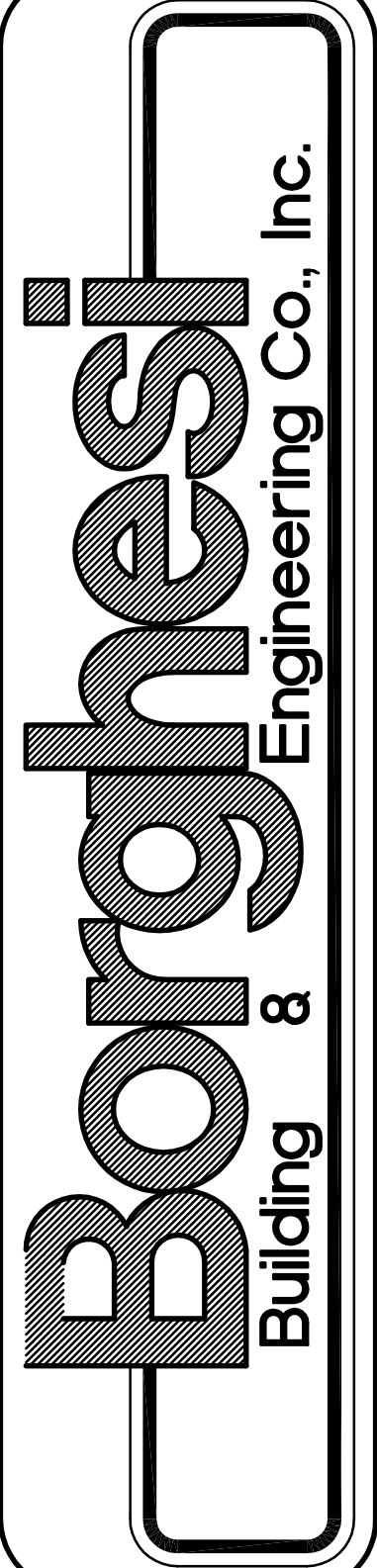


NOTE: CURB RADII=4.5'  
UNLESS OTHERWISE NOTED

## LANDSCAPE, LIGHTING, & LAYOUT PLAN

SCALE: 1"=20'

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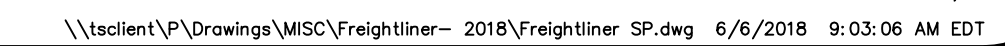
REVISIONS  
05-25-18 ADD CONC APRON, E. SIDE OF BLDG.  
08-05-18

FREIGHTLINER		APPROVED BY	
178-182 ROBERTS STREET EAST HARTFORD, CT		J.H.P.	
DATE	05-17-18	SCALE	AS NOTED
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980-462-7613/WEB			

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SP3



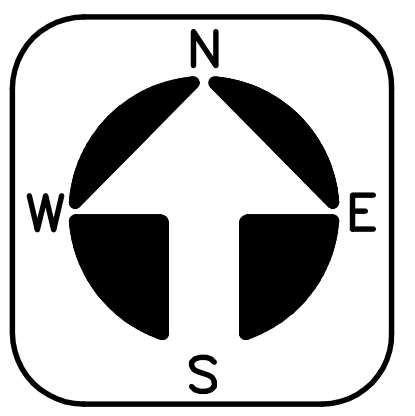


SCALE: 1"=30'

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SP 4

SEAL



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SOIL EROSION & SEDIMENT CONTROL PLAN NARRATIVE

INTRODUCTION:  
PURSUANT TO CONNECTICUT P.A. 83-388, A SOIL EROSION AND SEDIMENT CONTROL PLAN AND NARRATIVE IS REQUIRED FOR THIS PROJECT.  
THIS NARRATIVE DESCRIBES MEASURES REQUIRED TO CONTROL SOIL EROSION DURING AND AFTER CONSTRUCTION OF THE PROPOSED SITE WORK SHOWN ON THIS PLAN. THE SOIL EROSION AND SEDIMENT CONTROL MEASURES SHOWN ON THIS PLAN ARE DESIGNED IN ACCORDANCE WITH A DOCUMENT ENTITLED "2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL," PUBLISHED BY THE CONNECTICUT COUNCIL ON SOIL AND WATER CONSERVATION IN COOPERATION WITH THE CT DEP.  
THE GUIDELINES ARE OBTAINABLE FROM THE CONNECTICUT COUNCIL ON SOIL AND WATER CONSERVATION, STATE OFFICE BUILDING, HARTFORD, CONNECTICUT 06106 AND SHOULD BE USED AS A REFERENCE IN CONSTRUCTING THE EROSION AND SEDIMENT CONTROLS INDICATED ON THESE PLANS.

PROJECT DESCRIPTION:  
THE APPLICANT PROPOSES TO RAZE AN EXISTING 29,412(±) SQUARE FOOT BUILDING AND CONSTRUCT A PROPOSED 29,346(±) SQUARE FOOT BUILDING (31,416 SF GFA) WITH APPURTENANT PARKING. THE BUILDING WILL BE SERVED BY PUBLIC SEWER AND WATER. THE SITE IS LOCATED AT 178-182 ROBERTS STREET IN EAST HARTFORD, CT.  
RUN OFF FROM THE DEVELOPED SITE WILL BE COLLECTED IN CATCH BASINS, DOWNSPOUTS, AND ROOF DRAINS, AND PIPED TO AN EXISTING STORM SEWER SYSTEM.

ANTICIPATED START OF CONSTRUCTION IS SUMMER OF 2018 . SEDIMENT AND EROSION CONTROL MEASURES WILL BE IMPLEMENTED AND WILL BE IN PROPER WORKING ORDER BEFORE CONSTRUCTION BEGINS. SEDIMENT AND EROSION MEASURES WILL BE MAINTAINED IN PROPER WORKING ORDER THROUGH COMPLETION OF CONSTRUCTION AND WILL REMAIN IN PLACE AND CONTINUE TO BE MAINTAINED AFTER CONSTRUCTION HAS BEEN COMPLETED, UNTIL ALL DISTURBED AREAS ARE STABILIZED.

- CONSTRUCTION SCHEDULE:
- OBTAIN A COPY OF ALL PROJECT LAND-USE PERMITS. THE CONTRACTOR SHALL BE FAMILIAR WITH ALL PERMIT REQUIREMENTS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
  - INSTALL SILTATION CONTROL FENCES AND FILTER FABRIC SILT BARRIERS AT EXISTING CATCH BASINS.
  - INSTALL CONSTRUCTION ENTRANCE.
  - REMOVE EXISTING BUILDING, PAVEMENT, AND TREES IN AREAS TO BE CLEARED AS REQUIRED.
  - ROUGH GRADE SITE, BEGIN CONSTRUCTION OF BUILDING.
  - INSTALL UTILITIES AND FILTER FABRIC SILT BARRIERS AT NEW CATCH BASINS.
  - BACKFILL FOUNDATION.
  - ROUGH GRADE NEW PARKING AREAS, INSTALL AND GRADE PAVEMENT BASE AND CURBS.
  - PAVE PARKING AREAS AND INSTALL WALKS.
  - GRADE, STABILIZE AND SEED ALL DISTURBED AREAS.
  - MAINTAIN ALL EROSION CONTROL MEASURES UNTIL A DURABLE GRASS STAND IS ESTABLISHED IN ALL NON-PAVED AREAS.

- LAND DISTURBANCE:
- THE FOLLOWING PROCEDURES SHALL BE USED FOR ALL LAND DISTURBING ACTIVITIES:
- ALL AREAS SHALL REMAIN UNDISTURBED UNTIL IMMEDIATELY PRIOR TO PROPOSED CONSTRUCTION ACTIVITIES.
  - LAND CLEARING SHALL PROCEED AT THE SAME RATE AS CONSTRUCTION.
  - REMOVAL OF VEGETATION SHALL BE RESTRICTED TO THOSE AREAS NECESSARY FOR CURRENT CONSTRUCTION ACTIVITIES.
  - DISTURBED AREAS SHALL BE LIMITED TO A MAXIMUM OF 20 FEET BEYOND THE PHYSICAL DIMENSIONS OF THE ROADS, DRIVEWAYS, UTILITY TRENCHES, SEPTIC SYSTEMS, AND AREAS TO BE GRADED.
  - CONSTRUCTION EQUIPMENT AND MATERIALS SHALL BE CONFINED TO THE DISTURBED AREAS ONLY.
  - THE DEVELOPER SHALL BE RESPONSIBLE FOR THE CLEANING OF NEARBY STREETS, AS ORDERED BY THE TOWN OR STATE, OF ANY DEBRIS FROM HIS CONSTRUCTION ACTIVITIES.
  - THE USE, STORAGE, OR DISPOSAL OF ANY MATERIAL NOT IN ACCORDANCE WITH WHAT IS SHOWN ON THE APPROVED PLAN OR REQUIRED BY THE REGULATORY AGENCY MAY RESULT IN THE IMMEDIATE REVOCATION OF ANY PERMIT/APPROVAL GRANTED BY THE COMMISSION.

GENERAL NOTES:  
WHENEVER CONSTRUCTION SHALL TAKE PLACE IN AREAS DESIGNATED AS WETLANDS OR AS AREAS TO BE ECOLOGICALLY PROTECTED, THE CONTRACTOR SHALL TAKE SPECIAL CARE WITH HIS CONSTRUCTION METHODS AND SHALL COMPLY WITH THE FOLLOWING REGULATIONS:  
ALL EXISTING VEGETATION SHALL BE PROTECTED, AND ONLY THAT CLEARING AND CUTTING WHICH IS ABSOLUTELY NECESSARY FOR THE PROPOSED CONSTRUCTION OR TO CLEAR THE PERMANENT RIGHT-OF-WAY SHALL BE ALLOWED. CARE SHALL BE TAKEN TO PRESERVE ALL SPECIMEN TREES. THOSE TREES IDENTIFIED TO BE SAVED SHALL BE PROTECTED FROM DAMAGE BY CONSTRUCTION EQUIPMENT BY SUITABLE MEANS. ALL REGULATED AREAS SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AND CONTOURS.

SOIL EROSION AND SEDIMENT CONTROL MEASURES:  
ALL WATERCOURSES SHALL BE PROTECTED FROM SEDIMENTATION BOTH DURING AND AFTER CONSTRUCTION. THIS PROVISION APPLIES PARTICULARLY TO DEWATERING ACTIVITIES, STORAGE OF EXCAVATED OR STOCKPILED MATERIAL, AND TRENCH OR DITCH EXCAVATION.  
HAYBALES OR SYNTHETIC FILTER BARRIER FENCE, AS SPECIFIED, IS TO BE INSTALLED AT ALL LOCATIONS AS INDICATED ON THE PLANS TO INTERCEPT SILT AND SEDIMENT BEFORE IT REACHES THE DRAINAGE SYSTEM, WETLANDS, OR WATER COURSES. HAYBALES OR SILT FENCE SHALL BE STAKED AS SHOWN ON THE PLAN, AND ARE TO BE REPLACED AS NECESSARY TO PROVIDE PROPER FILTERING ACTION. DEPOSITS OF SEDIMENT AND SILT ARE TO BE PERIODICALLY REMOVED FROM THE UPSTREAM SIDE OF THE HAYBALES OR SILT FENCE. THIS MATERIAL IS TO BE SPREAD AND STABILIZED IN AREAS NOT SUBJECT TO EROSION, OR TO BE USED AS FILL IN AREAS WHICH ARE NOT TO BE PAVED OR BUILT UPON. HAYBALES AND SILT FENCES ARE TO REMAIN IN PLACE AND BE MAINTAINED TO INSURE EFFICIENT SILTATION CONTROL UNTIL ALL AREAS ABOVE THE FENCES ARE STABILIZED AND VEGETATION HAS BEEN ESTABLISHED.  
DURING CONSTRUCTION, EXPOSE AS SMALL AN AREA AS POSSIBLE FOR AS SHORT A TIME AS POSSIBLE.  
DURING CONSTRUCTION, ANY ADDITIONAL SEDIMENT/EROSION CONTROL MEASURES DEEMED NECESSARY BY THE TOWN SHALL BE IMPLEMENTED BY THE DEVELOPER. IN ADDITION, THE DEVELOPER SHALL BE RESPONSIBLE FOR THE REPAIR, REPLACEMENT, AND MAINTENANCE OF ALL SEDIMENT/EROSION CONTROL MEASURES UNTIL ALL DISTURBED AREAS ARE STABILIZED TO THE SATISFACTION OF THE TOWN.

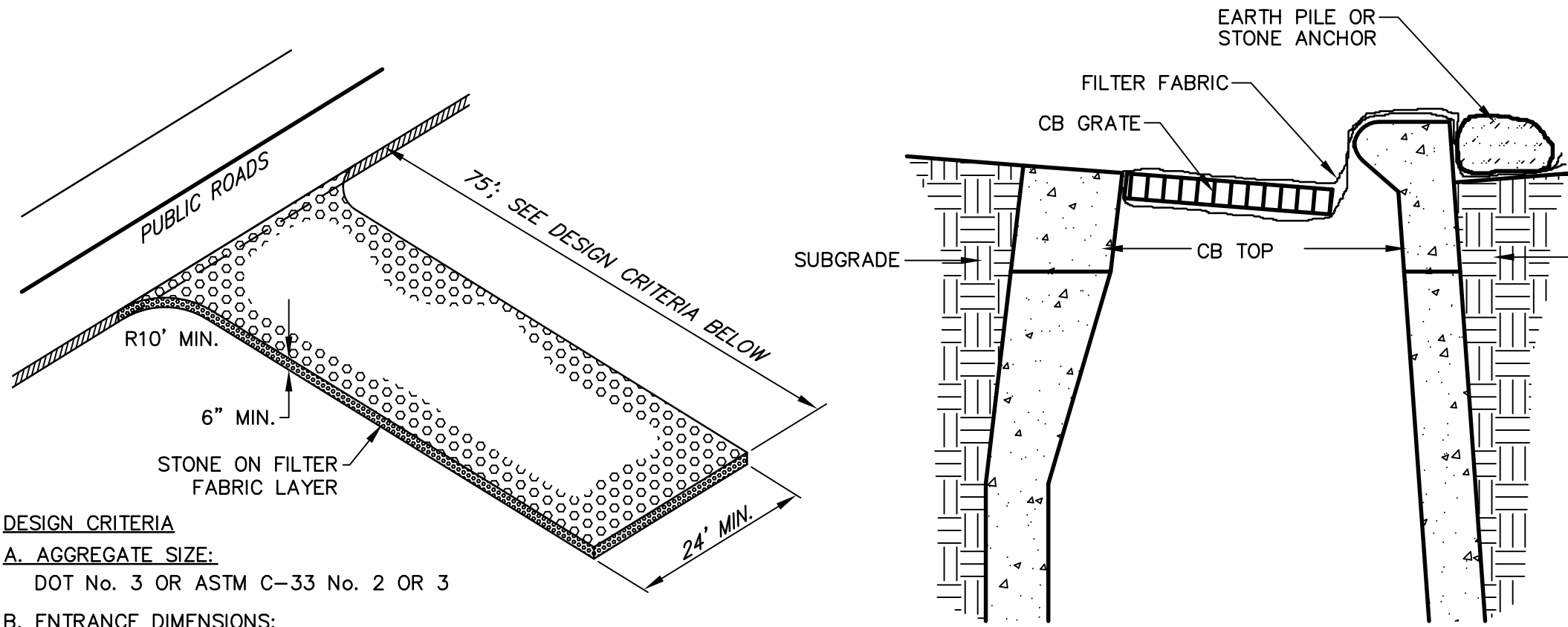
STRIPPING AND STOCKPILING:  
STOCKPILES THAT CONSIST OF ERODIBLE MATERIAL, SUCH AS STRIPPED TOPSOIL, ROAD FILL, SOILS EXCAVATED FROM ROAD CUTS AND FOUNDATION HOLES, ETC., SHALL CONFORM TO THE FOLLOWING CRITERIA:  
1. LOCATION-ALL STOCKPILES SHALL BE LOCATED WITHIN THE AREA OF THE PROPOSED DISTURBANCE AND AWAY FROM THE FOLLOWING:  
-WETLANDS  
-WATER CONVEYANCE CHANNELS  
-STORM DRAINAGE SYSTEM INLETS  
-TOP OF STEEP SLOPES  
2. SEDIMENT CONTROL-ALL STOCKPILES SHALL BE SURROUNDED BY SEDIMENT BARRIERS, EITHER GEOTEXTILE SILT FENCE OR HAY BALE BARRIERS, PLACED APPROXIMATELY TEN FEET (10') FROM THE TOE OF SLOPE. THE SIDE SLOPES OF ERODIBLE STOCKPILED MATERIAL SHOULD BE NO STEEPER THAN 2:1. STOCKPILED MATERIAL NOT TO BE USED WITHIN THIRTY DAYS SHALL BE SEEDED AND MULCHED IMMEDIATELY AFTER FORMATION OF THE STOCKPILE.  
THE CONTRACTOR SHALL CAREFULLY STRIP ALL TOPSOIL, LOAM, OR ORGANIC MATERIAL PRIOR TO TRENCHING OPERATIONS, AND SHALL STORE THEM SEPARATELY FROM ALL OTHER MATERIALS DURING EXCAVATION. IN AREAS DESIGNATED AS INLAND WETLANDS, THE UPPER STRATA, TO A DEPTH OF 2 FEET, SHALL BE STRIPPED AND STORED SEPARATELY. DURING BACKFILLING, THESE MATERIALS SHALL BE REPLACED AND FINISHED AS THEY EXISTED PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL NOT INTRODUCE ANY FILL MATERIALS INTO ANY AREAS DESIGNATED AS INLAND WETLANDS WITHOUT FIRST OBTAINING A PERMIT(S) FROM THE TOWN WETLANDS COMMISSION.  
THE CONTRACTOR SHALL MAINTAIN ALL BACKFILLED EXCAVATION IN PROPER CONDITION UNTIL EXPIRATION OF THE MAINTENANCE PERIOD. ALL DEPRESSIONS APPEARING IN THE BACKFILLED EXCAVATION SHALL BE PROPERLY FILLED AND RESEEDED IF NECESSARY.  
RIPRAP:  
RIPRAP, IF SPECIFIED, IS TO BE INSTALLED FOR ENERGY DISSIPATION AND TO CONTROL EROSION. THE RIPRAP IS TO BE INSTALLED BEFORE THE OUTLET STRUCTURES ARE WORKING, AND ALL ADJACENT AREAS ARE TO BE IMMEDIATELY SEEDED, IF IN SEASON, OR THE SOIL IS TO BE STABILIZED BY OTHER METHODS. THIS MAY REQUIRE SOEDING, MULCHING, OR OTHER METHODS AS DEFINED IN THE "GUIDELINES".  
RIPRAP SHALL BE INSPECTED PERIODICALLY TO DETERMINE IF HIGH FLOWS HAVE CAUSED SCOUR BENEATH THE RIPRAP OR FILTER BLANKET, OR DISLOADED ANY OF THE RIPRAP OR FILTER BLANKET MATERIALS. REPAIR IMMEDIATELY UPON OBSERVED FAILURE.

DISPOSAL OF TREES AND BRUSH:  
ALL VEGETATION REQUIRING REMOVAL FOR CONSTRUCTION OF THE PROJECT SHALL BE DISPOSED OF OFF-SITE. NO TREES, BRUSH, OR STUMPS SHALL BE BURIED OR OTHERWISE DISPOSED OF ON-SITE.  
TRENCH EXCAVATION AND BACKFILL:  
CARE SHALL BE TAKEN TO EXCAVATE TO THE CORRECT LINE AND GRADE AND WIDTH AT ALL POINTS. THE METHODS AND EQUIPMENT USED FOR EXCAVATION MUST BE ADAPTED TO THE CONDITIONS AT THE SITE AND THE DIMENSIONS OF THE REQUIRED TRENCH. THE WIDTH OF THE GROUND OR STREET SURFACE, CUT OR DISTURBED, SHALL BE KEPT AS SMALL AS PRACTICABLE TO ACCOMMODATE THE WORK.  
TRENCH EXCAVATION, BELOW THE TWO FOOT DEPTH WHICH IS TO BE STRIPPED AND STORED SEPARATELY, SHALL BE STOCKPILED AND USED AS THE TRENCH BACKFILL MATERIAL, UNLESS THE ENGINEER DECLARES IT UNSUITABLE FOR BACKFILL MATERIAL. EXCESS EXCAVATED MATERIAL SHALL BE DISPOSED OF BY THE CONTRACTOR.  
ESTABLISH VEGETATION COVER ON DISTURBED AREAS:  
1. SCARIFY SURFACE OF ALL AREAS TO BE TOPSOILED; PLACE A MINIMUM OF 4" TOPSOIL ON ALL AREAS TO BE SEEDED.  
2. FERTILIZE AT THE FOLLOWING RATES:  
a) FOR SPRING SEEDING, APPLY 19-19-19 FERTILIZER AT A RATE OF 10 LB.s/1000 SF AND WORK INTO SOIL. SIX TO EIGHT WEEKS LATER AN ADDITIONAL 10 LB.s/1000 SF IS TO BE APPLIED.  
b) FOR FALL SEEDING, APPLY 19-19-19 FERTILIZER AT A RATE OF 10 LB.s/1000 SF AND WORK INTO SOIL.  
3. SMOOTH AND FIRM SEEDBED; APPLY SEED AT THE RATE(S) SPECIFIED BELOW. COVER SEED WITH NOT MORE THAN 1/4" OF SOIL.  
APPLY APPROPRIATE SEED MIXTURE PER THE FOLLOWING:  
PERMANENT SEEDING  
30% CREEPING RED FESCUE  
35% SHAMROCK KENTUCKY BLUEGRASS  
35% ALL-SPORT PERENNIAL RYE  
TEMPORARY SEEDING (WINTER SOIL PROTECTION)  
ANNUAL RYE OR PERENNIAL RYE  
APPLICATION RATE: 5 LB.s/1000 SF APPLICATION RATE: 2 LB.s/1000 SF  
4. MULCH IMMEDIATELY WITH HAY FREE FROM WEED SEEDS AT A RATE OF 3 BALES/1000 SF.

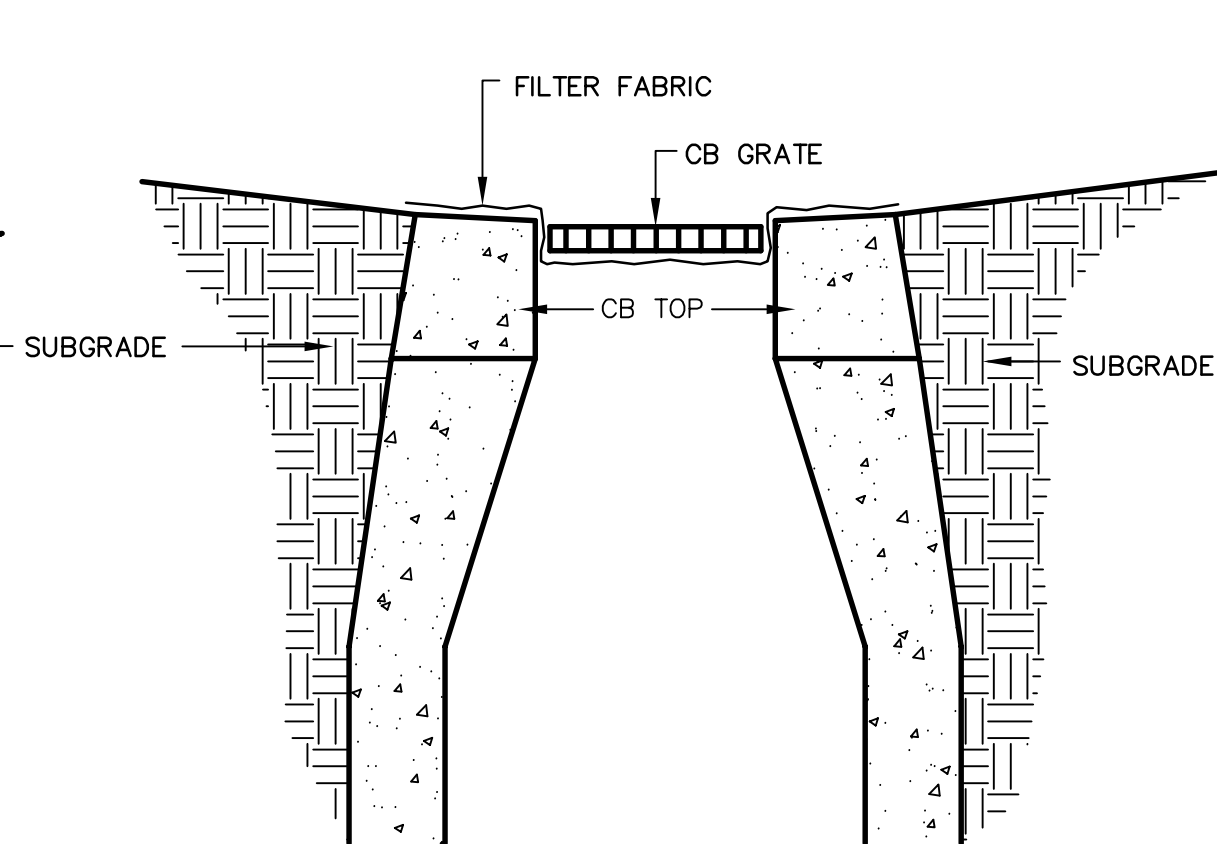
STORMWATER OPERATIONS & MAINTENANCE PLAN

RUNOFF FROM THE PAVED PORTION OF THE SITE IS COLLECTED IN CATCH BASINS. AN ENVIRONMENT 21 STORMWATER TREATMENT SYSTEM ENHANCES WATER QUALITY PRIOR TO DISCHARGING THE RUNOFF INTO A PROPOSED DETENTION BASIN.  
A SEDIMENT AND EROSION PLAN IS INCLUDED ON THE PROJECT CONSTRUCTION DRAWINGS WHICH DETAILS MEASURES NECESSARY DURING CONSTRUCTION. THIS STORMWATER OPERATIONS & MAINTENANCE PLAN IS PREPARED TO ADDRESS LONG TERM MAINTENANCE OF THE SITE FACILITIES TO ENHANCE STORMWATER QUALITY.  
THE FOLLOWING ANNUAL INSPECTIONS AND MAINTENANCE SHALL BE PERFORMED. THE INSPECTION AND MAINTENANCE SHALL BE PERFORMED IN THE SPRING OF EACH YEAR. ADDITIONAL INSPECTIONS SHALL BE MADE AFTER ANY LARGE RAINFALL EVENT (THREE INCHES OF RAIN OR MORE WITHIN A 24 HOUR PERIOD). THE OWNER OF THE PROPERTY SHALL BE RESPONSIBLE FOR THE IMPLEMENTATION OF THIS PLAN.  
1. CLEAN PARKING LOT. SWEEP PARKING LOT OF ANY ACCUMULATED SAND FROM WINTER MAINTENANCE OPERATIONS.  
2. CLEAN CATCH BASINS. ALL CATCH BASINS SHALL BE VACUUMED TO REMOVE ALL DEBRIS AND SEDIMENT. IF THE ACCUMULATED SEDIMENT EXCEEDS HALF THE DEPTH OF THE DISTANCE BETWEEN THE BOTTOM OF THE STRUCTURE AND THE OUTLET PIPE, A MID-WINTER CLEANING PROGRAM SHALL BE IMPLEMENTED THE FOLLOWING WINTER.  
3. CLEAN THE ENVIRONMENT 21 STORMWATER TREATMENT SYSTEMS. THE UNITS SHALL BE VACUUMED TO REMOVE ALL SEDIMENT. ANY FLOATING OIL SHALL BE REMOVED AND DISPOSED OF AS A HAZARDOUS WASTE. AN ADDITIONAL INSPECTION SHALL BE MADE IN THE FALL OF EACH YEAR. IF WARRANTED, A FALL CLEANING MAY BE NEEDED. PLEASE SEE THE ATTACHED MAINTENANCE INFORMATION PROVIDED BY ENVIRONMENT 21.  
4. INSPECT RIPRAP, REPAIR AND ACCUMULATED SEDIMENT. ANY DISPLACED OR MISSING RIPRAP SHALL BE REPLACED.  
5. INSPECT DETENTION BASIN AND OUTLET STRUCTURE. REMOVE ANY ACCUMULATED SEDIMENT AND DEBRIS.

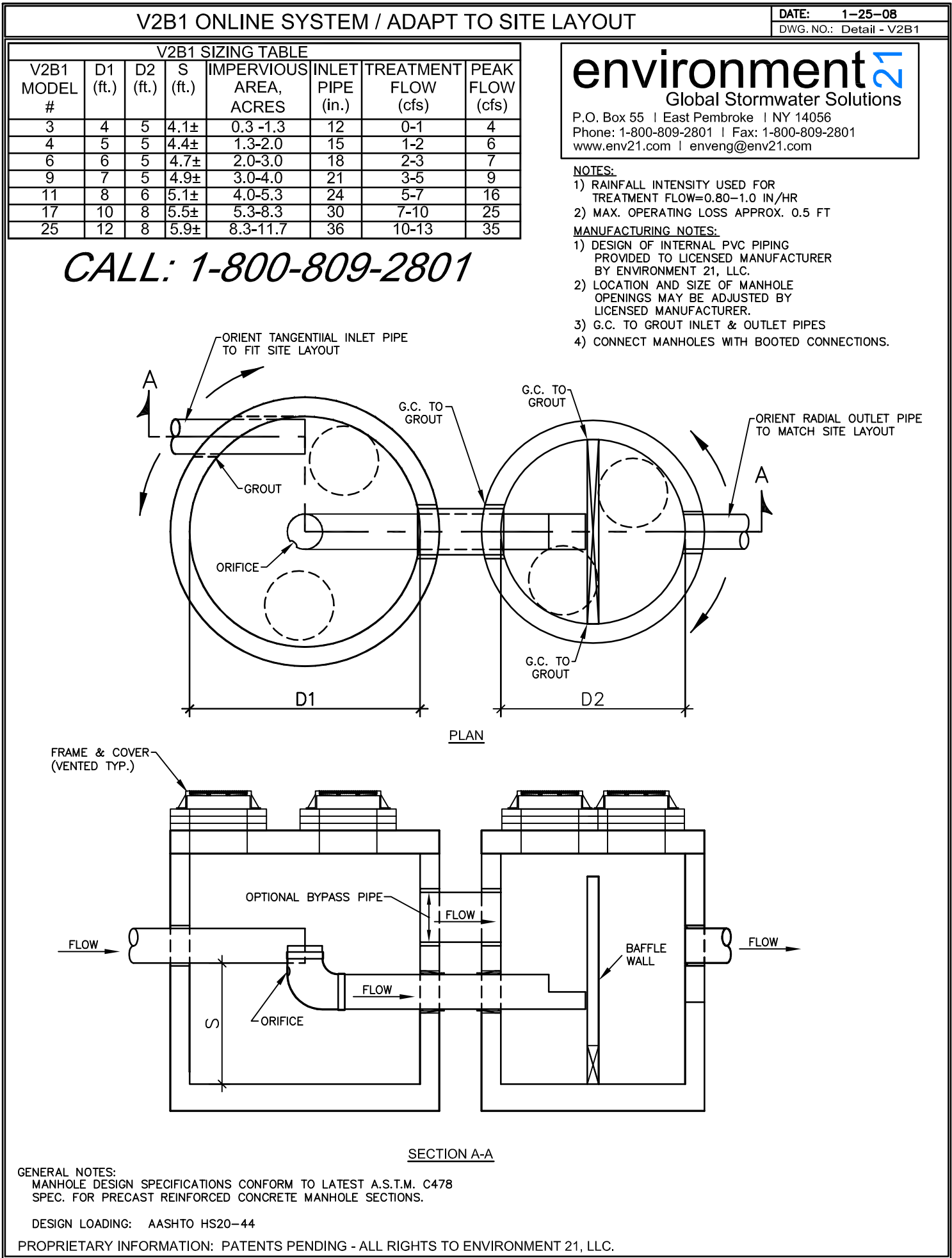
V2B1 MAINTENANCE  
STORAGE CAPACITY AND CLEANOUT FREQUENCY  
RECOMMENDED PRACTICE FOR THE V2B1 IS TO PLAN ON SEMI-ANNUAL INSPECTIONS AND ANNUAL PUMPOUT BASED ON THE FOLLOWING GENERAL DESIGN GUIDELINES:  
(1) SEDIMENT SUMP --- THE RATE AT WHICH THE SUMP FILLS WILL DEPEND ON SITE ACTIVITIES (E.G., HEAVY WINTER SANDING WILL CREATE EXTRA SEDIMENT, WHILE REGULAR SWEEPING WILL REDUCE ACCUMULATION). BASED ON 1992 NURP STUDIES, ENVIRONMENT 21 RECOMMENDS USING 0.2 CY/ACRE/PAVEMENT PER YEAR FOR INITIAL ESTIMATES OF SEDIMENT ACCUMULATION FROM COMMERCIAL AREAS AND RETAIL PARKING AREAS. THIS VALUE IS USED BY ENVIRONMENT 21 TO SIZE THE V2B1 SEDIMENT SUMP TO PROVIDE STORAGE FOR SEVERAL YEARS OF SEDIMENT RUNOFF.  
(2) FLOATABLES CHAMBER --- OIL SHEEN AND FLOATING DEBRIS ARE ASSUMED TO ACCUMULATE AT A RATE OF 5.0 GAL/YR/ACRE OF PAVEMENT. THIS VALUE IS USED BY ENVIRONMENT 21 TO DESIGN FOR A STORED FLOATABLES DEPTH OF LESS THAN ONE INCH WITHIN A 1-YR PERIOD.  
SEDIMENT CHAMBER INSPECTION:  
DURING THE FIRST YEAR OF OPERATION, ENVIRONMENT 21 RECOMMENDS INSPECTIONS IN FEBRUARY, MAY, AND OCTOBER. THIS INSPECTION SCHEDULE CAN BE MODIFIED IN SUBSEQUENT YEARS ACCORDING TO EXPERIENCE AND/OR TO MEET SPECIFIC STORMWATER PERMIT REQUIREMENTS.  
CAST IRON MANHOLE FRAME WITH VENTED COVER IS PROVIDED IN THE MANHOLE ROOF TO MAKE THE SEDIMENT PILE READILY ACCESSIBLE FOR MEASUREMENT AND CLEANING. SEDIMENT SHOULD BE REMOVED WHEN THE TOP OF THIS PILE IS 6"-12" DEEP. THE NORMAL WATER SURFACE ELEVATION IN SEDIMENT SUMP WILL BE 4.5-5 FT ABOVE THE FLOOR SEDIMENT CHAMBER.  
DURING ROUTINE INSPECTIONS, WATER DEPTH ABOVE THE SEDIMENT MAY BE DETERMINED BY SLOWLY LOWERING A MEASURING ROD WITH 6-IN DIAMETER END PLATE (USED TO GENTLY COMPACT THE TOP OF THE SEDIMENT PILE) A STADIA ROD AND FLASHLIGHT ARE USEFUL FOR THIS PROCEDURE. DUSTING THE ROD BEFOREHAND WILL CLEARLY SHOW THE DEPTH TO THE SEDIMENT PILE AS THE WET PORTION OF THE ROD. THE MEASURING ROD MUST BE CAREFULLY LOWERED TO LIMIT SEDIMENT PILE COMPACTION TO 1-2 INCHES.



CONSTRUCTION ENTRANCE  
N.T.S.



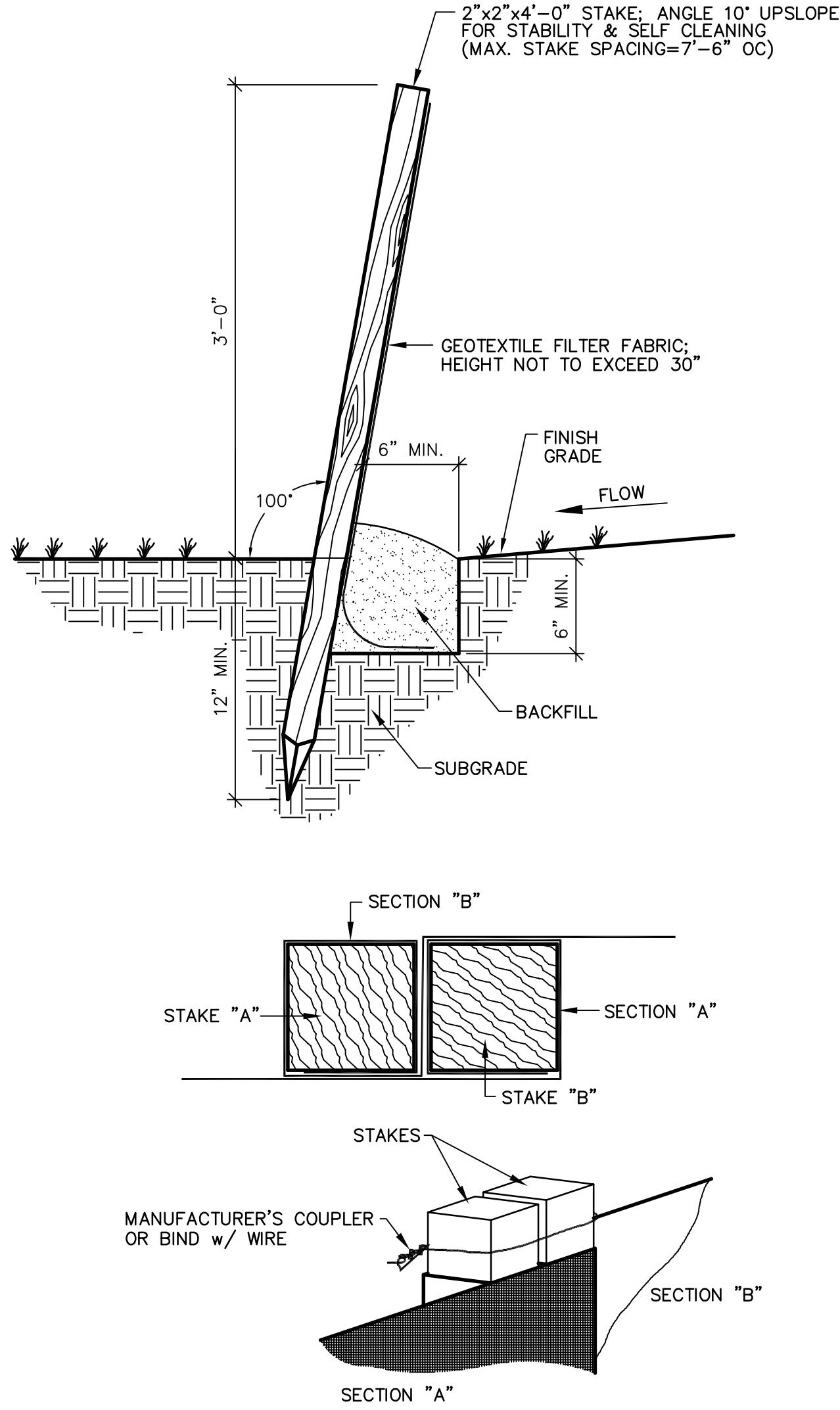
FILTER FABRIC SILT BARRIER AT CATCH BASIN  
N.T.S.



NOTE:  
MAINTENANCE OF THE COLLECTOR SYSTEM SHALL BE PERFORMED AT LEAST ANNUALLY & THE COLLECTION OF CONTAMINANT MATERIALS SHALL BE PERFORMED AT LEAST SEMI-ANNUALLY.

ENVIRONMENT 21 V2B1 STORMWATER TREATMENT SYSTEM  
N.T.S.

FLOATABLES CHAMBER INSPECTION:  
THE DEPTH OF OIL SHEEN AND FLOATING DEBRIS CAN BE ESTIMATED USING VISUAL INSPECTION WHILE GENTLY STIRRING THE WATER SURFACE IN THE FLOATABLES CHAMBER. THIS DEPTH WILL TYPICALLY BE LESS THAN TWO INCHES AND FLOATABLES CAN BE SKIMMED FROM THE SURFACE.  
ORGANIC DEBRIS THAT HAS BECOME WATERLOGGED AND SETTLED TO THE FLOOR OF THE CHAMBER CAN BE ASSUMED TO BE PRESENT IN RELATIVELY SMALL QUANTITIES THAT MAY NEED TO BE REMOVED ANNUALLY.  
PUMPOUT:  
PUMPOUT OF THE V2B1 IS ACHIEVED USING STANDARD TRUCK-MOUNTED SEWER AND CATCH BASIN CLEANERS WITH POSITIVE DISPLACEMENT ROTARY LOBE VACUUM PUMPS AND 8-IN DIAMETER SUCTION HOSE. MANHOLE OPENINGS PROVIDE ACCESS TO BOTH THE SEDIMENT AND FLOATABLE CHAMBERS.  
DISPOSAL OF WASTEWATER, SEDIMENT, AND FLOATABLES:  
COMMERCIAL AND RETAIL SITES ARE USUALLY ADJACENT AND TRIBUTARY TO PUBLIC STORMWATER SYSTEMS, AND ACCORDINGLY PUMPER TRUCK CONTENTS SHOULD BE DELIVERED TO A DISPOSAL FACILITY EQUIVALENT TO THAT USED BY THE LOCAL HIGHWAY DEPARTMENT. FOR INDUSTRIAL SITES, PUMPER TRUCK CONTENTS SHOULD BE DELIVERED TO A DISPOSAL SITE APPROVED BY THE OWNER OF THE INDUSTRIAL SITE.



SILTATION CONTROL FENCE  
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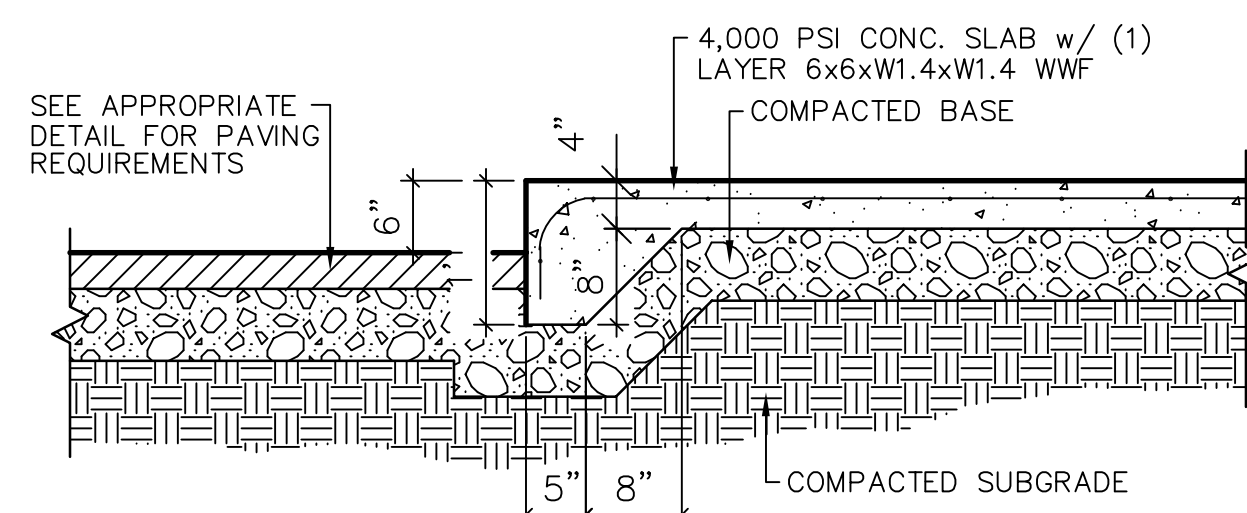
SEAL

REVISIONS  
05-24-18 AND SNA 21 V2B1 TREATMENT SYSTEM NOTES & DETAILS

PROJECT  
FREIGHTLINER  
178-182 ROBERTS STREET  
EAST HARTFORD, CT  
DRAWN BY  
G.R.W.  
DATE  
03-29-18  
SCALE  
AS NOTED  
APPROVED BY  
J.H.P.  
AS NOTED  
2155 EAST MAIN STREET  
HARTFORD, CT 06106  
860-462-7613/WEB: WWW.BORGHESIBUILDING.COM

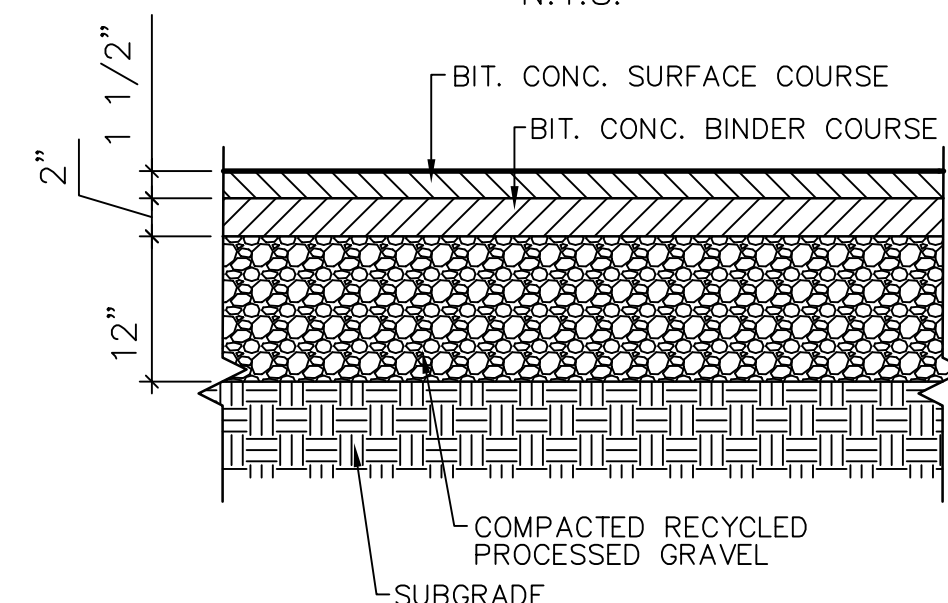
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SPD1





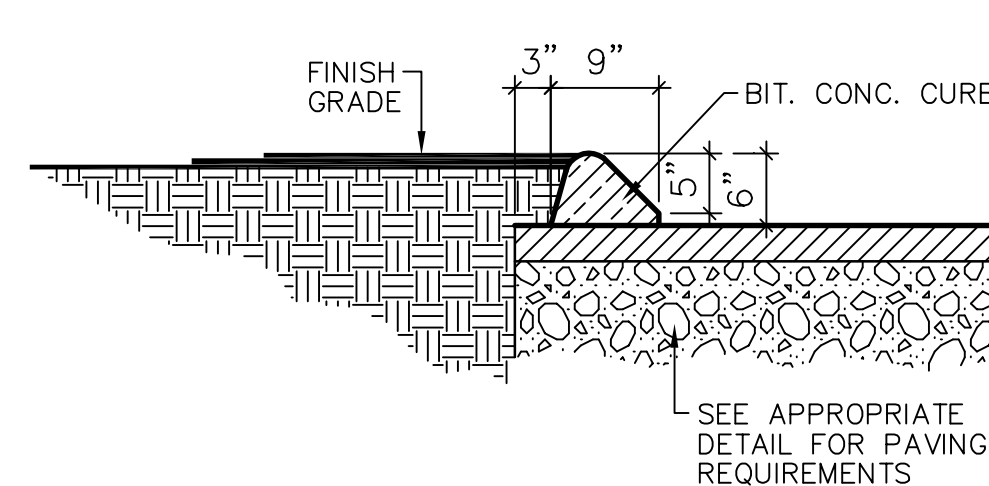
## MONOLITHIC CONCRETE CURB

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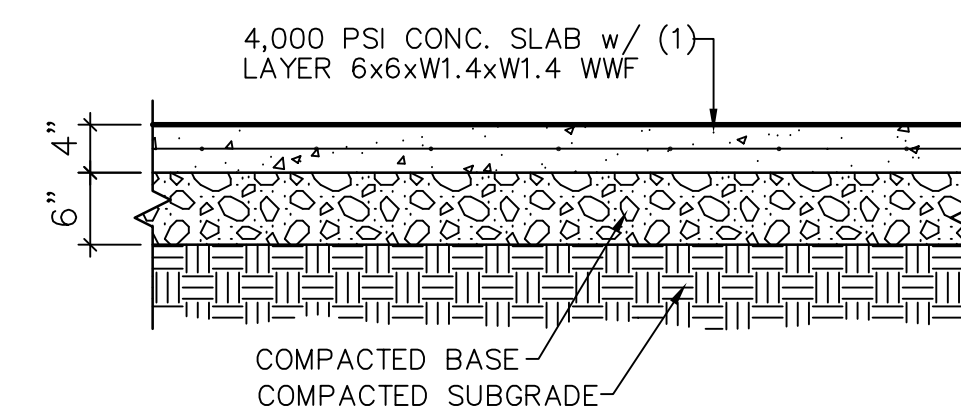
## BITUMINOUS CONCRETE PAVEMENT

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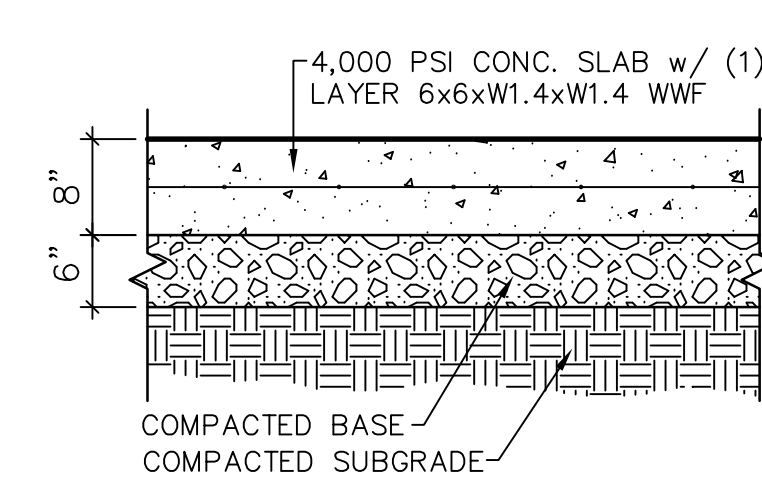
### BITUMINOUS CONCRETE CURB

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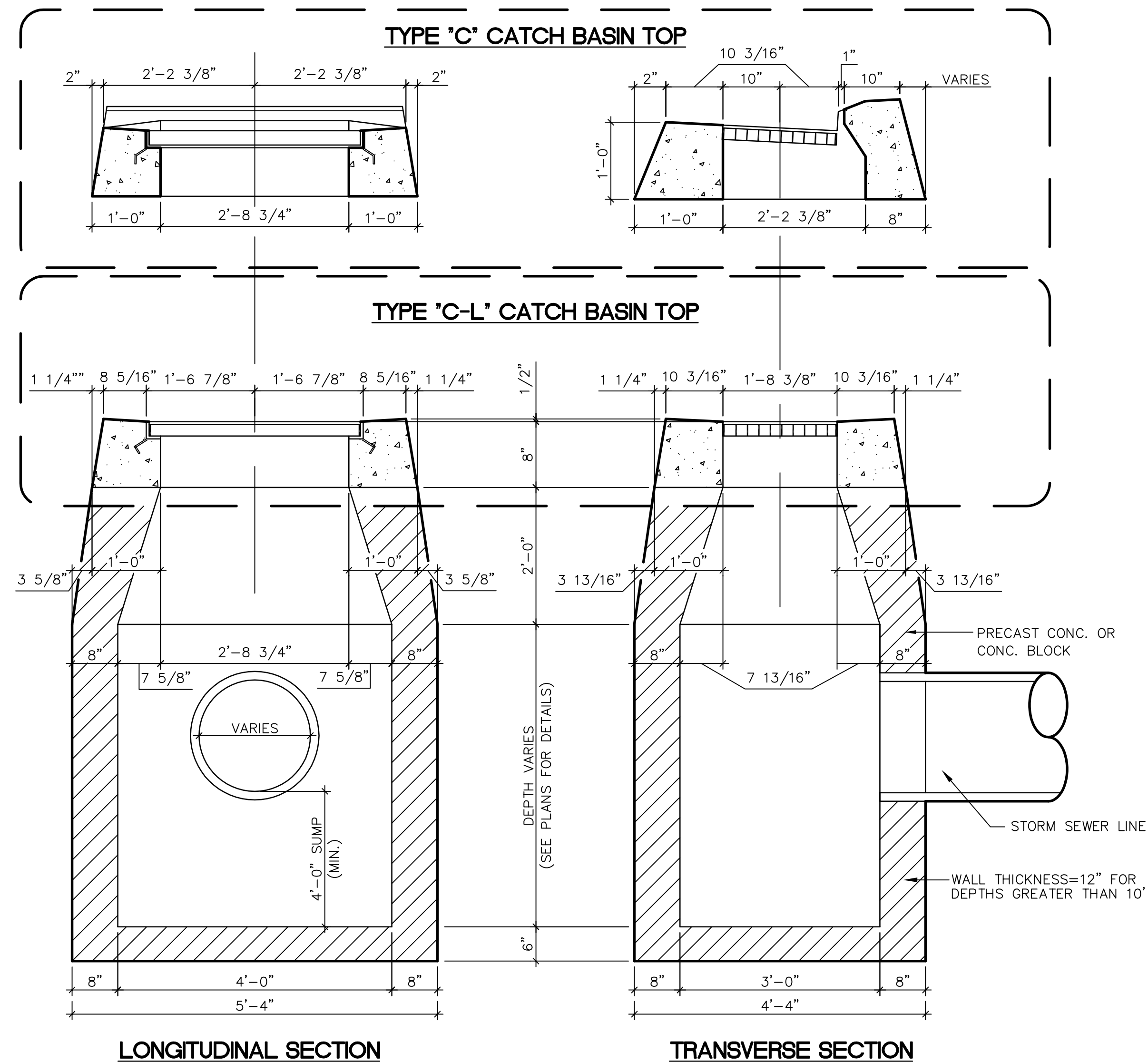
## CONCRETE WALK PAVEMENT

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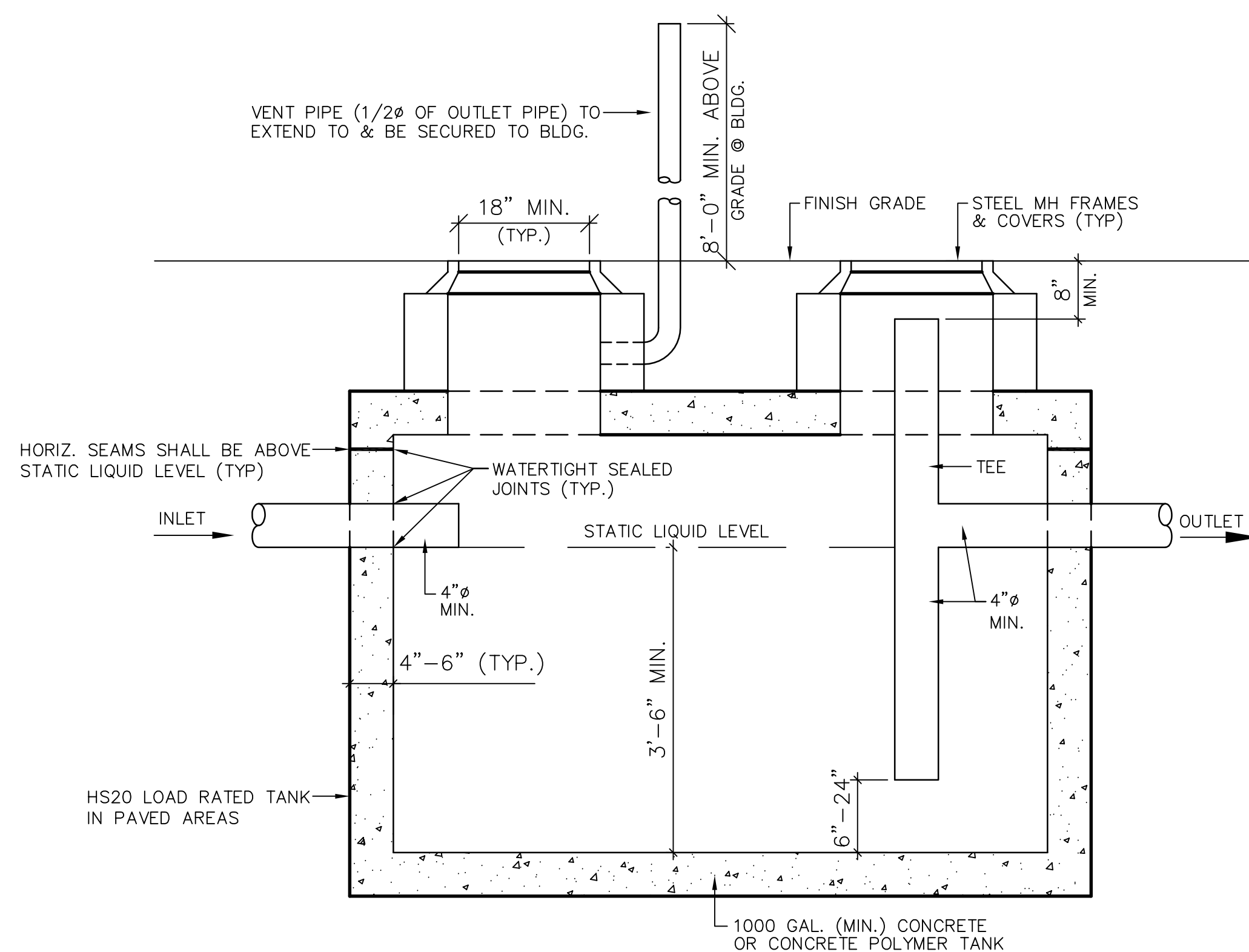
## DUMPSTER PAD

N.T.S.



## STATE OF CONN. CATCH BASIN

N.T.S.



NOTES

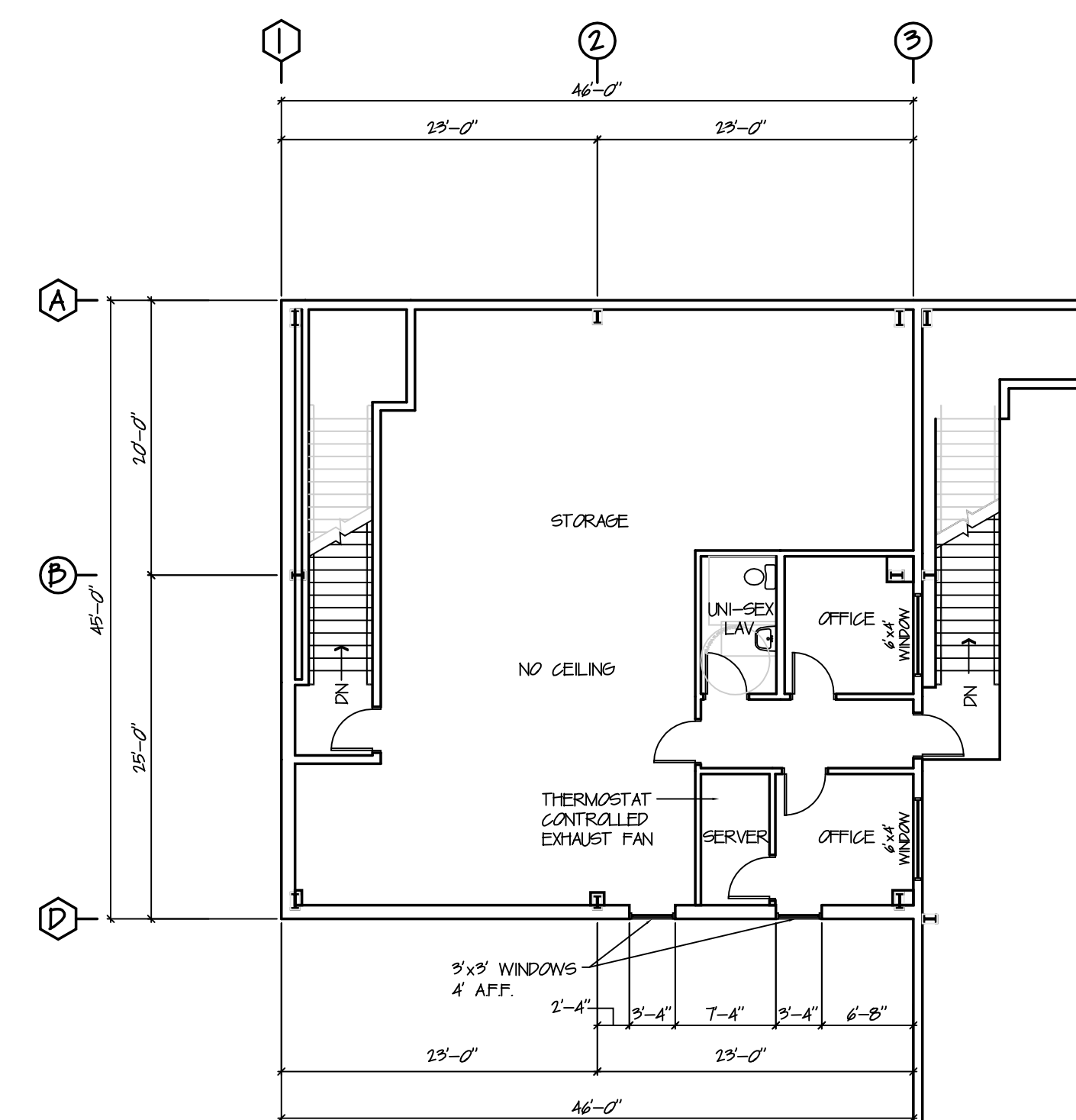
1. CONCRETE TANK ONLY: THE INTERIOR SHALL BE COATED w/ AN EPOXY PETROLEUM RESISTANT SEALANT. THE EXTERIOR, INCLUDING THE TOP & BOTTOM, SHALL BE COATED w/ A WATERPROOF FOUNDATION SEALANT. THE INTERIOR & EXTERIOR OF THE MHS SHALL ALSO BE WATERPROOFED.
2. CONCRETE OR CONCRETE POLYMER TANKS: STRUCTURAL SEAMS MUST BE LOCATED ABOVE THE STATIC LIQUID LEVEL OF THE TANK, FILLED w/ NON-SHRINK CEMENT OR WATER PLUG, & WATERPROOFED. VOIDS BETWEEN INLET & OUTLET PIPING & THE TANK SHALL BE GROUTED w/ NON-SHRINK CEMENT & WATERPROOFED.
3. IF SEPARATOR TANK OUTLETS INTO A HOLDING TANK, THE HOLDING TANK SHALL BE SIZE SHOWN ON THE PLANS & SHALL BE CONSTRUCTED SIMILARLY TO THE SEPARATOR TANK. THE HOLDING TANK SHALL BE EQUIPPED WITH A HIGH LEVEL ALARM SYSTEM CLEARLY AUDIBLE IN THE NORMAL WORKING RANGE OF RESPONDING PERSONNEL, WHICH ALARM SYSTEM SHALL INDICATE WHEN THE VOLUME OF WASTEWATER IN SUCH HOLDING TANK HAS REACHED EIGHTY PERCENT OF ITS HOLDING CAPACITY.

## OIL/WATER SEPARATOR TANK (FOR FLOOR DRAINS)

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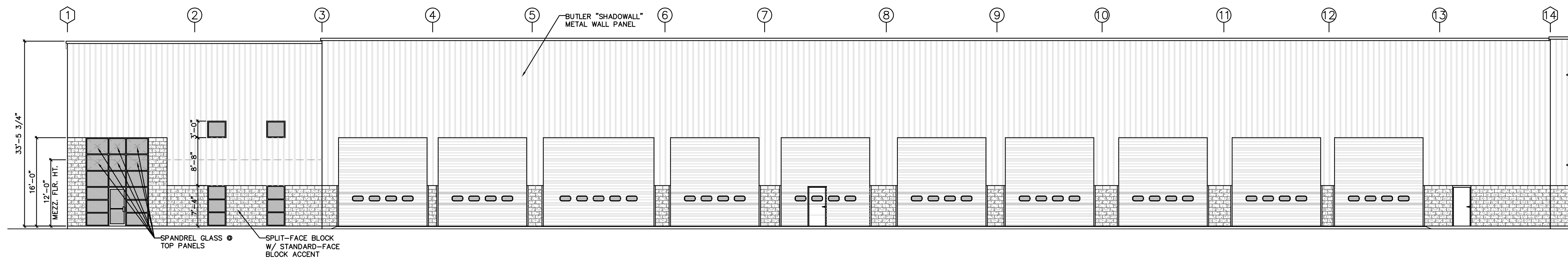


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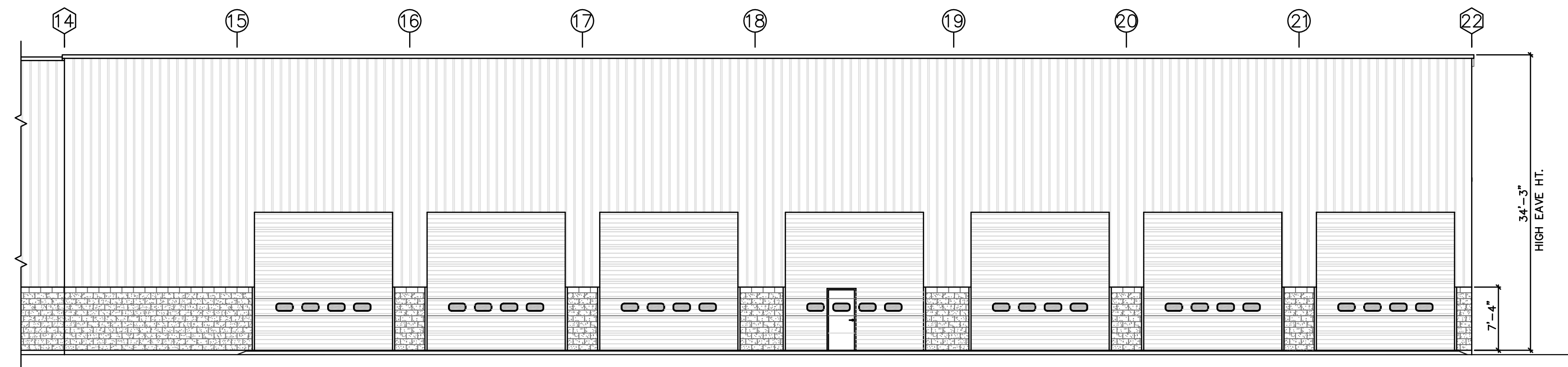


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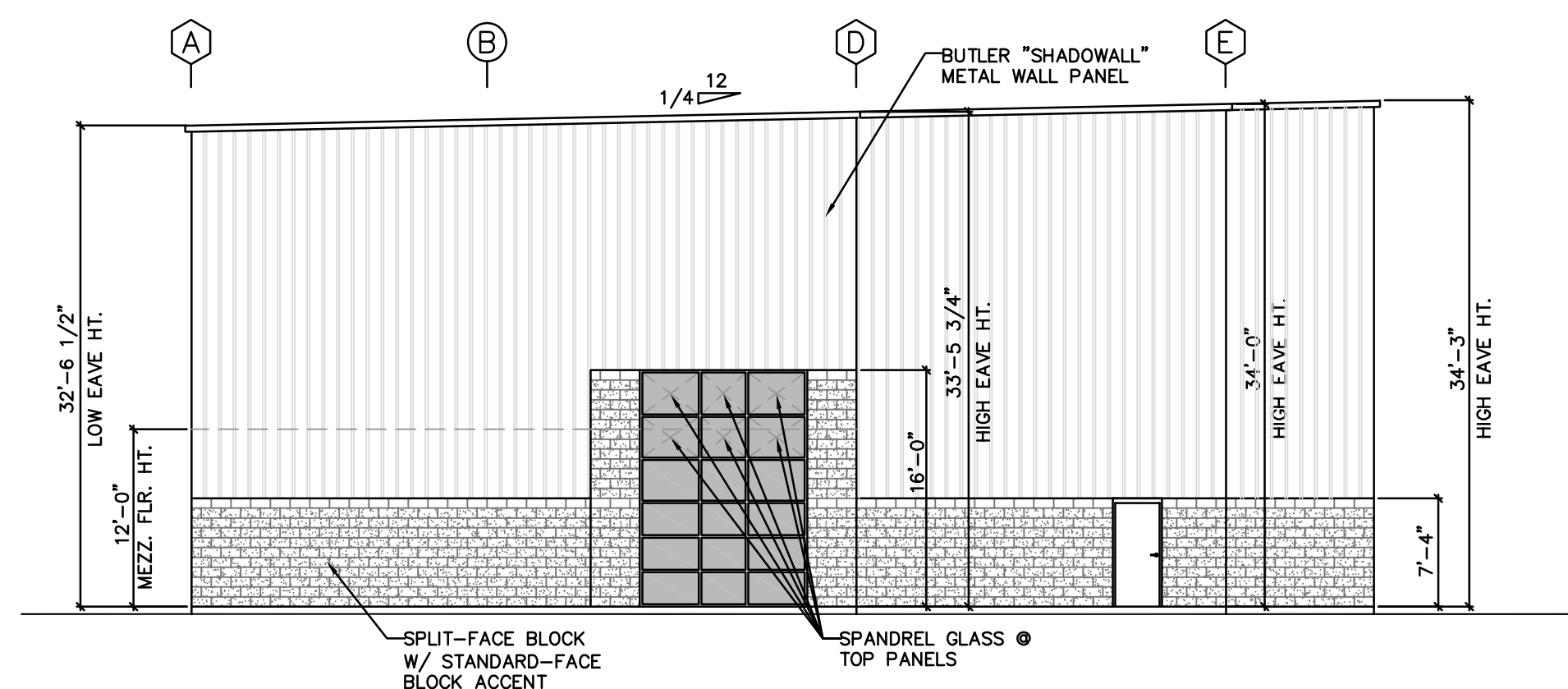




EAST ELEVATION  
SCALE: 3/32" = 1'-0"



EAST ELEVATION  
SCALE: 3/32" = 1'-0"



SOUTH ELEVATION  
SCALE: 3/32" = 1'-0"

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SEAL

REVISIONS

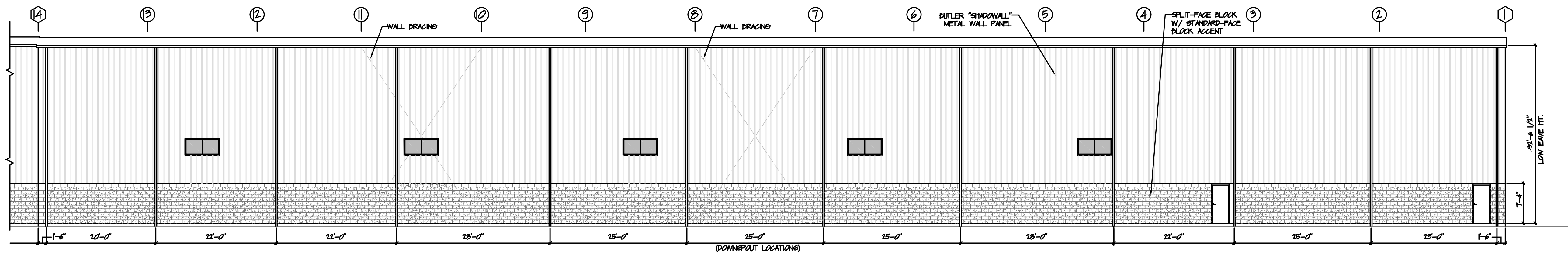
PROJECT  
FREIGHTLINER  
#178-182 ROBERTS STREET, EAST HARTFORD, CT

DRAWN BY	J.B.M.	APPROVED BY	J.H.P.
DATE	04/12/18	SCALE	AS NOTED
2155 EAST MAIN STREET 860-482-7613 / WEB SITE: <a href="http://www.borghesibuilding.com">www.borghesibuilding.com</a>			

SHEET NO.

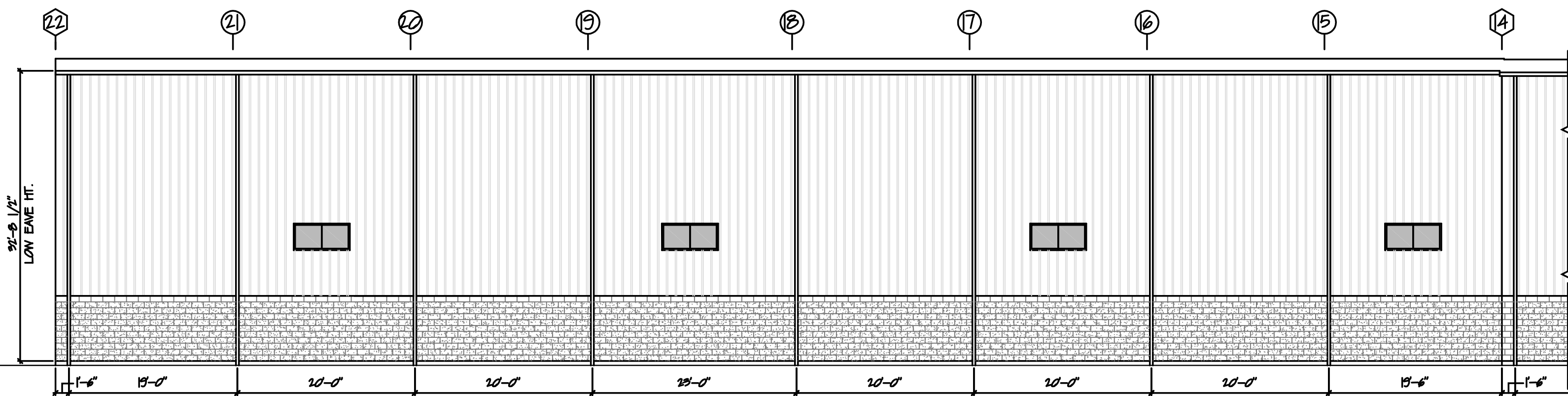
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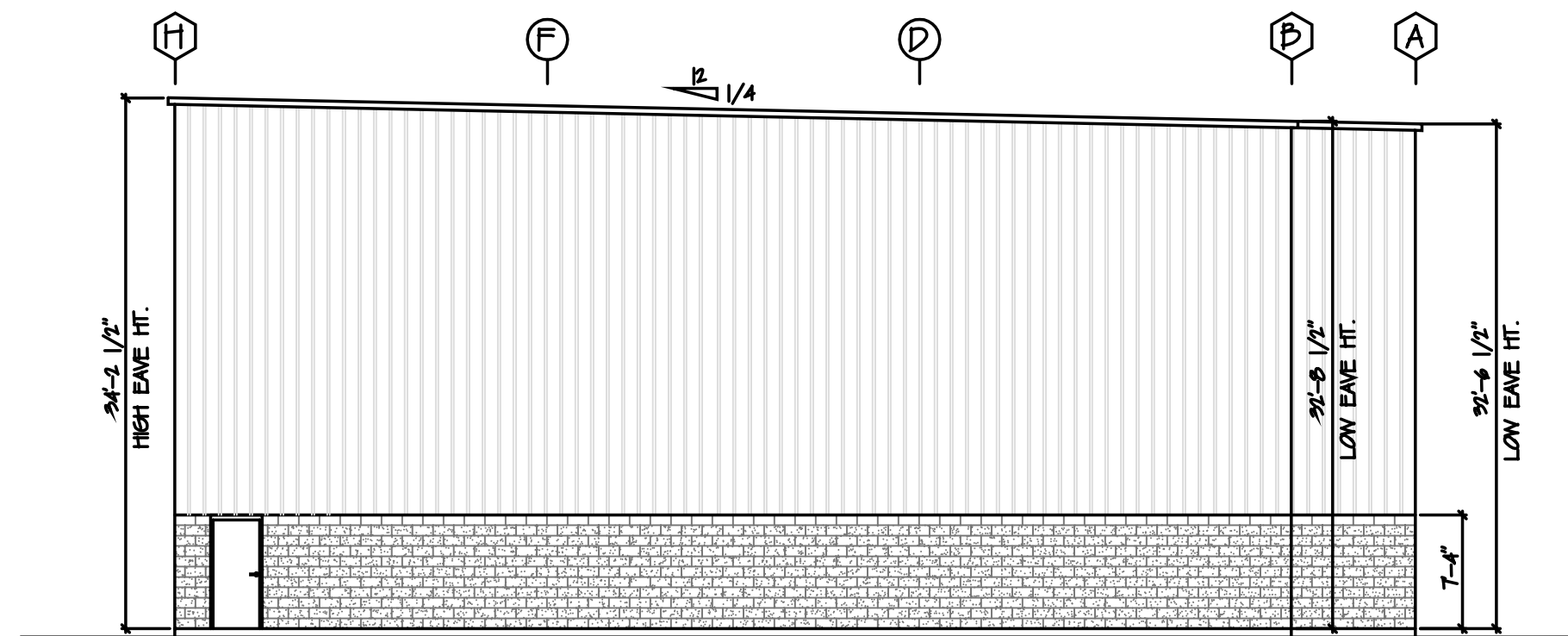
WEST ELEVATION

SCALE: 3/32" = 1'-0"



WEST ELEVATION

SCALE: 3/32" = 1'-0"



NORTH ELEVATION

SCALE: 3/32" = 1'-0"

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CO., INC.

REVISIONS 06-05-18 REV. W. ELEV. (ADD WINDOWS)

SEAL

PROJECT  
FREIGHTLINER  
#10-BA ROBERTS STREET, EAST HARTFORD, CT  
DRAWN BY JPM. APPROVED BY JHP.  
DATE 07/15/18 SCALE AS NOTED  
2155 EAST MAIN STREET TORRINGTON, CT 06790  
860-482-7613 / WEB SITE: WWW.BORGHESIBUILDING.COM

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A2A

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