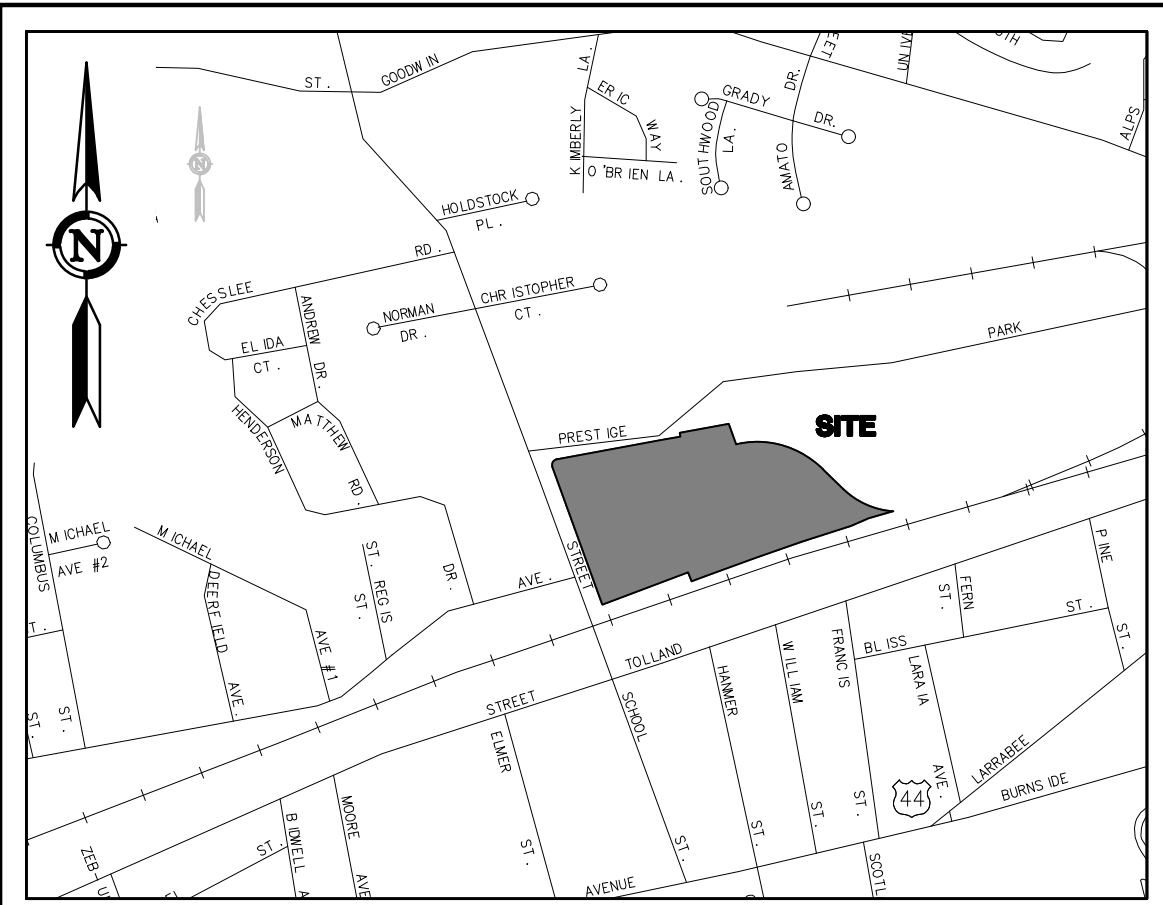


UNITED STEEL, INC

SITE PLAN MODIFICATION

164 SCHOOL STREET - EAST HARTFORD, CT
MAP 37, LOT 245



LOCATION MAP
SCALE: 1"=1,000'

ZONING TABLE

ZONE: I-3 (INDUSTRY 3 ZONE)			
ITEM	REQUIRED/ ALLOWED	EXISTING	PROPOSED
LOT AREA	40,000 S.F.	923,257 S.F.	923,257 S.F.
FRONT YARD	25'	25.7'	25.7'
SIDE YARD	10' MIN. 25' AGGREGATE 20' ALONG SCHOOL ST.	78.6'	78.6'
REAR YARD	25'	20.2'	20.2'
BUILDING HEIGHT	100'	<100'	<100'
PARKING		129 (1)	170 (2)
BUILDING COVERAGE	75%	16%	16.6%
IMPERVIOUS COVERAGE	85%	56.7%	57.2%

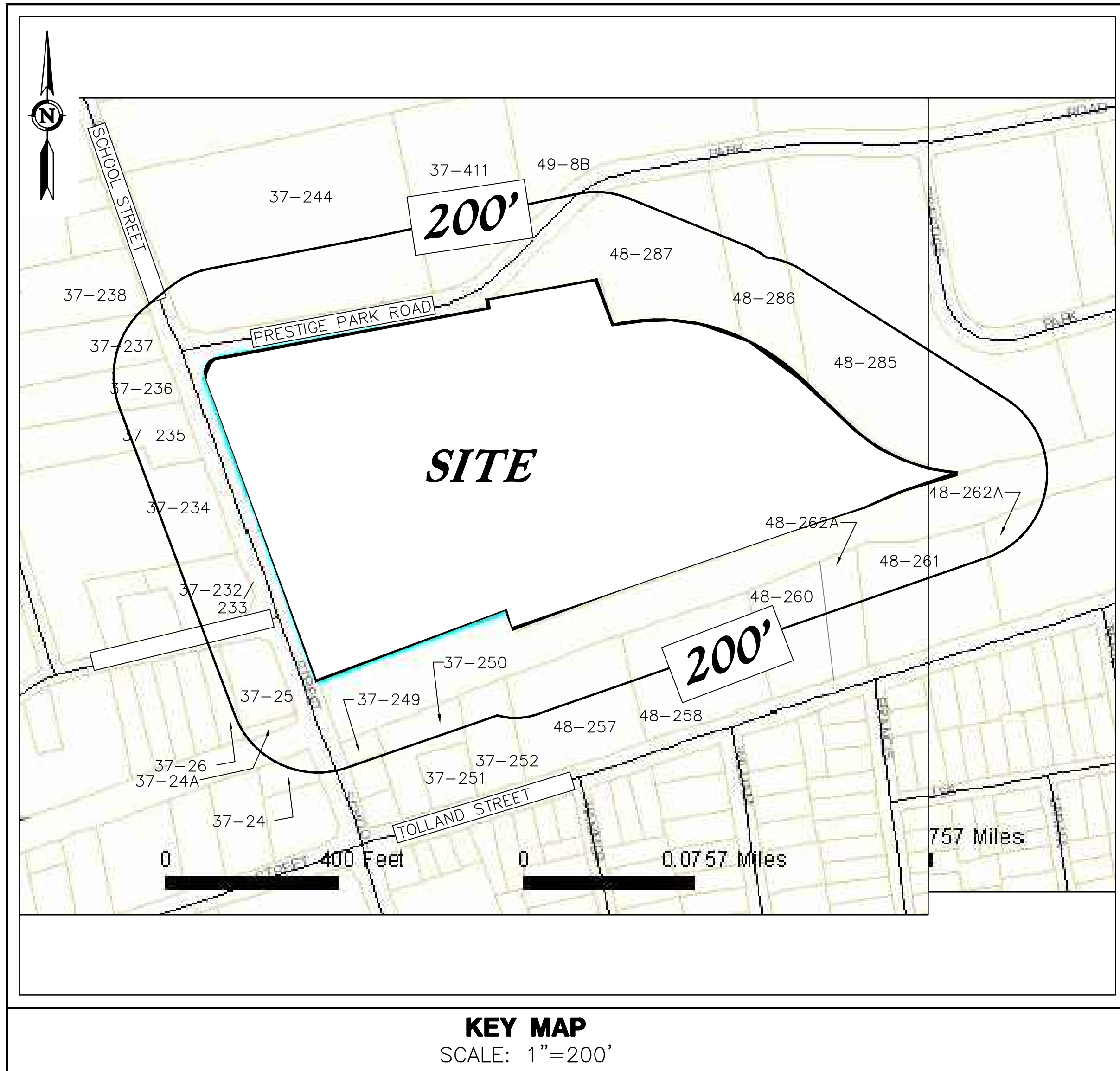
NOTES:

- (1) EXISTING PREVIOUSLY APPROVED CONDITIONS.
- (2) 5,346± S.F. OFFICE ADDITION.
PARKING REQUIREMENTS FOR OFFICE = 1 SP / 250 S.F. GROSS FLOOR AREA.
TOTAL OF 20 ADDITIONAL PARKING SPACES REQUIRED.
41 PARKING SPACES PROPOSED

EXISTING PARKING 129 SPACES (INCLUDES 4 HANDICAP SPACES)
PROPOSED PARKING 170 SPACES (6 HANDICAP SPACES PROVIDED)

PROPERTY OWNER AND APPLICANT:

Corneau Limited
Partnership
164 School Street
East Hartford, CT



KEY MAP
SCALE: 1"=200'

Properties Within 200'

MAP #	LOT #	PROPERTY ADDRESS	N/F PROPERTY OWNER	MAILING ADDRESS (IF DIFFERENT)
14	379	20 REAR STERLING ROAD	CONNECTICUT SOUTHERN RAILROAD INC C/O RAILAMERICA TAX DEPT.	5300 BROKEN SOUND BOULEVARD, NORTHWEST BOCA RATON, FL 33487
37	24	103 SCHOOL STREET	LEVEE, COLEMAN B TRUSTEE	P.O.BOX 370366 WEST HARTFORD, CT 06137
37	24A	35 EXECUTIVE COURT	C L & P	P.O.BOX 270 HARTFORD, CT 06141
37	25	123 SCHOOL STREET	123 SCHOOL STREET LLC	P.O.BOX 4161 KEY WEST, FL 33041
37	26	497 PARK AVENUE	JENNIFER SAMUDA	497 PARK AVE. EAST HARTFORD, CT 06108
37	232/233	488 PARK AVENUE	LIDA INVESTMENTS LLC	20 LAWLER ROAD WEST HARTFORD, CT 06117
37	234	145 SCHOOL STREET	OAKRIDGE APARTMENTS LLC	530 SILAS DEANE HWY SUITE 130 WETHERSFIELD, CT 06109
37	235	163 SCHOOL STREET	HOUSING AUTHORITY/TOWN OF E H TFD HERITAGE GARDENS	547 BURNINGDE AVE. EAST HARTFORD, CT 06108
37	236	169 SCHOOL STREET	HOUSING AUTHORITY/TOWN OF E H	740 MAIN ST. EAST HARTFORD, CT 06180
37	237	171 SCHOOL STREET	AUSTIN CARL D & BARBARA J	
37	238	175 SCHOOL STREET	KRAJEWSKII STANLEY & DIANE	632 KING ST. SOUTH WINDSOR, CT 06074
37	244	30 PRESTIGE PARK ROAD	THREE FOR THE ROAD L L C	11 PEASLEE HILL WEST HARTFORD, CT 06117
37	411	60 PRESTIGE PARK ROAD	FREMONT 60 PPR LLC C/O THE FREMONT GROUP LLC	65 LASALLE ROAD SUITE 202 WEST HARTFORD, CT 06107
37	249	90 - 92 SCHOOL STREET	TOWN OF EAST HARTFORD	740 MAIN ST. EAST HARTFORD, CT 06180
37	250	524 TOLLAND STREET	AMOUN CONTRACTING COMPANY LLC	22 RUMSEY ROAD EAST HARTFORD, CT 06180
37	251	528 TOLLAND STREET	536 TOLLAND ST. LLC C/O PERTEF BYLYKBASHI	1686 FARMINGTON AVE. FARMINGTON, CT 06032
37	252	544 TOLLAND STREET	544 TOLLAND AVENUE LLC C/O PETER MILLER	2911 DOWELL AVE SUITE 300B HARTFORD, CT 06115
48	257	570 TOLLAND STREET	S G D REALTY L L C	
48	258	580 TOLLAND STREET	580 TOLLAND STREET LLC	
48	260	602 TOLLAND STREET	BH REALTY ASSOCIATES LLC	6 SUNVIEW DRIVE BROAD BROOK, CT 06016
48	260A	604 TOLLAND STREET	BH REALTY ASSOCIATES LLC	89 CHURCH STREET EAST HARTFORD, CT 06108
48	261	630 TOLLAND STREET	GENGRAS REALTY L L C	300 CONNECTICUT BLVD EAST HARTFORD, CT 06108
48	262	654 TOLLAND STREET	GATOR REALTY LLC	140 PROGRESS STREET MANCHESTER, CT 06042
48	285	141 PRESTIGE PARK LLC	141 PRESTIGE PARK LLC	P.O.BOX 1149 SOUTH WINDSOR, CT 06074
48	286	111 PRESTIGE PARK ROAD	FREMONT PRESTIGE PARK LLC C/O FREMONT MANAGEMENT LLC	65 LASALLE RD SUITE 202 WEST HARTFORD, CT 06107
48	287	101 PRESTIGE PARK ROAD	FREMONT 101 PPR LLC	65 LASALLE RD SUITE 202 WEST HARTFORD, CT 06107
49	88	100 PRESTIGE PARK ROAD	FREMONT PRESTIGE PARK LLC C/O THE FREMONT GROUP LLC	65 LASALLE RD SUITE 202 WEST HARTFORD, CT 06107

SHEET INDEX

C-T1	TITLE SHEET	1 OF 9
C-N1	NOTES SHEET	2 OF 9
C-SP1-3	SITE PLAN	3-5 OF 9
C-ES1	EROSION & SEDIMENTATION PLAN NOTES & DETAILS SHEET	6 OF 9
C-LT1	LIGHTING PLAN	7 OF 9
C-LA1	LANDSCAPE PLAN	8 OF 9
C-D1	DETAILS	9 OF 9
V-1	PROPERTY & TOPOGRAPHIC SURVEY	1 OF 1
CP 1B	ARCHITECTURAL PLANS (BY OTHERS)	1 OF 1

TOWN CONSTRUCTION NOTE:

THE DEVELOPER SHALL NOTIFY THE TOWN OF EAST HARTFORD ENGINEERING DIVISION 24 HOURS PRIOR TO BEGINNING ANY STORM DRAINAGE, ROADWAY PREPARATION, PAVING, SIDEWALK, CURBING, STREET LINE MONUMENTATION, PROPERTY CORNER PINS, ECT., TO SCHEDULE INSPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:30 A.M. - 4:30 P.M. AT (860) 291-7380.

TOWN OF EAST HARTFORD
PLANNING AND ZONING COMMISSION
SITE PLAN CERTIFICATE
OF APPROVAL

APPROVAL DATE _____
EXPIRATION DATE _____

CHAIRPERSON

CIVIL ENGINEER & LAND SURVEYOR:

pd design professionals
CIVIL & TRAFFIC ENGINEERS / PLANNERS / SURVEYORS
GIS ANALYSTS / LANDSCAPE ARCHITECTS

21 Jeffrey Drive
P.O. Box 1167
South Windsor, CT 06074

Phone: 860-291-8755
Fax: 860-291-8757
www.designprofessionalsinc.com

PRELIMINARY NOT FOR CONSTRUCTION

THESE PLANS ARE FOR PLANNING PURPOSES ONLY INTENDED TO SECURE REGULATORY APPROVALS. ONLY FINAL PLANS STAMPED APPROVED BY THE TOWN SHALL BE USED FOR CONSTRUCTION PURPOSES.

GENERAL NOTES:

- THESE PLANS ARE INVALID UNLESS THEY BEAR THE SEAL OR STAMP, AND ORIGINAL SIGNATURE OF THE PROFESSIONAL ENGINEER, LAND SURVEYOR, OR LANDSCAPE ARCHITECT.
- EXISTING CONDITIONS AND UTILITY LOCATIONS DEPICTED HEREON ARE BASED ON AVAILABLE INFORMATION AND SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
- PROPOSED WATER, GAS, ELECTRIC, AND COMMUNICATION SERVICES DEPICTED ON THESE PLANS ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. CONTRACTOR SHALL COORDINATE FINAL SIZE AND LOCATIONS WITH THE RESPECTIVE UTILITIES AND THE LOCAL JURISDICTION PRIOR TO CONSTRUCTION.
- REPRODUCTION TECHNIQUES USED IN THE PRODUCTION OF THIS PLAN CAN STRETCH OR SHRINK THE PAPER. SCALING OF THIS DRAWING MAY BE INACCURATE. CONTACT DPI IF ADDITIONAL INFORMATION IS REQUIRED.
- THESE PLANS AND OTHER ITEMS PREPARED BY DESIGN PROFESSIONALS, INC. (DPI) ARE INSTRUMENTS OF SERVICE AND REMAIN ITS PROPERTY. THE USE OF THESE ITEMS BY DPI'S CLIENT IS SUBJECT TO THE TERMS SET FORTH IN THE AGREEMENT BETWEEN CLIENT AND DPI. REPRODUCTION AND/OR USE OF THESE ITEMS BY OTHERS IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF DPI.

Prepared for:

Corneau Limited
Partnership
164 School Street
East Hartford, CT

UNITED STEEL, INC
164 SCHOOL STREET
MAP 37 LOT 245
EAST HARTFORD, CT
SITE PLAN MODIFICATION

REVISIONS

NO.	DATE	BY

TITLE SHEET

SHEET
C-T1
SHEET 1 OF 9

21 JEFFREY DRIVE
P.O. BOX 1167
SOUTH WINDSOR, CT 06074
860-291-8755
860-291-8757
www.designprofessionalsinc.com

pd design professionals
CIVIL & TRAFFIC ENGINEERS / PLANNERS / SURVEYORS
GIS ANALYSTS / LANDSCAPE ARCHITECTS

The plan is valid when it bears the seal or stamp of a duly licensed Professional Engineer, Land Surveyor, or Landscape Architect.
This plan is not valid when it is reproduced or modified in any way without the written consent of Design Professionals, Inc.
The plan is not valid when it is reproduced or modified in any way without the written consent of Design Professionals, Inc.
The plan is not valid when it is reproduced or modified in any way without the written consent of Design Professionals, Inc.

GENERAL GRADING & UTILITY PLAN NOTES

1. PRIOR TO STARTING ANY SITE ACTIVITY OR DEMOLITION, THE CONTRACTOR SHALL "CALL BEFORE YOU DIG" AND/OR THE APPLICABLE STATE DAMAGE CONTROL SYSTEM FOR THE REQUIRED UTILITY MARK OUTS IN ADVANCE OF ANY EARTH DISTURBANCE. IN ADDITION TO THIS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING ONSITE UTILITIES INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN AND ADJACENT TO THE LIMITS OF THE PROJECT ACTIVITIES. LOCATIONS OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE INDEPENDENTLY CONFIRMED WITH LOCAL UTILITY COMPANIES AND THE CONTRACTOR. WATER AND SANITARY SEWER SERVICE AND ALL OTHER UTILITY SERVICE CONNECTION POINTS MUST BE INDEPENDENTLY CONFIRMED BY THE CONTRACTOR IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES MUST IMMEDIATELY BE REPORTED, IN WRITING, TO THE ENGINEER.
2. CONSTRUCTION SHALL BEGIN AT THE LOWEST ELEVATION AND/OR INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT, WHERE UTILITIES ARE PROPOSED TO CROSS/TRaverse EXISTING UNDERGROUND UTILITIES, THE ELEVATIONS OF THE EXISTING UTILITIES SHALL BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION BY EXCAVATING A TEST PIT AT THE PROPOSED UTILITY CROSSING POINT TO VERIFY EXISTING UTILITY LOCATIONS/ELEVATIONS/INVERTS. SHOULD THE FIELD VERIFIED EXISTING UTILITY BE IN CONFLICT WITH THE PROPOSED SITE DESIGNS, THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IN WRITING AND SHALL NOT PROCEED WITH SAID UTILITY CONSTRUCTION UNTIL FURTHER DIRECTION IS GIVEN FROM THE DESIGN ENGINEER.
3. CONTRACTOR MUST VERTICALLY AND HORIZONTALLY LOCATE ALL UTILITIES AND SERVICES INCLUDING, BUT NOT LIMITED TO, GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE OR WORK SPACE, WHICHEVER IS GREATER. THE CONTRACTOR MUST USE, REFER TO, AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION, AT NO COST TO THE OWNER. CONTRACTOR SHALL BEAR ALL COSTS ASSOCIATED WITH DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION.
4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL CONSTRUCTION CONTRACT DOCUMENTS INCLUDING, BUT NOT LIMITED TO, ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE INITIATION AND COMMENCEMENT OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND CONFLICT AND/OR DISCREPANCY BETWEEN THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR THE RELATIVE OR APPLICABLE CODES, REGULATIONS, LAWS, RULES, STATUTES AND/OR ORDINANCES, IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD, IN WRITING, OF SAID CONFLICT AND/OR DISCREPANCY PRIOR TO THE START OF CONSTRUCTION.
5. THE CONTRACTOR MUST INSTALL ALL STORM SEWER AND SANITARY SEWER COMPONENTS WHICH FUNCTION BY GRAVITY PRIOR TO THE INSTALLATION OF ALL OTHER UTILITIES.
6. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF SITE PLAN DOCUMENTS AND ARCHITECTURAL DESIGN FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS, GREASE TRAP REQUIREMENTS/ DETAILS, DOOR ACCESS, AND EXTERIOR GRADING. THE ARCHITECT WILL DETERMINE THE UTILITY SERVICE SIZES. THE CONTRACTOR MUST COORDINATE INSTALLATION OF UTILITIES SERVICES WITH THE INDIVIDUAL COMPANIES, TO AVOID CONFLICTS AND TO ENSURE THAT PROPER DEPTHS ARE ACHIEVED. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT INSTALLATION OF ALL IMPROVEMENTS COMPLIES WITH ALL UTILITY REQUIREMENTS WITH JURISDICTION AND/OR CONTROL OF THE SITE, AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES AND, FURTHER, IS RESPONSIBLE FOR COORDINATING THE UTILITY TIE-INS/CONNECTIONS PRIOR TO CONNECTING TO THE EXISTING UTILITY/SERVICE. WHERE A CONFLICT(S) EXISTS BETWEEN THESE SITE PLANS AND THE ARCHITECTURAL PLANS, OR WHERE ARCHITECTURAL PLAN UTILITY CONNECTION POINTS DIFFER, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER, IN WRITING, AND PRIOR TO CONSTRUCTION, RESOLVE SAME.
7. WATER SERVICE MATERIALS, BURIAL DEPTH, AND COVER REQUIREMENTS MUST BE SPECIFIED BY THE LOCAL UTILITY COMPANY. CONTRACTOR'S PRICE FOR WATER SERVICE MUST INCLUDE ALL FEES, COSTS AND APPURTENANCES REQUIRED BY THE UTILITY TO PROVIDE FULL AND COMPLETE WORKING SERVICE. CONTRACTOR MUST CONTACT THE APPLICABLE MUNICIPALITY TO CONFIRM THE PROPER WATER METER AND VAULT, PRIOR TO COMMENCING CONSTRUCTION.
8. ALL NEW UTILITIES/SERVICES, INCLUDING ELECTRIC, TELEPHONE, CABLE TV, ETC. ARE TO BE INSTALLED UNDERGROUND. ALL NEW UTILITIES/SERVICES MUST BE INSTALLED IN ACCORDANCE WITH THE UTILITY/SERVICE PROVIDER INSTALLATION SPECIFICATIONS AND STANDARDS.
9. SITE GRADING MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT REFERENCED IN THIS PLAN SET. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING UNSUITABLE MATERIALS WITH SUITABLE MATERIALS AS SPECIFIED IN THE GEOTECHNICAL REPORT. ALL EXCAVATED OR FILLED AREAS MUST BE COMPACTED AS OUTLINED IN THE GEOTECHNICAL REPORT. MOISTURE CONTENT AT TIME OF PLACEMENT MUST BE SUBMITTED IN A COMPACTION REPORT PREPARED BY A QUALIFIED GEOTECHNICAL ENGINEER, REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT MUST BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE BY OWNER/DEVELOPER OR OWNER/DEVELOPER'S REPRESENTATIVE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED AS DIRECTED BY THE GEOTECHNICAL REPORT. EARTHWORK ACTIVITIES INCLUDING, BUT NOT LIMITED TO, EXCAVATION, BACKFILL, AND COMPACTING MUST COMPLY WITH THE RECOMMENDATION IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. IN THE ABSENCE OF A GEOTECHNICAL REPORT EARTHWORK ACTIVITIES MUST COMPLY WITH THE STANDARD STATE DOT SPECIFICATIONS FOR ROADWAY CONSTRUCTION (LATEST EDITION) AND ANY AMENDMENTS OR REVISIONS THERETO.
10. ALL FILL, COMPACTION, AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION MUST BE AS PER THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT AND MUST BE COORDINATED WITH THE APPLICABLE UTILITY COMPANY SPECIFICATIONS. IN THE ABSENCE OF A GEOTECHNICAL REPORT OR RECOMMENDATIONS, FILL AND COMPACTION MUST, AT A MINIMUM, COMPLY WITH THE STATE DOT REQUIREMENTS AND SPECIFICATIONS AND CONSULTANT SHALL HAVE NO LIABILITY OR RESPONSIBILITY FOR OR AS RELATED TO FILL, COMPACTION AND BACKFILL. FURTHER, CONTRACTOR IS FULLY RESPONSIBLE FOR EARTHWORK BALANCE.
11. THE CONTRACTOR MUST COMPLY, TO THE FULLEST EXTENT WITH THE LATEST OSHA STANDARDS AND REGULATIONS, AND/OR ANY OTHER AGENCY WITH JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE "MEANS AND METHODS" REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF OSHA, AS WELL AS ANY OTHER ENTITY THAT HAS JURISDICTION FOR EXCAVATION AND/OR TRENCHING PROCEDURES AND CONSULTANT SHALL HAVE NO RESPONSIBILITY FOR OR AS RELATED TO EXCAVATION AND TRENCHING PROCEDURES.
12. PAVEMENT MUST BE SAW CUT INTO STRAIGHT LINES, AND EXCEPT FOR EDGE OF BUILT JOINTS, MUST EXTEND TO THE FULL DEPTH OF THE EXISTING PAVEMENT. ALL DEBRIS FROM REMOVAL OPERATIONS MUST BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION. STOCKPILING OF DEBRIS WILL NOT BE PERMITTED.
13. THE TOPS OF EXISTING MANHOLES, INLET STRUCTURES, AND SANITARY CLEANOUT TOPS MUST BE ADJUSTED AS NECESSARY, TO MATCH PROPOSED GRADES.
14. THE CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCING ANY CONSTRUCTION. CONTRACTOR MUST CONFIRM AND ENSURE 0.75% MINIMUM SLOPE AGAINST ALL ISLANDS, GUTTERS, AND CURBS, 1.0% ON ALL CONCRETE SURFACES; AND 1.5% MINIMUM ON ASPHALT (EXCEPT WHERE ADA REQUIREMENTS OR EXISTING TOPOGRAPHY LIMIT GRADES), TO PREVENT PONDING. CONTRACTOR MUST IMMEDIATELY IDENTIFY, IN WRITING TO THE ENGINEER, ANY DISCREPANCIES THAT MAY OR COULD AFFECT THE PUBLIC SAFETY, HEALTH OR GENERAL WELFARE, OR PROJECT COST. IF CONTRACTOR PROCEEDS WITH CONSTRUCTION WITHOUT PROVIDING PROPER NOTIFICATION, MUST BE AT THE CONTRACTOR'S OWN RISK.
15. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 6" ABOVE EXISTING LOCAL ASPHALT GRADE UNLESS OTHERWISE NOTED. FIELD ADJUST TO CREATE A MINIMUM OF .075% GUTTER GRADE ALONG CURB FACE. IT IS CONTRACTOR'S OBLIGATION TO ENSURE THAT DESIGN ENGINEER APPROVES FINAL CURBING CUT SHEETS PRIOR TO INSTALLATION OF SAME.

16. IN THE EVENT OF DISCREPANCIES AND/OR CONFLICTS BETWEEN PLANS OR RELATIVE TO OTHER PLANS, THE SITE PLAN WILL TAKE PRECEDENCE AND CONTROL. CONTRACTOR MUST IMMEDIATELY NOTIFY THE DESIGN ENGINEER, IN WRITING, OF ANY DISCREPANCIES AND/OR CONFLICTS.
17. CONTRACTOR IS REQUIRED TO SECURE ALL NECESSARY AND/OR REQUIRED PERMITS AND APPROVALS FOR ALL OFF SITE MATERIAL SOURCES AND DISPOSAL FACILITIES. CONTRACTOR MUST SUPPLY A COPY OF APPROVALS TO ENGINEER AND OWNER PRIOR TO INITIATING WORK ANY WORK.
18. WHERE RETAINING WALLS (WHETHER OR NOT THEY MEET THE JURISDICTIONAL DEFINITION) ARE IDENTIFIED ON PLANS, ELEVATIONS IDENTIFIED ARE FOR THE EXPOSED PORTION OF THE WALL. WALL FOOTING/FOUNDATION ELEVATIONS ARE NOT IDENTIFIED HEREIN AND ARE TO BE SET/DETERMINED BY THE CONTRACTOR BASED ON FINAL STRUCTURAL DESIGN SHOP DRAWINGS PREPARED BY THE APPROPRIATE PROFESSIONAL LICENSED IN THE STATE WHERE THE CONSTRUCTION OCCURS.
19. STORM DRAINAGE PIPE: UNLESS INDICATED OTHERWISE, ALL STORM SEWER PIPE MUST BE REINFORCED CONCRETE PIPE (RCP) CLASS III WITH SILT TIGHT JOINTS. WHEN HIGH-DENSITY POLYETHYLENE PIPE (HDPE) IS CALLED FOR ON THE PLANS, IT MUST CONFORM TO ASHOTO M294 AND TYPE S (SMOOTH INTERIOR WITH ANGULAR CORRUGATIONS) WITH GASKET FOR SILT TIGHT JOINT. PVC PIPE FOR ROOF DRAIN CONNECTION MUST BE SDR 26 OR SCHEDULE 40 UNLESS INDICATED OTHERWISE.
20. SANITARY SEWER PIPE MUST BE POLYVINYL CHLORIDE (PVC) SDR 35 EXCEPT WHERE INDICATED OTHERWISE. SANITARY LATERAL MUST BE PVC SCHEDULE 40 OR PVC SDR 26 UNLESS INDICATED, IN WRITING, OTHERWISE.
21. STORM AND SANITARY SEWER PIPE LENGTHS INDICATED ARE NOMINAL AND MEASURED CENTER OF INLET AND/OR MANHOLES STRUCTURE TO CENTER OF STRUCTURE.
22. STORMWATER ROOF DRAIN LOCATIONS ARE APPROXIMATE AND ARE BASED ON PRELIMINARY ARCHITECTURAL PLANS. CONTRACTOR IS RESPONSIBLE FOR REVIEWING AND COORDINATING THE FINAL ARCHITECTURAL PLANS TO VERIFY FINAL LOCATIONS OF ALL ROOF DRAINS.
23. SEWERS CROSSING STREAMS AND/OR LOCATION WITHIN 10 FEET OF THE STREAM EMBANKMENT, OR WHERE SITE CONDITIONS SO INDICATE, MUST BE CONSTRUCTED OF STEEL, REINFORCED CONCRETE, DUCTILE IRON OR OTHER SUITABLE MATERIAL. SEWERS CONVEYING SANITARY FLOW COMBINED SANITARY AND STORMWATER FLOW OR INDUSTRIAL FLOW MUST BE SEPARATED FROM WATER MAINS BY A DISTANCE OF AT LEAST 10 FEET HORIZONTALLY. IF SUCH LATERAL SEPARATIONS IS NOT POSSIBLE, THE PIPES MUST BE IN SEPARATE TRENCHES WITH THE SEWER AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN, OR SUCH OTHER SEPARATION AS APPROVED BY THE GOVERNMENT AGENCY WITH JURISDICTION OVER SAME. WHERE APPROPRIATE SEPARATION FROM A WATER MAIN IS NOT POSSIBLE, THE SEWER MUST BE ENCASED IN CONCRETE, OR CONSTRUCTED OF DUCTILE IRON PIPE USING MECHANICAL OR SLIP-ON JOINTS FOR A DISTANCE OF AT LEAST 10 FEET ON EITHER SIDE OF THE CROSSING. IN ADDITION, ONE FULL LENGTH OF SEWER PIPE SHOULD BE LOCATED SO BOTH JOINTS WILL BE AS FAR FROM THE WATER MAIN AS POSSIBLE. WHERE A WATER MAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT FOR THE SEWER MUST BE PROVIDED.
24. WATER MAIN AND WATER SERVICE PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE WATER AUTHORITY HAVING JURISDICTION. IN THE ABSENCE OF SUCH SPECIFICATIONS, WATER MAIN PIPING MUST BE CEMENT-LINED DUCTILE IRON (DIP) MINIMUM CLASS 52 THICKNESS. ALL WORK AND MATERIALS MUST COMPLY WITH THE APPLICABLE AWWA STANDARDS IN EFFECT AT THE TIME OF SERVICE APPLICATION.
25. THE CONTRACTOR SHALL ENSURE THAT ANY AND ALL WORK LOCATED IN EXISTING PAVED BE REPAIRED IN ACCORDANCE WITH REFERENCED MUNICIPAL, COUNTY AND/OR DOT DETAILS AS APPLICABLE. CONTRACTOR IS RESPONSIBLE TO COORDINATE THOSE PERMITTING, INSPECTION AND APPROVAL OF COMPLETED WORK WITH THE AGENCY WITH AGENCY HAVING JURISDICTION OVER THE PROPOSED WORK.
26. THE CONTRACTOR SHALL, BY BORING OR BY TEST PIT, DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF ANY PROPOSED DWELLINGS THAT WILL CONTAIN A BASEMENT. IF GROUNDWATER IS ENCOUNTERED WITHIN THE PROPOSED BASEMENT AREA, BASEMENTS SHALL NOT BE INSTALLED UNLESS SPECIAL CONSTRUCTION METHODS, APPROVED BY THE AUTHORITY HAVING JURISDICTION, ARE UTILIZED. WHERE SUMP PUMPS ARE INSTALLED, ALL DISCHARGED MUST BE CONNECTED TO THE STORM SEWER OR DISCHARGE TO AN APPROVED LOCATION.
27. FOR SINGLE AND MULTI-FAMILY RESIDENTIAL PROJECTS, SPOT ELEVATION(S) ADJACENT TO THE BUILDINGS ARE SCHEMATIC FOR NON-SPECIFIC BUILDING FOOTPRINTS, GRADES MUST BE ADJUSTED BASED ON FINAL ARCHITECTURAL PLANS AND SHALL PROVIDE A MINIMUM OF SIX (6) INCHES BELOW TOP OF FOUNDATION/CONCRETE AND/OR SIX (6) INCHES BELOW THE FAÇADE TREATMENT, WHICHEVER IS LOWER, AND MUST PROVIDE POSITIVE DRAINAGE AWAY FROM THE STRUCTURE (MINIMUM OF 2%). ALL CONSTRUCTION, INCLUDING GRADING, MUST COMPLY WITH ALL APPLICABLES, LOCAL, STATE AND FEDERAL REQUIREMENTS, REGULATIONS AND ORDINANCE.
28. THE RELOCATION OF EXISTING AND/OR THE INSTALLATION OF NEW UTILITY POLES AND TRANSFORMERS ARE AT THE SOLE DISCRETION OF UTILITY COMPANY. PRIOR TO COMMENCEMENT OF ANY WORK, THE CONTRACTOR SHALL WORK WITH THE APPROPRIATE UTILITY COMPANIES TO FINALIZE ALL UTILITY SERVICES AND/OR RELOCATIONS TO ASSURE NO CONFLICT WITH THE DESIGN PLANS. SHOULD A CONFLICT ARISE DUE TO THE FINAL DESIGNS OF THE UTILITY COMPANY, THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IN WRITING AND AWAIT A WRITTEN RESOLUTION PRIOR TO PROCEEDING WITH FURTHER UTILITY INSTALLATIONS.

DEMOLITION NOTES

THE CONTRACTOR SHALL REVIEW ALL SITE PLANS (AND ARCHITECTURAL DRAWINGS AS APPLICABLE) TO ASSURE THAT ALL DEMOLITIONS ACTIVITIES AND INCIDENTAL WORK NECESSARY FOR THE CONSTRUCTION OF THE NEW SITE IMPROVEMENTS ARE COMPLETED. THE DEMOLITION PLAN IS INTENDED TO PROVIDE ONLY GENERAL INFORMATION REGARDING ITEMS TO BE DEMOLISHED AND/OR REMOVED.

THIS PLAN REFERENCES THE FOLLOWING DOCUMENTS AND INFORMATION:

- PLAN ENTITLED "PROPERTY & TOPOGRAPHIC SURVEY CORNEAU LIMITED PARTNERSHIP 164 SCHOOL STREET EAST HARTFORD, CONNECTICUT" DATED: 1/26/2017 PREPARED BY DESIGN PROFESSIONALS, INC.

1. CONTRACTOR MUST NOTIFY, IN WRITING, DESIGN PROFESSIONALS INC, IF THEY ANY QUESTIONS CONCERNING THE ACCURACY OR INTENT OF THESE PLANS, RELATED SPECIFICATIONS, ANY APPLICABLE SAFETY STANDARDS, OR THE SAFETY OF THE CONTRACTOR OR THIRD PARTIES IN PERFORMING THE WORK ON THIS PROJECT. IF SUCH NOTIFICATION IS GIVEN, NO DEMOLITION OR SITE ACTIVITY MAY BEGIN UNTIL SUCH TIME THAT DESIGN PROFESSIONALS INC. PROVIDES A WRITTEN RESPONSE TO SAME. ALL DEMOLITION WORK MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS, THE PROJECT SPECIFICATIONS AND ALL APPLICATION LOCAL, STATE AND FEDERAL REGULATIONS.
2. CONTRACTOR SHALL PERFORM ALL WORK IN A SYSTEMATIC AND SAFE MANNER AND IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, (29 U.S.C. 651 ET SEQ.), AMENDMENTS TOO AND/OR REVISIONS TO SAME.
3. PRIOR TO STARTING ANY SITE ACTIVITY OR DEMOLITION, THE CONTRACTOR SHALL OBTAINING ALL REQUIRED PERMITS (LOCAL, STATE AND/OR FEDERAL)AND MAINTAIN SAME ON SITE FOR REVIEW BY THE ENGINEER AND OTHER REGULATORY AGENCIES THROUGHOUT THE DURATION OF THE PROJECT.
4. PRIOR TO STARTING ANY SITE ACTIVITY OR DEMOLITION, THE CONTRACTOR SHALL NOTIFY, AT A MINIMUM, THE BUILDING OFFICIAL, MUNICIPAL ENGINEER, DEPARTMENT OF PUBLIC WORKS, PLANNING AND ZONING COMMISSION, THE DESIGN ENGINEER, AND LOCAL INLAND WETLAND COMMISSION, 72 HOURS PRIOR TO THE START OF WORK
5. PRIOR TO STARTING ANY SITE ACTIVITY OR DEMOLITION, THE CONTRACTOR SHALL IMPLEMENT THE SOIL EROSION AND SEDIMENT CONTROL MEASURES AS NOTED ON THE PLANS AND PRIOR TO ANY SITE DISTURBANCE.
6. PRIOR TO STARTING ANY SITE ACTIVITY OR DEMOLITION, THE CONTRACTOR SHALL "CALL BEFORE YOU DIG" AND/OR THE APPLICABLE STATE DAMAGE CONTROL SYSTEM FOR THE REQUIRED UTILITY MARK OUTS IN ADVANCE OF ANY EARTH DISTURBANCE. IN ADDITION TO THIS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING ONSITE UTILITIES INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN AND ADJACENT TO THE LIMITS OF THE PROJECT ACTIVITIES.
7. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL SECURE THE SITE AS NECESSARY TO PERFORM THE DEMOLITION IN A MANNER AS TO PREVENT THE ENTRY OF

UNAUTHORIZED PERSONS.

8. THE CONTRACTOR SHALL PROTECT AND MAINTAIN THE OPERATION AND SERVICE OF ALL ACTIVE UTILITIES AND SYSTEMS THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES. SHOULD A TEMPORARY INTERRUPTION OF UTILITY SERVICES BE REQUIRED AS PART OF THE PROPOSED CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL COORDINATE WITH APPROPRIATE UTILITY COMPANIES AND THE AFFECTED END USER TO MINIMIZE IMPACT AND SERVICE INTERRUPTION.
9. THE CONTRACTOR SHALL ARRANGE FOR AND COORDINATE WITH THE APPROPRIATE UTILITY COMPANIES FOR THE TEMPORARY AND PERMANENT TERMINATION OF ANY AND ALL SERVICES THAT ARE REQUIRED FOR THE PROPERTY WHETHER SHOWN ON THE SITE PLANS OR NOT. TERMINATION OF UTILITIES SHALL BE PERFORMED IN COMPLIANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATION.
10. SHOULD HAZARDOUS MATERIAL BE DISCOVERED/ENCOUNTERS, WHICH WAS NOT ANTICIPATED/ADDRESSED IN THE IN THE PROJECT PLANS AND SPECIFICATIONS, CEASE ALL WORK IMMEDIATELY AND NOTIFY OWNER AND ENGINEER OF RECORD REGARDING HE DISCOVERY OF SAME.
11. DESIGN PROFESSIONALS HAS NO RESPONSIBILITY REGARDING JOB SAFETY AND/OR OVERSIGHT/SUPERVISION, OR ANYTHING RELATED TO SAME, LEGALLY NOR CONTRACTUALLY.
12. THE CONTRACTOR IS RESPONSIBLE FOR ALL "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE TO REMAIN, IF ANY EXISTING STRUCTURES THAT ARE TO REMAIN ARE DAMAGED DURING DEMOLITIONS, S SHALL BE MADE USING NEW PRODUCT/MATERIALS RESULTING IN A PRE-DEMOLITION CONDITION, OR BETTER. CONTRACTOR IS RESPONSIBLE FOR CONTRACTUALLY. DESIGN PROFESSIONALS IS NOT RESPONSIBLY TO IDENTIFY OR REPORT ANY JOB SITE SAFETY ISSUES, AT ANY TIME.
13. EARTH WORK ACTIVITIES, DEMOLITION OR REMOVAL OF BUILDINGS, FOUNDATION WALLS, FOOTING, OR OTHER MATERIALS WITHIN THE WORK AREA SHALL BE IN ACCORDANCE AND CONFORM TO THE PROJECT PLANS AND SPECIFICATIONS.
14. ALL BACKFILLING REQUIRED AS A RESULT OF DEMOLITION SHALL BE PERFORMED IN COMPLIANCE WITH THE RECOMMENDATIONS AND GUIDANCE OF THE GEOTECHNICAL REPORT
15. THE USE OF EXPLOSIVES FOR THE PURPOSE OF DEMOLITION OR ROCK REMOVAL MUST NOT BE IN COMPLIANCE OF ALL LOCAL, STATE AND FEDERAL REGULATIONS. THE CONTRACT SHALL OBTAIN ALL PERMITS THAT ARE REQUIRED BY THE FEDERAL, STATE AND LOCAL GOVERNMENTS. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL INSPECTION, MONITORING OR TESTING AS MAY BE REQUIRED BY ANY AND ALL PERMITS AND REGULATIONS.
16. CONTRACTOR SHALL CONTROL TRAFFIC ON AND OFFSITE IN CONFORMANCE WITH THE CURRENT FHWA "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), AND THE FEDERAL, STATE, AND LOCAL REGULATIONS FOR ALL ASPECTS OF DEMOLITION AND SITE WORK.
17. ALL WORK SHALL BE PERFORMED WITHIN THE LIMITS OF WORK AS NOTED ON THE SITE PLANS.
18. DESIGN PROFESSIONALS INC. IS NOT RESPONSIBLE FOR THE MEANS, METHOD AND/OR PROCEDURES TO BE IMPLEMENT FOR THE PROJECT. ALL WORK MUST BE IN STRICT ACCORDANCE WITH ALL STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS.
19. DEBRIS SHALL NOT BE BURIED ON SITE. ALL DEMOLITION MATERIALS TO BE DISPOSED OF SHALL BE DONE SO IN ACCORDANCE WITH ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES. THE CONTRACTOR MUST MAINTAIN RECORDS OF ALL DISPOSAL ACTIVITIES.
20. CONTRACTOR MUST PREPARE RECORD DRAWINGS DEPICTING THE LOCATION OF EXISTING UTILITIES THAT ARE CAPPED, ABANDONED IN PLACE, OR RELOCATED AND PROVIDE TO THE PROPERTY OWNER AND THE ENGINEER OF RECORD.
21. CONTRACTOR SHALL PREVENT THE EMISSION OF DUST, SEDIMENT, AND DEBRIS FROM THE SITE, AND SHALL BE RESPONSIBLE FOR CORRECTIVE MEASURES SUCH AS STREET SWEEPING AND CLEAN UP WORK AS DEEMED NECESSARY BY THE ENGINEER OF THE AUTHORITY HAVING JURISDICTION.

GENERAL NOTES

CONTRACTOR SHALL ADHERE TO AND IS RESPONSIBLE FOR COMPLIANCE WITH ALL DETAILS, NOTES, PLANS AND SPECIFICATIONS CONTAINED HEREIN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL WORK PERFORMED BY THEIR SUBCONTRACTORS IS IN FULL COMPLIANCE WITH THESE REQUIREMENTS.

1. THE FOLLOWING DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THIS SITE PLAN:
 - PLAN ENTITLED "PROPERTY & TOPOGRAPHIC SURVEY CORNEAU LIMITED PARTNERSHIP 164 SCHOOL STREET EAST HARTFORD, CONNECTICUT" DATED: 1/26/2017 PREPARED BY DESIGN PROFESSIONALS, INC.
 - REPORT ENTITLED "PRIETAS ENVIRONMENTAL GROUP, LLC WETLAND DELINEATION REPORT" 164 SCHOOL STREET EAST HARTFORD, CT DATED: 2-8-2017
 - IN THE ABSENCE OF A GEOTECHNICAL REPORT, CURRENT CONN. DOT STANDARDS SHALL BE FOLLOWED.
2. THE CONTRACTOR SHALL CONFIRM THAT THEY ARE IN RECEIPT OF THE CURRENT VERSION OF THE REFERENCED DOCUMENTS PRIOR TO THE COMMENCEMENT OF ANY WORK.
3. CONTRACTOR MUST HAVE COPIES OF ALL PERMITS AND APPROVAL ON SITE AT ALL TIMES. THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED PRIOR TO PERFORMING ANY WORK ONSITE OR OFFSITE. THE CONTRACTOR SHALL THOROUGHLY REVIEW AND UNDERSTAND ALL PERMITS AND PERMIT CONDITIONS PRIOR TO FABRICATION OF ANY MATERIALS OR PRODUCTS TO BE USED AS PART OF THE PROJECT.
4. ALL WORK SHALL BE EXECUTED IN ACCORDANCE WITH THESE PLANS, THE PROJECT'S SPECIFICATIONS, CONDITIONS OF APPROVALS AND PERMITS, AND ALL APPLICABLE RULES, REGULATIONS, CODES, LAWS AND STANDARDS OF ALL AUTHORITIES HAVING JURISDICTION OVER THE PROJECT.
5. THE GEOTECHNICAL REPORT AND RECOMMENDATIONS NOTED HEREIN ARE A PART OF THE CONSTRUCTION PLANS AND DOCUMENTS. IF DISCREPANCY OR AMBIGUITY EXISTS, THE MORE STRINGENT REQUIREMENTS AND/OR RECOMMENDATIONS CONTAINED IN THE PLANS AND THE GEOTECHNICAL REPORT GOVERN. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING SHOULD ANY CONFLICTS BE IDENTIFIED PRIOR TO COMMENCING WITH ANY ADDITIONAL WORK.

5. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND PROPOSED LAYOUT DIMENSIONS AND MUST AND NOTIFY DESIGN PROFESSIONALS INC., IN WRITING, IMMEDIATELY IF ACTUAL SITE CONDITIONS DIFFER OR ARE IN CONFLICT WITH THE PROPOSED WORK. NO EXTRA COMPENSATION WILL BE PAID TO THE CONTRACTOR FOR WORK WHICH HAS TO BE REDONE OR REPAIRED DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS UNLESS THE CONTRACTOR RECEIVES WRITTEN PERMISSION FROM DESIGN PROFESSIONALS INC. (OR PROPERTY OWNER/DEVELOPER) GIVING AUTHORIZATION TO PROCEED WITH SUCH ADDITIONAL WORK.
6. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL/BUILDING PLANS FOR ALL BUILDING AND ADJACENT APPURTENANCES FOR EXACT LOCATIONS AND DIMENSIONS SUCH ENTRY/EXIT LOCATIONS, ELEVATIONS, BUILDING DIMENSIONS, AND EXACT UTILITY LOCATIONS.
7. PRIOR TO THE PERFORMING ANY WORK ONSITE, THE CONTRACTOR SHALL REVIEW ALL CONSULTANTS PLANS AND SPECIFICATIONS INCLUDING THE ENTIRE SITE PLAN AND THE LATEST ARCHITECTURAL PLANS (INCLUDING, BUT NOT LIMITED TO, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE SUPPRESSION PLAN, WHERE APPLICABLE). CONTRACTOR MUST IMMEDIATELY NOTIFY ARCHITECT AND SITE ENGINEER, IN WRITING, OF ANY CONFLICTS, DISCREPANCIES OR AMBIGUITIES WHICH EXIST.
8. DEBRIS MUST NOT BE BURNED OR BURIED ON SITE AND ALL UNSUITABLE EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) MUST BE DISPOSED OF IN ACCORDANCE WITH THE PROJECT'S SPECIFICATIONS AND PLANS, AND ALL LOCAL, STATE, AND FEDERAL RULES AND REGULATIONS.
9. THE CONTRACTOR IS RESPONSIBLE FOR ALL EXCAVATIONS AND THE DESIGN AND INSTALLATION OF ANY SHORING THAT MAY BE REQUIRED, ALL OF WHICH SHALL BE ACCORDANCE WITH CURRENT OSHA STANDARDS. THE CONTRACTOR IS ALSO RESPONSIBLE FOR IMPLEMENTING ANY ADDITIONAL PRECAUTIONS TO PROTECT AND ASSURE THE STABILITY OF ADJACENT, NEARBY AND CONTIGUOUS STRUCTURES AND PROPERTIES.
10. THE CONTRACTOR SHALL PROTECT AND ASSURE STABILITY OF STRUCTURES (SIDEWALKS AND PAVEMENT, UTILITIES, BUILDINGS, AND INFRASTRUCTURE) ADJACENT TO THE WORK AREA THAT ARE TO REMAIN, AND IMPLEMENT ANY APPROPRIATE MEASURES REQUIRED TO ENSURE STRUCTURAL STABILITY OF SAME. CONTRACTOR SHALL ASSURE A SAFE WORK AREA FOR WORKERS, PEDESTRIANS, ANY THIRD PARTY AND ABUTTING PROPERTIES.

11. THE CONTRACTOR IS RESPONSIBLE FOR ALL "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING OR PROPOSED STRUCTURES (INCLUDING BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC) AND ANY OTHER IMPROVEMENTS THAT ARE TO REMAIN AND SHALL BEAR ANY AND ALL COSTS THAT MAY BE ASSOCIATED WITH SAME. IF ANY EXISTING STRUCTURES THAT ARE TO REMAIN ARE DAMAGED DURING DEMOLITIONS, REPAIRS SHALL BE MADE USING NEW PRODUCT/MATERIALS RESULTING IN A PRE-DEMOLITION CONDITION, OR BETTER. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND TO NOTIFY THE OWNER AND THE CONSTRUCTION MANAGER PRIOR TO THE START OF CONSTRUCTION
12. ALL CONCRETE MUST BE AIR ENTRAINED WITH A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS UNLESS OTHERWISE SPECIFIED ON THE PLANS, DETAILS AND/OR GEOTECHNICAL REPORT.
13. DESIGN PROFESSIONALS HAS NO RESPONSIBILITY REGARDING JOB SAFETY AND/OR OVERSIGHT/SUPERVISION, OR ANYTHING RELATED TO SAME, LEGALLY NOR CONTRACTUALLY. DESIGN PROFESSIONALS IS NOT RESPONSIBLY TO IDENTIFY OR REPORT ANY JOB SITE SAFETY ISSUES, AT ANY TIME.
14. DESIGN PROFESSIONALS WILL REVIEW CONTRACTOR SUBMITTALS WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE SOLE PURPOSE OF CHECKING FOR CONFORMANCE WITH THE INTENT OF THE DESIGN AND CONTRACT DOCUMENTS. DESIGN PROFESSIONAL INC IS NOT RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS UNLESS CONTRACTOR RECEIVED EXPLICIT DIRECTION TO DO SO, IN WRITING, FROM DESIGN PROFESSIONALS INC.
15. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING A TRAFFIC PROTECTION PLAN FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL EITHER ON AND/OR OFFSITE. THE COST ASSOCIATED WITH SAID PLAN SHALL BE INCLUDED IN THE BASE BID/CONTRACT COST.
16. ALL ONSITE AND OFFSITE SIGNAGE AND SIGNING AND PAVEMENT MARKINGS SHALL CONFORM TO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES OR LOCAL APPLICABLE REQUIREMENTS.
17. ALL DIMENSIONS ARE TO FACE OF CURB, EDGE OF PAVEMENT, OR EDGE OF BUILDING, UNLESS NOTED OTHERWISE.
18. THE CONTRACTOR SHALL INSTALL AND/OR CONSTRUCT ALL ASPECTS OF THE PROJECT IN STRICT COMPLIANCE WITH AND ACCORDANCE WITH MANUFACTURER'S INSTALLATION STANDARDS, RECOMMENDATIONS AND SPECIFICATIONS.
19. MAINTENANCE & PROTECTION OF TRAFFIC IS ACCORDING TO THE CT DOT UNIFORM TRAFFIC MANUAL.

AMERICANS WITH DISABILITY ACT NOTES TO CONTRACTOR

THE CONTRACTOR SHALL REVIEW THE PROPOSED CONSTRUCTION WITH THE LOCAL BUILDING OFFICIAL PRIOR TO THE START OF CONSTRUCTION. CONTRACTORS SHALL BE PRECISE IN THE CONSTRUCTION OF AMERICANS WITH DISABILITIES ACT (ADA) ACCESSIBLE PARKING, COMPONENTS AND ACCESS ROUTES FOR THE PROJECT. THESE COMPONENTS SHALL COMPLY WITH ALL APPLICABLE STATE AND LOCAL ACCESSIBILITY LAWS AND REGULATIONS AND THE CURRENT ADA REGULATIONS AND CONSTRUCTION STANDARDS. THESE COMPONENTS INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:

- PARKING SPACES AND PARKING AISLES SHALL NOT EXCEED A 1:50 (1/4" PER FOOT OR NOMINALLY 2.0%) SLOPE IN ANY DIRECTION.
- CURB RAMPS- SHALL NOT EXCEED A 1:12 (8.3%) SLOPE FOR A MAXIMUM LENGTH OF SIX (6) FEET.
- RAMPS SHALL BE EQUIPPED WITH LANDINGS AT EACH END, SHALL NOT EXCEED 1:50 (2.0%) IN ANY DIRECTION AND HAVE POSITIVE DRAINAGE AWAY FOR THE LANDING.
- ACCESSIBLE ROUTES SHALL BE A MINIMUM OF 36" WIDE (UNOBSTRUCTED). HANDRAILS AND CAR OVERHANGS MAY NOT OBSTRUCT THESE AREAS. LONGITUDINAL SLOPES (DIRECTION OF TRAVEL) SHALL NOT EXCEED 1:20 (5.0%) AND SHALL HAVE A CROSS SLOPE NO GREATER THAN 1:50 (2.0%).
- ACCESSIBLE ROUTES EXCEEDING 1:20 (5.0%) SHALL BE CONSIDERED A RAMP. MAXIMUM SLOPES OF A RAMP SHALL BE 1:12 (8.3%) IN THE DIRECTION OF TRAVEL, AND A CROSS SLOPE OF 1:50 (2.0%). RAMPS SHALL HAVE MAXIMUM RISE OF 2.5 FEET, SHALL BE EQUIPPED WITH HAND RAILS AND LANDINGS AT THE TOPS AND BOTTOM OF THE RAMP. LANDINGS SHALL NOT EXCEED 1:50 (2.0%) IN ANY DIRECTION AND HAVE POSITIVE DRAINAGE AWAY FOR THE LANDING.
- A LANDING SHALL BE PROVIDED AT THE EXTERIOR OF ALL DOORS. LANDINGS SHALL NOT EXCEED 1:50 (2.0%) IN ANY DIRECTION AND HAVE POSITIVE DRAINAGE AWAY FOR THE LANDING. THE LANDING SHALL BE NO LESS THAN 60 INCHES LONG UNLESS PERMITTED OTHERWISE PER THE ADA REGULATIONS

THE CONTRACTOR SHALL VERIFY ALL EXISTING ELEVATIONS SHOWN ON THE PLAN IN AREAS OF EXISTING DOORWAYS, ACCESSIBLE ROUTES OR OTHER AREAS WHERE RE-CONSTRUCTION IS PROPOSED. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER OF ANY FIELD CONDITIONS THAT DIFFER IN ANY MANNER FROM WHAT IS SHOWN ON THE PLANS, IN WRITING, BEFORE COMMENCEMENT OF WORK

LEGEND		
EXISTING	DESCRIPTION	PROPOSED
BORINGS		
COMMUNICATION		
CONTROL POINTS		
DOMESTIC WATER		
LIQUID FUEL		
IRRIGATION		
LIGHTING		
NATURAL GAS		
POWER		
PROPERTY		
ROADS		
EROSION CONTROL		
SITE FEATURES		
SANITARY SEWER		
STORM SEWER		
TOPOGRAPHY		
WETLANDS		

PROJECT NO. 1527
DATE 03-10-2017
DESIGN BY JAB
CHECK BY JAB

Prepared for:
Corneau Limited Partnership
164 School Street
East Hartford, CT

UNITED STEEL, INC
164 SCHOOL STREET
MAP 37 LOT 245
EAST HARTFORD, CT
SITE PLAN MODIFICATION

REVISIONS

NOTES SHEET

SHEET C-N1
SHEET 2 OF 9

21 EREBY DRIVE
PO BOX 167
SOUTH WINDSOR, CT 06094
860-291-8255
www.designprofessionals.com

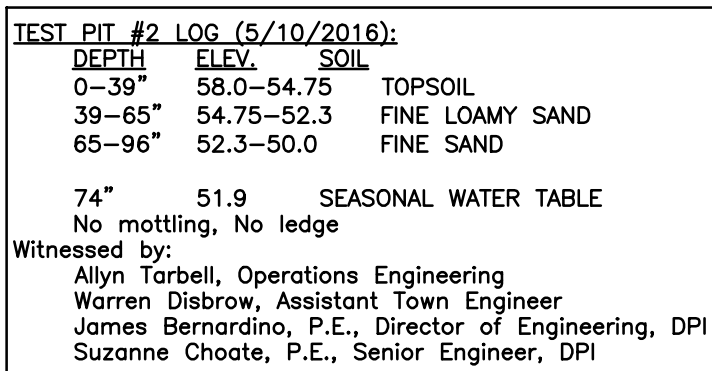
Design Professionals
CIVIL & TRAFFIC ENGINEERS / PLANNERS / SURVEYORS
GIS ANALYSTS / LANDSCAPE ARCHITECTS

The plan is void unless it bears the seal of a duly licensed and registered Professional Engineer and is signed and sealed by the Professional Engineer who prepared the plan.

Any alteration or modification to the plan must be made by the Professional Engineer who prepared the plan, and the plan must be resealed and reissued.

Any use of the plan for any purpose other than that for which it was prepared is prohibited.

Any use of the plan for any purpose other than that for which it was prepared is prohibited.



NOTES:
(1) EXISTING PREVIOUSLY APPROVED CONDITIONS.
(2) 5,346± S.F. OFFICE ADDITION.
PARKING REQUIREMENTS FOR OFFICE = 1 SP / 250 S.F. GROSS FLOOR AREA.
TOTAL OF 20 ADDITIONAL PARKING SPACES REQUIRED.
41 PARKING SPACES PROPOSED

EXISTING PARKING 129 SPACES (INCLUDES 4 HANDICAP SPACES)
PROPOSED PARKING 170 SPACES (6 HANDICAP SPACES PROVIDED)

SEE SHEET #2 FOR LEGEND:

REFERENCES:

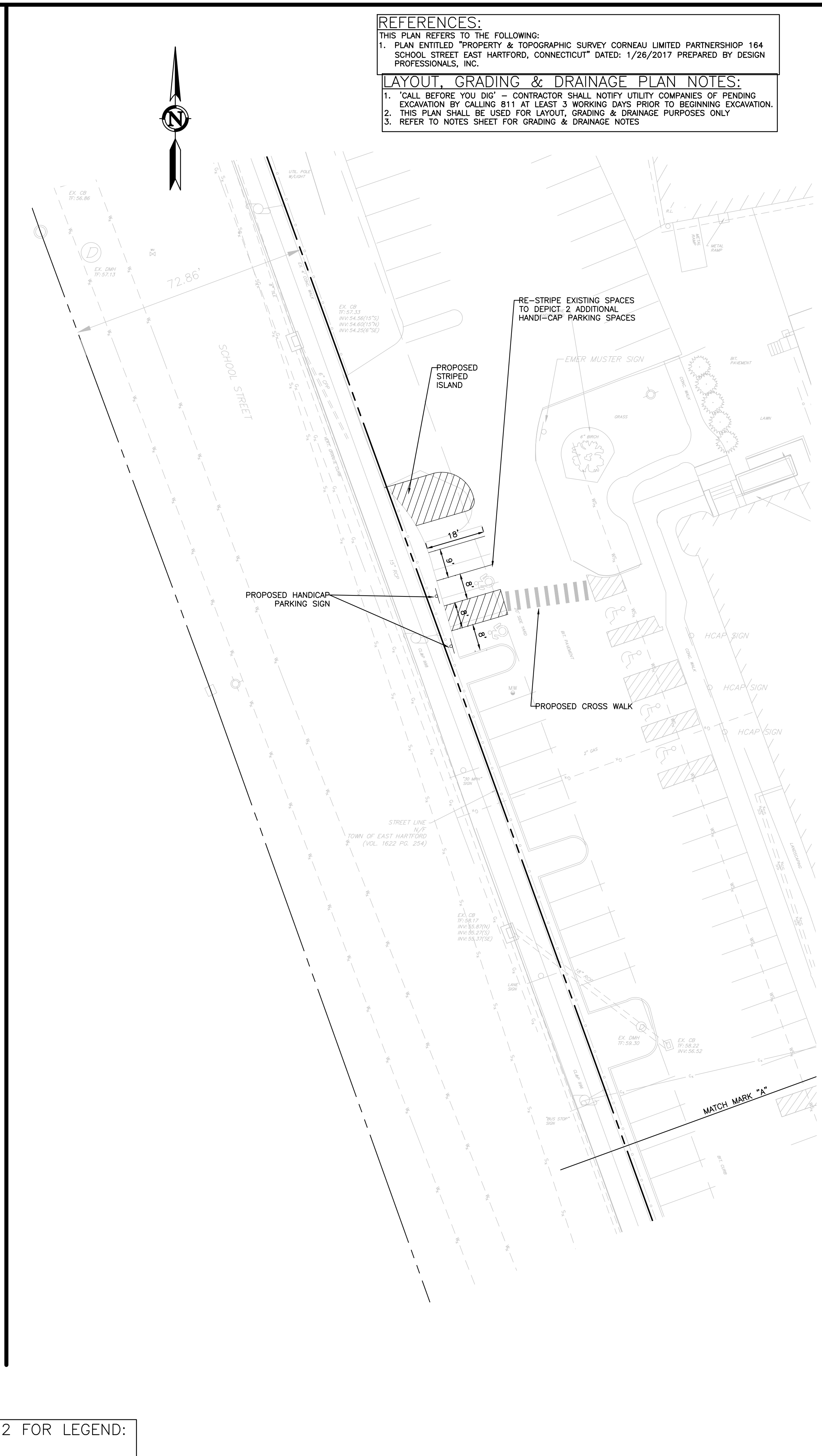
THIS PLAN REFERS TO THE FOLLOWING:

1. PLAN ENTITLED "PROPERTY & TOPOGRAPHIC SURVEY CORNEAU LIMITED PARTNERSHIP 164 SCHOOL STREET EAST HARTFORD, CONNECTICUT" DATED: 1/26/2017 PREPARED BY DESIGN PROFESSIONALS, INC.

LAYOUT, GRADING & DRAINAGE PLAN NOTES:

1. "CALL BEFORE YOU DIG" - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION BY CALLING 811 AT LEAST 3 WORKING DAYS PRIOR TO BEGINNING EXCAVATION.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR LAYOUT, GRADING & DRAINAGE PURPOSES ONLY.
3. REFER TO NOTES SHEET GRADING & DRAINAGE NOTES

[illegible]



NOTES:
(1) EXISTING PREVIOUSLY APPROVED CONDITIONS.
(2) 3.346± S.F. OFFICE ADDITION.
PARKING REQUIREMENTS FOR OFFICE = 1 SP / 250 S.F. GROSS FLOOR AREA.
TOTAL OF 20 ADDITIONAL PARKING SPACES REQUIRED.
41 PARKING SPACES PROPOSED
EXISTING PARKING 129 SPACES (INCLUDES 4 HANDICAP SPACES)
PROPOSED PARKING 170 SPACES (6 HANDICAP SPACES PROVIDED)

REFERENCES:

THIS PLAN REFERS TO THE FOLLOWING:

1. PLAN ENTITLED "PROPERTY & TOPOGRAPHIC SURVEY CORNEAL LIMITED PARTNERSHIP# 164 SCHOOL STREET EAST HARTFORD, CONNECTICUT" DATED: 1/26/2017 PREPARED BY DESIGN PROFESSIONALS, INC.

LAYOUT, GRADING & DRAINAGE PLAN NOTES:

1. 'CALL BEFORE YOU DIG' - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION BY CALLING 811 AT LEAST 3 WORKING DAYS PRIOR TO BEGINNING EXCAVATION.
2. THIS PLAN SHALL BE USED FOR LAYOUT, GRADING & DRAINAGE PURPOSES ONLY.
3. REFER TO NOTES SHEET FOR GRADING & DRAINAGE NOTES

[illegible]



REFERENCES:
THIS PLAN REFERS TO THE FOLLOWING:
1. PLAN ENTITLED "PROPERTY & TOPOGRAPHIC SURVEY CORNEAU LIMITED PARTNERSHIP 164 SCHOOL STREET EAST HARTFORD, CONNECTICUT" DATED: 1/26/2017 PREPARED BY DESIGN PROFESSIONALS, INC.

LAYOUT, GRADING & DRAINAGE PLAN NOTES:
1. "CALL BEFORE YOU DIG" - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION BY CALLING 811 AT LEAST 3 WORKING DAYS PRIOR TO BEGINNING EXCAVATION.
2. THIS PLAN SHALL BE USED FOR LAYOUT, GRADING & DRAINAGE PURPOSES ONLY
3. REFER TO NOTES SHEET FOR GRADING & DRAINAGE NOTES

WETLAND NOTE:
WETLANDS DEPICTED HEREON ARE AS FIELD DELINEATED BY SOIL SCIENTIST THOMAS PIETRAS ON 2-5-2017 AND FIELD LOCATED BY DESIGN PROFESSIONALS INC.
NO WETLANDS OR REGULATED AREA ARE DEPICTED ON SITE PER TOWN OF EAST HARTFORD WETLANDS MAPS #6 & #7.

#1257
United Steel
2-17-2017
Witnessed by Barry Clarke from
Design Professionals Inc. and Allen
Tarbell Town of East Hartford

Test pit #3 (elev. 59.5')
0" - 2" Topsoil / leaf litter
2" - 20" Brown gravelly sand
20" - 26" Dark brown sandy loam
26" - 68" Light brown sand
Mottling at 26"
Root to 6"
Water at 68"

Percolation test
39" deep
Presoak 9:30 water depth 17" from
bottom

10:09 18.5"
10:13 17"
10:20 15.5"
10:25 14.5"
10:40 11.75"
10:50 10.5"
11:00 9.25"
11:10 8"
11:20 7"
Perc. Rate 10 min./inch

ZONING TABLE			
ZONE: I-3 (INDUSTRY 3 ZONE)			
ITEM	REQUIRED/ ALLOWED	EXISTING	PROPOSED
LOT AREA	40,000 S.F.	923,257 S.F.	923,257 S.F.
FRONT YARD	25'	25.7'	25.7'
SIDE YARD	10' MIN. 25' AGGREGATE 20' ALONG SCHOOL ST.	78.6'	78.6'
REAR YARD	25'	20.2'	20.2'
BUILDING HEIGHT	100'	<100'	<100'
PARKING		129 (1)	170 (2)
BUILDING COVERAGE	75%	16%	16.6%
IMPERVIOUS COVERAGE	85%	56.7%	57.2%

NOTES:
(1) EXISTING PREVIOUSLY APPROVED CONDITIONS.
(2) 5,346± S.F. OFFICE ADDITION.
PARKING REQUIREMENTS FOR OFFICE = 1 SP / 250 S.F. GROSS FLOOR AREA.
TOTAL OF 20 ADDITIONAL PARKING SPACES REQUIRED.
41 PARKING SPACES PROPOSED

EXISTING PARKING 129 SPACES (INCLUDES 4 HANDICAP SPACES)
PROPOSED PARKING 170 SPACES (6 HANDICAP SPACES PROVIDED)

SEE SHEET #2 FOR LEGEND:

UNITED STEEL, INC
164 SCHOOL STREET
MAP 37 LOT 245
EAST HARTFORD, CT
SITE PLAN MODIFICATION

NO. DATE

BY

REVISIONS

SITE PLAN

SCALE: 0 10' 20' 40'

T = 20'

SHEET

C-SP3

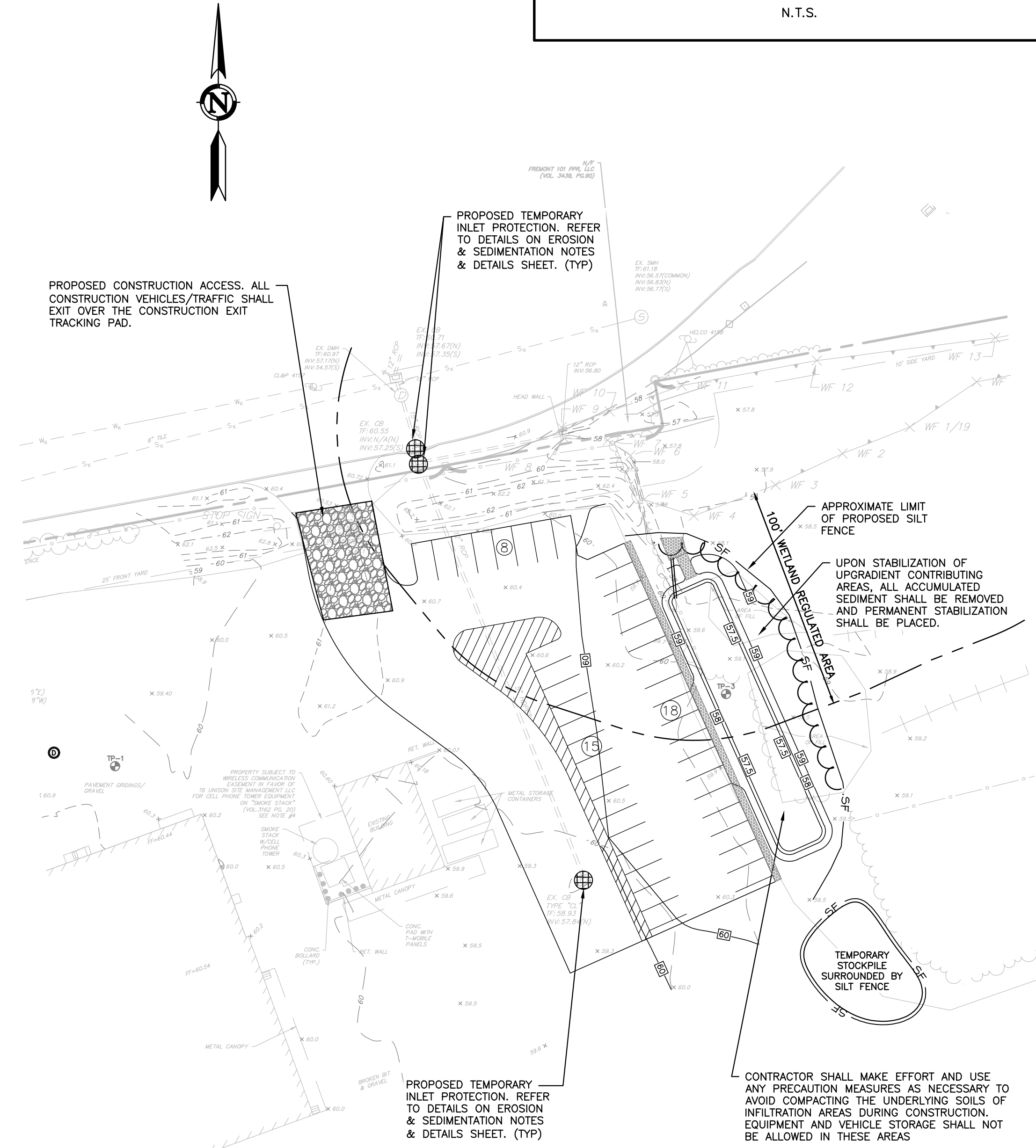
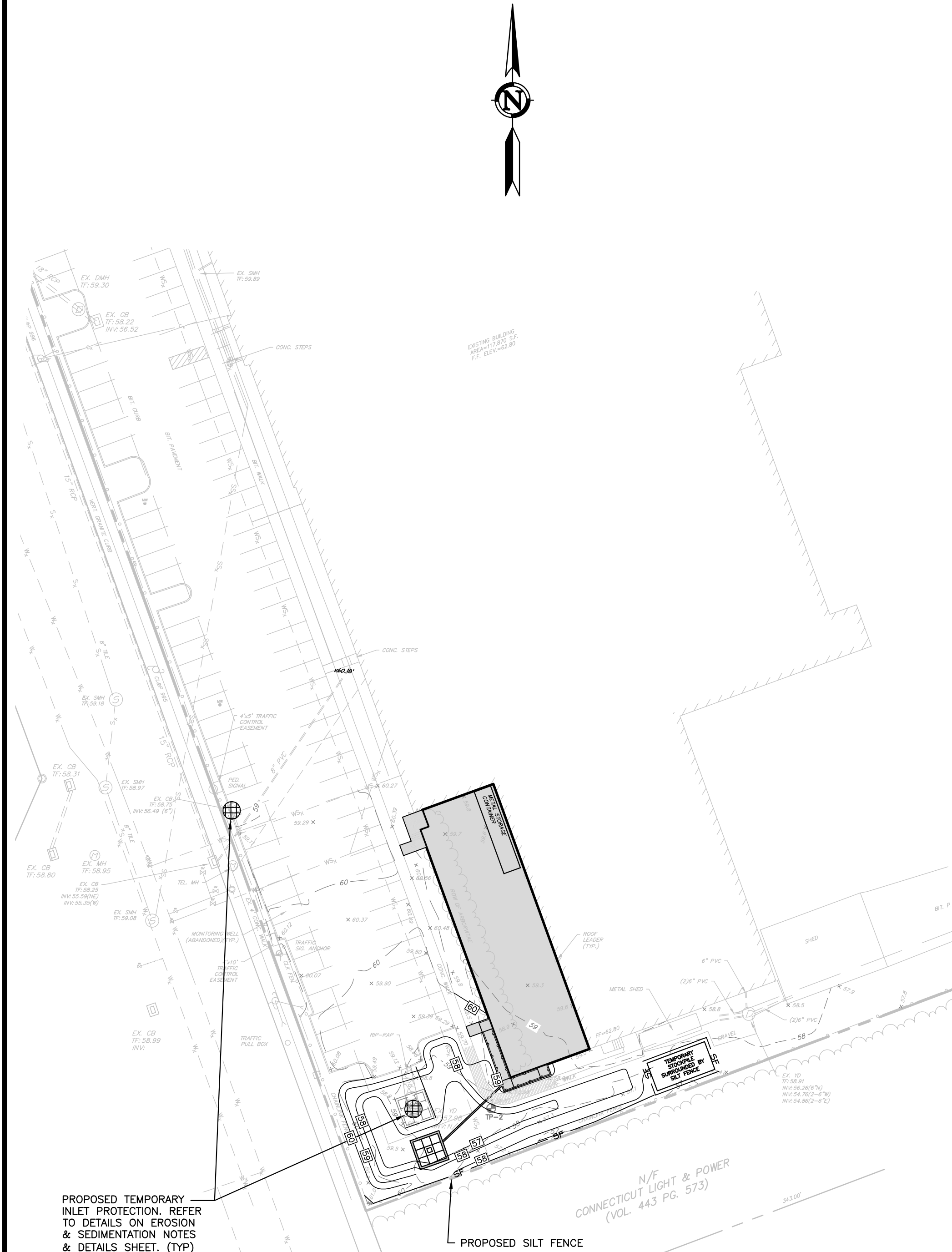
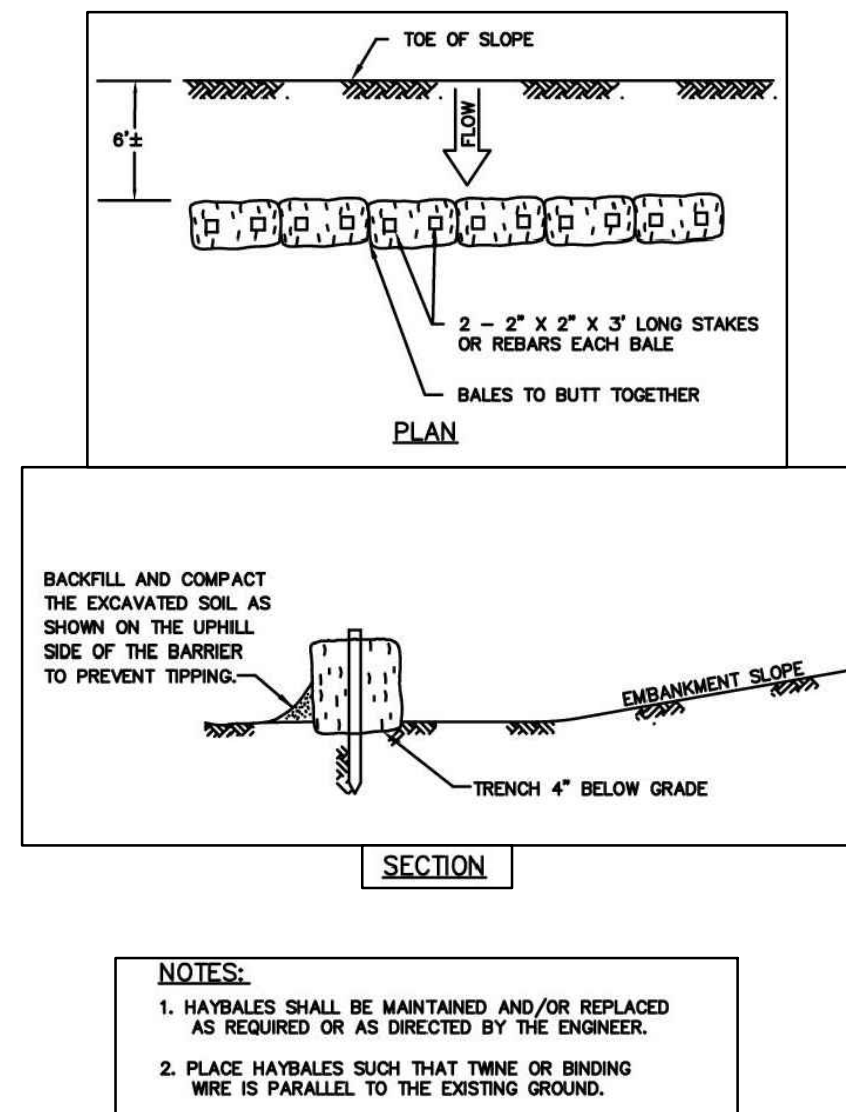
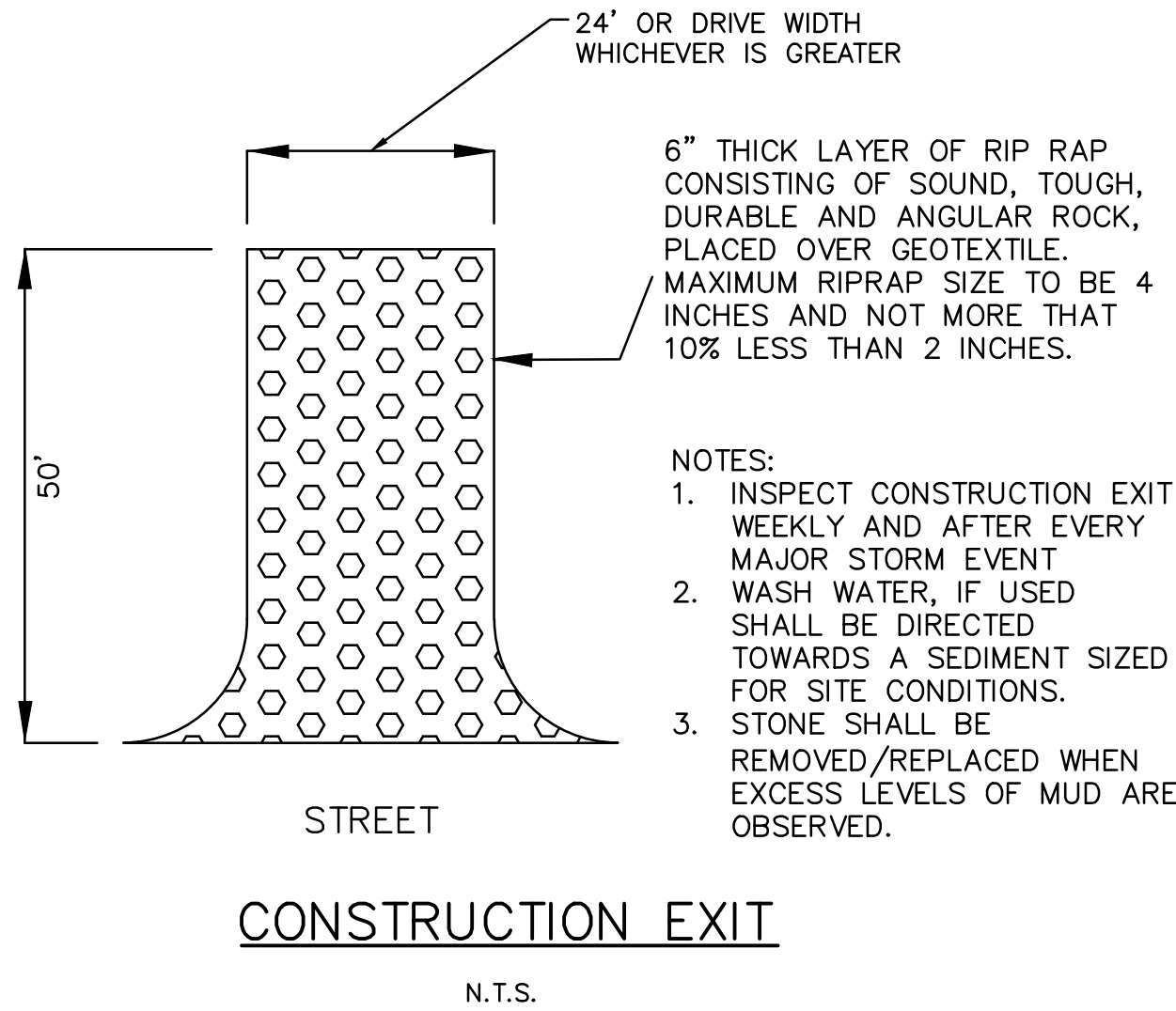
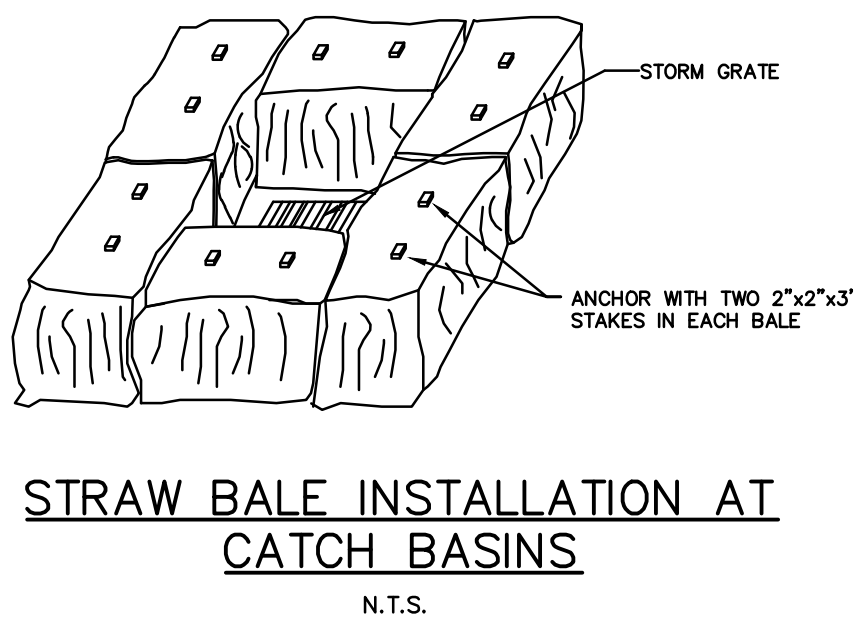
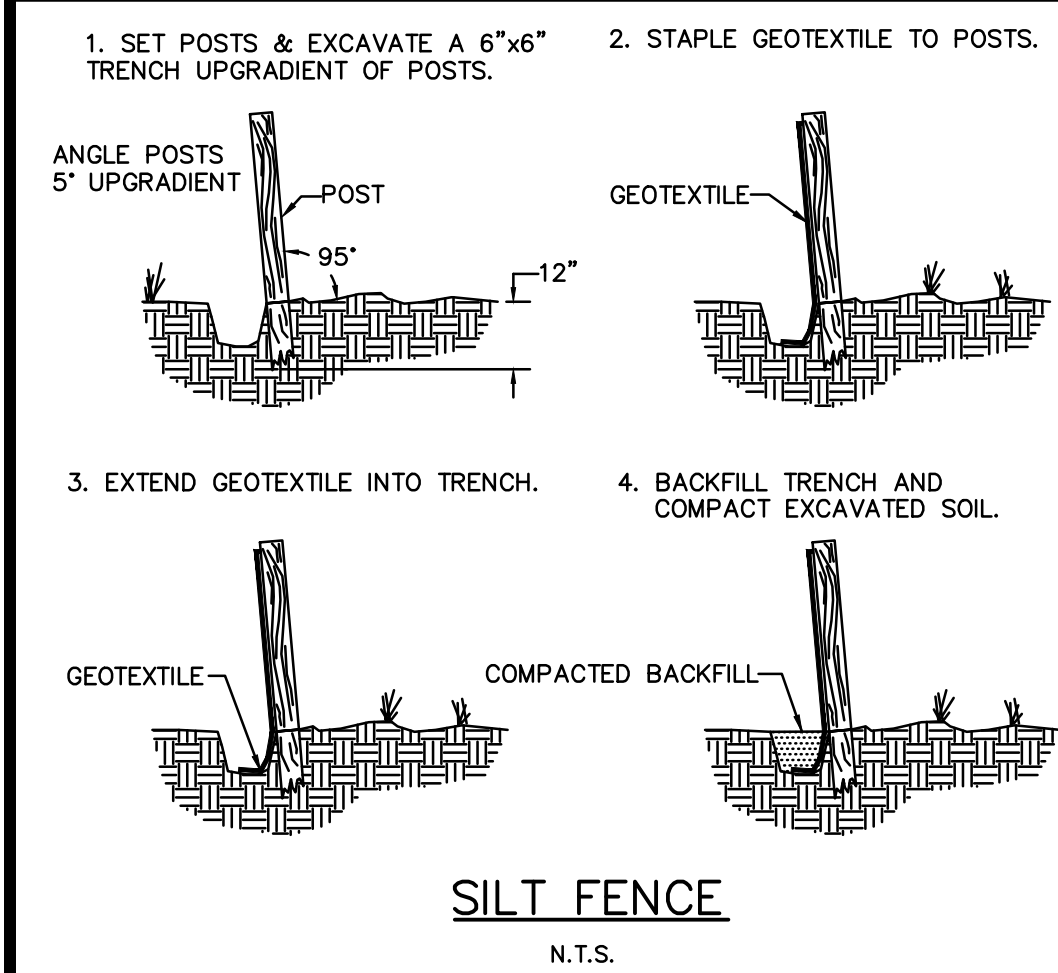
SHEET 5 OF 9

PROJECT NO. 1257
DATE 03-10-2017
DESIGN BY JAB
CHECKED BY BAC

Prepared for:
Corneau Limited Partnership
164 School Street
East Hartford, CT

21 FERREY DRIVE
PO BOX 167
SOUTH WINDSOR, CT 06094
860-291-8257
www.designprofessionals.com

Design Professionals
CIVIL & TRAFFIC ENGINEERS / PLANNERS / SURVEYORS
GIS ANALYSTS / LANDSCAPE ARCHITECTS



"The East Hartford Planning and Zoning Commission certifies that the soil-erosion and sediment-control plan complies with the requirements the Town of East Hartford regulations and the Connecticut Guidelines for Soil Erosion and Sedimentation Control dated 1985, as amended. The applicant under this plan is responsible for ensuring compliance with the plan. The Town of East Hartford shall not be held liable for improper installation, lack of maintenance, or other neglect on behalf of the applicant."

Approval Date _____

Chairman _____

- CONSTRUCTION SEQUENCE (DETENTION BASIN):**
1. INSTALL CONSTRUCTION ENTRANCE AT DRIVEWAYS OR OTHER LOCATIONS AS SHOWN ON PLANS. MAINTAIN THE CONSTRUCTION ENTRANCE IN A CONDITION WHICH WILL PREVENT TRACKING AND WASHING OF SEDIMENT ONTO ADJUTING PAVED SURFACES. ADD STONE OR INCREASE THE LENGTH AS CONDITIONS DEMAND.
 2. STAKE-OUT THE LIMITS OF CLEARING AND GRUBBING. INSTALL EROSION AND SEDIMENTATION CONTROL MEASURES AT LIMITS OF CLEARING AND GRUBBING. CONTRACTOR TO CONDUCT ALL CONSTRUCTION ACTIVITIES WITHIN LIMITS SHOWN ON PLANS.
 3. CONSTRUCT TEMPORARY SETTING BASINS, SEDIMENT TRAPS AND OTHER BEST MANAGEMENT PRACTICES AS SHOWN ON THE PLANS.
 4. REMOVE TOPSOIL FROM AREAS OF DISTURBANCE AND STOCKPILE. POSSIBLE STOCKPILE LOCATIONS ARE SHOWN ON THE SITE PLANS. HOWEVER, LOCATIONS SHALL BE DETERMINED BY CONTRACTOR WITH APPROVAL BY THE ENGINEER & LOCAL AUTHORITY HAVING JURISDICTION. RING SOIL STOCKPILES WITH A ROW OF SILT FENCE. ESTABLISH VEGETATION ON ALL DISTURBED SOIL THAT WILL REMAIN EXPOSED FOR LONGER THAN 30 DAYS. REFER TO LANDSCAPE PLANS FOR TEMPORARY SEEDING REQUIREMENTS.
 5. CREATE TEMPORARY DIVERSION SWALES AS REQUIRED.
 6. ANY DEWATERING ACTIVITIES SHALL BE PUMPED TO TEMPORARY SEDIMENTATION BASINS AT THE TOP OF THE SLOPE. PUMPED DISCHARGE MUST UTILIZE SILT-SAC OR APPROVED EQUAL. MONITOR TO ENSURE DISCHARGE FROM BASIN IS NOT CAUSING EROSION DOWNSTREAM.
 7. INSTALL STORM DRAINAGE SYSTEM. PROTECT CATCHBASINS AND CULVERT INLETS/OUTLETS WITH HAYBALES AND FILTER FABRIC AS SHOWN IN THE DETAILS. I
 8. INSTALL PAVEMENT, SIDEWALKS, CURBING, TOPSOIL, GRASS SEED, AND MULCH. .
 9. MINOR ADJUSTMENTS TO THE EXCAVATION LIMITS MAY BE WARRANTED WITH APPROVAL OF LOCAL AUTHORITY HAVING JURISDICTION TO ALLOW FOR PRESERVATION OF EXISTING VEGETATION.
 10. ALL EROSION CONTROL DEVICES SHALL REMAIN FUNCTIONAL AND IN PLACE THROUGHOUT THE CONSTRUCTION EFFORT UNTIL THE SITE IS FULLY STABILIZED WITH VEGETATION.
- STORM DRAINAGE SYSTEM MAINTENANCE AND OPERATION:**
- THE FOLLOWING MAINTENANCE SHALL BE REQUIRED TO ENSURE EFFICIENT OPERATION OF THE STORM DRAINAGE SYSTEM DETENTION BASIN AND/OR UNDERGROUND BASINS. THE MAINTENANCE SCHEDULE IS INTENDED TO BE A GUIDE. AN INSPECTION OF ALL STORM DRAINAGE COMPONENTS IS REQUIRED FOLLOWING LARGE STORM EVENTS (0.5 INCHES OR GREATER) THAT COULD CAUSE THE DEPOSITION OF EXCESS DEBRIS.
- PIPE OUTLET LOCATIONS: PIPE OUTLETS SHALL BE INSPECTED ANNUALLY AND CLEANED OF SILT AND/OR DEBRIS. RIPRAP SHALL BE RE-SHAPED AND REPLENISHED AS REQUIRED.
- CATCHBASINS: SHALL BE INSPECTED ANNUALLY AND SUMPS CLEANED WHEN DEPTH OF MATERIAL REACHES TWELVE INCHES.
- PAVEMENT SWEEPING: PAVEMENT AREAS SHALL BE SWEEPED AT LEAST TWICE PER YEAR. ONCE IN THE SPRING SHORTLY AFTER THE END OF THE SNOW SEASON, AND IN THE FALL AFTER THE LEAVES HAVE FALLEN. DURING CONSTRUCTION KEEP PAVEMENT FREE OF SEDIMENTS TO REDUCE THE TRANSFER OF SEDIMENTS OFFSITE.
- INFILTRATION BASINS/LOW POINTS ON SITE: SHALL BE INSPECTED BIANNUALLY. ALL LARGE WOODY NON LANDSCAPE GROWTH THAT MAY AFFECT THE FLOW OF WATER OR THE STABILITY OF THE BASIN SHALL BE REMOVED. RIPRAP SHALL BE RE-ARRANGED AND ADDED TO AS REQUIRED. ANY EROSION OR OTHER PROBLEMS THAT MAY AFFECT THE PROPER OPERATION OF THE BASIN SHALL BE REPAIRED PROMPTLY.
- UNDERGROUND DETENTION/INFILTRATION SYSTEM: SHALL BE INSPECTED BI-ANNUALLY. REFER TO MANUFACTURING MAINTENANCE REQUIREMENTS.
- EROSION & SEDIMENTATION CONTROL MAINTENANCE AND INSPECTION PROGRAM (WEEKLY CONSTRUCTION REPORTS):**
- PER RECOMMENDATIONS MADE IN THE 2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENTATION CONTROL PLAN, THE CONTRACTOR SHALL MAINTAIN WEEKLY REPORTS ON THE CONDITION OF ALL EROSION CONTROL MEASURES AND MAKE THEM AVAILABLE UPON REQUEST OF OWNER, LOCAL AUTHORITY HAVING JURISDICTION, OR ENGINEER. IN THE EVENT OF A MAJOR RAINSTORM, (0.5 INCHES OR GRATER) REPORTS SHALL BE PREPARED WITHIN 24 HOURS OF SAID EVENT.
- EROSION & SEDIMENTATION CONTROL NARRATIVE**
11. PRIOR TO THE START OF CONSTRUCTION, ALL EROSION CONTROL DEVICES SHALL BE INSTALLED IN CONFORMANCE WITH THESE PLANS.
 12. CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTATION OF ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHOWN ON THESE PLANS. THIS RESPONSIBILITY INCLUDES IMPLEMENTATION AS WELL AS MAINTENANCE. ANY PROPOSED CHANGES TO THIS PLAN MUST BE APPROVED BY THE ENGINEER AND/OR THE LOCAL AUTHORITY HAVING JURISDICTION.
 13. CONSTRUCTION ENTRANCE SHALL BE INSPECTED REGULARLY TO ENSURE PROPER OPERATION. STONE SHALL BE ADDED OR REPLACED AS REQUIRED.
 14. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ADJACENT ROADWAYS, (BOTH PUBLIC & COMPLETED PORTIONS OF THE PROJECT) FREE FROM ACCUMULATED DUST AND DIRT. STREETS SHALL BE SWEEPED CLEAN AT ALL TIMES.
 15. AREAS TO BE LEFT BARE FOR MORE THAN 30 DAYS SHALL BE TREATED WITH AIR DRIED WOOD CHIP MULCH OR SEEDED WITH PERENNIAL RYE-GRASS UNTIL FINAL GRADING AND STABILIZATION TAKES PLACE.
 16. ALL DISTURBED SLOPES EXCEEDING A 3:1 SLOPE SHALL IMMEDIATELY RECEIVE MULCH AND TEMPORARY SEEDING IN ACCORDANCE WITH THE FOLLOWING APPLICATION RATES:
- | | |
|--------------------|------------------|
| MULCH: | RATE: |
| STRAW | 90# / 1000 S.F. |
| TEMPORARY SEEDING: | RATE: |
| PERENNIAL RYEGRASS | 1.0# / 1000 S.F. |
17. CONTRACTOR SHALL CLEAN CATCHBASIN SUMPS, DIVERSION SWALES, & TEMPORARY SETTLING SUMPS AS REQUIRED DURING CONSTRUCTION.
 18. DURING EARTHWORK OPERATIONS, CONTRACTOR SHALL MANAGE STORMWATER RUNOFF SO THAT NO DIRECT DISCHARGE OF RUNOFF THAT CONTAINS SUSPENDED PARTICLES, FLOWS INTO RECEIVING WATERS. RUNOFF SHALL BE DIRECTED INTO TEMPORARY SEDIMENT SUMPS AND TREATED.
 19. AT NO TIME DURING THE CONSTRUCTION EFFORT SHALL THERE BE ANY OPEN AND DISTURBED AREA GREATER THAN 5 ACRES WITHOUT SILT FENCE PERIMETER OF SET AREA.
 20. AFTER ALL SITE WORK IS COMPLETED, INCLUDING THE SPREADING OF TOPSOIL AND SEEDING, THE CONTRACTOR SHALL CLEAN ANY SILT OR DEBRIS FROM ALL STORM DRAINAGE STRUCTURES AND CULVERTS.
 21. AT ALL TIMES DURING THE CONSTRUCTION EFFORT, THE CONTRACTOR SHALL HAVE AVAILABLE THE APPROPRIATE EQUIPMENT FOR WATER APPLICATION FOR THE PURPOSES OF ALLAYING DUST. APPLY WATER, SUITABLE MATERIALS, OR COVERS TO MATERIAL STOCKPILES AND OTHER SURFACES THAT CAN GIVE RISE TO AIRBORNE PARTICULATE MATTER. COVER, WHILE IN MOTION, OPEN-BODIED TRUCKS OR OPEN-BODIED TRAILERS. MINIMIZE THE VOLUME OF WATER SPRAYED FOR CONTROLLING DUST AS TO PREVENT THE RUNOFF OF WATER. NO DISCHARGE OF DUST CONTROL WATER SHALL CONTAIN OR CAUSE A VISIBLE OIL SHEEN, FLOATING SOLIDS, VISIBLE DISCOLORATION, OR FOAMING IN THE RECEIVING STREAM.
 22. THE DEVELOPER SHALL ENSURE THAT CONSTRUCTION ACTIVITIES COMPLY WITH THE NOISE ORDINANCES OF THE AUTHORITY HAVING JURISDICTION.
 23. THE CONTRACTOR SHALL EXCAVATE A PIT TO BE DESIGNATED AS A WASHOUT AREA FOR CONCRETE, PAINT, AND OTHER MATERIALS. THIS AREA SHALL BE CLEARLY FLAGGED AND CONSTRUCTED TO BE ENTIRELY SELF-CONTAINED. THIS AREA SHALL BE OUTSIDE OF ANY BUFFERS AND AT LEAST 50 FEET FROM ANY STREAM, WETLAND, OR OTHER SENSITIVE SOURCE. DUMPING OF LIQUID WASTES IN STORM SEWERS IS PROHIBITED. THE WASHOUT AREA SHALL BE INSPECTED AT LEAST ONCE A WEEK TO ENSURE STRUCTURAL INTEGRITY, ADEQUATE HOLDING CAPACITY, AND TO CHECK FOR LEAKS AND OVERFLOWS. ACCUMULATED DEBRIS SHOULD BE REMOVED ONCE THE WASHOUT AREA REACHES HALF WAY FULL OR IS DEEMED NECESSARY TO AVOID OVERFLOWS. REMOVE AND DISPOSE OF HARDENED CONCRETE WASTE CONSISTENT WITH PRACTICES DEVELOPED FOR THE WASTE DISPOSAL.
 24. THE CONTRACTOR SHALL DESIGNATE A WASTE DISPOSAL AREA FOR TEMPORARY STORAGE OF MATERIALS TO BE REMOVED FROM THE SITE. THE DESIGNATED WASTE AREA SHALL BE SELECTED AS TO MINIMIZE TRUCK TRAVEL THROUGH THE SITE. THE AREA WILL NOT DRAIN DIRECTLY TO ADJACENT WETLANDS. PICKUPS SHALL BE SCHEDULED REGULARLY TO PREVENT THE CONTAINERS FROM OVERFILLING. SPILLS SHALL BE CLEANED UP IMMEDIATELY. DEFECTIVE CONTAINERS THAT MAY CAUSE LEAKS OR SPILLS WILL BE IDENTIFIED THROUGH REGULAR INSPECTION. ANY FOUND TO BE DEFECTIVE WILL BE REPAIRED OR REPLACED IMMEDIATELY. ANY STOCKPILING OF MATERIALS SHOULD BE CONFINED TO THE DESIGNATED AREA AS DEFINED BY THE CONTRACTOR.
 25. ALL CHEMICAL AND PETROLEUM PRODUCT CONTAINERS STORED ON THE SITE (EXCLUDING THOSE CONTAINED WITHIN VEHICLES AND EQUIPMENT) SHALL BE PROVIDED WITH IMPERMEABLE CONTAINMENT WHICH WILL HOLD AT LEAST 110% OF THE VOLUME OF THE LARGEST CONTAINER, OR 10% OF THE TOTAL VOLUME OF ALL CONTAINERS IN THE AREA, WHICHEVER IS LARGER, WITHOUT OVERFLOW FROM THE CONTAINMENT AREA. ALL CHEMICALS AND THEIR CONTAINERS SHALL BE STORED UNDER A ROOFED AREA EXCEPT FOR THOSE CHEMICALS STORED IN CONTAINERS OF 100 GALLON CAPACITY OR MORE, IN WHICH CASE A ROOF IS NOT REQUIRED. DOUBLE-WALLED TANKS SATISFY THIS REQUIREMENT.
 26. CONTRACTOR SHALL COORDINATE WITH THE PROPER AGENCIES FOR RELOCATION OF ANY UTILITIES OR SIGNS.
 27. IF REQUIRED, AN APPROVED EROSION CONTROL BOND SHALL BE PREPARED BEFORE THE START OF ANY CONSTRUCTION ACTIVITY.
 28. FROZEN MATERIAL SHALL NOT BE USED FOR FILL NOR SHALL FILL BE PLACED OR COMPACTED ON FROZEN GROUND.

ESTIMATED CONSTRUCTION START DATE - SPRING 2017

ESTIMATED COMPLETION DATE - FALL 2017

PROJECT CONTACT INFO:

UNITED STEEL, INC
ERNIE BABINEAU
(860) 610-4010

Prepared for:

Corneau Limited Partnership
164 School Street
East Hartford, CT

PROJECT NO.: 03-10-2017
DATE: 03-10-2017
DESIGN BY: JAB
CHECK BY: BAC
CREATED BY:

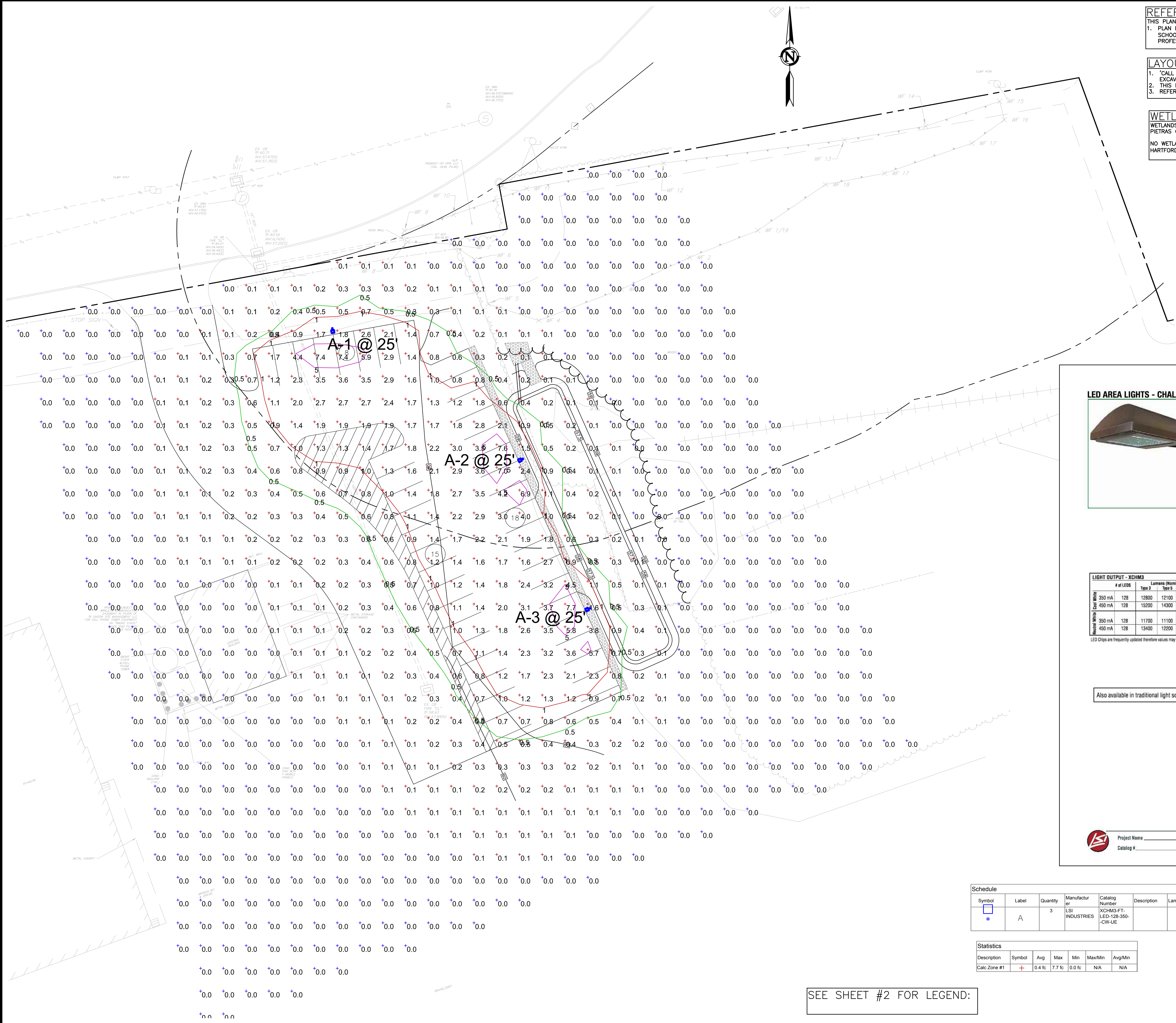
UNITED STEEL, INC
164 SCHOOL STREET
MAP 37 LOT 245
EAST HARTFORD, CT
SITE PLAN MODIFICATION

EROSION & SEDIMENTATION PLAN NOTES & DETAILS SHEET

SCALE: 0' 20' 40'

T = 40'

SHEET C-ES1 SHEET 6 OF 9



REFERENCES:
THIS PLAN REFERS TO THE FOLLOWING:
1. PLAN ENTITLED "PROPERTY & TOPOGRAPHIC SURVEY CORNEAU LIMITED PARTNERSHIP 164 SCHOOL STREET EAST HARTFORD, CONNECTICUT" DATED: 1/26/2017 PREPARED BY DESIGN PROFESSIONALS, INC.

LAYOUT, GRADING & DRAINAGE PLAN NOTES:
1. "CALL BEFORE YOU DIG" - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION BY CALLING 811 AT LEAST 3 WORKING DAYS PRIOR TO BEGINNING EXCAVATION.
2. THIS PLAN SHALL BE USED FOR LAYOUT, GRADING & DRAINAGE PURPOSES ONLY
3. REFER TO NOTES SHEET FOR GRADING & DRAINAGE NOTES

WETLAND NOTE:
WETLANDS DEPICTED HEREON ARE AS FIELD DELINEATED BY SOIL SCIENTIST THOMAS PIETRAS ON 2-5-2017 AND FIELD LOCATED BY DESIGN PROFESSIONALS, INC.
NO WETLANDS OR REGULATED AREA ARE DEPICTED ON SITE PER TOWN OF EAST HARTFORD WETLANDS MAPS #6 & #7.

- NOTES:
- THE LIGHT LEVELS SHOWN ON THESE PLANS (IN FOOTCANDLES) ARE APPROXIMATE AND BASED ON INFORMATION PROVIDED BY THE MANUFACTURER. CONTRACTOR SHALL MAKE ADJUSTMENTS TO LIGHT LOCATIONS IN THE FIELD TO AVOID UNDERGROUND UTILITIES. CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT PRIOR TO INSTALLING IF DEVIATION IS 5' OR MORE FROM LOCATION SHOWN ON THE PLANS.
 - LIGHT POLES AND/OR BASES SHALL BE MINIMUM 3' FROM FACE OF CURB.
 - ELECTRICAL DESIGN OF SITE LIGHTING TO BE COMPLETED BY AN ELECTRICAL ENGINEER LICENSED IN THE STATE OF CONNECTICUT (BY OTHERS).
 - LIGHT POLE BASES TO BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF CONNECTICUT AND COORDINATED WITH THE LIGHTING MANUFACTURER (BY OTHERS).

LED AREA LIGHTS - CHALLENGER® MEDIUM (XCHM3)



US patent 7828456, 8002428 and CAN 2738757 and MX patent 29631 and USRL 49679 and AUS 200832988 and US & Int'l. patents pending
SMARTTEC™ - LSI drivers feature integral sensor which reduces drive current, when ambient temperatures exceed rated temperature.
LED'S - Select high-brightness LEDs in Cool White (5000K) or Neutral White (4000K) color temperature, 70 CRI.
DISTRIBUTION/PERFORMANCE - Type 3, 5 and 7 FT. Exceptional uniformity with full cutoff creates bright environment at lower light levels. Improved backlight cutoff minimizes light trespass.
HOUSING - Radiused, rectangular-shaped, aluminum housing with stainless steel or electro-zinc plated steel mounting hardware. Fixture is IP65 rated.
OPTICAL UNIT - Clear tempered optical grade flat glass lens sealed to aluminum housing creates a sealed optical unit. Pressure stabilizing breather allows super-tight protection while preventing temperature cycling from building up internal pressures and vacuums that can stress optical unit seals. Patented integral single-blade heat sink does not trap dirt and grime, ensuring cool running performance over the life of the fixture. Two stainless steel captive fasteners allow easy access to driver. One-piece extruded EPDM gasket seals optical assembly against housing.
MOUNTING - Use with 5" traditional drilling pattern. An extruded radius 8" arm is shipped standard and compatible with all fixture mounting configurations. The fixture may also be mounted to 3"-5" round poles using the round pole plate adaptor accessory (RPP2), which must be ordered separately.
ELECTRICAL - Two-stage surge protection (including separate surge protection built into electronic driver) meets IEEE C92.41.2-2002, Location Category C. Available with universal voltage power supply 120-277VAC (IE-50/60Hz input) and 347-480VAC. Optional twistlock photocell receptacle is available. Photocell must be ordered separately.
DRIVER - Available in 350mA and 450mA drive currents. (Drive currents are factory programmed). State-of-the-art driver technology designed specifically for LSI LED light sources provides unsurpassed system efficiency. Components are fully encased in potting material for moisture resistance. Driver complies with FCC 47 CFR part 15 RF/EMI standard.
OPERATING TEMPERATURE - -40°C to +50°C (-40°F to +122°F)
FINISH - Fixtures are finished with LSI's DuraGrip® polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling.
WARRANTY - LSI LED fixtures carry a limited 5-year warranty.
PHOTOMETRICS - Please visit our web site at www.lsi-industries.com for detailed photometric data.
SHIPPING WEIGHT (in carton) - 33 lbs./5KG
LISTING - ETL listed to U.S. and Canadian safety standards. Suitable for wet locations.

LIGHT OUTPUT - XCHM3					
Lamp Wattage (Nominal)	# of LEDs	Lumens (Nominal)			Watts (Nominal)
		Type 3	Type 5	Type 7 FT.	
350 mA	128	12800	12100	13000	141
450 mA	128	15200	14300	15500	187

LED Chips are frequently updated therefore values may increase.

Also available in traditional light sources



Project Name: _____ Fixture Type: _____ 10/18/16
Catalog #: _____ © 2016 LSI INDUSTRIES INC.

Schedule									
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Light Loss Factor	Wattage
	A	3	LSI INDUSTRIES	XCHM3-FT-LED-128-350-CW-UE			1	1	143

Statistics					
Description	Symbol	Avg	Max	Min	Avg/Min
Calc Zone #1	+	0.4 fc	7.7 fc	0.0 fc	N/A

SEE SHEET #2 FOR LEGEND:

Copyright © 2016 Design Professionals, Inc. All Rights Reserved.

21 JEFFREY DRIVE
PO BOX 167
SOUTH WINDSOR, CT 06074
860-291-8757
860-291-8757
www.designprofessionals.com

Design Professionals
CIVIL & TRAFFIC ENGINEERS / PLANNERS / SURVEYORS
GIS ANALYSTS / LANDSCAPE ARCHITECTS

Prepared for:

Corneau Limited Partnership
164 School Street
East Hartford, CT

PROJECT NO.: 1057
DATE: 03-10-2017
DESIGN BY: JAC
CHECKED BY: JAC

UNITED STEEL, INC
164 SCHOOL STREET
MAP 37 LOT 245
EAST HARTFORD, CT
SITE PLAN MODIFICATION

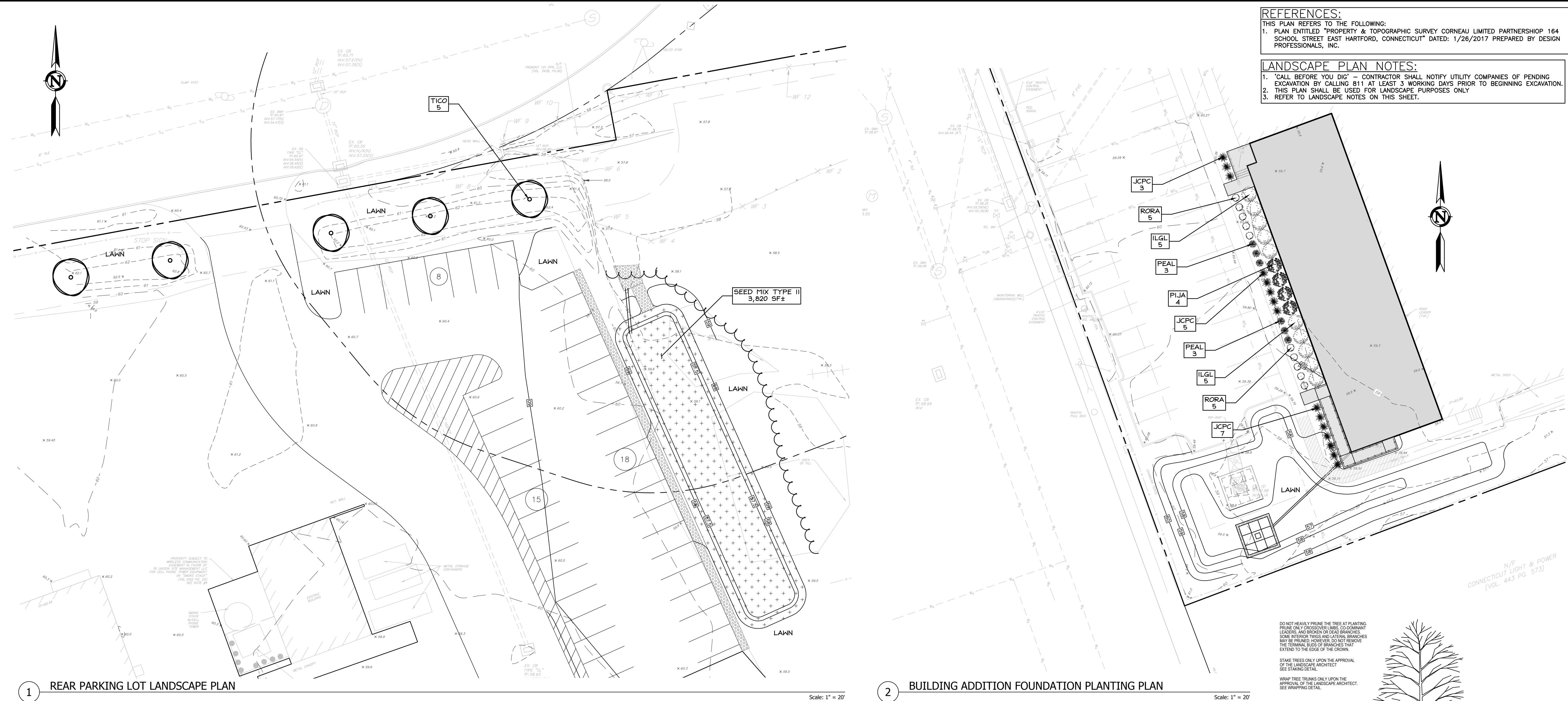
BY: _____

NO.	DATE	REVISIONS

LIGHTING PLAN

SCALE: 0' 10' 20' 40'

SHEET
C-LT1
SHEET 5 OF 9



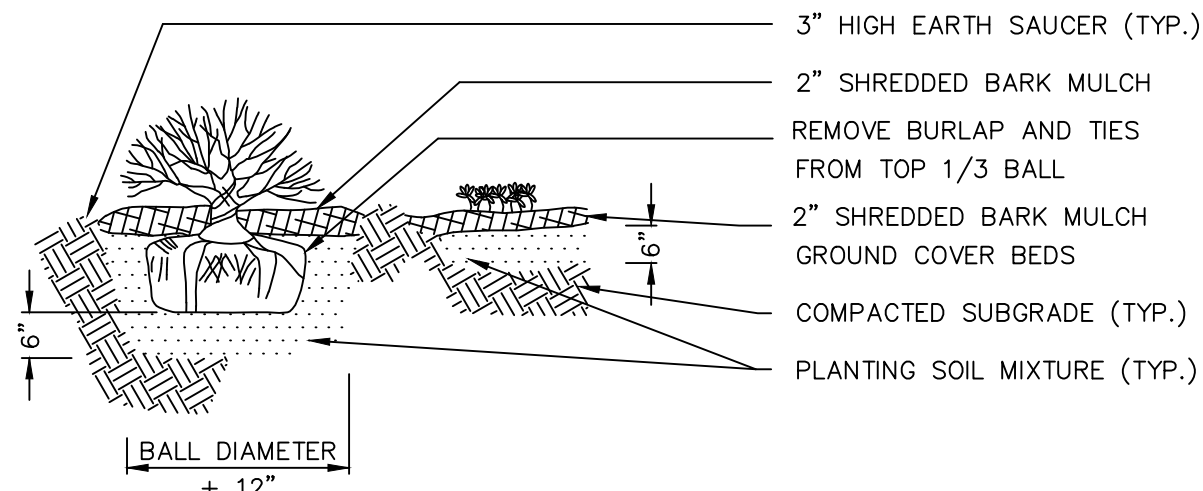
REFERENCES:
THIS PLAN REFERS TO THE FOLLOWING:
1. PLAN ENTITLED "PROPERTY & TOPOGRAPHIC SURVEY CORNEAU LIMITED PARTNERSHIP 164 SCHOOL STREET EAST HARTFORD, CONNECTICUT" DATED: 1/26/2017 PREPARED BY DESIGN PROFESSIONALS, INC.
LANDSCAPE PLAN NOTES:
1. "CALL BEFORE YOU DIG" - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION BY CALLING 811 AT LEAST 3 WORKING DAYS PRIOR TO BEGINNING EXCAVATION.
2. THIS PLAN SHALL BE USED FOR LANDSCAPE PURPOSES ONLY
3. REFER TO LANDSCAPE NOTES ON THIS SHEET.

1 REAR PARKING LOT LANDSCAPE PLAN

2 BUILDING ADDITION FOUNDATION PLANTING PLAN

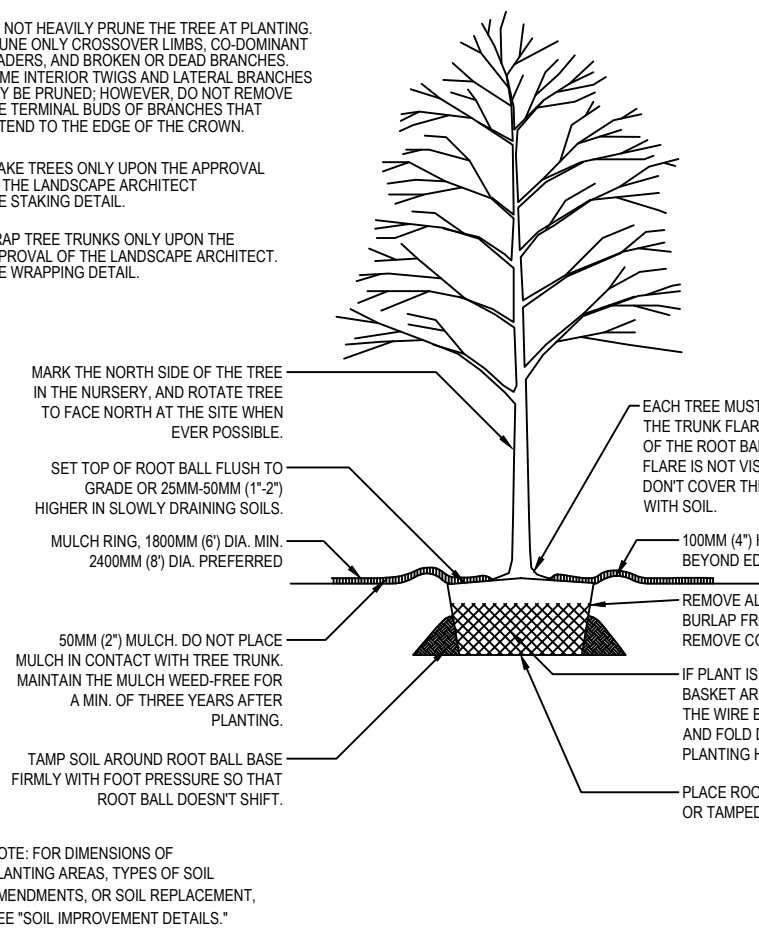
LANDSCAPE NOTES:

- ALL EXISTING TREES TO REMAIN SHALL BE SHAPED OR PRUNED WITHIN THE DEVELOPMENT AND ALONG THE PERIMETER OF CONSTRUCTION LIMIT AS REQUIRED BY OWNER'S REPRESENTATIVE.
- DEBRIS AND DEAD, UNHEALTHY EXISTING TREES AND INVASIVE SPECIES SHALL BE REMOVED FROM WETLANDS AND RESIDENTIAL LANDSCAPE BUFFER AREAS.
- ALL AREAS DESIGNATED TO BE SEEDED SHALL RECEIVE FOUR (4) INCHES OF TOPSOIL, SOIL AMENDMENTS AND MULCH, WATER AND MAINTAIN LAWN AREAS UNTIL ALL AREAS ARE STABILIZED AND ACCEPTED BY OWNER'S REPRESENTATIVE.
- LAWN GRASS SEED MIXTURE:
A. SEEDING MIXTURE TYPE II (LAWN AREAS):
BLUEGRASS BLEND (3 VARIETIES) 50% OF MIXTURE
CREeping RED FESCUE 30% OF MIXTURE
PERENNIAL RYEGRASS 20% OF MIXTURE
APPLICATION RATE: 4.50 LBS. PER 1000 S.F.
SEEDING MIXTURE TYPE II (BASEIN BOTTOM):
PERENNIAL RYEGRASS 10% OF MIXTURE
CREeping RED FESCUE 50% OF MIXTURE
ALSKIE CLOVER 5% OF MIXTURE
RED TOP TURF-TYPE TALL FESCUE 70% OF MIXTURE
APPLICATION RATE: 6.00 LBS. PER 1000 S.F.
- PLANTS - ALL PLANTS SHALL COMPLY WITH THE RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 "AMERICAN STANDARD OF NURSERY STOCK". PROVIDE PLANTS TYPICAL OF THEIR SPECIES OR VARIETY WITH NORMAL, DENSELY-DEVELOPED BRANCHES AND VIGOROUS, FIBROUS ROOT SYSTEMS. PROVIDE ONLY SOUND, HEALTHY, VIGOROUS PLANTS FREE FROM INSECT PESTS, DISEASES, AND PHYSICAL INJURY. ALL PLANTS SHALL HAVE A FULLY DEVELOPED FORM WITHOUT Voids AND OPEN SPACES.
A. "BALLED AND BURLAPPED PLANTS": DIG BALLED AND BURLAPPED PLANTS WITH FIRM, NATURAL BALLS OF EARTH OF SUFFICIENT DIAMETER AND DEPTH TO ENCOMPASS THE FIBROUS AND FEEDING ROOT SYSTEM NECESSARY FOR FULL RECOVERY OF PLANT, PROVIDE BALL SIZES COMPLYING WITH THE LATEST EDITION OF THE "AMERICAN STANDARD FOR NURSERY STOCK". CRACKED OR MUSHROOMED BALLS ARE NOT ACCEPTABLE.
B. "BARE-ROOT PLANTS": DIG WITH ADEQUATE FIBROUS ROOTS, COVERED WITH A UNIFORM THICK COATING OF MUD BY BEING PUDDLED IMMEDIATELY AFTER THEY ARE DUG, OR PACKED IN MOIST STRAW OR PEAT MOSS.
C. CONTAINER STOCK SHALL NOT BE LOOSE IN THE CONTAINER.
C.A. CONTAINER STOCK SHALL NOT BE POT BOUND.
C.B. CONTAINER STOCK SHALL BE NURSERY GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT, FOR AT LEAST ONE YEAR.
C.C. CONTAINER STOCK SHALL BE HEALTHY, VIGOROUS CONDITION FOR A PERIOD OF 1 YEAR AFTER FINAL ACCEPTANCE OF ENTIRE PROJECT INCLUDING DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM NEGLECT BY OWNER, ABUSE OR DAMAGE BY OTHERS, OR UNUSUAL PHENOMENA OR INCIDENTS WHICH ARE BEYOND CONTRACTOR'S CONTROL.
C.D. CONTRACTOR TO REMOVE AND REPLACE TREES, SHRUBS, OR OTHER PLANTS FOUND TO BE DEAD OR IN UNHEALTHY CONDITION DURING WARRANTY PERIOD AT CONTRACTOR'S EXPENSE. REMOVE TREES AND SHRUBS WHICH ARE IN DOUBTFUL CONDITION AT END OF WARRANTY PERIOD, AND EXTEND WARRANTY PERIOD FOR AN ADDITIONAL GROWING SEASON FOR THE REPLACEMENT PLANTS.
C.E. CONTRACTOR RESPONSIBLE FOR PLANTING UNDER FAVORABLE WEATHER CONDITIONS AND RECOMMENDED SEASON FOR PLANT SURVIVAL AND ESTABLISHMENT. AT OPTION OF, AND UNDER FULL RESPONSIBILITY OF CONTRACTOR, PLANTING OPERATIONS MAY BE CONDUCTED UNDER UNFAVORABLE CONDITIONS, BUT WITHOUT ADDITIONAL COMPENSATION, IF SPECIAL CONDITIONS EXIST TO REQUIRE PLANTING OUTSIDE THE ABOVE SPECIFIED DATES. THE CONTRACTOR SHALL SUBMIT IN WRITING FOR PERMISSION BY THE OWNER'S REPRESENTATIVE. ANY VARIANCE IN THE PLANTING SEASON WILL NOT AFFECT THE ONE YEAR PLANTING GUARANTEE PERIOD.
C.F. DO NOT MAKE SUBSTITUTIONS. IF SPECIFIED LANDSCAPE MATERIAL IS NOT OBTAINABLE, SUBMIT PROOF OF NON-AVAILABILITY TO OWNER TOGETHER WITH PROPOSAL FOR USE OF EQUIVALENT MATERIAL. SUBSTITUTION OF PLANTS WILL NOT BE PERMITTED UNLESS APPROVED IN WRITING BY THE OWNER.
A. ROOT TYPES MAY BE FREELY SUBSTITUTED IN THE CASE OF BALLED AND BURLAPPED, OR CONTAINER GROWN. ALL OTHER SPECIFICATIONS REMAINING UNCHANGED. BARE ROOT OR COLLECTED PLANTS ARE NOT ACCEPTABLE AS SUBSTITUTES WITHOUT RECEIPT OF A CHANGE ORDER. PROVIDE A MINIMUM OF 12" OF PLANTING SOIL MIXTURE IN ALL PLANTING BEDS.
C. PLANTING SOIL MIXTURE (BY VOLUME) SHALL BE EQUAL TO:
A. BARK MULCH 10%-12%
B. COARSE SAND 15% NECESSARY
C. CLAY LOAM TOPSOIL/AS NECESSARY
D. SOIL AMENDMENTS AS RECOMMENDED BY TESTING
E. SOIL MIXTURE SHALL CONTAIN THE ABOVE TO ACHIEVE THE FOLLOWING GRADATION RANGE:
A. GRAVEL 5% LESS THAN 10%
B. COARSE/MEDIUM SAND 55%-65%
C. FINE TO VERY FINE SAND 15%-35%
D. SILT 15%-20%
E. CLAY 15%-20%
F. SOIL AMENDMENTS:
A. LIFE SHALL BE PELLETIZED LIME MANUFACTURED TO MEET AGRICULTURAL STANDARDS AND CONTAIN A MAXIMUM OF 60% OXIDE, (I.E., CALCIUM OXIDE PLUS MAGNESIUM OXIDE).
B. FERTILIZER SHALL BE OF A FORMULA INDICATED BY THE SOIL TESTING TO ACHIEVE A MINIMUM OF ONE POUND OF NITROGEN PER 1000 S.F. OF LAWN AREA. FERTILIZER SHALL BE A MINIMUM OF 50% ORGANIC SLOW-RELEASE COMPOSITION.
C. NO SOIL AMENDMENTS OR FERTILIZER SHALL BE USED FOR AREA DISTURBED WITHIN WETLANDS OR CREATED WATER QUALITY BASINS.
D. CONTRACTOR TO HAVE FERTILIZER MATERIALS DELIVERED IN ORIGINAL, UNOPENED, AND UNDAMAGED CONTAINERS SHOWING WEIGHT, ANALYSIS, AND NAME OF MANUFACTURER STORE IN MANNER TO PREVENT WETTING AND ANALYSIS.
E. DELAY MIXING FERTILIZER IF PLANTING WILL NOT FOLLOW PLACING OF PLANTING SOIL WITHIN A FEW DAYS.
F. DAYLILIES AND PERENNIALS SHALL BE INSTALLED AT 24" O.C., UNLESS NOTED OTHERWISE. APPLY 2" OF BARK MULCH, IN AREAS OF GROUND COVER AND PERENNIALS OR OWNER SELECTED ANNUALS.
- TREES IN EXCESS OF 3" CALIPER SHALL BE SUBJECT TO INSPECTION FOR CONFORMITY TO THE SPECIFICATIONS AND APPROVAL OF LANDSCAPE ARCHITECT AT THEIR PLACE OF GROWTH AND UPON DELIVERY. WRITTEN REQUEST SHALL BE SUBMITTED 10 DAYS PRIOR.
- CONTRACTOR RESPONSIBLE TO SUBMIT CERTIFICATES OF INSPECTION AS REQUIRED BY GOVERNMENTAL AUTHORITIES. LANDSCAPE MATERIALS TO BE SHIPPED WITH CERTIFICATES OF INSPECTION REQUIRED BY GOVERNMENTAL AUTHORITIES. COMPLY WITH REGULATIONS APPLICABLE TO LANDSCAPE MATERIALS AND CONTRACTOR TO SUBMIT MANUFACTURER'S OR VENDOR'S CERTIFIED ANALYSIS FOR FERTILIZER MATERIALS.
- MOVING AND STORAGE OF PLANT MATERIALS: CONTRACTOR TO TAKE ALL PRECAUTIONS CUSTOMARY IN GOOD TRADE PRACTICE IN PREPARING PLANTS FOR MOVING. WORKMANSHIP THAT FAILS TO MEET THE HIGHEST STANDARDS WILL BE REJECTED.
- A. SPRAY DECIDUOUS PLANTS IN FOLIAGE WITH AN APPROVED ANTITRANSPIRANT IMMEDIATELY AFTER DIGGING TO PREVENT DEHYDRATION.
- B. LEGIBLY TAG PLANTS WITH BOTANICAL NAME AND SIZE IN ACCORDANCE WITH THE STANDARDS OF PRACTICE OF THE AMERICAN ASSOCIATION OF NURSERYMEN.
- C. DIG, PACK, TRANSPORT, AND HANDLE PLANTS WITH CARE TO ENSURE PROTECTION AGAINST INJURY. FULLY PROTECT PLANTS FROM DAMAGE BY SUN, WIND, DROUGHT, WATER AND OTHER INJURIOUS CONDITIONS DURING TRANSPORTATION TO SITE AND DURING TEMPORARY STORAGE BEFORE PLANTING.
- D. INSPECTION CERTIFICATES REQUIRED BY LAW SHALL ACCOMPANY EACH SHIPMENT INVOICE OR ORDER TO STOCK AND ON ARRIVAL. THE CERTIFICATE SHALL BE FILED WITH THE OWNER.
- E. NO PLANT SHALL BE BOUND WITH ROPE OR WIRE IN A MANNER THAT COULD DAMAGE OR BREAK THE BRANCHES.
- F. THE HEIGHT OF THE TREE, MEASURED FROM THE CROWN OF THE ROOTS TO THE AVERAGE HEIGHT OF THE TOP OF THE TREE, SHALL NOT BE LESS THAN THE MINIMUM SIZE DESIGNATED IN THE PLANT LIST.
- G. SHRUBS AND SMALL PLANTS SHALL MEET THE REQUIREMENTS FOR SPREAD AND HEIGHT INDICATED IN THE PLANT LIST.
- H. NO PRUNING WOUNDS SHALL BE PRESENT WITH A DIAMETER OF MORE THAN 1 INCH AND SUCH WOUNDS MUST SHOW VIGOROUS BARK ON ALL EDGES.
- I. ANTI-TRANSPIRANT: PROVIDE PROTECTIVE FILM EMBLISHING PROVIDING A PROTECTIVE FILM OVER PLANT SURFACES; PERMEABLE TO ALLOW TRANSPARATION, MIXED AND APPLIED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- J. WATER IS TO BE SUPPLIED FOR PLANTS THAT IS CLEAN, FREE FROM TOXIC AMOUNTS OF SALT, OIL, ACID ALKALI, ORGANIC MATTER OR OTHER SUBSTANCES HARMFUL TO PLANTS.
- K. CONTRACTOR TO PRUNE AND REPAIR PLANTS AS FOLLOWS:
24.A. REMOVE OR CUT BACK, BROKEN, DAMAGED, AND UNSYMMETRICAL GROWTH OF NEW WOOD.
24.B. MULTIPLE LEADER PLANTS. PRESERVE THE CENTRAL LEADER WHICH WILL BEST PROTECT THE SYMMETRY OF THE PLANT. CUT BRANCHES FLUSH WITH THE TRUNK OR MAIN BRANCH.
24.C. PRUNE NEEDLE-LEAF EVERGREEN TREES ONLY TO REMOVE BROKEN OR DAMAGED BRANCHES.
24.D. MULCH TO BE APPLIED AS FOLLOWS:
25.A. AREAS TO RECEIVE MULCH: ALL PLANT BEDS AND OTHER AREAS AS DESIGNATED ON DRAWINGS SHALL BE MULCHED.
25.B. PLACEMENT: PLACE MULCH TO REQUIRED UNIFORM DEPTH SOON AFTER PLANTING TO PREVENT DRYING OF PLANTING SOIL AROUND ROOTS.
25.C. APPLY 1" BARK MULCH TO A UNIFORM DEPTH OF 2 INCHES.
25.D. MULCH SHALL BE 6 MONTHS OLD, WELL-ROTTED, SHREDDED, NATIVE HARDWOOD BARK, NOT LARGER THAN 4" IN LENGTH AND 1/2" IN WIDTH. FREE OF WOOD CHIPS AND SAWDUST.
26. CONTRACTOR RESPONSIBLE FOR MAINTENANCE OF PLANT MATERIALS:
27. MAINTAIN PLANTINGS UNTIL FINAL ACCEPTANCE OF WORK.
28. MAINTENANCE SHALL INCLUDE PRUNING, WEEDING, WATERING, AND APPLICATION OF APPROPRIATE INSECTICIDES AND FUNGICIDES NECESSARY TO MAINTAIN PLANTS FREE OF INSECTS AND DISEASE.
29. CORRECT DEFECTIVE WORK AS SOON AS POSSIBLE AFTER DEFICIENCIES BECOME APPARENT AND WEATHER AND SEASON PERMIT.
30. WATER PLANTINGS IN A SATISFACTORY MANNER DURING AND IMMEDIATELY FOLLOWING PLANTING, TWICE PER WEEK, OR LESS UNDER WET CONDITIONS, FOR A PERIOD OF FOUR WEEKS OR UNTIL ACCEPTANCE BY OWNER, WHICHEVER IS LESSER. PROVIDE ADDITIONAL WATERING DURING EXCESSIVE DRY PERIODS DURING THE MAINTENANCE PERIOD AS DIRECTED BY THE OWNER.
31. REPLACEMENT OF PLANTS: ANY PLANTS TO BE REPLACED PRIOR TO ACCEPTANCE OF WORK, OR UNDER TERMS OF GUARANTEE SHALL BE INSTALLED FOLLOWING PROCEDURES SET FORTH ABOVE.
32. LANDSCAPE CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING CONSTRUCTION.
33. LOCATION, SUPPORT, PROTECTION AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
34. LANDSCAPE CONTRACTOR SHALL CONTACT CALL BEFORE YOU DIG 1-800-422-4455 AT LEAST TWO FULL WORKING DAYS PRIOR TO INSTALLATION.
35. LANDSCAPE CONTRACTOR TO REMOVE AND DISPOSE OF ALL CONSTRUCTION DEBRIS FROM SITE PER LOCAL GOVERNING REGULATIONS.
36. CONSTRUCTION SITE IS TO BE IN A CLEAN, ORDERLY CONDITION AT ALL TIMES.
37. ALL REQUIRED PERMITS ARE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
38. LANDSCAPE CONTRACTOR SHALL PROVIDE FINE GRADING WORK FOR THE ENTIRE PROJECT. THIS WILL INCLUDE ALL AREAS TO BE GRASSED OR LANDSCAPED. GRADING MUST PROVIDE PROPER POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS AND NOT LEAVE ANY POCKETS WHERE STANDING WATER MAY COLLECT.
39. THE LOCATION OF ALL TREES AND SHRUBS SHALL BE STAKED FOR APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.



3 SHRUB & GROUNDCOVER PLANTING DETAIL

Not to Scale



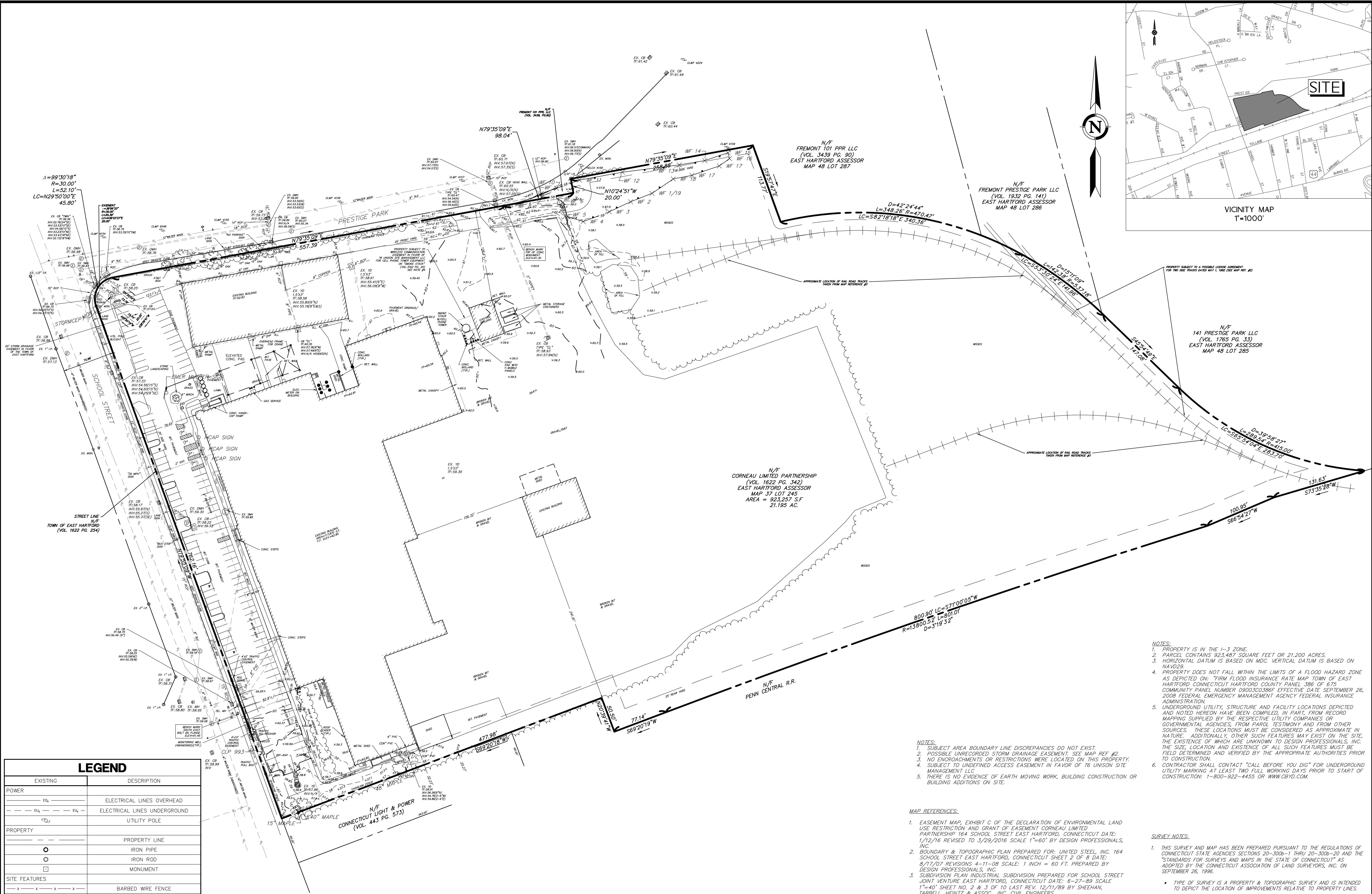
4 TREE PLANTING DETAIL

Not to Scale

LANDSCAPE PLANTING SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	TYPE	REMARKS
DECIDUOUS TREES						
TICO	5	Tilia cordata 'Greenspire'	Greenspire Littleleaf Linden	3" cal.	B&B	40' O.C.
SHRUBS						
ILGL	8	Ilex glabra	Inkberry	No. 5	CONT.	6' O.C.
JCPC	8	Juniperus chinensis 'Pfitzer Compact'	Compact Pfitzer Juniper	No. 3	CONT.	4' O.C.
PIJA	8	Pieris japonica 'Mountain Fire'	Mountain Fire Andromeda	No. 5	CONT.	6' O.C.
RORA	8	Rosa 'Radtke'	Double Knock Out Rose	No. 3	CONT.	4' O.C.
ORNAMENTAL GRASSES						
PEAL	8	Pennisetum alopecuroides 'Hameln'	Dwarf Fountain Grass	No. 2	CONT.	4' O.C.

LEGEND	
EXISTING	DESCRIPTION
POWER	
— E ₀ —	ELECTRICAL LINES OVERHEAD
— E _u —	ELECTRICAL LINES UNDERGROUND
— U ₀ —	UTILITY POLE
PROPERTY	
— P —	PROPERTY LINE
○	IRON PIPE
○	IRON ROD
□	MONUMENT
SITE FEATURES	
— x — x — x — x —	BARBED WIRE FENCE
— o — o — o — o —	CHAIN LINK FENCE
— o — o — o — o —	STOCKADE FENCE
○	TREE
— — — — —	TREE LINE
TOPOGRAPHY	
— 95 — — — —	CONTOUR
× 61.95	SPOT ELEVATION



- NOTES:
1. PROPERTY IS IN THE 1-3 ZONE.
 2. PARCEL CONTAINS 923,487 SQUARE FEET OR 21.200 ACRES.
 3. HORIZONTAL DATUM IS BASED ON MDC. VERTICAL DATUM IS BASED ON NAVD29.
 4. PROPERTY DOES NOT FALL WITHIN THE LIMITS OF A FLOOD HAZARD ZONE AS DEPICTED ON: FIRM FLOOD INSURANCE RATE MAP TOWN OF EAST HARTFORD, CONNECTICUT, HARTFORD COUNTY, PANEL 386 OF 675 COMMUNITY PANEL NUMBER 09003C0386F EFFECTIVE DATE SEPTEMBER 26, 2008 FEDERAL EMERGENCY MANAGEMENT AGENCY FEDERAL INSURANCE ADMINISTRATION.
 5. UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROL TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO DESIGN PROFESSIONALS, INC. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION.
 6. CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" FOR UNDERGROUND UTILITY MARKING AT LEAST TWO FULL WORKING DAYS PRIOR TO START OF CONSTRUCTION: 1-800-922-4455 OR WWW.CBYD.COM.
- NOTES:
1. SUBJECT AREA BOUNDARY LINE DISCREPANCIES DO NOT EXIST.
 2. POSSIBLE UNRECORDED STORM DRAINAGE EASEMENT. SEE MAP REF #2.
 3. NO ENCROACHMENTS OR RESTRICTIONS WERE LOCATED ON THIS PROPERTY.
 4. SUBJECT TO UNDERGROUND ACCESS EASEMENT IN FAVOR OF 16 UNISON SITE MANAGEMENT LLC.
 5. THERE IS NO EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS ON SITE.
- MAP REFERENCES:
1. EASEMENT MAP, EXHIBIT C OF THE DECLARATION OF ENVIRONMENTAL LAND USE RESTRICTION AND GRANT OF EASEMENT CORNEAU LIMITED PARTNERSHIP 164 SCHOOL STREET EAST HARTFORD, CONNECTICUT DATE: 1/12/16 REVISED TO 3/29/2016 SCALE 1"=60' BY DESIGN PROFESSIONALS, INC.
 2. BOUNDARY & TOPOGRAPHIC PLAN PREPARED FOR: UNITED STEEL, INC. 164 SCHOOL STREET EAST HARTFORD, CONNECTICUT DATE: 8/17/07 REVISIONS 4-11-08 SCALE: 1" INCH = 60 FT. PREPARED BY DESIGN PROFESSIONALS, INC.
 3. SUBDIVISION PLAN INDUSTRIAL SUBDIVISION PREPARED FOR SCHOOL STREET JOINT VENTURE EAST HARTFORD, CONNECTICUT DATE: 6-27-89 SCALE 1"=40' SHEET NO. 2 & 3 OF 10 LAST REV. 12/11/89 BY SHEEHAN, TARBELL, HEINTZ & ASSOC., INC. CIVIL ENGINEERS.
 4. BOUNDARY PLAN PREPARED FOR EAST HARTFORD WELDING 164 SCHOOL STREET EAST HARTFORD, CONNECTICUT DATE: 6-6-96 SCALE: 1" = 50' SHEET 1 OF 1 PREPARED BY TARBELL, HEINTZ & ASSOC., INC.
 5. PROPERTY OF L. M. BECKENSTEIN TO BE LEASED TO GENERAL ELECTRIC CORPORATION PRESTIGE PARK EAST HARTFORD, CONN. SCALE 1" = 100' JAN. 15 1962 PREPARED BY MORTON S. FINE.
- SURVEY NOTES:
1. THIS SURVEY AND MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THRU 20-300b-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.
- TYPE OF SURVEY IS A PROPERTY & TOPOGRAPHIC SURVEY AND IS INTENDED TO DEPICT THE LOCATION OF IMPROVEMENTS RELATIVE TO PROPERTY LINES.
 - THIS IS A RESURVEY BASED ON MAP REFERENCE #1.
 - HORIZONTAL ACCURACY MEETS CLASS A-2 STANDARDS AND VERTICAL ACCURACY MEETS CLASS 1-2 STANDARDS.
- TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

21 EBBEY DRIVE
P.O. BOX 1167
SOUTH WINDSOR, CT 06074
860-291-9251 - F
www.designprofessionals.com

design
Professionals
CIVIL & TRAFFIC ENGINEERS / PLANNERS / SURVEYORS
GIS ANALYSTS / LANDSCAPE ARCHITECTS

PREPARED FOR:
Corneau Limited
Partnership
164 School Street
East Hartford, CT

PROJECT NO:
1257-A
DESIGN BY:
1/26/17
DRAWN BY:
CHECKED BY:
ISC

PROPERTY &
TOPOGRAPHIC
SURVEY

NO. DATE

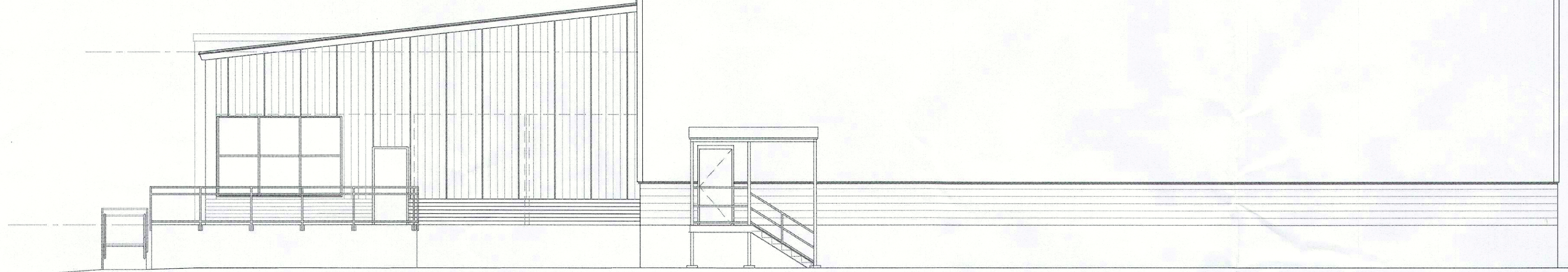
REVISIONS

BY

SHEET
V-1

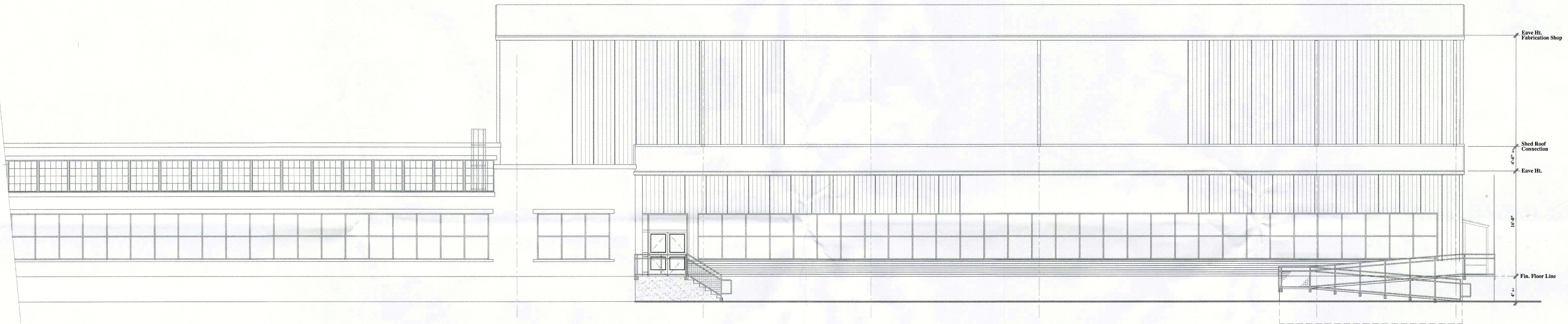
SCALE: 0 30' 60' 120'
1" = 60'

Layouts, dimension and general information taken from drawings Titled
"Pre-Engineered Building Office Expansion"
United Steel, Inc. 164 School Street, East Hartford, CT.
Prepared by:
Peter W. Argiros Architect A.I.A. 244 Upton Road, P.O. Box 849
Colchester, CT. 060415
All existing conditions are to be verified prior to commencement of scheduled work.



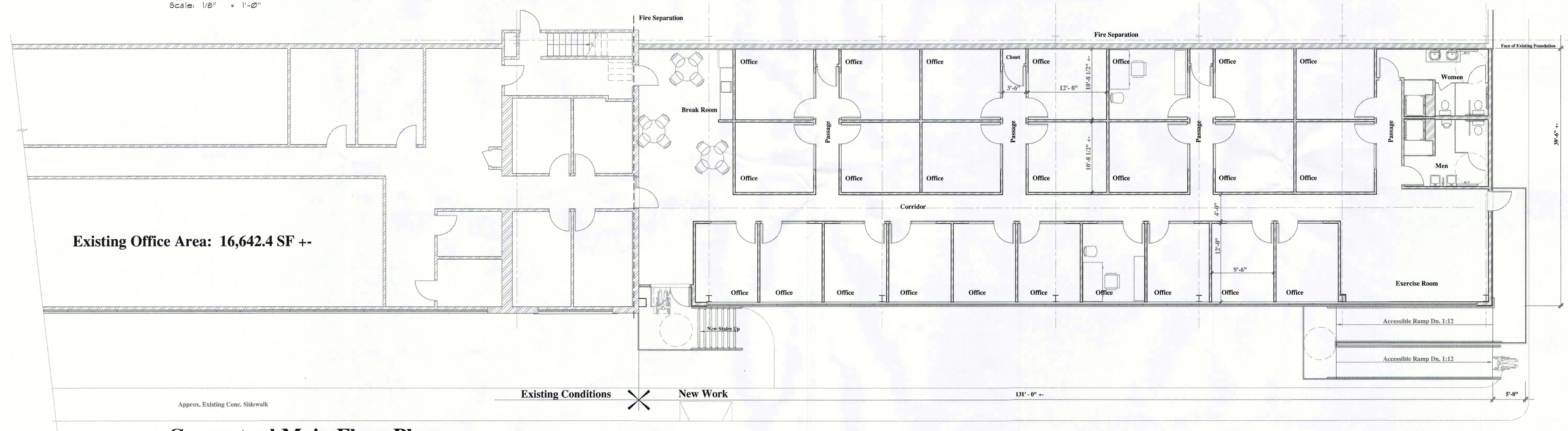
Conceptual South Elevation

Scale: 1/8" = 1'-0"



Conceptual West Elevation

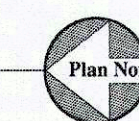
Scale: 1/8" = 1'-0"



Existing Office Area: 16,642.4 SF +-
Approx. Existing Conc. Sidewalk

Conceptual Main Floor Plan

Scale: 1/8" = 1'-0"



Concept Phase

Fred Marzec - Architects, LLC
Architects and Planners
282 Franklin Street
Norwich, CT 06360
Tel: (860) 887-5870 Fax: (860) 887-5874
Email address: fred@fredmarzec.com

United Steel, Inc.
Fabrication and Erection
Office Expansion
East Hartford, CT.

**Existing Building
Partial Existing
Floor Plan
Concept
Design Phase**

PROJECT NO.: 2017-01.12

SCALE: AS NOTED

DRAWN BY: FRED M.

CHECKED BY:

DATE: Feb. 28, 2017

**CP
1B**

SHEET - OF -

Copyright © 2017 Fred Marzec - Architects, LLC. The designs and drawings are the property of Fred Marzec - Architects, LLC. They may not be duplicated or used in part or whole, in any other location, purpose, project or owner without the express written consent of Fred Marzec - Architects, LLC.