

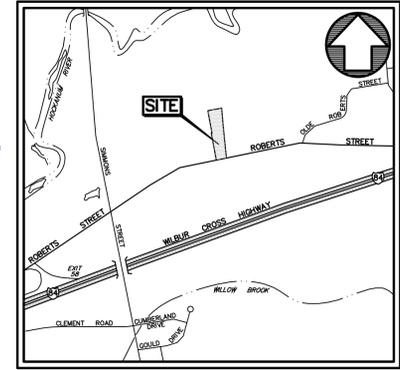


ASSESSOR'S INFO: 178-182 ROBERTS STREET, MAP/LOT: 35-45/51

AERIAL PHOTO
NOT TO SCALE

FREIGHTLINER OF HARTFORD

178-182 ROBERTS STREET, EAST HARTFORD, CT



LOCATION MAP
APPROX. SCALE: 1"=1000'

ZONING INFORMATION TABLE		
ZONE: I-2 (INDUSTRY 2)		
ASSESSOR'S INFO: 178-182 ROBERTS STREET, MAP/LOT: 35-45/51		
EXISTING USE OF PROPERTY: STORAGE OF PARTS & ACCESSORIES		
PROPOSED USE OF PROPERTY: SAME + TRUCK ASSEMBLY WORK (MANUFACTURING)		
GROSS FLOOR AREA (GFA) OF EXISTING BUILDING: 29,412(±)SF		
NOTE: EXISTING BUILDING TO BE DEMOLISHED & REPLACED		
GFA OF PROPOSED BUILDING: 29,346(±)SF (GROUND FLOOR)		
2,070(±)SF (MEZZANINE)		
31,416(±)SF (TOTAL)		
ITEM	REQUIRED	PROVIDED
MIN. LOT AREA	20,000 SF	83,391 SF / 1.91 ACRES
MIN. LOT WIDTH	100'	120.7'(±)
MIN. YARD SETBACKS		
FRONT	25'	26'(±)
SIDE	10' MINIMUM, 25' TOTAL	10.5'(±); 55'(±) TOTAL
REAR	25'	130'(±)
MAX. COVERAGE (BLDG.s)	75% (ALLOWED)	31,416 / 83,391 = 37.7% (PROPOSED)
		29,412 / 83,391 = 35.3% (EXISTING)
MAX. HEIGHT	50'	34'(±)
MAX. IMPERVIOUS SURFACE COVERAGE	85% (ALLOWED)	68,328 / 83,391 = 82.0% (PROPOSED)
		70,908 / 83,391 = 85.0% (EXISTING)
PARKING	MFG.=1/1,000 SF GFA 31,416 / 1,000 = 31.4 SPACES 32 SPACES REQUIRED	30 SPACES + 2 HC 32 SPACES
LOADING	>20,000 SF, <40,000 SF=1	1

INDEX OF SHEETS

COVER	COVER SHEET
SP1	SITE PLAN (30 SCALE) (REV. TO 06-07-18)
SP2	SITE PLAN (20 SCALE) (REV. TO 06-07-18)
SP3	LANDSCAPE, LIGHTING, & LAYOUT PLAN (REV. TO 06-05-18)
SP4	PHOTOMETRIC PLAN
SPD1	EROSION CONTROL NOTES & DETAILS (REV. TO 05-24-18)
SPD2	SITE DETAILS
A1	FLOOR PLAN (REV. TO 06-05-18)
A2	ELEVATIONS
A2A	ELEVATIONS (REV. TO 06-05-18)



PROJECT	FREIGHTLINER	
	178-182 ROBERTS STREET EAST HARTFORD, CT	
DRAWN BY	G.R.W.	J.H.P.
	DATE	SCALE
06-07-18		
2155 EAST MAIN STREET TORRINGTON, CT 06790		
860-462-7613/WEB: WWW.BORGHESIBUILDING.COM		

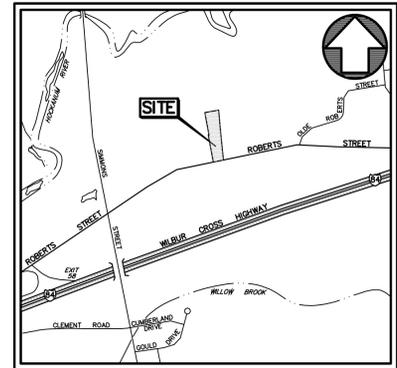
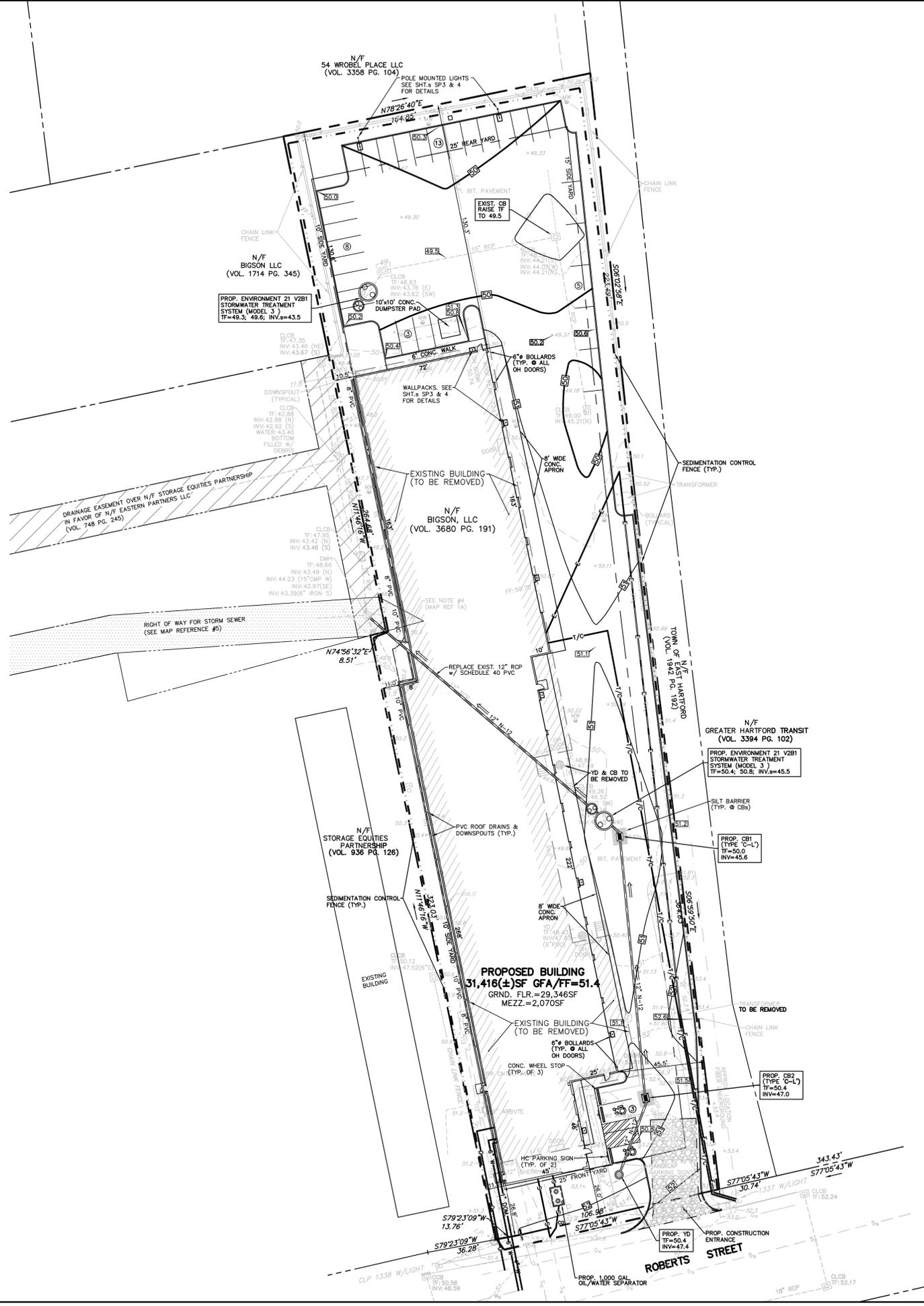
SHEET NO.
COVER SHEET

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NOTES:

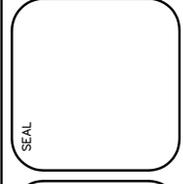
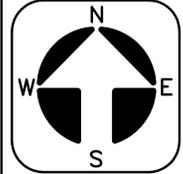
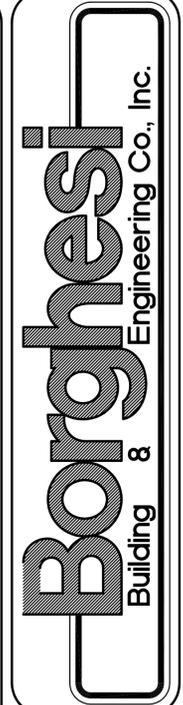
- 1) MAP REFERENCES:
 - A) DRAWING ENTITLED "PROPERTY & TOPOGRAPHIC SURVEY (SHEET V-1)", BIGSON, LLC, 178-182 ROBERTS STREET, EAST HARTFORD, CT, PREPARED FOR KEN WILSON FREIGHTLINER OF HARTFORD, INC., 222 ROBERTS STREET, EAST HARTFORD, CT, PREPARED BY DESIGN PROFESSIONALS, INC., 21 JEFFREY DRIVE, PO BOX 1167, DATED 02-19-2018. (PROJECT No. 3839)
- 2) OWNER/APPLICANT:

BIGSON, LLC
222 ROBERTS STREET
HARTFORD, CT 06018
- 3) REFER TO THE FOLLOWING DRAWINGS PREPARED BY BORGHESI BUILDING & ENGINEERING CO., INC. FOR OTHER PERTINENT INFORMATION:
 - SP2 SITE PLAN (20 SCALE)
 - SP3 LANDSCAPE, LIGHTING, & LAYOUT PLAN
 - SPD1 EROSION CONTROL NOTES & DETAILS
 - SPD2 SITE DETAILS
- 4) ALL EXISTING UTILITY LOCATIONS ARE FROM THE BEST AVAILABLE INFORMATION. CONTRACTOR TO FIELD VERIFY ALL LOCATIONS, DIMENSIONS, & ELEVATIONS PRIOR TO CONSTRUCTION. PRIOR TO ANY EXCAVATION, CONTACT "CALL-BEFORE-YOU-DIG" @ 1-800-922-4455 TO MARK ALL UTILITIES WITHIN THE CONSTRUCTION LIMITS.
- 5) ALL DRAINAGE PIPING TO BE ADS N-12 OR APPROVED EQUAL UNLESS OTHERWISE INDICATED.
- 6) ALL PAVED AREAS SHALL BE CURBED WITH BITUMINOUS CONCRETE CURBING, EXCEPT WHERE NOTED & WHERE CURBING ABUTS SIDEWALK. MONOLITHIC CONCRETE CURB SHALL BE USED WHERE SIDEWALK ABUTS PAVEMENT.
- 7) HANDICAPPED PARKING SPACES SHALL BE DESIGNATED WITH PAINTED PAVEMENT MARKINGS & ABOVE GRADE SIGNS IN ACCORDANCE WITH THE MOST CURRENT MUTCD & ITS ADDENDUMS, & SHALL COMPLY W/ CT STATE BLDG. CODE.
- 8) ALL SIGNS, SIGN MOUNTINGS, & PAINTED MARKINGS SHALL MEET THE REQUIREMENTS AS SET FORTH IN THE MOST CURRENT EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) & ITS ADDENDUMS.
- 9) ALL LIGHTING TO BE FULL CUT-OFF FIXTURES.



LOCATION MAP
APPROX. SCALE: 1"=1000'

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ZONE: I-2 (INDUSTRY 2)		
ASSESSOR'S INFO: 178-182 ROBERTS STREET, MAP/LOT: 35-45/51		
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PROPOSED USE OF PROPERTY: SAME + TRUCK ASSEMBLY WORK (MANUFACTURING)		
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REVISIONS
 05-17-18 ADD AND AMEND TO STORM DRAINAGE SYSTEM
 05-17-18 ADD EXISTING BUILDING TO BE DEMOLISHED
 05-17-18 ADD EXISTING BUILDING TO BE DEMOLISHED
 05-17-18 ADD SED. CONTROL FENCE, ADD TO IN FRONT OF BLDG.

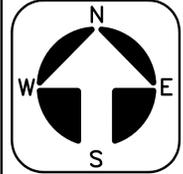
SITE PLAN

SCALE: 1"=30'

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PROJECT FREIGHTLINER 178-182 ROBERTS STREET EAST HARTFORD, CT	DESIGNED BY	J.H.P.
	DRAWN BY	G.R.W.
	DATE	05-17-18
	SCALE	AS NOTED
APPROVED BY		
DATE	05-17-18	
SCALE	AS NOTED	
PROJECT	2155 EAST MAIN STREET, TORRINGTON, CT 06790	
CONTACT	980-462-7613/WEB: WWW.BORGHESIBUILDINGS.COM	

SHEET NO.
SP1

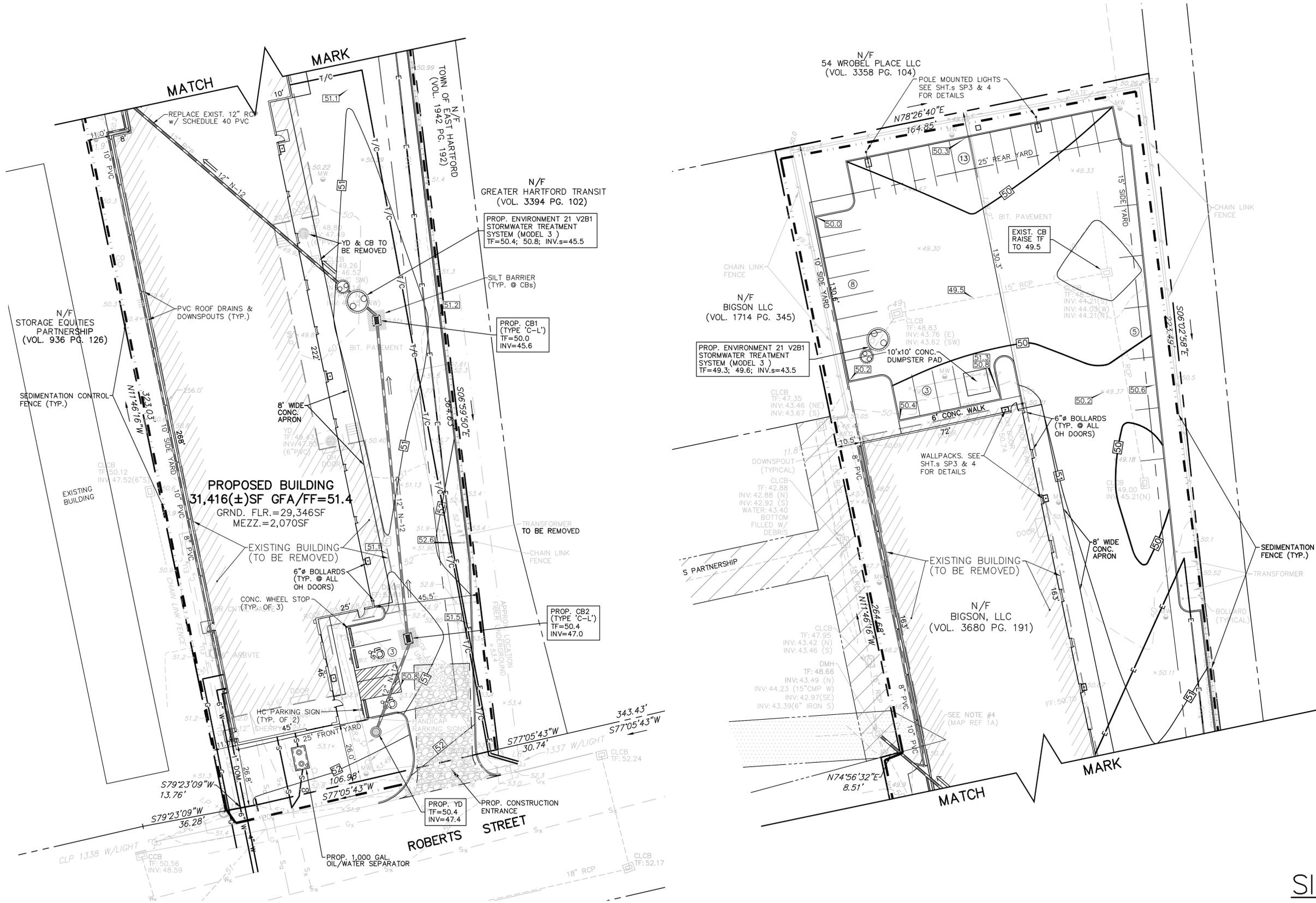


SEAL

REVISIONS
 6-24-18 1.000 V2B1 TREATMENT UNITS (2) TO STORM DRAINAGE SYSTEM
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PROJECT FREIGHTLINER 178-182 ROBERTS STREET EAST HARTFORD, CT	APPROVED BY	J.H.P.
	DATE	05-17-18
DRAWN BY G.R.W.	SCALE	AS NOTED
	DATE	05-17-18
PROJECT LOCATION 2155 EAST MAIN STREET TORRINGTON, CT 06790 860-462-7613/WEB: WWW.BORGHESIBUILDINGS.COM		

SHEET NO.
SP2



SITE PLAN
SCALE: 1"=20'

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Symbol	Qty	Label	Arrangement	Lum. Lumens	Lum. Watts	LLF	Description
SL-4	2	SL-4	SINGLE	6945	70	0.900	Lithonia DSX1 LED P2 40K TFTM MVOLT SPA PER HS DDBXD - SSS 18 4C DM19AS DDBXD 18FT POLE
W-3	1	W-3	SINGLE	8198	71	0.900	Lithonia DSXW2 LED 30C 700 40K T3M 277 PE DDBXD
W-4	6	W-4	SINGLE	6375	54	0.900	Lithonia DSXW2 LED 30C 530 40K TFTM 277 PE DDBXD

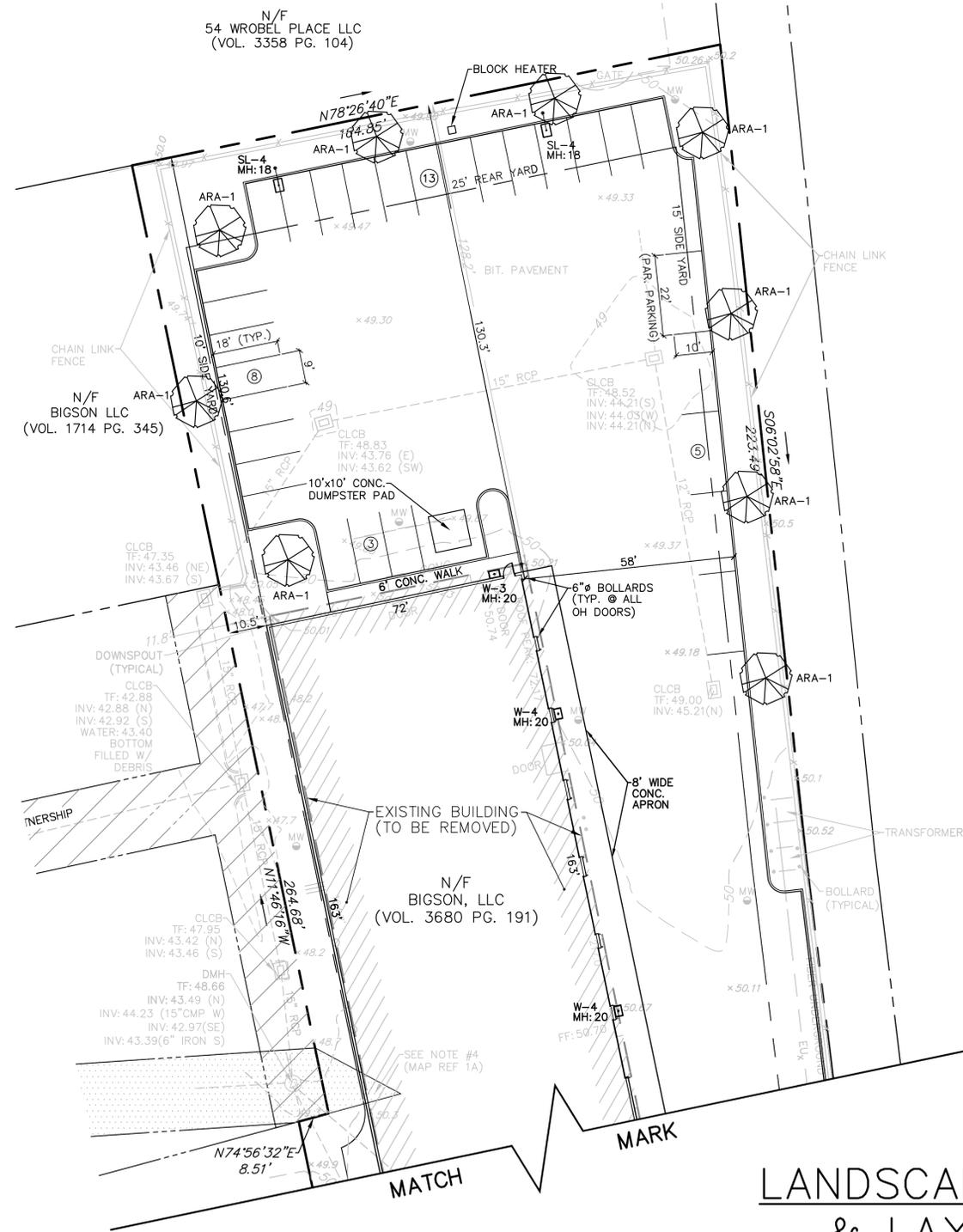
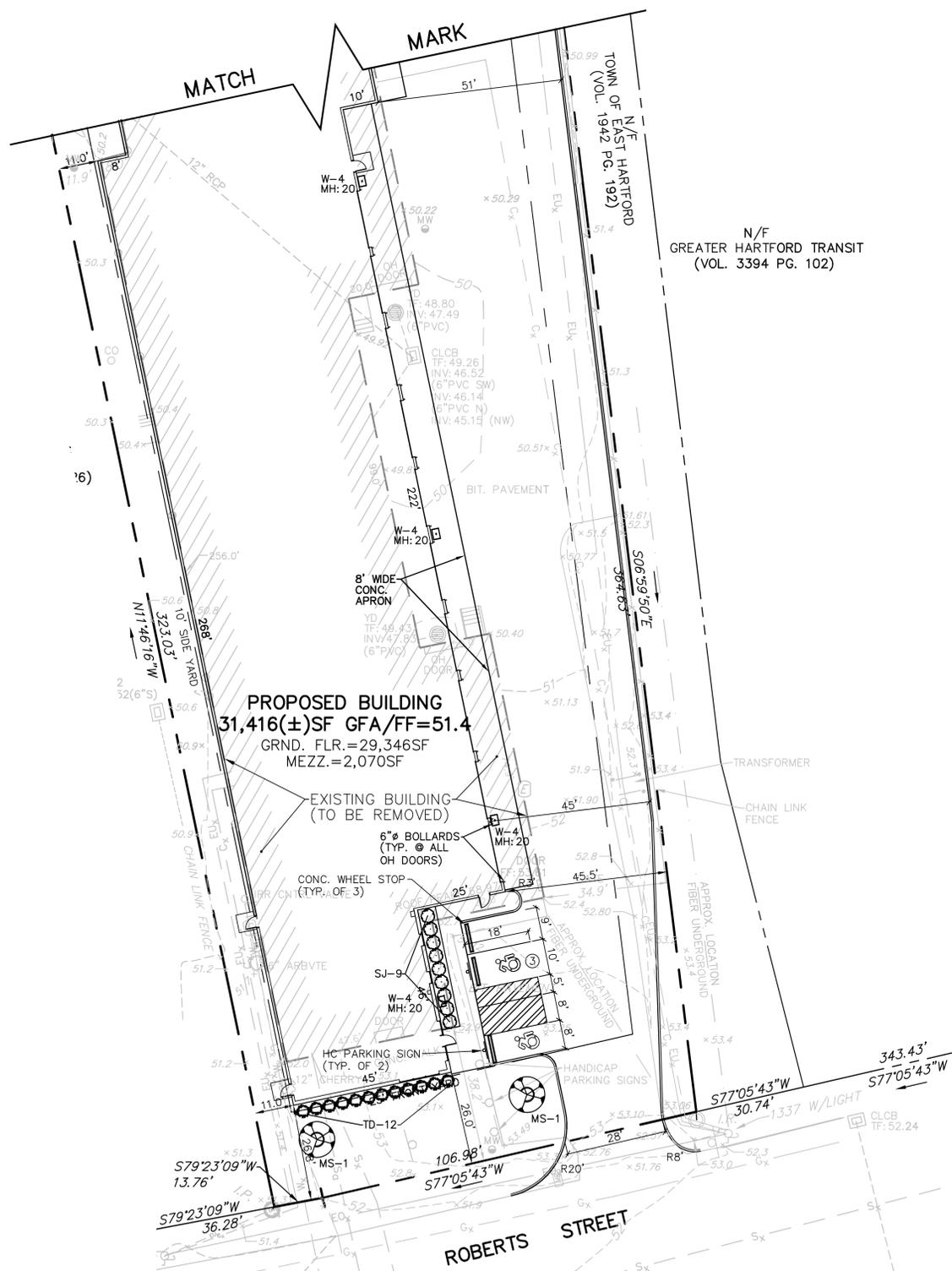
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
SITE	Illuminance	Fc	0.51	2.9	0.0	N.A.	N.A.
PARKING + DRIVEWAY	Illuminance	Fc	0.93	2.9	0.1	9.30	29.00

Greg Loda
Lighting Affiliates
1208 Cromwell Ave
Rocky Hill, CT 06067

website: www.lightingaffiliates.com
Voice Number: (860) 721-1171 x 219
Email Address: gloda@lightingaffiliates.com

PLANTING LEGEND				
KEY	QUANT.	COMMON NAME	BOTANICAL NAME	SIZE
AR	9	ARMSTRONG RED MAPLE	ACER x FREEMANII HYBRID 'ARMSTRONG'	2 1/2"-3" CAL.
MS	2	WHITE FLOWERING CRABAPPLE	MALUS 'SPRING SNOW'	2"-2 1/2" CAL.
SJ	9	LITTLE PRINCESS SPIRAEA	SPIRAEA JAPONICA 'LITTLE PRINCESS'	3 GAL.
TD	12	DENSE SPREADING YEW	TAXUS x MEDIA 'DENSIFORMIS'	18"-24"

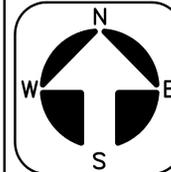
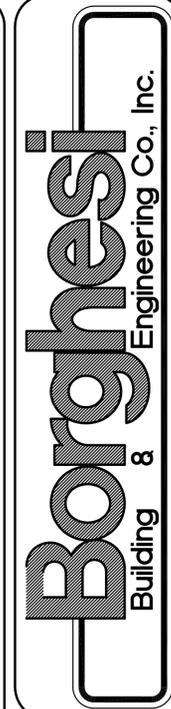
- PLANTING NOTES:**
- ALL PLANT MATERIALS SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
 - PLANTING SOIL MIX SHALL CONSIST OF LOAM THOROUGHLY INCORPORATED WITH COMPOST PROPORTIONED 5 CY:1 CY ALONG WITH AN ORGANIC STARTER FERTILIZER AT RECOMMENDED RATES.
 - MULCH FOR PLANTING BEDS & TREE SAUCERS TO BE AGED, DOUBLE GROUND PINE BARK APPLIED AT A DEPTH OF THREE (3) INCHES.
 - ALL OTHER DISTURBED AREAS, NOT COVERED BY BUILDINGS, PAVEMENT, ETC., SHALL BE GRADED & SEED TO LAWN, MEADOW, WILDFLOWER, ETC., AS DIRECTED BY THE OWNER.
 - LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR ONE (1) FULL YEAR FROM DATE OF ACCEPTANCE. PROPER LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
 - SHADE TREES SHALL HAVE A BRANCHING HEIGHT OF FIVE (5') MINIMUM.



NOTE: CURB RADIUS=4.5'
UNLESS OTHERWISE NOTED

LANDSCAPE, LIGHTING, & LAYOUT PLAN

SCALE: 1"=20'

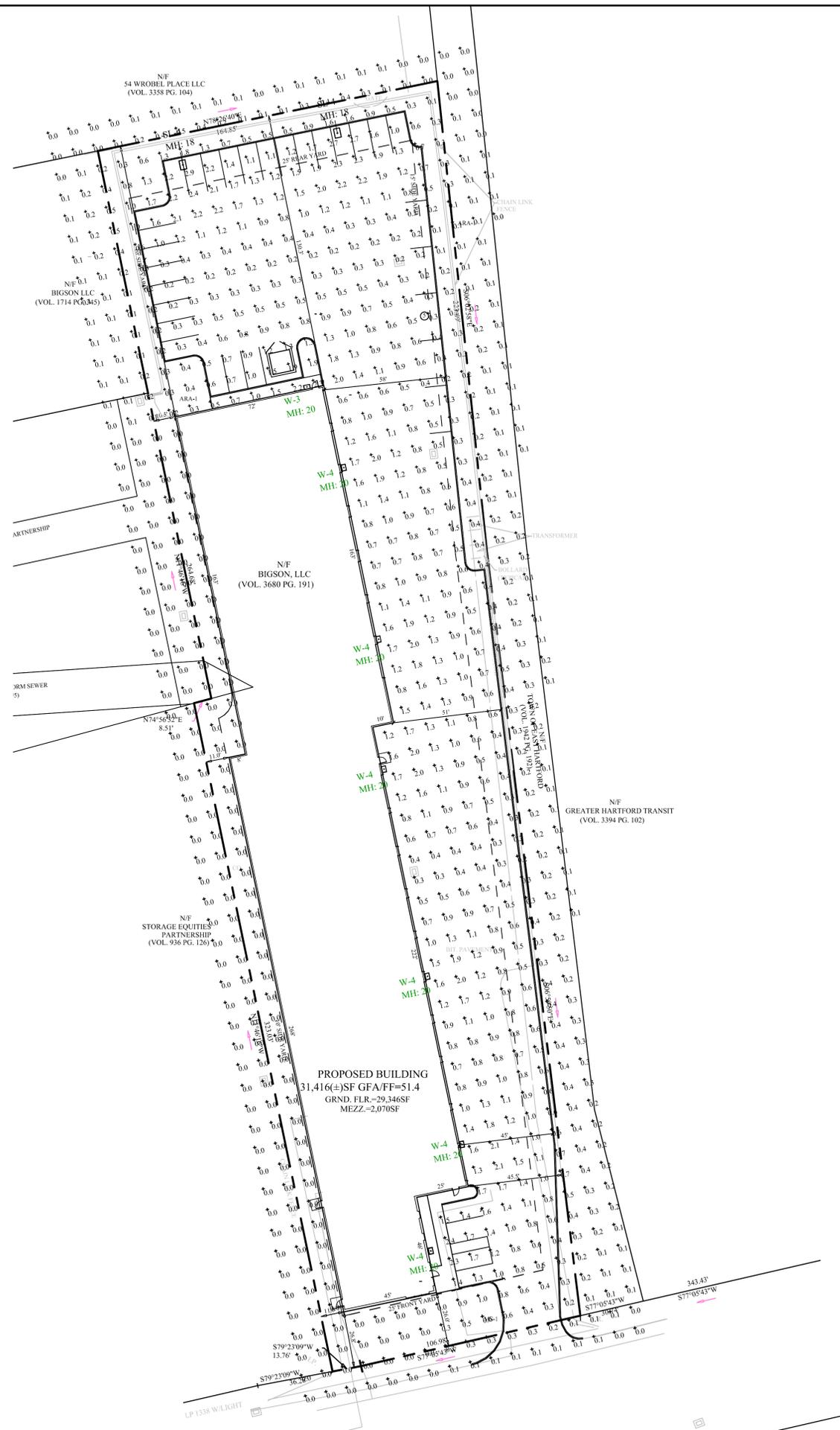


SEAL

REVISIONS
05-24-18 ADD CONC APRON, E. SIDE OF BLDG.
08-10-18

PROJECT FREIGHTLINER 178-182 ROBERTS STREET EAST HARTFORD, CT	APPROVED BY	J.H.P.
	SCALE	AS NOTED
DATE	05-17-18	
2155 EAST MAIN STREET TORRINGTON, CT 06790 860-462-7613/WEB: WWW.BORGHESIBUILDING.COM		

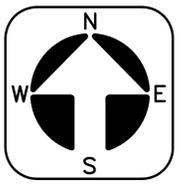
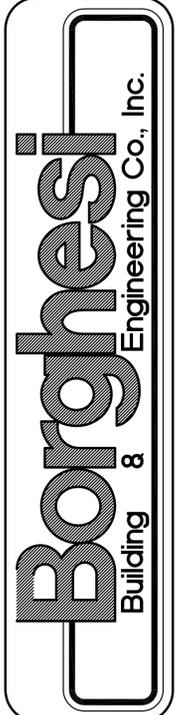
SHEET NO.
SP3



PHOTOMETRIC PLAN

SCALE: 1"=30'

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SEAL

REVISIONS

PROJECT FREIGHTLINER 178-152 ROBERTS STREET EAST HARTFORD, CT	APPROVED BY	J.H.P.
	SCALE	AS NOTED
DRAWN BY	G.R.W.	DATE
		06-06-18
		285 EAST MAIN STREET, HARTFORD, CT 06100
		860-462-7817 FAX: WWW.BORGHESIBUILDING.COM

SHEET NO.
SP4

SOIL EROSION & SEDIMENT CONTROL PLAN NARRATIVE

INTRODUCTION:
PURSUANT TO CONNECTICUT P.A. 83-388, A SOIL EROSION AND SEDIMENT CONTROL PLAN AND NARRATIVE IS REQUIRED FOR THIS PROJECT.
THIS NARRATIVE DESCRIBES MEASURES REQUIRED TO CONTROL SOIL EROSION DURING AND AFTER CONSTRUCTION OF THE PROPOSED SITE WORK SHOWN ON THIS PLAN. THE SOIL EROSION AND SEDIMENT CONTROL MEASURES SHOWN ON THIS PLAN ARE DESIGNED IN ACCORDANCE WITH A DOCUMENT ENTITLED "2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL," PUBLISHED BY THE CONNECTICUT COUNCIL ON SOIL AND WATER CONSERVATION IN COOPERATION WITH THE CT DEP.
THE GUIDELINES ARE OBTAINABLE FROM THE CONNECTICUT COUNCIL ON SOIL AND WATER CONSERVATION, STATE OFFICE BUILDING, HARTFORD, CONNECTICUT 06106 AND SHOULD BE USED AS A REFERENCE IN CONSTRUCTING THE EROSION AND SEDIMENT CONTROLS INDICATED ON THESE PLANS.

PROJECT DESCRIPTION:
THE APPLICANT PROPOSES TO RAZE AN EXISTING 29,412(±) SQUARE FOOT BUILDING AND CONSTRUCT A PROPOSED 29,346(±) SQUARE FOOT BUILDING (31,416 SF GFA) WITH APPURTENANT PARKING. THE BUILDING WILL BE SERVED BY PUBLIC SEWER AND WATER. THE SITE IS LOCATED AT 178-182 ROBERTS STREET IN EAST HARTFORD, CT.
RUN OFF FROM THE DEVELOPED SITE WILL BE COLLECTED IN CATCH BASINS, DOWNSPOUTS, AND ROOF DRAINS, AND PIPED TO AN EXISTING STORM SEWER SYSTEM.

ANTICIPATED START OF CONSTRUCTION IS SUMMER OF 2018. SEDIMENT AND EROSION CONTROL MEASURES WILL BE IMPLEMENTED AND WILL BE IN PROPER WORKING ORDER BEFORE CONSTRUCTION BEGINS. SEDIMENT AND EROSION MEASURES WILL BE MAINTAINED IN PROPER WORKING ORDER THROUGH COMPLETION OF CONSTRUCTION AND WILL REMAIN IN PLACE AND CONTINUE TO BE MAINTAINED AFTER CONSTRUCTION HAS BEEN COMPLETED, UNTIL ALL DISTURBED AREAS ARE STABILIZED.

- CONSTRUCTION SCHEDULE:**
- OBTAIN A COPY OF ALL PROJECT LAND-USE PERMITS. THE CONTRACTOR SHALL BE FAMILIAR WITH ALL PERMIT REQUIREMENTS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 - INSTALL SILTATION CONTROL FENCES AND FILTER FABRIC SILT BARRIERS AT EXISTING CATCH BASINS.
 - INSTALL CONSTRUCTION ENTRANCE.
 - REMOVE EXISTING BUILDING, PAVEMENT, AND TREES IN AREAS TO BE CLEARED AS REQUIRED.
 - ROUGH GRADE SITE, BEGIN CONSTRUCTION OF BUILDING.
 - INSTALL UTILITIES AND FILTER FABRIC SILT BARRIERS AT NEW CATCH BASINS.
 - BACKFILL FOUNDATION.
 - ROUGH GRADE NEW PARKING AREAS, INSTALL AND GRADE PAVEMENT BASE AND CURBS.
 - PAVE PARKING AREAS AND INSTALL WALKS.
 - GRADE, STABILIZE AND SEED ALL DISTURBED AREAS.
 - MAINTAIN ALL EROSION CONTROL MEASURES UNTIL A DURABLE GRASS STAND IS ESTABLISHED IN ALL NON-PAVED AREAS.

- LAND DISTURBANCE:**
THE FOLLOWING PROCEDURES SHALL BE USED FOR ALL LAND DISTURBING ACTIVITIES:
- ALL AREAS SHALL REMAIN UNDISTURBED UNTIL IMMEDIATELY PRIOR TO PROPOSED CONSTRUCTION ACTIVITIES.
 - LAND CLEARING SHALL PROCEED AT THE SAME RATE AS CONSTRUCTION.
 - REMOVAL OF VEGETATION SHALL BE RESTRICTED TO THOSE AREAS NECESSARY FOR CURRENT CONSTRUCTION ACTIVITIES.
 - DISTURBED AREAS SHALL BE LIMITED TO A MAXIMUM OF 20 FEET BEYOND THE PHYSICAL DIMENSIONS OF THE ROADS, DRIVEWAYS, UTILITY TRENCHES, SEPTIC SYSTEMS, AND AREAS TO BE GRADED.
 - CONSTRUCTION EQUIPMENT AND MATERIALS SHALL BE CONFINED TO THE DISTURBED AREAS ONLY.
 - THE DEVELOPER SHALL BE RESPONSIBLE FOR THE CLEANING OF NEARBY STREETS, AS ORDERED BY THE TOWN OR STATE, OF ANY DEBRIS FROM HIS CONSTRUCTION ACTIVITIES.
 - THE USE, STORAGE, OR DISPOSAL OF ANY MATERIAL NOT IN ACCORDANCE WITH WHAT IS SHOWN ON THE APPROVED PLAN OR REQUIRED BY THE REGULATORY AGENCY MAY RESULT IN THE IMMEDIATE REVOCATION OF ANY PERMIT/APPROVAL GRANTED BY THE COMMISSION.

GENERAL NOTES:
WHENEVER CONSTRUCTION SHALL TAKE PLACE IN AREAS DESIGNATED AS WETLANDS OR AS AREAS TO BE ECOLOGICALLY PROTECTED, THE CONTRACTOR SHALL TAKE SPECIAL CARE WITH HIS CONSTRUCTION METHODS AND SHALL COMPLY WITH THE FOLLOWING REGULATIONS:
ALL EXISTING VEGETATION SHALL BE PROTECTED, AND ONLY THAT CLEARING AND CUTTING WHICH IS ABSOLUTELY NECESSARY FOR THE PROPOSED CONSTRUCTION OR TO CLEAR THE PERMANENT RIGHT-OF-WAY SHALL BE ALLOWED. CARE SHALL BE TAKEN TO PRESERVE ALL SPECIMEN TREES. THOSE TREES IDENTIFIED TO BE SAVED SHALL BE PROTECTED FROM DAMAGE BY CONSTRUCTION EQUIPMENT BY SUITABLE MEANS. ALL REGULATED AREAS SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AND CONTOURS.

SOIL EROSION AND SEDIMENT CONTROL MEASURES:
ALL WATERCOURSES SHALL BE PROTECTED FROM SEDIMENTATION BOTH DURING AND AFTER CONSTRUCTION. THIS PROVISION APPLIES PARTICULARLY TO DEWATERING ACTIVITIES, STORAGE OF EXCAVATED OR STOCKPILED MATERIAL, AND TRENCH OR DITCH EXCAVATION.
HAYBALES OR SYNTHETIC FILTER BARRIER FENCE, AS SPECIFIED, IS TO BE INSTALLED AT ALL LOCATIONS AS INDICATED ON THE PLANS TO INTERCEPT SILT AND SEDIMENT BEFORE IT REACHES THE DRAINAGE SYSTEM, WETLANDS, OR WATER COURSES. HAYBALES OR SILT FENCE SHALL BE STAKED AS SHOWN ON THE PLAN, AND ARE TO BE REPLACED AS NECESSARY TO PROVIDE PROPER FILTERING ACTION. DEPOSITS OF SEDIMENT AND SILT ARE TO BE PERIODICALLY REMOVED FROM THE UPSTREAM SIDE OF THE HAYBALES OR SILT FENCE. THIS MATERIAL IS TO BE SPREAD AND STABILIZED IN AREAS NOT SUBJECT TO EROSION, OR TO BE USED AS FILL IN AREAS WHICH ARE NOT TO BE PAVED OR BUILT UPON. HAYBALES AND SILT FENCES ARE TO REMAIN IN PLACE AND BE MAINTAINED TO INSURE EFFICIENT SILTATION CONTROL UNTIL ALL AREAS ABOVE THE FENCES ARE STABILIZED AND VEGETATION HAS BEEN ESTABLISHED.
DURING CONSTRUCTION, EXPOSE AS SMALL AN AREA AS POSSIBLE FOR AS SHORT A TIME AS POSSIBLE.
DURING CONSTRUCTION, ANY ADDITIONAL SEDIMENT/EROSION CONTROL MEASURES DEEMED NECESSARY BY THE TOWN SHALL BE IMPLEMENTED BY THE DEVELOPER. IN ADDITION, THE DEVELOPER SHALL BE RESPONSIBLE FOR THE REPAIR, REPLACEMENT, AND MAINTENANCE OF ALL SEDIMENT/EROSION CONTROL MEASURES UNTIL ALL DISTURBED AREAS ARE STABILIZED TO THE SATISFACTION OF THE TOWN.

STRIPPING AND STOCKPILING:
STOCKPILES THAT CONSIST OF ERODIBLE MATERIAL, SUCH AS STRIPPED TOPSOIL, ROAD FILL, SOILS EXCAVATED FROM ROAD CUTS AND FOUNDATION HOLES, ETC., SHALL CONFORM TO THE FOLLOWING CRITERIA:
1. LOCATION—ALL STOCKPILES SHALL BE LOCATED WITHIN THE AREA OF THE PROPOSED DISTURBANCE AND AWAY FROM THE FOLLOWING:
—WETLANDS
—WATER CONVEYANCE CHANNELS
—STORM DRAINAGE SYSTEM INLETS
—TOP OF STEEP SLOPES
2. SEDIMENT CONTROL—ALL STOCKPILES SHALL BE SURROUNDED BY SEDIMENT BARRIERS, EITHER GEOTEXTILE SILT FENCE OR HAY BALE BARRIERS, PLACED APPROXIMATELY TEN FEET (10') FROM THE TOE OF SLOPE. THE SIDE SLOPES OF ERODIBLE STOCKPILED MATERIAL SHOULD BE NO STEEPER THAN 2:1. STOCKPILED MATERIAL NOT TO BE USED WITHIN THIRTY DAYS SHALL BE SEEDED AND MULCHED IMMEDIATELY AFTER FORMATION OF THE STOCKPILE.
THE CONTRACTOR SHALL CAREFULLY STRIP ALL TOPSOIL, LOAM, OR ORGANIC MATERIAL PRIOR TO TRENCHING OPERATIONS, AND SHALL STORE THEM SEPARATELY FROM ALL OTHER MATERIALS DURING EXCAVATION. IN AREAS DESIGNATED AS INLAND WETLANDS, THE UPPER STRATA, TO A DEPTH OF 2 FEET, SHALL BE STRIPPED AND STORED SEPARATELY. DURING BACKFILLING, THESE MATERIALS SHALL BE REPLACED AND FINISHED AS THEY EXISTED PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL NOT INTRODUCE ANY FILL MATERIALS INTO ANY AREAS DESIGNATED AS INLAND WETLANDS WITHOUT FIRST OBTAINING A PERMIT(S) FROM THE TOWN WETLANDS COMMISSION.
THE CONTRACTOR SHALL MAINTAIN ALL BACKFILLED EXCAVATION IN PROPER CONDITION UNTIL EXPIRATION OF THE MAINTENANCE PERIOD. ALL DEPRESSIONS APPEARING IN THE BACKFILLED EXCAVATION SHALL BE PROPERLY FILLED AND RESEDED IF NECESSARY.

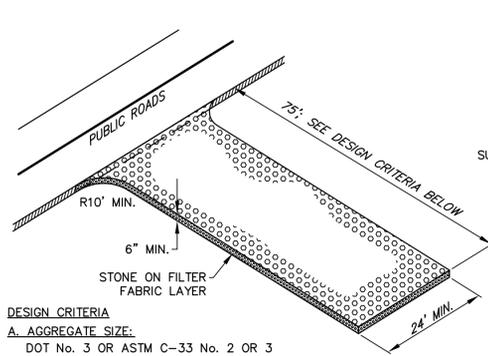
RIPRAP:
RIPRAP, IF SPECIFIED, IS TO BE INSTALLED FOR ENERGY DISSIPATION AND TO CONTROL EROSION. THE RIPRAP IS TO BE INSTALLED BEFORE THE OUTLET STRUCTURES ARE WORKING, AND ALL ADJACENT AREAS ARE TO BE IMMEDIATELY SEEDED, IF IN SEASON, OR THE SOIL IS TO BE STABILIZED BY OTHER METHODS. THIS MAY REQUIRE SODDING, MULCHING, OR OTHER METHODS AS DEFINED IN THE "GUIDELINES".
RIPRAP SHALL BE INSPECTED PERIODICALLY TO DETERMINE IF HIGH FLOWS HAVE CAUSED SCOUR BENEATH THE RIPRAP OR FILTER BLANKET, OR DISLOGGED ANY OF THE RIPRAP OR FILTER BLANKET MATERIALS. REPAIR IMMEDIATELY UPON OBSERVED FAILURE.
DISPOSAL OF TREES AND BRUSH:
ALL VEGETATION REQUIRING REMOVAL FOR CONSTRUCTION OF THE PROJECT SHALL BE DISPOSED OF OFF-SITE. NO TREES, BRUSH, OR STUMPS SHALL BE BURIED OR OTHERWISE DISPOSED OF ON-SITE.
TRENCH EXCAVATION AND BACKFILL:
CARE SHALL BE TAKEN TO EXCAVATE TO THE CORRECT LINE AND GRADE AND WIDTH AT ALL POINTS. THE METHODS AND EQUIPMENT USED FOR EXCAVATION MUST BE ADAPTED TO THE CONDITIONS AT THE SITE AND THE DIMENSIONS OF THE REQUIRED TRENCH. THE WIDTH OF THE GROUND OR STREET SURFACE, CUT OR DISTURBED, SHALL BE KEPT AS SMALL AS PRACTICABLE TO ACCOMMODATE THE WORK.
TRENCH EXCAVATION, BELOW THE TWO FOOT DEPTH WHICH IS TO BE STRIPPED AND STORED SEPARATELY, SHALL BE STOCKPILED AND USED AS THE TRENCH BACKFILL MATERIAL, UNLESS THE ENGINEER DECLARES IT UNSUITABLE FOR BACKFILL MATERIAL. EXCESS EXCAVATED MATERIAL SHALL BE DISPOSED OF BY THE CONTRACTOR.

ESTABLISH VEGETATION COVER ON DISTURBED AREAS:
1. SCARIFY SURFACE OF ALL AREAS TO BE TOPSOILED; PLACE A MINIMUM OF 4" TOPSOIL ON ALL AREAS TO BE SEEDED.
2. FERTILIZE AT THE FOLLOWING RATES:
a) FOR SPRING SEEDING, APPLY 19-19-19 FERTILIZER AT A RATE OF 10 LB.S/1000 SF AND WORK INTO SOIL. SIX TO EIGHT WEEKS LATER AN ADDITIONAL 10 LB.S/1000 SF IS TO BE APPLIED.
b) FOR FALL SEEDING, APPLY 19-19-19 FERTILIZER AT A RATE OF 10 LB.S/1000 SF AND WORK INTO SOIL.
3. SMOOTH AND FIRM SEEDBED; APPLY SEED AT THE RATE(S) SPECIFIED BELOW. COVER SEED WITH NOT MORE THAN 1/4" OF SOIL.
APPLY APPROPRIATE SEED MIXTURE PER THE FOLLOWING:
PERMANENT SEEDING
30% CREeping RED FESCUE
35% SHAMROCK KENTUCKY BLUEGRASS
35% ALL-SPORT PERENNIAL RYE
APPLICATION RATE: 5 LB.S/1000 SF
TEMPORARY SEEDING (WINTER SOIL PROTECTION)
ANNUAL RYE OR PERENNIAL RYE
APPLICATION RATE: 2 LB.S/1000 SF
4. MULCH IMMEDIATELY WITH HAY FREE FROM WEED SEEDS AT A RATE OF 3 BALES/1000 SF.

STORMWATER OPERATIONS & MAINTENANCE PLAN

RUNOFF FROM THE PAVED PORTION OF THE SITE IS COLLECTED IN CATCH BASINS. AN ENVIRONMENT 21 STORMWATER TREATMENT SYSTEM ENHANCES WATER QUALITY PRIOR TO DISCHARGING THE RUNOFF INTO A PROPOSED DETENTION BASIN.
A SEDIMENT AND EROSION PLAN IS INCLUDED ON THE PROJECT CONSTRUCTION DRAWINGS WHICH DETAILS MEASURES NECESSARY DURING CONSTRUCTION. THIS STORMWATER OPERATIONS & MAINTENANCE PLAN IS PREPARED TO ADDRESS LONG TERM MAINTENANCE OF THE SITE FACILITIES TO ENHANCE STORMWATER QUALITY.
THE FOLLOWING ANNUAL INSPECTIONS AND MAINTENANCE SHALL BE PERFORMED. THE INSPECTION AND MAINTENANCE SHALL BE PERFORMED IN THE SPRING OF EACH YEAR. ADDITIONAL INSPECTIONS SHALL BE MADE AFTER ANY LARGE RAINFALL EVENT (THREE INCHES OF RAIN OR MORE WITHIN A 24 HOUR PERIOD). THE OWNER OF THE PROPERTY SHALL BE RESPONSIBLE FOR THE IMPLEMENTATION OF THIS PLAN.
1. CLEAN PARKING LOT. SWEEP PARKING LOT OF ANY ACCUMULATED SAND FROM WINTER MAINTENANCE OPERATIONS.
2. CLEAN CATCH BASINS. ALL CATCH BASINS SHALL BE VACUUMED TO REMOVE ALL DEBRIS AND SEDIMENT. IF THE ACCUMULATED SEDIMENT EXCEEDS HALF THE DEPTH OF THE DISTANCE BETWEEN THE BOTTOM OF THE STRUCTURE AND THE FLOOR OF THE OUTLET PIPE, A MID-WINTER CLEANING PROGRAM SHALL BE IMPLEMENTED THE FOLLOWING WINTER.
3. CLEAN THE ENVIRONMENT 21 STORMWATER TREATMENT SYSTEMS. THE UNITS SHALL BE VACUUMED TO REMOVE ALL SEDIMENT. ANY FLOATING OIL SHALL BE REMOVED AND DISPOSED OF AS A HAZARDOUS WASTE. AN ADDITIONAL INSPECTION SHALL BE MADE IN THE FALL OF EACH YEAR. IF WARRANTED, A FALL CLEANING MAY BE NEEDED. PLEASE SEE THE ATTACHED MAINTENANCE INFORMATION PROVIDED BY ENVIRONMENT 21.
4. INSPECT RIPRAP; REMOVE ANY DEBRIS AND ACCUMULATED SEDIMENT. ANY DISPLACED OR MISSING RIPRAP SHALL BE REPLACED.
5. INSPECT DETENTION BASIN AND OUTLET STRUCTURE. REMOVE ANY ACCUMULATED SEDIMENT AND DEBRIS.

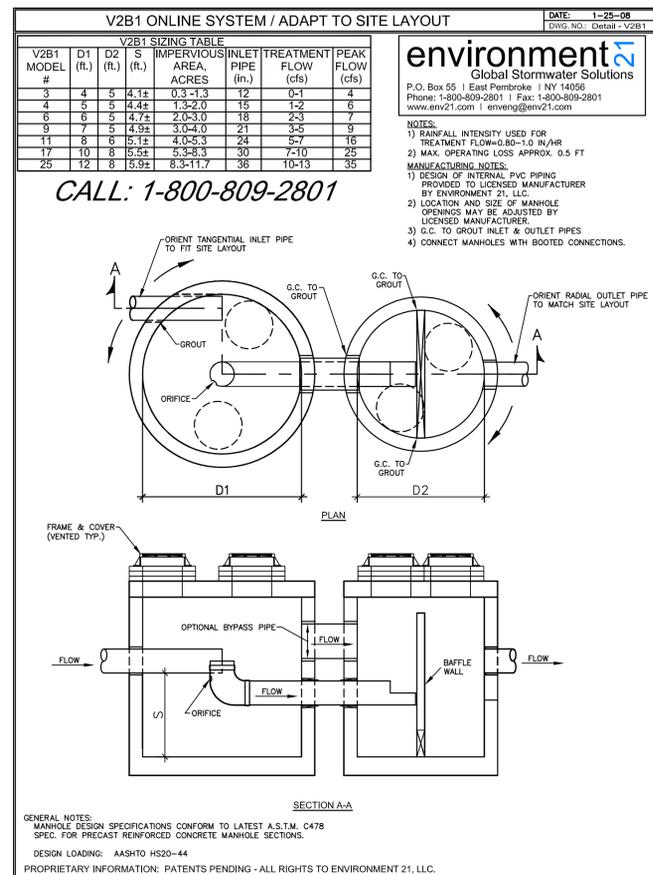
V2B1 MAINTENANCE
STORAGE CAPACITY AND CLEANOUT FREQUENCY
RECOMMENDED PRACTICE FOR THE V2B1 IS TO PLAN ON SEMI-ANNUAL INSPECTIONS AND ANNUAL PUMP-OUT BASED ON THE FOLLOWING GENERAL DESIGN GUIDELINES:
(1) SEDIMENT SUMP -- THE RATE AT WHICH THE SUMP FILLS WILL DEPEND ON SITE ACTIVITIES (E.G., HEAVY WINTER SANDING WILL CREATE EXTRA SEDIMENT, WHILE REGULAR SWEEPING WILL REDUCE ACCUMULATION). BASED ON 1992 NURP STUDIES, ENVIRONMENT 21 RECOMMENDS USING 0.2 CY/ACRE PAVEMENT PER YEAR FOR INITIAL ESTIMATES OF SEDIMENT ACCUMULATION FROM COMMERCIAL AREAS AND RETAIL PARKING AREAS. THIS VALUE IS USED BY ENVIRONMENT 21 TO SIZE THE V2B1 SEDIMENT SUMP TO PROVIDE STORAGE FOR SEVERAL YEARS OF SEDIMENT RUNOFF.
(2) FLOATABLES CHAMBER -- OIL SHEEN AND FLOATING DEBRIS ARE ASSUMED TO ACCUMULATE AT A RATE OF 5.0 GAL/YR/ACRE OF PAVEMENT. THIS VALUE IS USED BY ENVIRONMENT 21 TO DESIGN FOR A STORED FLOATABLES DEPTH OF LESS THAN ONE INCH WITHIN A 1-YR PERIOD.
SEDIMENT CHAMBER INSPECTION:
DURING THE FIRST YEAR OF OPERATION, ENVIRONMENT 21 RECOMMENDS INSPECTIONS IN FEBRUARY, MAY, AND OCTOBER. THIS INSPECTION SCHEDULE CAN BE MODIFIED IN SUBSEQUENT YEARS ACCORDING TO EXPERIENCE AND/OR TO MEET SPECIFIC STORMWATER PERMIT REQUIREMENTS.
CAST IRON MANHOLE FRAME WITH VENTED COVER IS PROVIDED IN THE MANHOLE CHAMBER TO MAKE THE SEDIMENT PILE READILY ACCESSIBLE FOR MEASUREMENT AND CLEANING. SEDIMENT SHOULD BE REMOVED WHEN THE TOP OF THIS PILE IS 6"-12" DEEP. THE NORMAL WATER SURFACE ELEVATION IN SEDIMENT SUMP WILL BE 4.5-5 FT ABOVE THE FLOOR SEDIMENT CHAMBER.
DURING ROUTINE INSPECTIONS, WATER DEPTH ABOVE THE SEDIMENT MAY BE DETERMINED BY SLOWLY LOWERING A MEASURING ROD WITH 6-IN DIAMETER END PLATE (USED TO GENTLY COMPACT THE TOP OF THE SEDIMENT PILE) A STADIA ROD AND FLASHLIGHT ARE USEFUL FOR THIS PROCEDURE. DUSTING THE ROD BEFOREHAND WILL CLEARLY SHOW THE DEPTH TO THE SEDIMENT PILE AS THE WET PORTION OF THE ROD. THE MEASURING ROD MUST BE CAREFULLY LOWERED TO LIMIT SEDIMENT PILE COMPACTION TO 1-2 INCHES.



DESIGN CRITERIA
A. AGGREGATE SIZE:
DOT No. 3 OR ASTM C-33 No. 2 OR 3
B. ENTRANCE DIMENSIONS:
THICKNESS—NOT LESS THAN SIX (6) INCHES OF STONE ON FILTER FABRIC.
WIDTH—TWENTY-FOUR FT. (24') MIN., w/ POINTS OF INGRESS/EGRESS FLARED SUFFICIENTLY TO ACCOMMODATE CONSTRUCTION VEHICLES USED ON SITE.
LENGTH—50 FEET MINIMUM WHERE THE SOILS ARE SANDS OR GRAVELS, OR 100 FEET MINIMUM WHERE SOILS ARE CLAYS OR SILTS, EXCEPT WHERE THE TRAVELED LENGTH IS LESS THAN 50 OR 100 FEET RESPECTIVELY.
AT POORLY DRAINED LOCATIONS, SUBSURFACE DRAINAGE SHOULD BE INSTALLED BEFORE INSTALLING THE STABILIZED CONSTRUCTION ENTRANCE

CONSTRUCTION ENTRANCE

N.T.S.

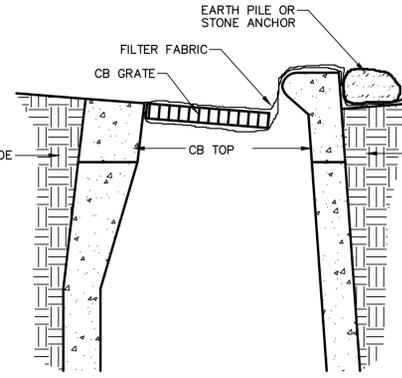


NOTE:
MAINTENANCE OF THE COLLECTOR SYSTEM SHALL BE PERFORMED AT LEAST ANNUALLY & THE COLLECTION OF CONTAMINANT MATERIALS SHALL BE PERFORMED AT LEAST SEMI-ANNUALLY.

ENVIRONMENT 21 V2B1 STORMWATER TREATMENT SYSTEM

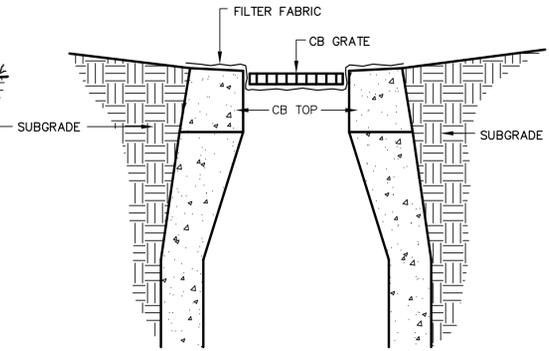
N.T.S.

FLOATABLES CHAMBER INSPECTION:
THE DEPTH OF OIL SHEEN AND FLOATING DEBRIS CAN BE ESTIMATED USING VISUAL INSPECTION WHILE GENTLY STIRRING THE WATER SURFACE IN THE FLOATABLES CHAMBER. THIS DEPTH WILL TYPICALLY BE LESS THAN TWO INCHES AND FLOATABLES CAN BE SKIMMED FROM THE SURFACE.
ORGANIC DEBRIS THAT HAS BECOME WATERLOGGED AND SETTLED TO THE FLOOR OF THE CHAMBER CAN BE ASSUMED TO BE PRESENT IN RELATIVELY SMALL QUANTITIES THAT MAY NEED TO BE REMOVED ANNUALLY.
PUMP-OUT:
PUMP-OUT OF THE V2B1 IS ACHIEVED USING STANDARD TRUCK-MOUNTED SEWER AND CATCH BASIN CLEANERS WITH POSITIVE DISPLACEMENT ROTARY LOBE VACUUM PUMPS AND 8-IN DIAMETER SUCTION HOSE. MANHOLE OPENINGS PROVIDE ACCESS TO BOTH THE SEDIMENT AND FLOATABLE CHAMBERS.
DISPOSAL OF WASTEWATER, SEDIMENT, AND FLOATABLES:
COMMERCIAL AND RETAIL SITES ARE USUALLY ADJACENT AND TRIBUTARY TO PUBLIC STORMWATER SYSTEMS, AND ACCORDINGLY PUMPER TRUCK CONTENTS SHOULD BE DELIVERED TO A DISPOSAL FACILITY EQUIVALENT TO THAT USED BY THE LOCAL HIGHWAY DEPARTMENT. FOR INDUSTRIAL SITES, PUMPER TRUCK CONTENTS SHOULD BE DELIVERED TO A DISPOSAL SITE APPROVED BY THE OWNER OF THE INDUSTRIAL SITE.



NOTE:
REMOVE CB GRATE; PLACE FILTER FABRIC; REPLACE GRATE, TAKING CARE NOT TO DAMAGE FILTER FABRIC. ANCHOR w/ STONE OR EARTH PILE

TYPE "C"

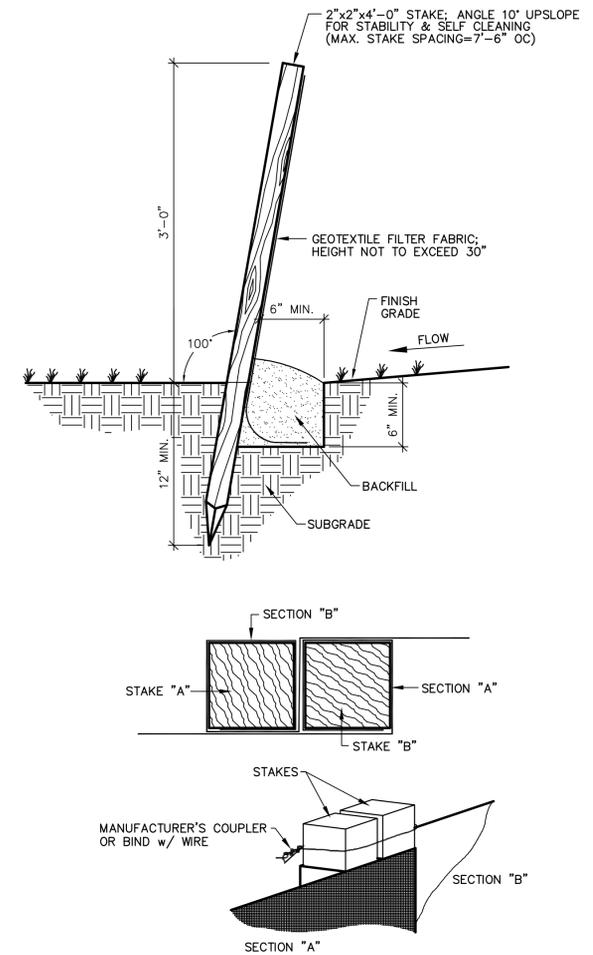


NOTE:
REMOVE CB GRATE; PLACE FILTER FABRIC; REPLACE GRATE, TAKING CARE NOT TO DAMAGE FILTER FABRIC.

TYPE "CL"

FILTER FABRIC SILT BARRIER AT CATCH BASIN

N.T.S.



COUPLING OF ADJACENT SECTIONS SILTATION CONTROL FENCE

N.T.S.

Borghesi Engineering Co., Inc.
Building 8

REVISIONS
05-24-18 1000 BNA 21 V2B1 TREATMENT SYSTEM NOTES & DETAILS
SEAL

APPROVED BY: J.H.P.
SCALE: AS NOTED
DATE: 03-29-18
DRAWN BY: G.R.W.
2155 EAST MAIN STREET, TORRINGTON, CT 06790
860-462-7613/WEB: WWW.BORGHESIBUILDINGS.COM

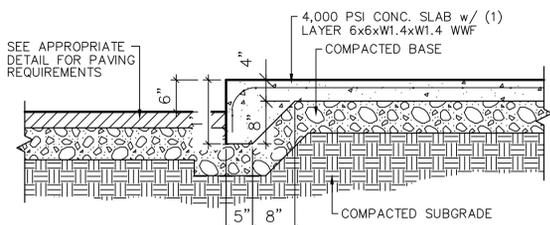
PROJECT: FREIGHTLINER
178-182 ROBERTS STREET
EAST HARTFORD, CT
SHEET NO. SPD1

SEAL

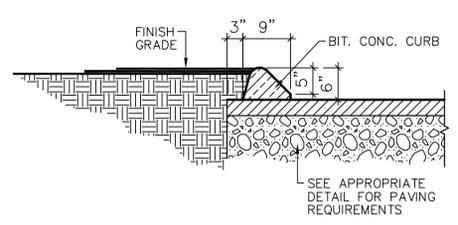
REVISIONS

PROJECT	FREIGHTLINER 178-182 ROBERTS STREET EAST HARTFORD, CT
DRAWN BY	J.H.P.
DATE	05-10-18
SCALE	AS NOTED
APPROVED BY	J.H.P.
G.R.W.	SCALE
2155 EAST MAIN STREET 860-462-7613/WEB: WWW.BORGHESIBUILDING.COM	TORRINGTON, CT 06790

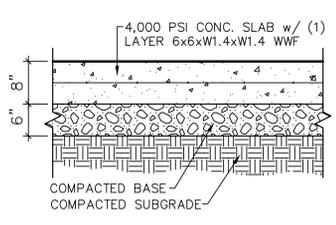
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SPD2



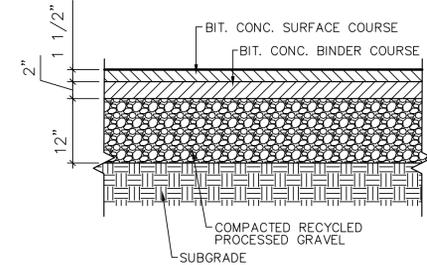
MONOLITHIC CONCRETE CURB
N.T.S.



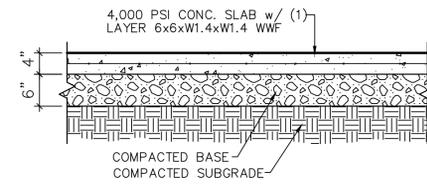
BITUMINOUS CONCRETE CURB
N.T.S.



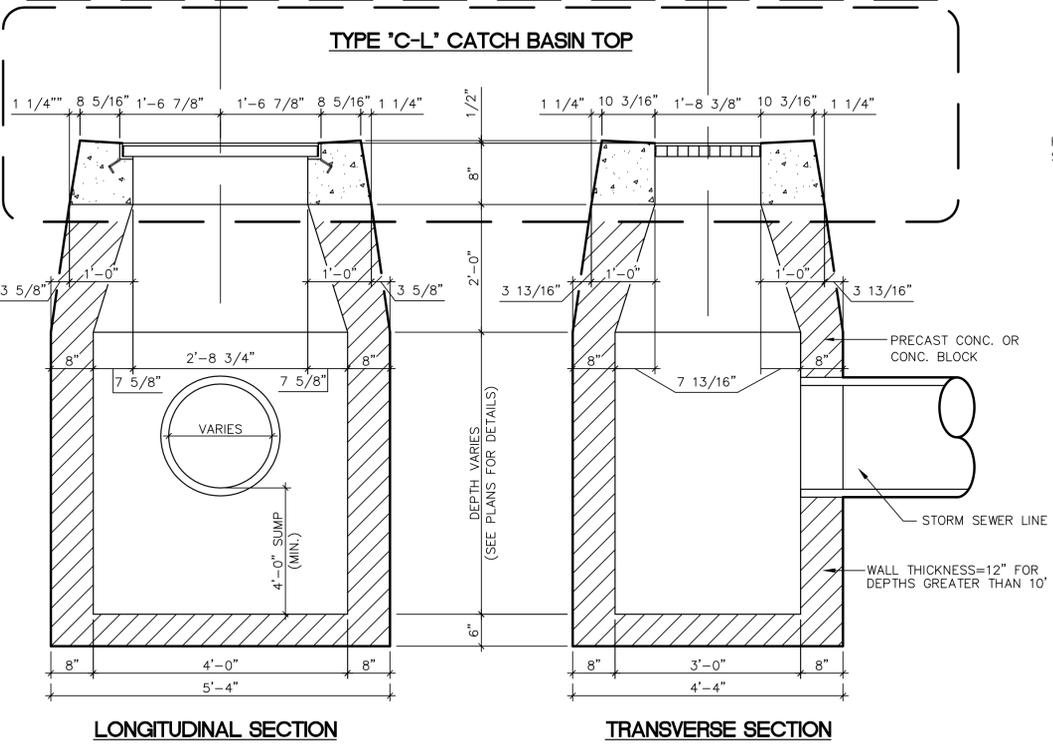
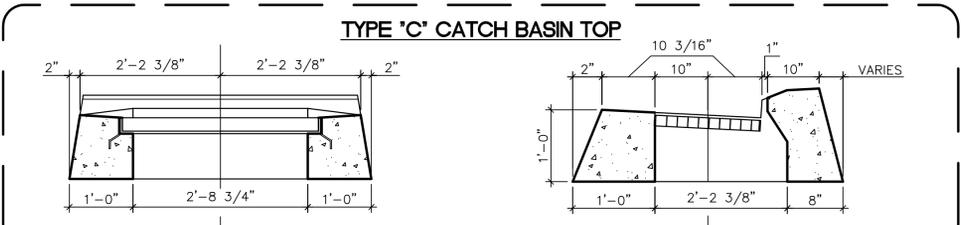
DUMPSTER PAD
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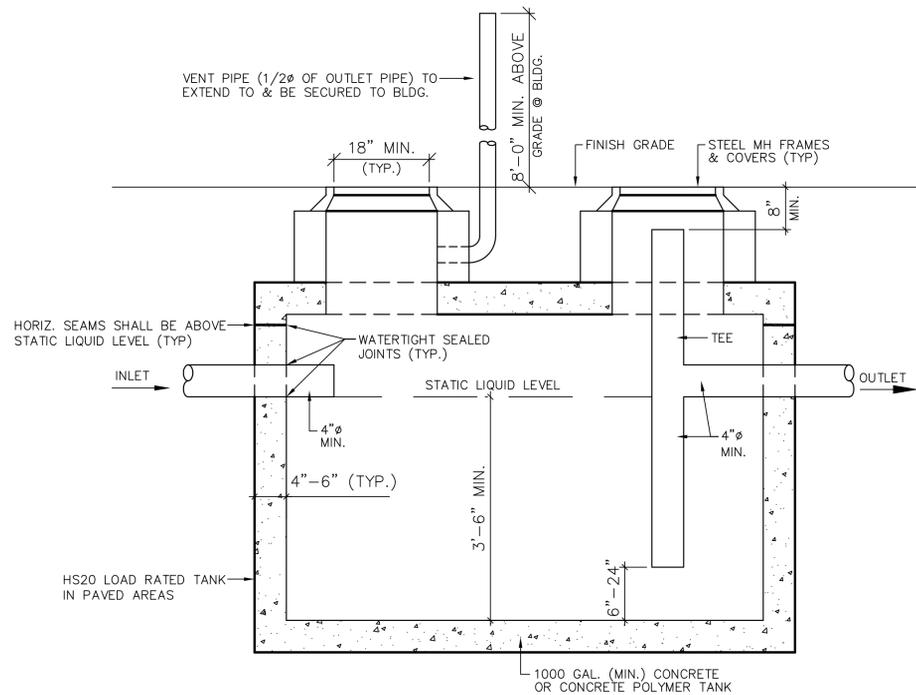
BITUMINOUS CONCRETE PAVEMENT
N.T.S.



CONCRETE WALK PAVEMENT
N.T.S.

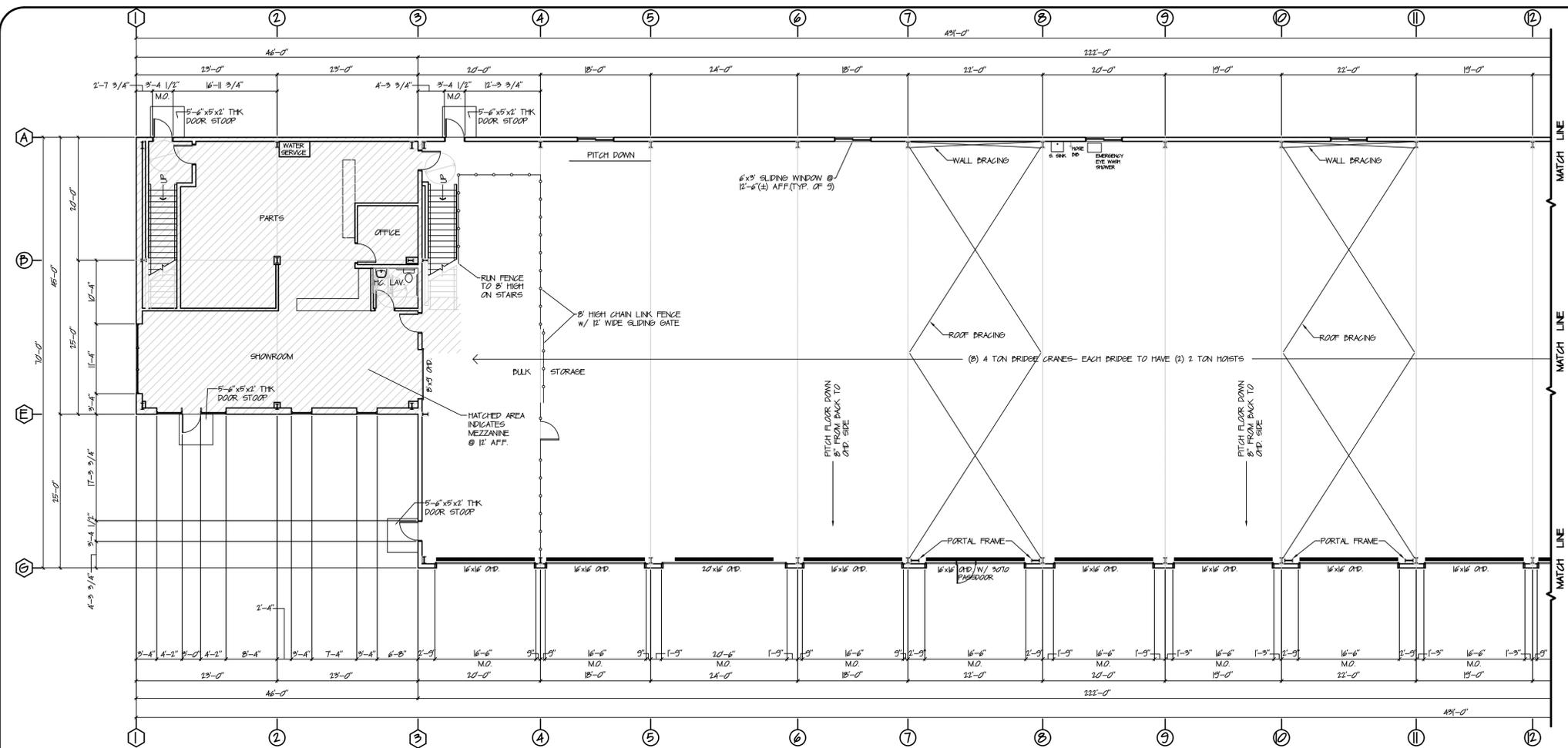


STATE OF CONN. CATCH BASIN
N.T.S.

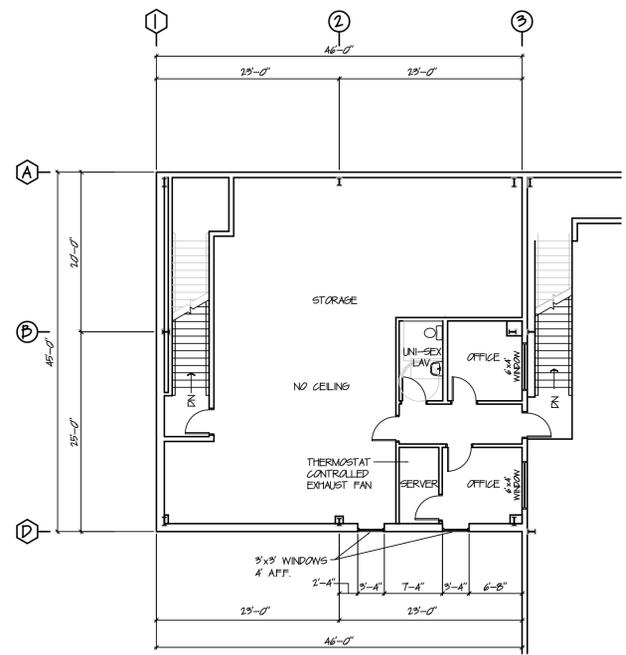
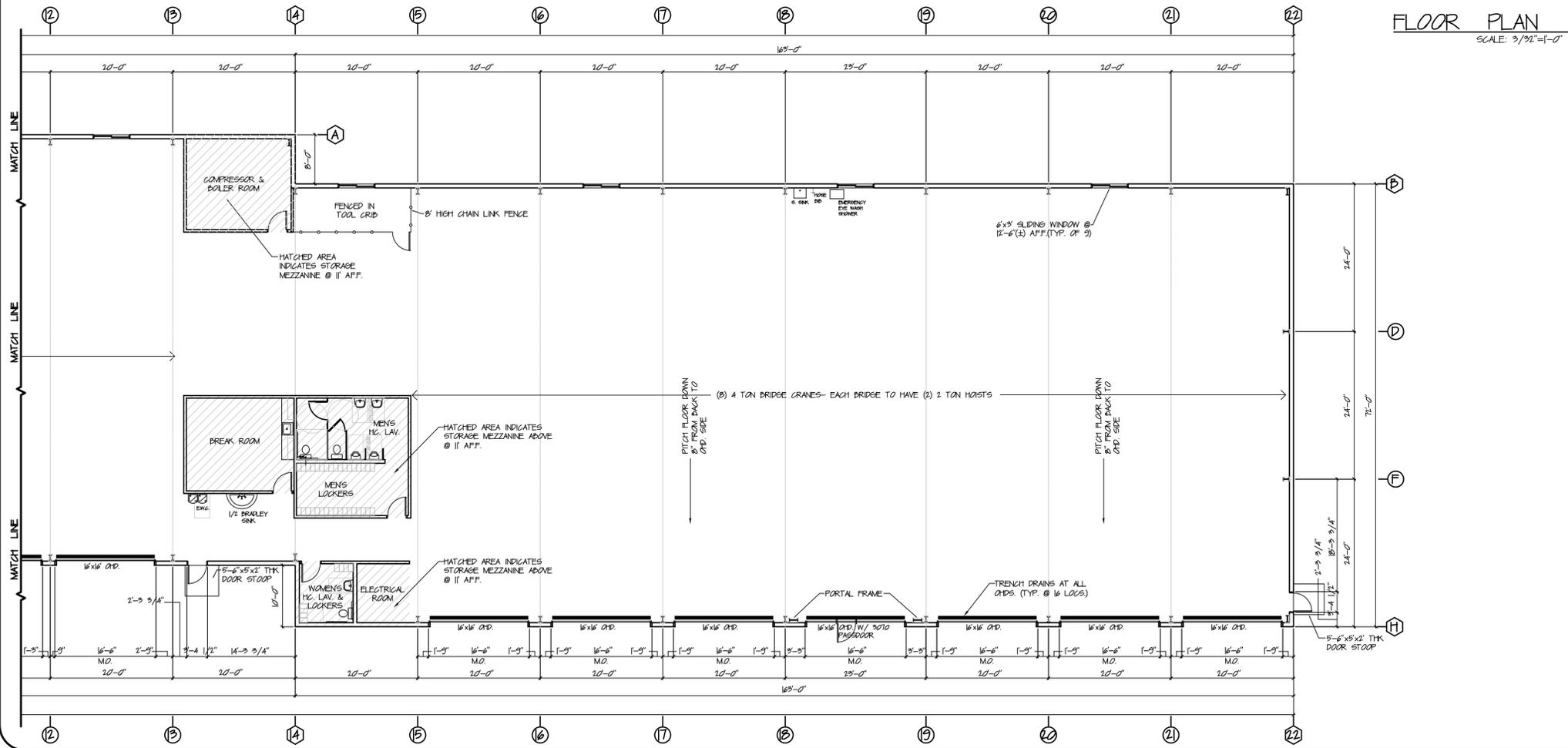


- NOTES**
- CONCRETE TANKS ONLY: THE INTERIOR SHALL BE COATED w/ AN EPOXY PETROLEUM RESISTANT SEALANT. THE EXTERIOR, INCLUDING THE TOP & BOTTOM, SHALL BE COATED w/ A WATERPROOF FOUNDATION SEALANT. THE INTERIOR & EXTERIOR OF THE MHS SHALL ALSO BE WATERPROOFED.
 - CONCRETE OR CONCRETE POLYMER TANKS: STRUCTURAL SEAMS MUST BE LOCATED ABOVE THE STATIC LIQUID LEVEL OF THE TANK, FILLED w/ NON-SHRINK CEMENT OR WATER PLUG, & WATERPROOFED. VOIDS BETWEEN INLET & OUTLET PIPING & THE TANK SHALL BE GROUTED w/ NON-SHRINK CEMENT & WATERPROOFED.
 - IF SEPARATOR TANK OUTLETS INTO A HOLDING TANK, THE HOLDING TANK SHALL BE SIZE SHOWN ON THE PLANS & SHALL BE CONSTRUCTED SIMILARLY TO THE SEPARATOR TANK. THE HOLDING TANK SHALL BE EQUIPPED WITH A HIGH LEVEL ALARM SYSTEM CLEARLY AUDIBLE IN THE NORMAL WORKING RANGE OF RESPONDING PERSONNEL, WHICH ALARM SYSTEM SHALL INDICATE WHEN THE VOLUME OF WASTEWATER IN SUCH HOLDING TANK HAS REACHED EIGHTY PERCENT OF ITS HOLDING CAPACITY.

OIL/WATER SEPARATOR TANK
(FOR FLOOR DRAINS)
N.T.S.

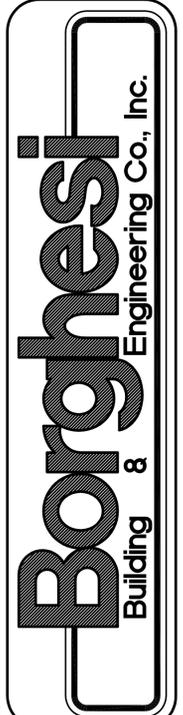


FLOOR PLAN
SCALE: 3/32"=1'-0"



MEZZANINE PLAN
SCALE: 3/32"=1'-0"

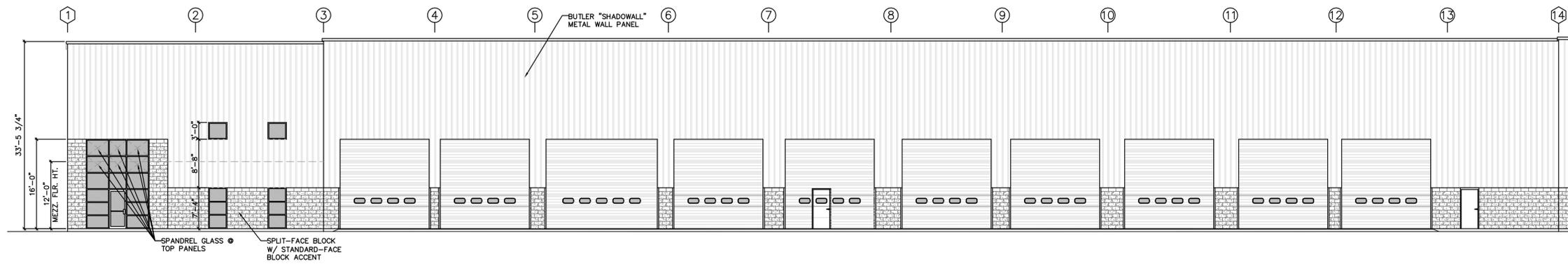
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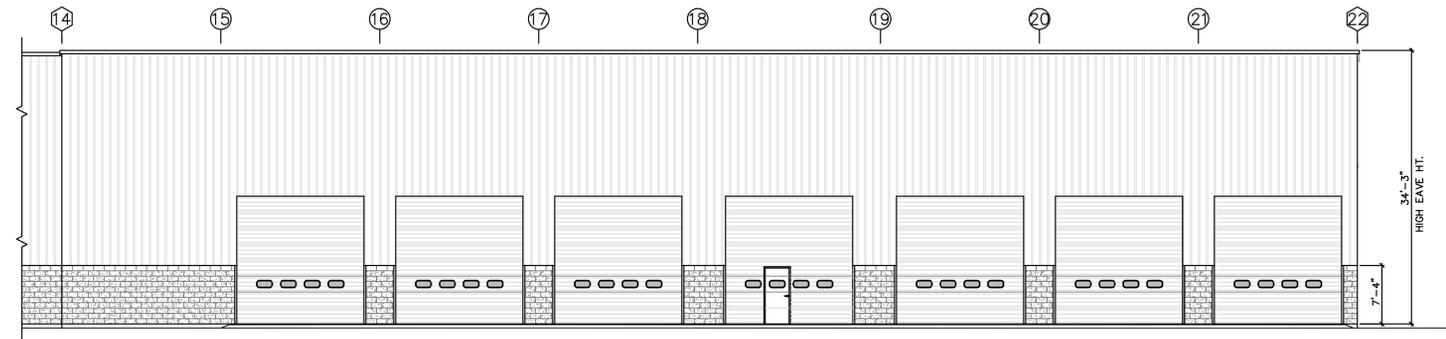
REVISIONS
04-25-18 3\"/>

PROJECT: FREIGHTLINER
878-80 ROBERTS STREET, EAST HARTFORD, CT
DRAWN BY: J.P.M. APPROVED BY: J.H.P.
DATE: 05/14/18 SCALE: AS NOTED
2155 EAST MAIN STREET, TORRINGTON, CT 06790
860-482-7613 / WEB SITE: www.borghesibuilding.com

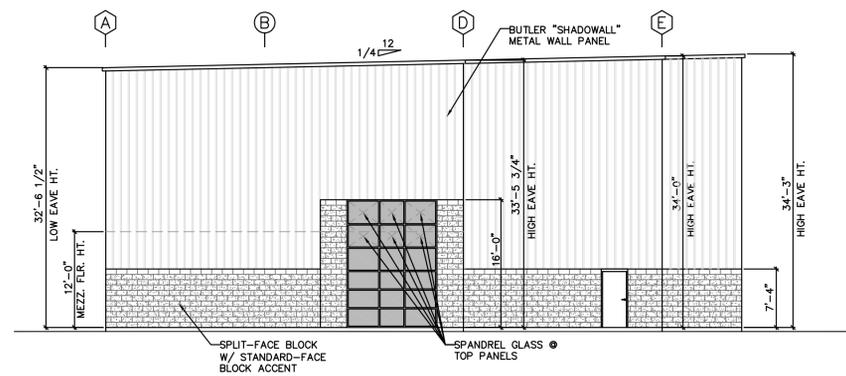
SHEET NO.
A1



EAST ELEVATION
SCALE: 3/32" = 1'-0"



EAST ELEVATION
SCALE: 3/32" = 1'-0"



SOUTH ELEVATION
SCALE: 3/32" = 1'-0"

REVISIONS

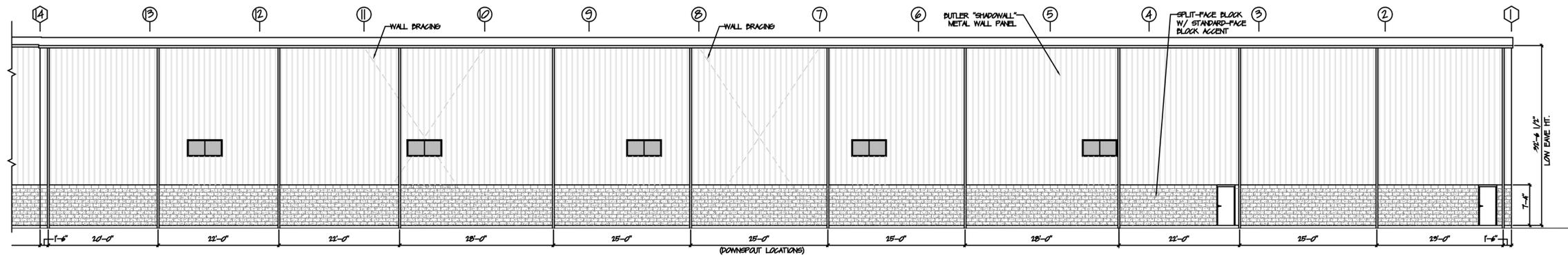
SEAL

REVISIONS

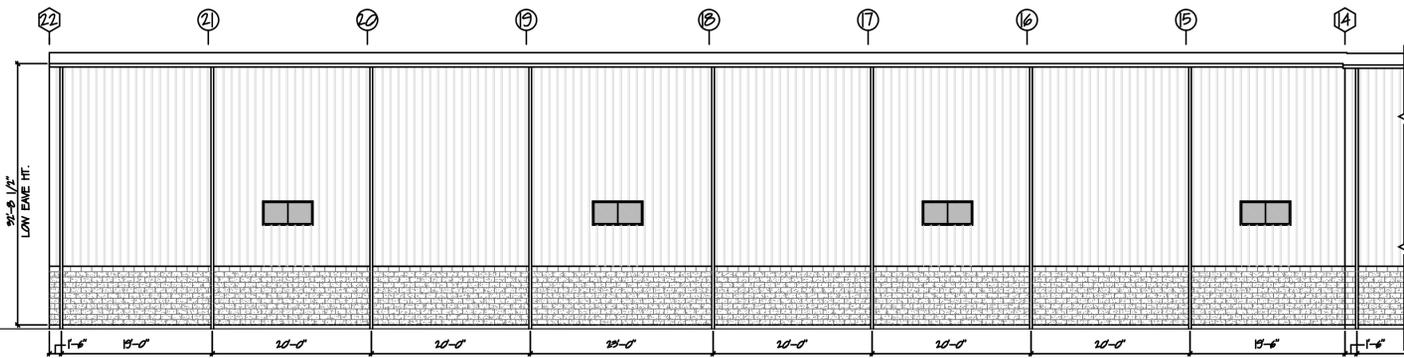
PROJECT: FREIGHTLINER
#178-182 ROBERTS STREET, EAST HARTFORD, CT
DRAWN BY: J.B.M. APPROVED BY: J.H.P.
DATE: 04/12/18 SCALE: AS NOTED
2155 EAST MAIN STREET TORRINGTON, CT 06790
860-482-7613 / WEB SITE: www.borghesibuilding.com

SHEET NO.
A2

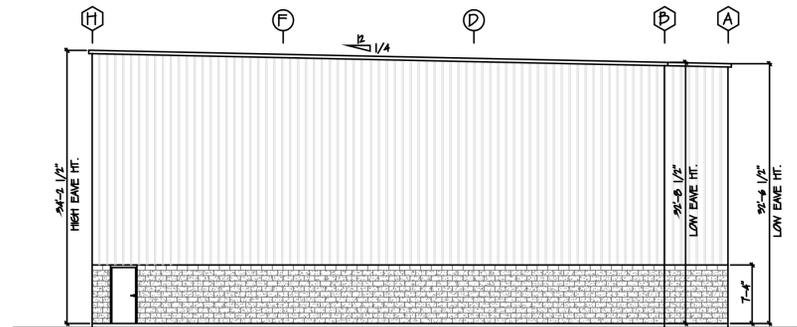
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WEST ELEVATION
SCALE: 3/32" = 1'-0"



WEST ELEVATION
SCALE: 3/32" = 1'-0"



NORTH ELEVATION
SCALE: 3/32" = 1'-0"

SEAL

REVISIONS 06-05-18 REV. W. ELEV. (ADD WINDOWS)

PROJECT: FREIGHTLINER
#10-00A ROBERTS STREET, EAST HARTFORD, CT
DRAWN BY: JDM. APPROVED BY: JHP.
DATE: 07/15/18 SCALE: AS NOTED
2155 EAST MAIN STREET, TORRINGTON, CT, 06790
800-482-7613 / WEB SITE: WWW.BORGHESIBUILDING.COM

SHEET NO.
A2A

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