

# MAY CHIROPRACTIC

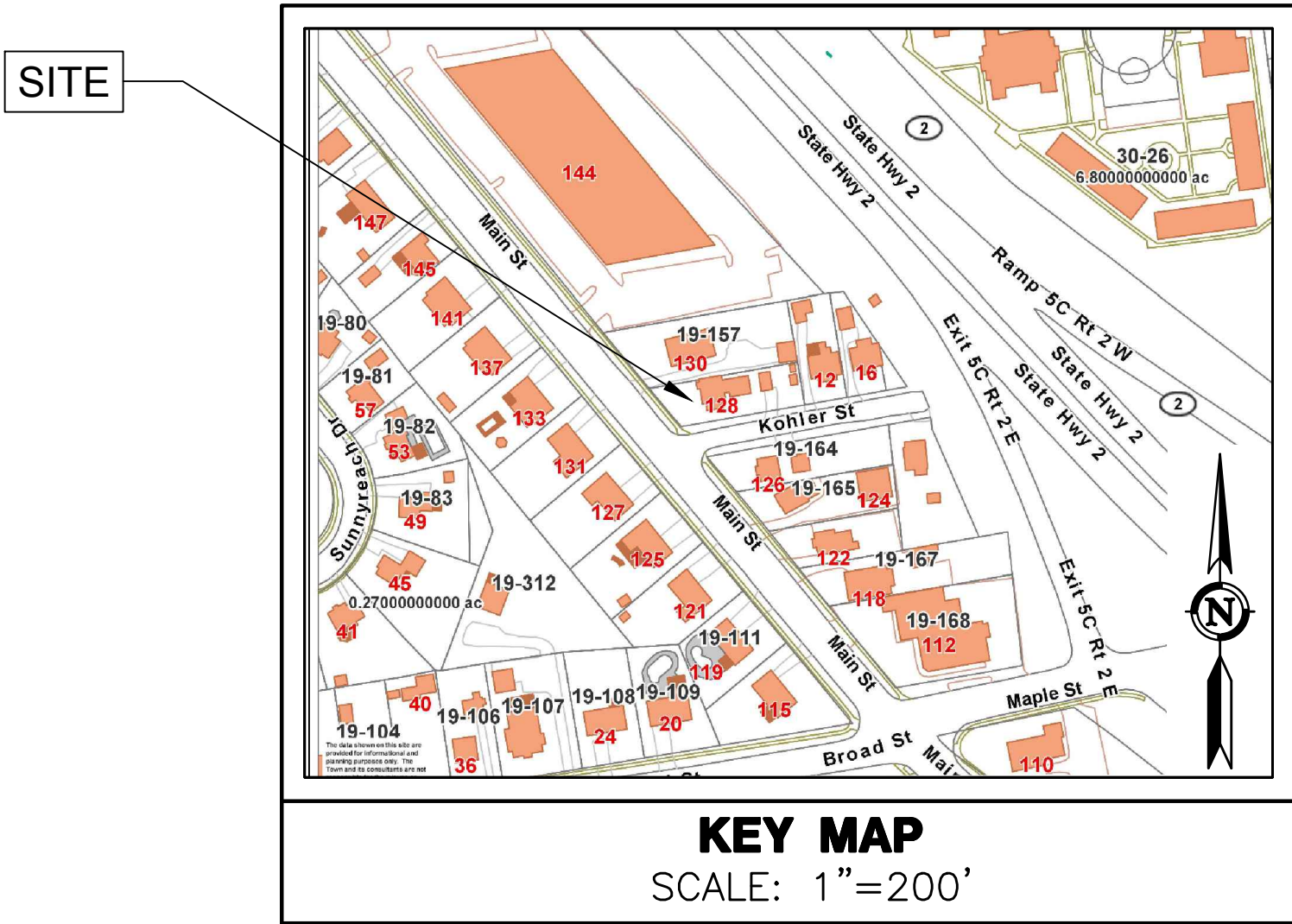
## SITE PLANS

128 MAIN STREET ~ EAST HARTFORD ~ CT  
MAP 19, LOT 158

### ZONING TABLE

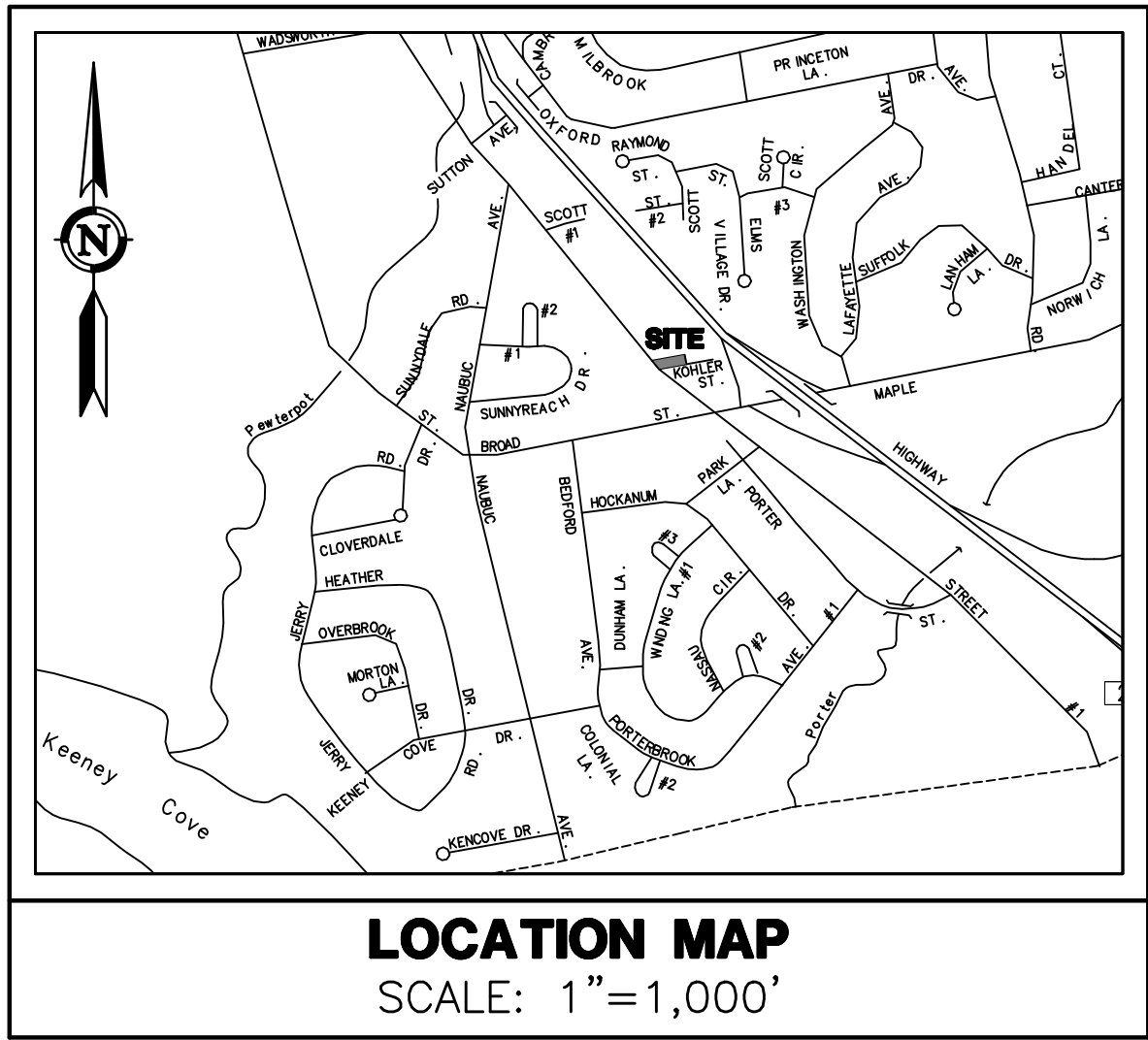
ZONE: B-1 ZONE (BUSINESS 1 ZONE)			
ITEM	REQUIRED/ ALLOWED	EXISTING	PROPOSED
LOT AREA	5,000 S.F.	8,860 S.F.	8,860 S.F.
LOT FRONTAGE	40'	63'+	63'+
FRONT YARD	15'	37'	37'
SIDE YARD	5' & 10'	3.2' & 15.7'	3.2' & 15.7'
REAR YARD	25'	6.1'	63.5'
BUILDING HEIGHT	100'	2 STORY	2 STORY
PARKING	1 SP. / 250 S.F. GFA	3 (RES. HOME)	7*
BUILDING COVERAGE	75%	17.4%	14.4%
IMPERVIOUS COVERAGE	85%	30.6%	57%

\*PARKING REQUIREMENTS:  
OFFICES 1 SPACE PER 250 S.F. OF GROSS FLOOR AREA  
EXISTING BUILDING  
1ST FLOOR 1,276 S.F.  
2ND FLOOR 410 S.F.  
TOTAL = 1,686 S.F. = 7 SPACES REQUIRED



KEY MAP  
SCALE: 1"=200'

SITE



LOCATION MAP  
SCALE: 1"=1,000'

### Sheet List Table

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C-DM1	DEMOLITION PLAN
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C-GD1	GRADING & DRAINAGE PLAN
C-ES1	EROSION & SEDIMENTATION PLAN
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### PRELIMINARY NOT FOR CONSTRUCTION

THESE PLANS ARE FOR PLANNING PURPOSES ONLY INTENDED TO SECURE REGULATORY APPROVALS. ONLY FINAL PLANS STAMPED APPROVED BY THE TOWN SHALL BE USED FOR CONSTRUCTION PURPOSES.

### GENERAL NOTES:

- THESE PLANS ARE INVALID UNLESS THEY BEAR THE SEAL OR STAMP, AND ORIGINAL SIGNATURE OF THE PROFESSIONAL ENGINEER, LAND SURVEYOR, OR LANDSCAPE ARCHITECT.
- EXISTING CONDITIONS AND UTILITY LOCATIONS DEPICTED HEREON ARE BASED ON AVAILABLE INFORMATION AND SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
- PROPOSED WATER, GAS, ELECTRIC, AND COMMUNICATION SERVICES DEPICTED ON THESE PLANS ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. CONTRACTOR SHALL COORDINATE FINAL SIZE AND LOCATIONS WITH THE RESPECTIVE UTILITIES AND THE LOCAL JURISDICTION PRIOR TO CONSTRUCTION.
- REPRODUCTION TECHNIQUES USED IN THE PRODUCTION OF THIS PLAN CAN STRETCH OR SHRINK THE PAPER. SCALING OF THIS DRAWING MAY BE INACCURATE. CONTACT DPI IF ADDITIONAL INFORMATION IS REQUIRED.
- THESE PLANS AND OTHER ITEMS PREPARED BY DESIGN PROFESSIONALS, INC. (DPI) ARE INSTRUMENTS OF SERVICE AND REMAIN ITS PROPERTY. THE USE OF THESE ITEMS BY DPI'S CLIENT IS SUBJECT TO THE TERMS SET FORTH IN THE AGREEMENT BETWEEN CLIENT AND DPI. REPRODUCTION AND/OR USE OF THESE ITEMS BY OTHERS IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF DPI.

### CIVIL ENGINEER & LAND SURVEYOR:



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### TOWN CONSTRUCTION NOTE:

THE DEVELOPER SHALL NOTIFY THE TOWN OF EAST HARTFORD ENGINEERING DIVISION 24 HOURS PRIOR TO BEGINNING ANY STORM DRAINAGE, ROADWAY PREPARATION, PAVING, SIDEWALK, CURBING, STREET LINE MONUMENTATION, PROPERTY CORNER PINS, ECT., TO SCHEDULE INSPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:30 A.M. - 4:30 P.M. AT (860) 291-7380.

TOWN OF EAST HARTFORD  
PLANNING AND ZONING COMMISSION  
SITE PLAN CERTIFICATE  
OF APPROVAL

APPROVAL DATE \_\_\_\_\_  
EXPIRATION DATE \_\_\_\_\_

CHAIRPERSON

Prepared for:

MAY CHIROPRACTIC &  
REHABILITATION, LLC  
50 MAIN STREET  
EAST HARTFORD, CT  
860 568-3900

PROJECT NO. 3832

DATE: 5-8-2017  
DRAWN BY: JAB  
CHECKED BY: JAB

MAY CHIROPRACTIC  
128 MAIN STREET  
MAP 19, LOT 158  
EAST HARTFORD, CT  
SITE PLANS

TITLE SHEET

SHEET

C-T1

SHEET 1 OF 8

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GIS ANALYSTS / LANDSCAPE ARCHITECTS



GENERAL GRADING & UTILITY PLAN NOTES

1. PRIOR TO STARTING ANY SITE ACTIVITY OR DEMOLITION, THE CONTRACTOR SHALL "CALL BEFORE YOU DIG" AND/OR THE APPLICABLE STATE DAMAGE CONTROL SYSTEM FOR THE REQUIRED UTILITY MARK OUTS IN ADVANCE OF ANY EARTH DISTURBANCE. IN ADDITION TO THIS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING ONSITE UTILITIES INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY, TELEPHONE, CABLE, FIBER OPTIC, CABLE, ETC. WITHIN AND ADJACENT TO THE LIMITS OF THE PROJECT ACTIVITIES. LOCATIONS OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE INDEPENDENTLY CONFIRMED WITH LOCAL UTILITY COMPANIES AND THE CONTRACTOR. WATER AND SANITARY SEWER SERVICE AND ALL OTHER UTILITY SERVICE CONNECTION POINTS MUST BE INDEPENDENTLY CONFIRMED BY THE CONTRACTOR IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES MUST IMMEDIATELY BE REPORTED, IN WRITING, TO THE ENGINEER.

2. CONSTRUCTION SHALL BEGIN AT THE LOWEST ELEVATION AND/OR INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT, WHERE UTILITIES ARE PROPOSED TO CROSS/TRaverse EXISTING UNDERGROUND UTILITIES, THE ELEVATIONS OF THE EXISTING UTILITIES SHALL BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION BY EXCAVATING A TEST PIT AT THE PROPOSED UTILITY CROSSING POINT TO VERIFY EXISTING UTILITY LOCATIONS/ELEVATIONS/INVERTS. SHOULD THE FIELD VERIFIED EXISTING UTILITY BE IN CONFLICT WITH THE PROPOSED SITE DESIGNS, THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IN WRITING AND SHALL NOT PROCEED WITH SAID UTILITY CONSTRUCTION UNTIL FURTHER DIRECTION IS GIVEN FROM THE DESIGN ENGINEER.

3. CONTRACTOR MUST VERTICALLY AND HORIZONTALLY LOCATE ALL UTILITIES AND SERVICES INCLUDING, BUT NOT LIMITED TO, GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE OR WORK SPACE, WHICHEVER IS GREATER. THE CONTRACTOR MUST USE, REFER TO, AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION, AT NO COST TO THE OWNER. CONTRACTOR SHALL BEAR ALL COSTS ASSOCIATED WITH DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION.

4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL CONSTRUCTION CONTRACT DOCUMENTS INCLUDING, BUT NOT LIMITED TO, ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE INITIATION AND COMMENCEMENT OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND CONFLICT AND/OR DISCREPANCY BETWEEN THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR THE RELATIVE OR APPLICABLE CODES, REGULATIONS, LAWS, RULES, STATUTES AND/OR ORDINANCES, IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD, IN WRITING, OF SAID CONFLICT AND/OR DISCREPANCY PRIOR TO THE START OF CONSTRUCTION.

5. THE CONTRACTOR MUST INSTALL ALL STORM SEWER AND SANITARY SEWER COMPONENTS WHICH FUNCTION BY GRAVITY PRIOR TO THE INSTALLATION OF ALL OTHER UTILITIES.

6. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF SITE PLAN DOCUMENTS AND ARCHITECTURAL DESIGN FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS, GREASE TRAP REQUIREMENTS/ DETAILS, DOOR ACCESS, AND EXTERIOR GRADING. THE ARCHITECT WILL DETERMINE THE UTILITY SERVICE SIZES. THE CONTRACTOR MUST COORDINATE INSTALLATION OF UTILITIES SERVICES WITH THE INDIVIDUAL COMPANIES, TO AVOID CONFLICTS AND TO ENSURE THAT PROPER DEPTHS ARE ACHIEVED. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT INSTALLATION OF ALL IMPROVEMENTS COMPLIES WITH ALL UTILITY REQUIREMENTS WITH JURISDICTION AND/OR CONTROL OF THE SITE, AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES AND, FURTHER, IS RESPONSIBLE FOR COORDINATING THE UTILITY TIE-INS/CONNECTIONS PRIOR TO CONNECTING TO THE EXISTING UTILITY/SERVICE. WHERE A CONFLICT(S) EXISTS BETWEEN THESE SITE PLANS AND THE ARCHITECTURAL PLANS, OR WHERE ARCHITECTURAL PLAN UTILITY CONNECTION POINTS DIFFER, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER, IN WRITING, AND PRIOR TO CONSTRUCTION, RESOLVE SAME.

7. WATER SERVICE MATERIALS, BURIAL DEPTH, AND COVER REQUIREMENTS MUST BE SPECIFIED BY THE LOCAL UTILITY COMPANY. CONTRACTOR'S PRICE FOR WATER SERVICE MUST INCLUDE ALL FEES, COSTS AND APPURTENANCES REQUIRED BY THE UTILITY TO PROVIDE FULL AND COMPLETE WORKING SERVICE. CONTRACTOR MUST CONTACT THE APPLICABLE MUNICIPALITY TO CONFIRM THE PROPER WATER METER AND VAULT, PRIOR TO COMMENCING CONSTRUCTION.

8. ALL NEW UTILITIES/SERVICES, INCLUDING ELECTRIC, TELEPHONE, CABLE TV, ETC. ARE TO BE INSTALLED UNDERGROUND. ALL NEW UTILITIES/SERVICES MUST BE INSTALLED IN ACCORDANCE WITH THE UTILITY/SERVICE PROVIDER INSTALLATION SPECIFICATIONS AND STANDARDS.

9. SITE GRADING MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT REFERENCED IN THIS PLAN SET. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING UNSUITABLE MATERIALS WITH SUITABLE MATERIALS AS SPECIFIED IN THE GEOTECHNICAL REPORT. ALL EXCAVATED OR FILLED AREAS MUST BE COMPACTED AS OUTLINED IN THE GEOTECHNICAL REPORT. MOISTURE CONTENT AT TIME OF PLACEMENT MUST BE SUBMITTED IN A COMPACTION REPORT PREPARED BY A QUALIFIED GEOTECHNICAL ENGINEER, REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT MUST BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE BY OWNER/DEVELOPER OR OWNER/DEVELOPER'S REPRESENTATIVE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED AS DIRECTED BY THE GEOTECHNICAL REPORT. EARTHWORK ACTIVITIES INCLUDING, BUT NOT LIMITED TO, EXCAVATION, BACKFILL, AND COMPACTING MUST COMPLY WITH THE RECOMMENDATION IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. IN THE ABSENCE OF A GEOTECHNICAL REPORT EARTHWORK ACTIVITIES MUST COMPLY WITH THE STANDARD STATE DOT SPECIFICATIONS FOR ROADWAY CONSTRUCTION (LATEST EDITION) AND ANY AMENDMENTS OR REVISIONS THERETO.

10. ALL FILL, COMPACTION, AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION MUST BE AS PER THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT AND MUST BE COORDINATED WITH THE APPLICABLE UTILITY COMPANY SPECIFICATIONS. IN THE ABSENCE OF A GEOTECHNICAL REPORT OR RECOMMENDATIONS, FILL AND COMPACTION MUST, AT A MINIMUM, COMPLY WITH THE STATE DOT REQUIREMENTS AND SPECIFICATIONS AND CONSULTANT SHALL HAVE NO LIABILITY OR RESPONSIBILITY FOR OR AS RELATED TO FILL, COMPACTION AND BACKFILL. FURTHER, CONTRACTOR IS FULLY RESPONSIBLE FOR EARTHWORK BALANCE.

11. THE CONTRACTOR MUST COMPLY, TO THE FULLEST EXTENT WITH THE LATEST OSHA STANDARDS AND REGULATIONS, AND/OR ANY OTHER AGENCY WITH JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE "MEANS AND METHODS" REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF OSHA, AS WELL AS ANY OTHER ENTITY THAT HAS JURISDICTION FOR EXCAVATION AND/OR TRENCHING PROCEDURES AND CONSULTANT SHALL HAVE NO RESPONSIBILITY FOR OR AS RELATED TO EXCAVATION AND TRENCHING PROCEDURES.

12. PAVEMENT MUST BE SAW CUT INTO STRAIGHT LINES, AND EXCEPT FOR EDGE OF BUILT JOINTS, MUST EXTEND TO THE FULL DEPTH OF THE EXISTING PAVEMENT. ALL DEBRIS FROM REMOVAL OPERATIONS MUST BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION. STOCKPILING OF DEBRIS WILL NOT BE PERMITTED.

13. THE TOPS OF EXISTING MANHOLES, INLET STRUCTURES, AND SANITARY CLEANOUT TOPS MUST BE ADJUSTED AS NECESSARY, TO MATCH PROPOSED GRADES.

14. THE CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCING ANY CONSTRUCTION. CONTRACTOR MUST CONFIRM AND ENSURE 0.75% MINIMUM SLOPE AGAINST ALL ISLANDS, GUTTERS, AND CURBS, 1.0% ON ALL CONCRETE SURFACES; AND 1.5% MINIMUM ON ASPHALT (EXCEPT WHERE ADA REQUIREMENTS OR EXISTING TOPOGRAPHY LIMIT GRADES), TO PREVENT PONDING. CONTRACTOR MUST IMMEDIATELY IDENTIFY, IN WRITING TO THE ENGINEER, ANY DISCREPANCIES THAT MAY OR COULD AFFECT THE PUBLIC SAFETY, HEALTH OR GENERAL WELFARE, OR PROJECT COST. IF CONTRACTOR PROCEEDS WITH CONSTRUCTION WITHOUT PROVIDING PROPER NOTIFICATION, MUST BE AT THE CONTRACTOR'S OWN RISK .

15. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 6" ABOVE EXISTING LOCAL ASPHALT GRADE UNLESS OTHERWISE NOTED. FIELD ADJUST TO CREATE A MINIMUM OF .075% GUTTER GRADE ALONG CURB FACE. IT IS CONTRACTOR'S OBLIGATION TO ENSURE THAT DESIGN ENGINEER APPROVES FINAL CURBING CUT SHEETS PRIOR TO INSTALLATION OF SAME.
16. IN THE EVENT OF DISCREPANCIES AND/OR CONFLICTS BETWEEN PLANS OR RELATIVE TO OTHER PLANS, THE SITE PLAN WILL TAKE PRECEDENCE AND CONTROL. CONTRACTOR MUST IMMEDIATELY NOTIFY THE DESIGN ENGINEER, IN WRITING, OF ANY DISCREPANCIES AND/OR CONFLICTS.

17. CONTRACTOR IS REQUIRED TO SECURE ALL NECESSARY AND/OR REQUIRED PERMITS AND APPROVALS FOR ALL OFF SITE MATERIAL SOURCES AND DISPOSAL FACILITIES. CONTRACTOR MUST SUPPLY A COPY OF APPROVALS TO ENGINEER AND OWNER PRIOR TO INITIATING WORK ANY WORK.

18. WHERE RETAINING WALLS (WHETHER OR NOT THEY MEET THE JURISDICTIONAL DEFINITION) ARE IDENTIFIED ON PLANS, ELEVATIONS IDENTIFIED ARE FOR THE EXPOSED PORTION OF THE WALL. WALL FOOTING/FOUNDATION ELEVATIONS ARE NOT IDENTIFIED HEREIN AND ARE TO BE SET/DETERMINED BY THE CONTRACTOR BASED ON FINAL STRUCTURAL DESIGN SHOP DRAWINGS PREPARED BY THE APPROPRIATE PROFESSIONAL LICENSED IN THE STATE WHERE THE CONSTRUCTION OCCURS.

19. STORM DRAINAGE PIPE: UNLESS INDICATED OTHERWISE, ALL STORM SEWER PIPE MUST BE REINFORCED CONCRETE PIPE (RCP) CLASS III WITH SILT TIGHT JOINTS. WHEN HIGH-DENSITY POLYETHYLENE PIPE (HDPE) IS CALLED FOR ON THE PLANS, IT MUST CONFORM TO ASHOTO M294 AND TYPE S (SMOOTH INTERIOR WITH ANGULAR CORRUGATIONS) WITH GASKET FOR SILT TIGHT JOINT. PVC PIPE FOR ROOF DRAIN CONNECTION MUST BE SDR 26 OR SCHEDULE 40 UNLESS INDICATED OTHERWISE.

20. SANITARY SEWER PIPE MUST BE POLYVINYL CHLORIDE (PVC) SDR 35 EXCEPT WHERE INDICATED OTHERWISE. SANITARY LATERAL MUST BE PVC SCHEDULE 40 OR PVC SDR 26 UNLESS INDICATED, IN WRITING, OTHERWISE.

21. STORM AND SANITARY SEWER PIPE LENGTHS INDICATED ARE NOMINAL AND MEASURED CENTER OF INLET AND/OR MANHOLES STRUCTURE TO CENTER OF STRUCTURE.

22. STORMWATER ROOF DRAIN LOCATIONS ARE APPROXIMATE AND ARE BASED ON PRELIMINARY ARCHITECTURAL PLANS. CONTRACTOR IS RESPONSIBLE FOR REVIEWING AND COORDINATING THE FINAL ARCHITECTURAL PLANS TO VERIFY FINAL LOCATIONS OF ALL ROOF DRAINS.

23. SEWERS CROSSING STREAMS AND/OR LOCATION WITHIN 10 FEET OF THE STREAM EMBANKMENT, OR WHERE SITE CONDITIONS SO INDICATE, MUST BE CONSTRUCTED OF STEEL, REINFORCED CONCRETE, DUCTILE IRON OR OTHER SUITABLE MATERIAL. SEWERS CONVEYING SANITARY FLOW COMBINED SANITARY AND STORMWATER FLOW OR INDUSTRIAL FLOW MUST BE SEPARATED FROM WATER MAINS BY A DISTANCE OF AT LEAST 10 FEET HORIZONTALLY. IF SUCH LATERAL SEPARATIONS IS NOT POSSIBLE, THE PIPES MUST BE IN SEPARATE TRENCHES WITH THE SEWER AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN, OR SUCH OTHER SEPARATION AS APPROVED BY THE GOVERNMENT AGENCY WITH JURISDICTION OVER SAME. WHERE APPROPRIATE SEPARATION FROM A WATER MAIN IS NOT POSSIBLE, THE SEWER MUST BE ENCASED IN CONCRETE, OR CONSTRUCTED OF DUCTILE IRON PIPE USING MECHANICAL OR SLIP-ON JOINTS FOR A DISTANCE OF AT LEAST 10 FEET ON EITHER SIDE OF THE CROSSING. IN ADDITION, ONE FULL LENGTH OF SEWER PIPE SHOULD BE LOCATED SO BOTH JOINTS WILL BE AS FAR FROM THE WATER MAIN AS POSSIBLE. WHERE A WATER MAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT FOR THE SEWER MUST BE PROVIDED.

24. WATER MAIN AND WATER SERVICE PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE WATER AUTHORITY HAVING JURISDICTION. IN THE ABSENCE OF SUCH SPECIFICATIONS, WATER MAIN PIPING MUST BE CEMENT-LINED DUCTILE IRON (DIP) MINIMUM CLASS 52 THICKNESS. ALL WORK AND MATERIALS MUST COMPLY WITH THE APPLICABLE AWWA STANDARDS IN EFFECT AT THE TIME OF JOB SERVICE APPLICATION.

25. THE CONTRACTOR SHALL ENSURE THAT ANY AND ALL WORK LOCATED IN EXISTING PAVED BE REPAIRED IN ACCORDANCE WITH REFERENCED MUNICIPAL, COUNTY AND/OR DOT DETAILS AS APPLICABLE. CONTRACTOR IS RESPONSIBLE TO COORDINATE THESE PERMITTING, INSPECTION AND APPROVAL OF COMPLETED WORK WITH THE AGENCY WITH AGENCY HAVING JURISDICTION OVER THE PROPOSED WORK.

26. THE CONTRACTOR SHALL, BY BORING OR BY TEST PIT, DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF ANY PROPOSED DWELLINGS THAT WILL CONTAIN A BASEMENT. IF GROUNDWATER IS ENCOUNTERED WITHIN THE PROPOSED BASEMENT AREA, BASEMENTS SHALL NOT BE INSTALLED UNLESS SPECIAL CONSTRUCTION METHODS, APPROVED BY THE AUTHORITY HAVING JURISDICTION, ARE UTILIZED. WHERE SUMP PUMPS ARE INSTALLED, ALL DISCHARGED MUST BE CONNECTED TO THE STORM SEWER OR DISCHARGE TO AN APPROVED LOCATION.

27. FOR SINGLE AND MULTI-FAMILY RESIDENTIAL PROPERTIES, SPOT ELEVATION(S) ADJACENT TO THE BUILDINGS ARE SCHEMATIC FOR NON-SPECIFIC BUILDING FOOTPRINTS, GRADES MUST BE ADJUSTED BASED ON FINAL ARCHITECTURAL PLANS AND SHALL PROVIDE A MINIMUM OF SIX (6) INCHES BELOW TOP OF FOUNDATION/CONCRETE AND/OR SIX (6) INCHES BELOW THE FAÇADE TREATMENT, WHICHEVER IS LOWER, AND MUST PROVIDE POSITIVE DRAINAGE AWAY FROM THE STRUCTURE (MINIMUM OF 2%). ALL CONSTRUCTION, INCLUDING GRADING, MUST COMPLY WITH ALL APPLICABLE BUILDING CODES, LOCAL, STATE AND FEDERAL REQUIREMENTS, REGULATIONS AND ORDINANCE.

28. THE RELOCATION OF EXISTING AND/OR THE INSTALLATION OF NEW UTILITY POLES AND TRANSFORMERS ARE AT THE SOLE DISCRETION OF UTILITY COMPANY. PRIOR TO COMMENCEMENT OF ANY WORK, THE CONTRACTOR SHALL WORK WITH THE APPROPRIATE UTILITY COMPANIES TO FINALIZE ALL UTILITY SERVICES AND/OR RELOCATIONS TO ASSURE NO CONFLICT WITH THE DESIGN PLANS. SHOULD A CONFLICT ARISE DUE TO THE FINAL DESIGNS OF THE UTILITY COMPANY, THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IN WRITING AND AWAIT A WRITTEN RESOLUTION PRIOR TO PROCEEDING WITH FURTHER UTILITY INSTALLATIONS.

DEMOLITION NOTES

THE CONTRACTOR SHALL REVIEW ALL SITE PLANS (AND ARCHITECTURAL DRAWINGS AS APPLICABLE) TO ASSURE THAT ALL DEMOLITIONS ACTIVITIES AND INCIDENTAL WORK NECESSARY FOR THE CONSTRUCTION OF THE NEW SITE IMPROVEMENTS ARE COMPLETED. THE DEMOLITION PLAN IS INTENDED TO PROVIDE ONLY GENERAL INFORMATION REGARDING ITEMS TO BE DEMOLISHED AND/OR REMOVED.

THIS PLAN REFERENCES THE FOLLOWING DOCUMENTS AND INFORMATION:  
- PLAN ENTITLED "126 MAIN STREET PROPERTY OF RYAN MAY EAST HARTFORD, CONN." BY AESCHLIMAN LAND SURVEYING, PC DATED: 3--22-17 SCALE: 1"=20'

1. CONTRACTOR MUST NOTIFY, IN WRITING, DESIGN PROFESSIONALS INC, IF THEY ANY QUESTIONS CONCERNING THE ACCURACY OR INTENT OF THESE PLANS, RELATED SPECIFICATIONS, ANY APPLICABLE SAFETY STANDARDS, OR THE SAFETY OF THE CONTRACTOR OR THIRD PARTIES IN PERFORMING THE WORK ON THIS PROJECT. IF SUCH NOTIFICATION IS GIVEN, NO DEMOLITION OR SITE ACTIVITY MAY BEGIN UNTIL SUCH TIME THAT DESIGN PROFESSIONAL INC. PROVIDES A WRITTEN RESPONSE TO SAME. ALL DEMOLITION WORK MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS, THE PROJECT SPECIFICATIONS AND ALL APPLICATION LOCAL, STATE AND FEDERAL REGULATIONS.
2. CONTRACTOR SHALL PERFORM ALL WORK IN A SYSTEMATIC AND SAFE MANNER AND IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, (29 U.S.C. 651 ET SEQ.), AMENDMENTS TOO AND/OR REVISIONS TO SAME.
3. PRIOR TO STARTING ANY SITE ACTIVITY OR DEMOLITION, THE CONTRACTOR SHALL OBTAINING ALL REQUIRED PERMITS (LOCAL, STATE AND/OR FEDERAL)AND MAINTAIN SAME ON SITE FOR REVIEW BY THE ENGINEER AND OTHER REGULATORY AGENCIES THROUGHOUT THE DURATION OF THE PROJECT.
4. PRIOR TO STARTING ANY SITE ACTIVITY OR DEMOLITION, THE CONTRACTOR SHALL NOTIFY, AT A MINIMUM, THE BUILDING OFFICIAL, MUNICIPAL ENGINEER, DEPARTMENT OF PUBLIC WORKS, PLANNING AND ZONING COMMISSION, THE DESIGN ENGINEER, AND LOCAL INLAND WETLAND COMMISSION, 72 HOURS PRIOR TO THE START OF WORK
5. PRIOR TO STARTING ANY SITE ACTIVITY OR DEMOLITION, THE CONTRACTOR SHALL IMPLEMENT THE SOIL EROSION AND SEDIMENT CONTROL MEASURES AS NOTED ON THE PLANS AND PRIOR TO ANY SITE DISTURBANCE.
6. PRIOR TO STARTING ANY SITE ACTIVITY OR DEMOLITION, THE CONTRACTOR SHALL "CALL BEFORE YOU DIG" AND/OR THE APPLICABLE STATE DAMAGE CONTROL SYSTEM FOR THE REQUIRED UTILITY MARK OUTS IN ADVANCE OF ANY EARTH DISTURBANCE. IN ADDITION TO THIS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING ONSITE UTILITIES INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN AND ADJACENT TO THE LIMITS OF THE PROJECT ACTIVITIES.
7. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL SECURE THE SITE AS NECESSARY TO PERFORM THE DEMOLITION IN A MANNER AS TO PREVENT THE ENTRY OF UNAUTHORIZED PERSONS.

8. THE CONTRACTOR SHALL PROTECT AND MAINTAIN THE OPERATION AND SERVICE OF ALL ACTIVE UTILITIES AND SYSTEMS THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES. SHOULD A TEMPORARY INTERRUPTION OF UTILITY SERVICES BE REQUIRED AS PART OF THE PROPOSED CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL COORDINATE WITH APPROPRIATE UTILITY COMPANIES AND THE AFFECTED END USER TO MINIMIZE IMPACT AND SERVICE INTERRUPTION.
9. THE CONTRACTOR SHALL ARRANGE FOR AND COORDINATE WITH THE APPROPRIATE UTILITY COMPANIES FOR THE TEMPORARY AND PERMANENT TERMINATION OF ANY AND ALL SERVICES THAT ARE REQUIRED FOR THE PROPERTY WHETHER SHOWN ON THE SITE PLANS OR NOT. TERMINATION OF UTILITIES SHALL BE PERFORMED IN COMPLIANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATION.
10. SHOULD HAZARDOUS MATERIAL BE DISCOVERED/ENCOUNTERS, WHICH WAS NOT ANTICIPATED/ADDRESSED IN THE IN THE PROJECT PLANS AND SPECIFICATIONS, CEASE ALL WORK IMMEDIATELY AND NOTIFY OWNER AND ENGINEER OF RECORD REGARDING HE DISCOVERY OF SAME..
11. DESIGN PROFESSIONALS HAS NO RESPONSIBILITY REGARDING JOB SAFETY AND/OR OVERSIGHT/SUPERVISION, OR ANYTHING RELATED TO SAME, LEGALLY NOR CONTRACTUALLY.
12. THE CONTRACTOR IS RESPONSIBLE FOR ALL "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE TO REMAIN. IF ANY EXISTING STRUCTURES THAT ARE TO REMAIN ARE DAMAGED DURING DEMOLITIONS, S SHALL BE MADE USING NEW PRODUCT/MATERIALS RESULTING IN A PRE-DEMOLITION CONDITION, OR BETTER. CONTRACTOR IS RESPONSIBLE FOR ALL REPAIR COSTS
13. EARTH WORK ACTIVITIES, DEMOLITION OR REMOVAL OF BUILDINGS, FOUNDATION WALLS, FOOTING, OR OTHER MATERIALS WITHIN THE WORK AREA SHALL BE IN ACCORDANCE AND CONFORM TO THE PROJECT PLANS AND SPECIFICATIONS.
14. ALL BACKFILLING REQUIRED AS A RESULT OF DEMOLITION SHALL BE PERFORMED IN COMPLIANCE WITH THE RECOMMENDATIONS AND GUIDANCE OF THE GEOTECHNICAL REPORT
15. THE USE OF EXPLOSIVES FOR THE PURPOSE OF DEMOLITION OR ROCK REMOVAL MUST NOT BE IN COMPLIANCE OF ALL LOCAL, STATE AND FEDERAL REGULATIONS. THE CONTRACT SHALL OBTAIN ALL PERMITS THAT ARE REQUIRED BY THE FEDERAL, STATE AND LOCAL GOVERNMENTS. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL INSPECTION, MONITORING OR TESTING AS MAY BE REQUIRED BY ANY AND ALL PERMITS AND REGULATIONS.
16. CONTRACTOR SHALL CONTROL TRAFFIC ON AND OFFSITE IN CONFORMANCE WITH THE CURRENT FHWA "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), AND THE FEDERAL, STATE, AND LOCAL REGULATIONS FOR ALL ASPECTS OF DEMOLITION AND SITE WORK.
17. ALL WORK SHALL BE PERFORMED WITHIN THE LIMITS OF WORK AS NOTED ON THE SITE PLANS.
18. DESIGN PROFESSIONALS INC. IS NOT RESPONSIBLE FOR THE MEANS, METHOD AND/OR PROCEDURES TO BE IMPLEMENT FOR THE PROJECT. ALL WORK MUST BE IN STRICT ACCORDANCE WITH ALL STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS.
19. DEBRIS SHALL NOT BE BURIED ON SITE. ALL DEMOLITION MATERIALS TO BE DISPOSED OF SHALL BE DONE SO IN ACCORDANCE WITH ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES. THE CONTRACTOR MUST MAINTAIN RECORDS OF ALL DISPOSAL ACTIVITIES.
20. CONTRACTOR MUST PREPARE RECORD DRAWINGS DEPICTING THE LOCATION OF EXISTING UTILITIES THAT ARE CAPPED, ABANDONED IN PLACE, OR RELOCATED AND PROVIDE TO THE PROPERTY OWNER AND THE ENGINEER OF RECORD.
21. CONTRACTOR SHALL PREVENT THE EMISSION OF DUST, SEDIMENT, AND DEBRIS FROM THE SITE, AND SHALL BE RESPONSIBLE FOR CORRECTIVE MEASURES SUCH AS STREET SWEEPING AND CLEAN UP WORK AS DEEMED NECESSARY BY THE ENGINEER OF THE AUTHORITY HAVING JURISDICTION.

GENERAL NOTES

CONTRACTOR SHALL ADHERE TO AND IS RESPONSIBLE FOR COMPLIANCE WITH ALL DETAILS, NOTES, PLANS AND SPECIFICATIONS CONTAINED HEREIN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL WORK PERFORMED BY THEIR SUBCONTRACTORS IS IN FULL COMPLIANCE WITH THESE REQUIREMENTS.

1. THE FOLLOWING DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THIS SITE PLAN:  
- PLAN ENTITLED "126 MAIN STREET PROPERTY OF RYAN MAY EASTRT HARTFORD, CONN." BY AESCHLIMAN LAND SURVEYING, PC DATED: 3--22--17 SCALE: 1"=20'  
- IN THE ABSENCE OF A GEOTECHNICAL REPORT, CURRENT CONN DOT STANDARDS SHALL BE FOLLOWED.
2. THE CONTRACTOR SHALL CONFIRM THAT THEY ARE IN RECEIPT OF THE CURRENT VERSION OF THE REFERENCED DOCUMENTS PRIOR TO THE COMMENCEMENT OF ANY WORK.
3. CONTRACTOR MUST HAVE COPIES OF ALL PERMITS AND APPROVAL ON SITE AT ALL TIMES. THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED PRIOR TO PERFORMING ANY WORK ONSITE OR OFFSITE. THE CONTRACTOR SHALL THOROUGHLY REVIEW AND UNDERSTAND ALL PERMITS AND PERMIT CONDITIONS PRIOR TO FABRICATION OF ANY MATERIALS OR PRODUCTS TO BE USED AS PART OF THE PROJECT.
4. ALL WORK SHALL BE EXECUTED IN ACCORDANCE WITH THESE PLANS, THE PROJECT'S SPECIFICATIONS, CONDITIONS OF APPROVALS AND PERMITS, AND ALL APPLICABLE RULES, REGULATIONS, CODES, LAWS AND STANDARDS OF ALL AUTHORITIES HAVING JURISDICTION OVER THE PROJECT.
5. THE GEOTECHNICAL REPORT AND RECOMMENDATIONS NOTED HEREIN ARE A PART OF THE CONSTRUCTION PLANS AND DOCUMENTS. IF DISCREPANCY OR AMBIGUITY EXISTS, THE MORE STRINGENT REQUIREMENTS AND/OR RECOMMENDATIONS CONTAINED IN THE PLANS AND THE GEOTECHNICAL REPORT GOVERN. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING SHOULD ANY CONFLICTS BE IDENTIFIED PRIOR TO COMMENCING WITH ANY ADDITIONAL WORK.
6. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND PROPOSED LAYOUT DIMENSIONS AND MUST NOTIFY DESIGN PROFESSIONALS INC., IN WRITING, IMMEDIATELY IF ACTUAL SITE CONDITIONS DIFFER OR ARE IN CONFLICT WITH THE PROPOSED WORK. NO EXTRA COMPENSATION WILL BE PAID TO THE CONTRACTOR FOR WORK WHICH HAS TO BE REDONE OR REPAIRED DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS UNLESS THE CONTRACTOR RECEIVES WRITTEN PERMISSION FROM DESIGN PROFESSIONALS INC. (OR PROPERTY OWNER/DEVELOPER) GIVING AUTHORIZATION TO PROCEED WITH SUCH ADDITIONAL WORK.
7. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL/BUILDING PLANS FOR ALL BUILDING AND ADJACENT APPURTENANCES FOR EXACT LOCATIONS AND DIMENSIONS SUCH ENTRY/EXIT LOCATIONS, ELEVATIONS, BUILDING DIMENSIONS, AND EXACT UTILITY LOCATIONS.
8. PRIOR TO THE PERFORMING ANY WORK ONSITE, THE CONTRACTOR SHALL REVIEW ALL CONSULTANTS PLANS AND SPECIFICATIONS INCLUDING THE ENTIRE SITE PLAN AND THE LATEST ARCHITECTURAL PLANS (INCLUDING, BUT NOT LIMITED TO, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE SUPPRESSION PLAN, WHERE APPLICABLE). CONTRACTOR MUST IMMEDIATELY NOTIFY ARCHITECT AND SITE ENGINEER, IN WRITING, OF ANY CONFLICTS, DISCREPANCIES OR AMBIGUITIES WHICH EXIST.
9. DEBRIS MUST NOT BE BURNED OR BURIED ON SITE AND ALL UNSUITABLE EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) MUST BE DISPOSED OF IN ACCORDANCE WITH THE PROJECT'S SPECIFICATIONS AND PLANS, AND ALL LOCAL STATE, AND FEDERAL RULES AND REGULATIONS.
10. THE CONTRACTOR IS RESPONSIBLE FOR ALL EXCAVATIONS AND THE DESIGN AND INSTALLATION OF ANY SHORING THAT MAY BE REQUIRED, ALL OF WHICH SHALL BE ACCORDANCE WITH CURRENT OSHA STANDARDS. THE CONTRACTOR IS ALSO RESPONSIBLE FOR IMPLEMENTING ANY ADDITIONAL PRECAUTIONS TO PROTECT AND ASSURE THE STABILITY OF ADJACENT, NEARBY AND CONTIGUOUS STRUCTURES AND PROPERTIES.
11. THE CONTRACTOR SHALL PROTECT AND ASSURE STABILITY OF STRUCTURES (SIDEWALKS AND PAVEMENT, UTILITIES, BUILDINGS, AND INFRASTRUCTURE )ADJACENT TO THE WORK AREA THAT ARE TO REMAIN, AND IMPLEMENT ANY APPROPRIATE MEASURES REQUIRED TO ENSURE STRUCTURAL STABILITY OF SAME. CONTRACTOR SHALL ASSURE A SAFE WORK AREA FOR WORKERS, PEDESTRIANS, ANY THIRD PARTY AND ABUTTING PROPERTIES.

11. THE CONTRACTOR IS RESPONSIBLE FOR ALL "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING OR PROPOSED STRUCTURES (INCLUDING BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC.) AND ANY OTHER IMPROVEMENTS THAT ARE TO REMAIN AND

- SHALL BEAR ANY AND ALL COSTS THAT MAY BE ASSOCIATED WITH SAME. IF ANY EXISTING STRUCTURES THAT ARE TO REMAIN ARE DAMAGED DURING DEMOLITIONS, REPAIRS SHALL BE MADE USING NEW PRODUCT/MATERIALS RESULTING IN A PRE-DEMOLITION CONDITION, OR BETTER. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND TO NOTIFY THE OWNER AND THE CONSTRUCTION MANAGER PRIOR TO THE START OF CONSTRUCTION.
12. ALL CONCRETE MUST BE AIR ENTRAINED WITH A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS UNLESS OTHERWISE SPECIFIED ON THE PLANS, DETAILS AND/OR GEOTECHNICAL REPORT.
13. DESIGN PROFESSIONALS HAS NO RESPONSIBILITY REGARDING JOB SAFETY AND/OR OVERSIGHT/SUPERVISION, OR ANYTHING RELATED TO SAME, LEGALLY NOR CONTRACTUALLY. DESIGN PROFESSIONALS IS NOT RESPONSIBLY TO IDENTIFY OR REPORT ANY JOB SITE SAFETY ISSUES, AT ANY TIME.
14. DESIGN PROFESSIONALS WILL REVIEW CONTRACTOR SUBMITTALS WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE SOLE PURPOSE OF CHECKING FOR CONFORMANCE WITH THE INTENT OF THE DESIGN AND CONTRACT DOCUMENTS. DESIGN PROFESSIONAL INC IS NOT RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS UNLESS CONTRACTOR RECEIVED EXPLICIT DIRECTION TO DO SO, IN WRITING, FROM DESIGN PROFESSIONALS INC.
15. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING A TRAFFIC PROTECTION PLAN FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL EITHER ON AND/OR OFFSITE. THE COST ASSOCIATED WITH SAID PLAN SHALL BE INCLUDED IN THE BASE BID/CONTRACT COST.
16. ALL ONSITE AND OFFSITE SIGNAGE AND SIGNING AND PAVEMENT MARKINGS SHALL CONFORM TO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES OR LOCAL APPROVAL REQUIREMENTS.
17. ALL DIMENSIONS ARE TO FACE OF CURB, EDGE OF PAVEMENT, OR EDGE OF BUILDING, UNLESS NOTED OTHERWISE.
18. THE CONTRACTOR SHALL INSTALL AND/OR CONSTRUCT ALL ASPECTS OF THE PROJECT IN STRICT COMPLIANCE WITH AND ACCORDANCE WITH MANUFACTURER'S INSTALLATION STANDARDS, RECOMMENDATIONS AND SPECIFICATIONS.
19. MAINTENANCE & PROTECTION OF TRAFFIC IS ACCORDING TO THE CT DOT UNIFORM TRAFFIC MANUAL.

AMERICANS WITH DISABILITY ACT NOTES TO CONTRACTOR

THE CONTRACTOR SHALL REVIEW THE PROPOSED CONSTRUCTION WITH THE LOCAL BUILDING OFFICIAL PRIOR TO THE START OF CONSTRUCTION. CONTRACTORS SHALL BE PRECISE IN THE CONSTRUCTION OF AMERICANS WITH DISABILITIES ACT (ADA) ACCESSIBLE PARKING, COMPONENTS AND ACCESS ROUTES FOR THE PROJECT. THESE COMPONENTS SHALL COMPLY WITH ALL APPLICABLE STATE AND LOCAL ACCESSIBILITY LAWS AND REGULATIONS AND THE CURRENT ADA REGULATIONS AND CONSTRUCTION STANDARDS. THESE COMPONENTS INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:

- PARKING SPACES AND PARKING AISLES SHALL NOT EXCEED A 1:50 (1/4" PER FOOT OR NOMINALLY 2.0%) SLOPE IN ANY DIRECTION.
- CURB RAMPS-- SHALL NOT EXCEED A 1:12 (8.3%) SLOPE FOR A MAXIMUM LENGTH OF SIX (6) FEET.
- RAMPS SHALL BE EQUIPPED WITH LANDINGS AT EACH END, SHALL NOT EXCEED 1:50 (2.0%) IN ANY DIRECTION AND HAVE POSITIVE DRAINAGE AWAY FOR THE LANDING.
- ACCESSIBLE ROUTES SHALL BE A MINIMUM OF 36" WIDE (UNOBSTRUCTED). HANDRAILS AND CAR OVERHANGS MAY NOT OBSTRUCT THESE AREAS. LONGITUDINAL SLOPES (DIRECTION OF TRAVEL)SHALL NOT EXCEED 1:20 (5.0%) AND SHALL HAVE A CROSS SLOPE NO GREATER THAN 1:50 (2.0%).
- ACCESSIBLE ROUTES EXCEEDING 1:20 (5.0%) SHALL BE CONSIDERED A "RAMP". MAXIMUM SLOPES OF A RAMP SHALL BE 1:12 (8.3%) IN THE DIRECTION OF TRAVEL, AND A CROSS SLOPE OF 1:50 (2.0%). RAMPS SHALL HAVE MAXIMUM RISE OF 2.5 FEET, SHALL BE EQUIPPED WITH HAND RAILS AND LANDINGS AT THE TOPS AND BOTTOM OF THE RAMP. LANDINGS SHALL NOT EXCEED 1:50 (2.0%) IN ANY DIRECTION AND HAVE POSITIVE DRAINAGE AWAY FOR THE LANDING.
- A LANDING SHALL BE PROVIDED AT THE EXTERIOR OF ALL DOORS. LANDINGS SHALL NOT EXCEED 1:50 (2.0%) IN ANY DIRECTION AND HAVE POSITIVE DRAINAGE AWAY FOR THE LANDING. THE LANDING SHALL BE NO LESS THAN 60 INCHES LONG UNLESS PERMITTED OTHERWISE PER THE ADA REGULATIONS

THE CONTRACTOR SHALL VERIFY ALL EXISTING ELEVATIONS SHOWN ON THE PLAN IN AREAS OF EXISTING DOORWAYS, ACCESSIBLE ROUTES OR OTHER AREAS WHERE RE-CONSTRUCTION IS PROPOSED. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER OF ANY FIELD CONDITIONS THAT DIFFER IN ANY MANNER FROM WHAT IS SHOWN ON THE PLANS, IN WRITING, BEFORE COMMENCEMENT OF WORK

LEGEND		
EXISTING	DESCRIPTION	PROPOSED
BORINGS		
	BORING / TEST PIT LOCATION	
COMMUNICATION		
	OVERHEAD COMM. LINES (CABLE, TEL, ETC.)	
	UNDERGROUND COMMUNICATION LINES	
CONTROL POINTS		
	HORIZONTAL CONTROL POINT	
	HORIZONTAL & VERTICAL CONTROL POINT	
	VERTICAL CONTROL POINT	
	BENCHMARK	
DOMESTIC WATER		
	WATER MAIN	
	WATER SERVICE	
	FIRE SERVICE LINE	
	NON-POTABLE WATER LINE	
	WATER LINE, ABANDONED	
	WATER VALVE	
	WATER METER	
	FIRE HYDRANT	
LIQUID FUEL		
	MAIN LIQUID FUEL LINE	
	LIQUID FUEL SERVICE LINE	
	LIQUID FUEL LINE, ABANDONED	
IRRIGATION		
	IRRIGATION LINES	
LIGHTING		
	POLE MOUNTED LIGHT	
	GROUND MOUNTED LIGHT	
NATURAL GAS		
	GAS MAIN	
	GAS SERVICE LINE	
	GAS LINE, ABANDONED	
POWER		
	ELECTRICAL LINES, OVERHEAD	
	ELECTRICAL LINES, UNDERGROUND	
	UTILITY POLE	
PROPERTY		
	PROPERTY LINE	
	IRON PIN	
	MONUMENT	
ROADS		
	GUARD RAIL	
	SIGN	
EROSION CONTROL		
	SILT FENCE	
SITE FEATURES		
	EDGE OF WATER	
	BARBED WIRE FENCE	
	CHAIN LINK FENCE	
	RAIL FENCE	
	STOCKADE FENCE	
	WIRE FENCE	
	TREE	
	TREE LINE	
	DSYL	
	SSWL	
	BCLC	
	PCC	
SANITARY SEWER		
	SANITARY SEWER MAIN	
	SANITARY SEWER SERVICE LINE	
	SANITARY SEWER LINE, ABANDONED	
	SANITARY SEWER MANHOLE	
STORM SEWER		
	STORM DRAIN PIPE	
	STORM DRAIN PIPE, ABANDONED	
	ROOF LEADER	
	UNDERDRAIN	
	STORM DRAIN MANHOLE	
	CURB INLET	
	CATCH BASIN	
	YARD DRAIN	
TOPOGRAPHY		
	CONTOUR	
	SPOT ELEVATION	
	TOP OF CURB/BOTTOM CURB	
WETLANDS		
	WETLANDS LINE	
	RAMP	
	LANDSCAPE AREA	

Prepared for:

MAY CHIROPRACTIC & REHABILITATION, LLC  
50 MAIN STREET  
EAST HARTFORD, CT  
860 568-3900

PROJECT NO.:

2832  
05-08-2017  
DESIGN BY:  
JAB  
CHECKED BY:  
JAB

MAY CHIROPRACTIC  
128 MAIN STREET  
MAP 19, LOT 158  
EAST HARTFORD, CT  
SITE PLANS

REVISIONS

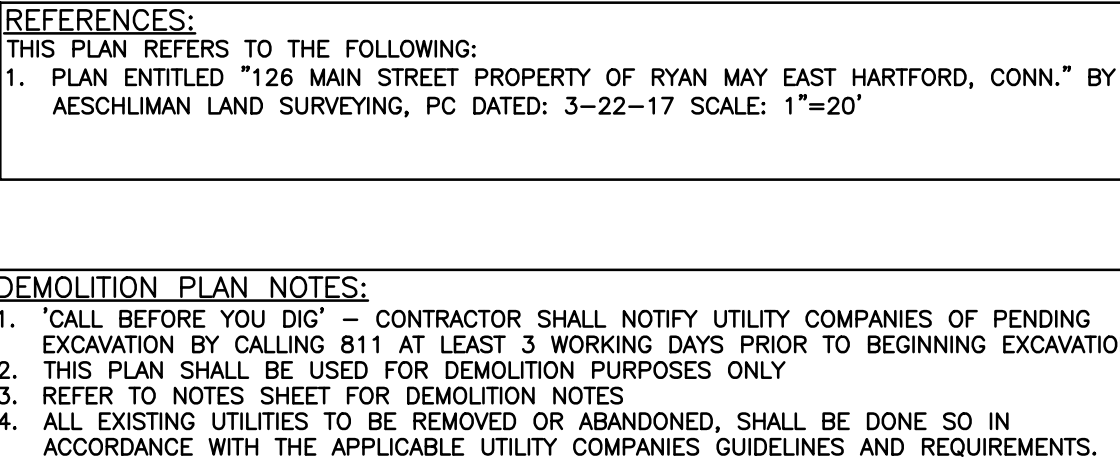
NO.	DATE	BY

NOTES SHEET

SHEET

C-N1  
SHEET 2 OF 8





# DEMOLITION PLAN

0' 5' 10' 20'

1" = 10'

SHEET 3 OF 8

**C-DM1**

NO.	DATE	REVISIONS	BY	

**MAY CHIROPRACTIC**

**128 MAIN STREET**

**MAP 19, LOT 158**

**EAST HARTFORD, CT**

**06118**

Prepared for:

**MAY CHIROPRACTIC & REHABILITATION LLC**

**50 MAIN STREET**

**EAST HARTFORD, CT**

**860-568-3900**

PROJECT NO.: **2632**

DATE: **05-08-2017**

DESIGN BY: **JAB**

CHECK BY: **BECC**

DATE: **05-08-17**

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\* Allowing only approved proposed revisions are based on available information and are not to be used for any other purpose without the written consent of the author.

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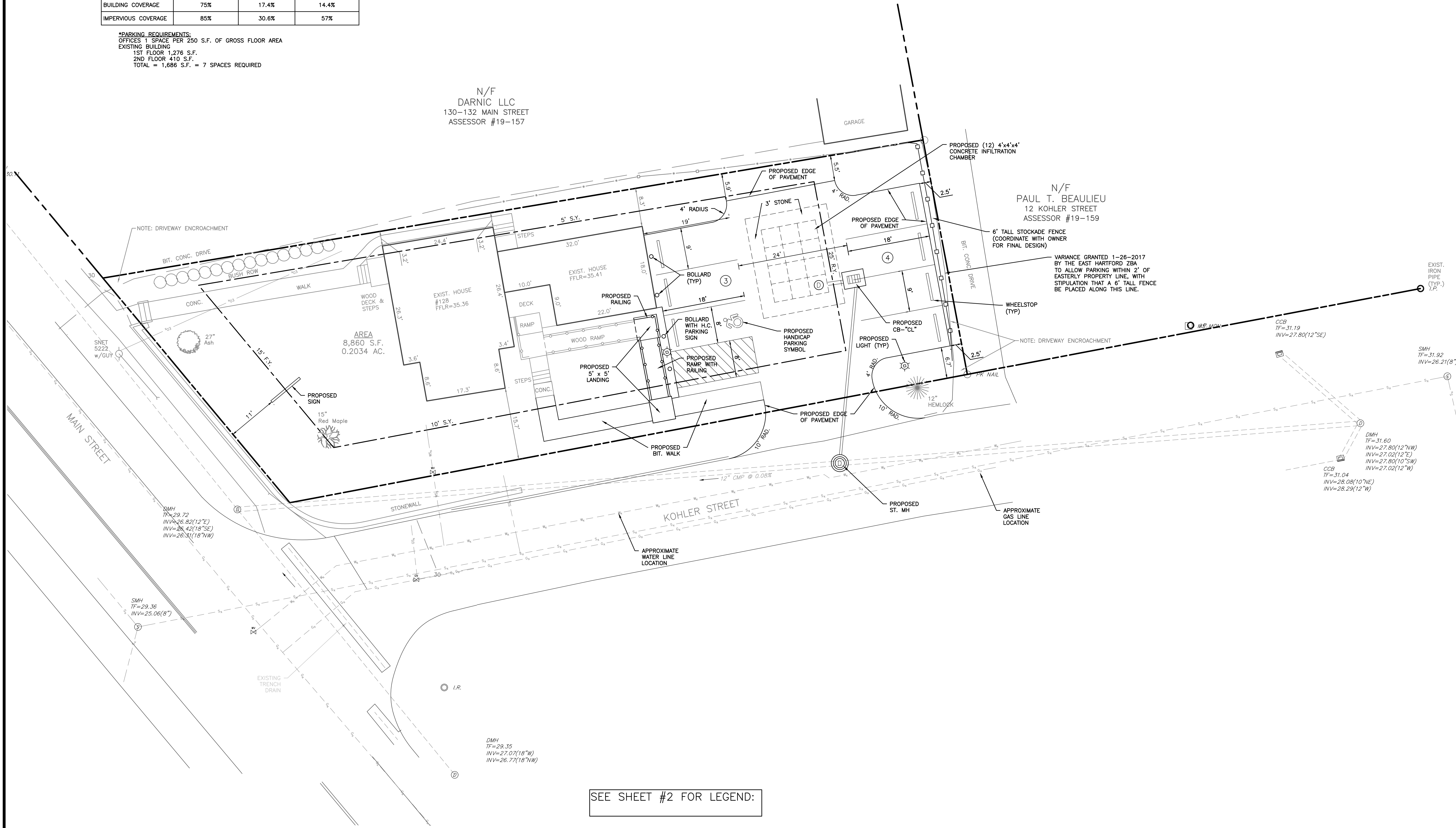


ZONING TABLE			
ZONE: B-1 ZONE (BUSINESS 1 ZONE)			
ITEM	REQUIRED / ALLOWED	EXISTING	PROPOSED
LOT AREA	5,000 S.F.	8,860 S.F.	8,860 S.F.
LOT FRONTAGE	40'	63'+	63'+
FRONT YARD	15'	37'	37'
SIDE YARD	5' & 10'	3.2' & 15.7'	3.2' & 15.7'
REAR YARD	25'	6.1'	63.5'
BUILDING HEIGHT	100'	2 STORY	2 STORY
PARKING	1 SP. / 250 S.F. GFA	3 (RES. HOME)	7*
BUILDING COVERAGE	75%	17.4%	14.4%
IMPERVIOUS COVERAGE	85%	30.6%	57%

\*PARKING REQUIREMENTS:  
OFFICES 1 SPACE PER 250 S.F. OF GROSS FLOOR AREA  
EXISTING BUILDING  
1ST FLOOR 1,278 S.F.  
2ND FLOOR 410 S.F.  
TOTAL = 1,688 S.F. = 7 SPACES REQUIRED

N/F  
DARNIC LLC  
130-132 MAIN STREET  
ASSESSOR #19-157

N/F  
PAUL T. BEAULIEU  
12 KOHLER STREET  
ASSESSOR #19-159



SEE SHEET #2 FOR LEGEND:

REFERENCES:  
THIS PLAN REFERS TO THE FOLLOWING:  
1. PLAN ENTITLED "128 MAIN STREET PROPERTY OF RYAN MAY EAST HARTFORD, CONN." BY AESCHLIMAN LAND SURVEYING, PC DATED: 3-22-17 SCALE: 1"=20'

SITE LAYOUT PLAN NOTES:  
1. "CALL BEFORE YOU DIG" - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION AT OR NEAR PUBLIC UTILITIES. CALL 811 AT LEAST 72 HOURS PRIOR TO BEGINNING EXCAVATION.  
2. THIS PLAN SHALL BE USED FOR SITE LAYOUT ONLY  
3. REFER TO NOTES SHEET FOR SITE LAYOUT NOTES

Prepared for:  
MAY CHIROPRACTIC &  
REHABILITATION, LLC  
50 MAIN STREET  
EAST HARTFORD, CT  
860 568-3900

PROJECT NO.:  
3820  
DATE: 05-08-2017  
DRAWN BY: JAB  
CHECKED BY: JAB  
DATE: 05-08-2017

REVISIONS

NO. DATE

LAYOUT SHEET

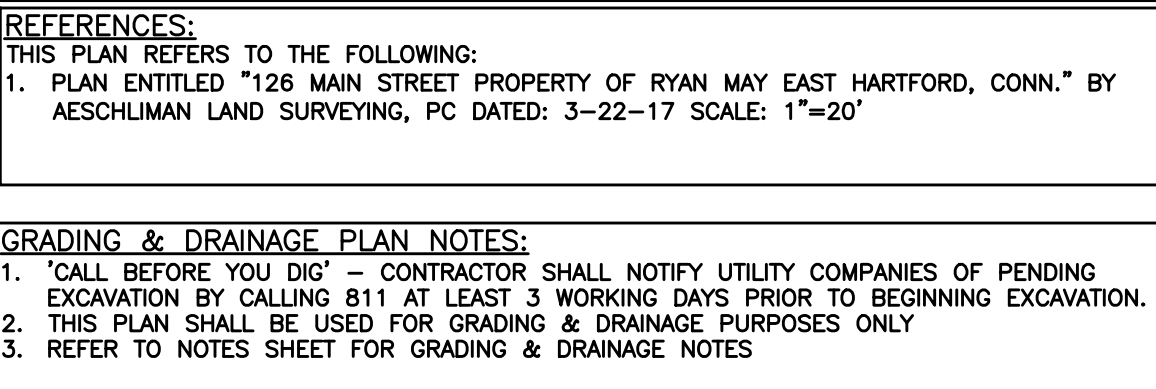
SHEET 4 OF 8  
C-SP1

design  
professionals  
CIVIL & TRAFFIC ENGINEERS / PLANNERS / SURVEYORS  
GIS ANALYSTS / LANDSCAPE ARCHITECTS

21 EBBEY DRIVE  
PO BOX 1167  
SOUTH WINDSOR, CT 06074  
860-291-9257  
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SOIL TEST DATA  
May Chiropractic  
#128 Main St. East Hartford, CT  
4-13-2017  
Witnessed by Barry Clarke from Design Professionals  
Inc. and Allyn Tarbell Town of East Hartford Eng. Dept.

Test pit #1 (Elevation 31.8')  
0 - 9" Topsoil  
9" - 30" Light Brown Sand  
30" - 55" Brown Sand  
55" - 84" Brown Sand Dense  
No Mottling  
Root to 3"  
Water at 84" (elev. 24.8')

Percolation test  
40" deep  
Presoak 8:30 water depth 21" from bottom

8:42 16"  
8:46 5"  
8:49 2.5"  
8:51 1"  
8:52 Dry  
Perc. Rate 2 min./inch

21 JEFFREY DRIVE  
P.O. BOX 1167  
SOUTH WINDSOR, CT 06074  
860-291-8755 - T  
860-291-8757 - F  
[www.designprofessionalsinc.com](http://www.designprofessionalsinc.com)



**Design Professionals**  
CIVIL & TRAFFIC ENGINEERS  
GIS ANALYSTS / LAND

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Prepared for:  
MAY CHIROPRACTIC &  
REHABILITATION, LLC  
50 MAIN STREET  
EAST HARTFORD, CT  
860 568-3900

PROJECT NO.:	3832
DATE:	05-08-2017
DESIGN BY:	IAB
DRAWN BY:	BDC
CHECKED BY:	IAB

**MAY CHIROPRACTIC**  
128 MAIN STREET  
MAP 19 LOT 158  
EAST HARTFORD, CT  
SITE PLANS

[illegible]

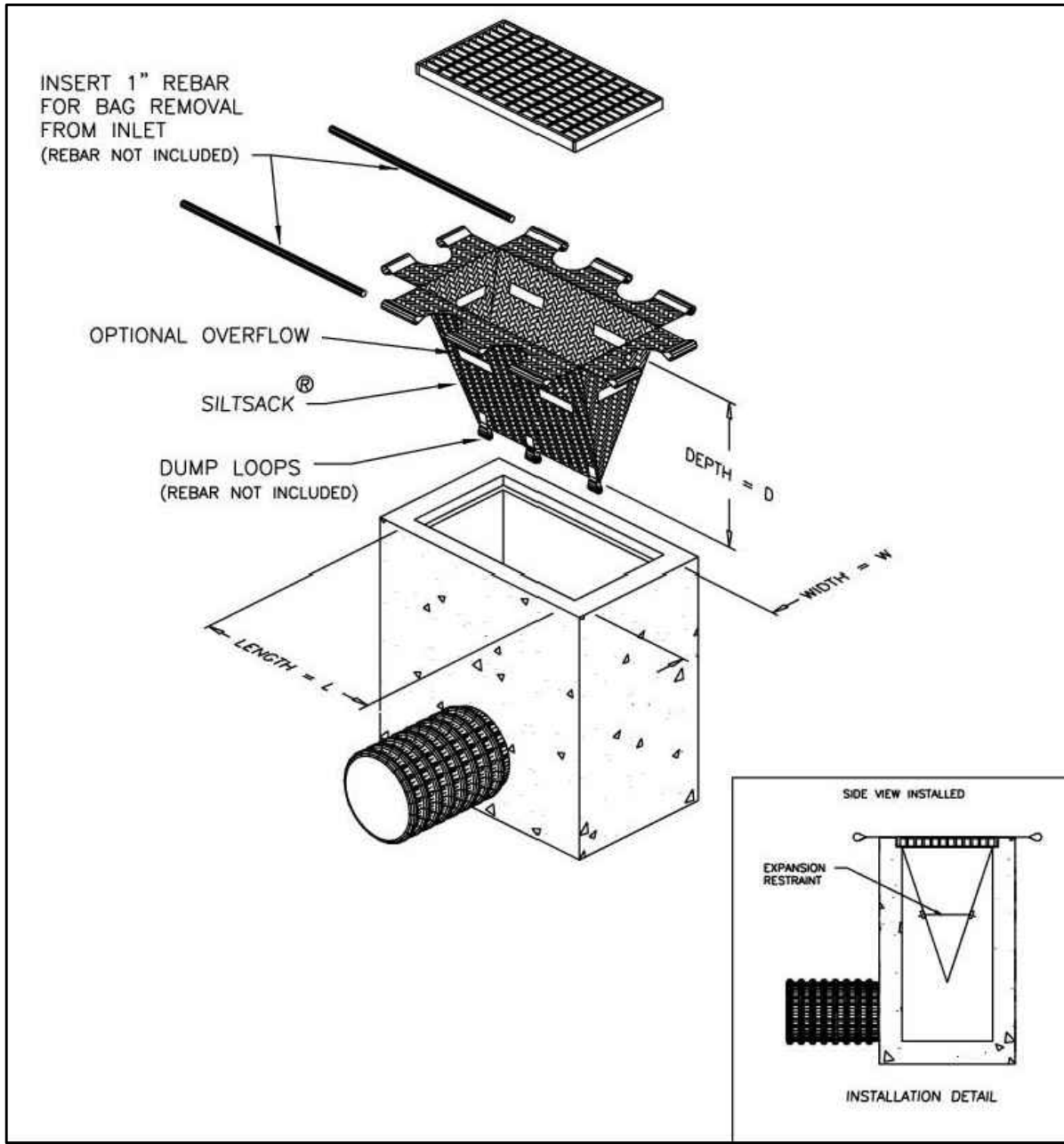
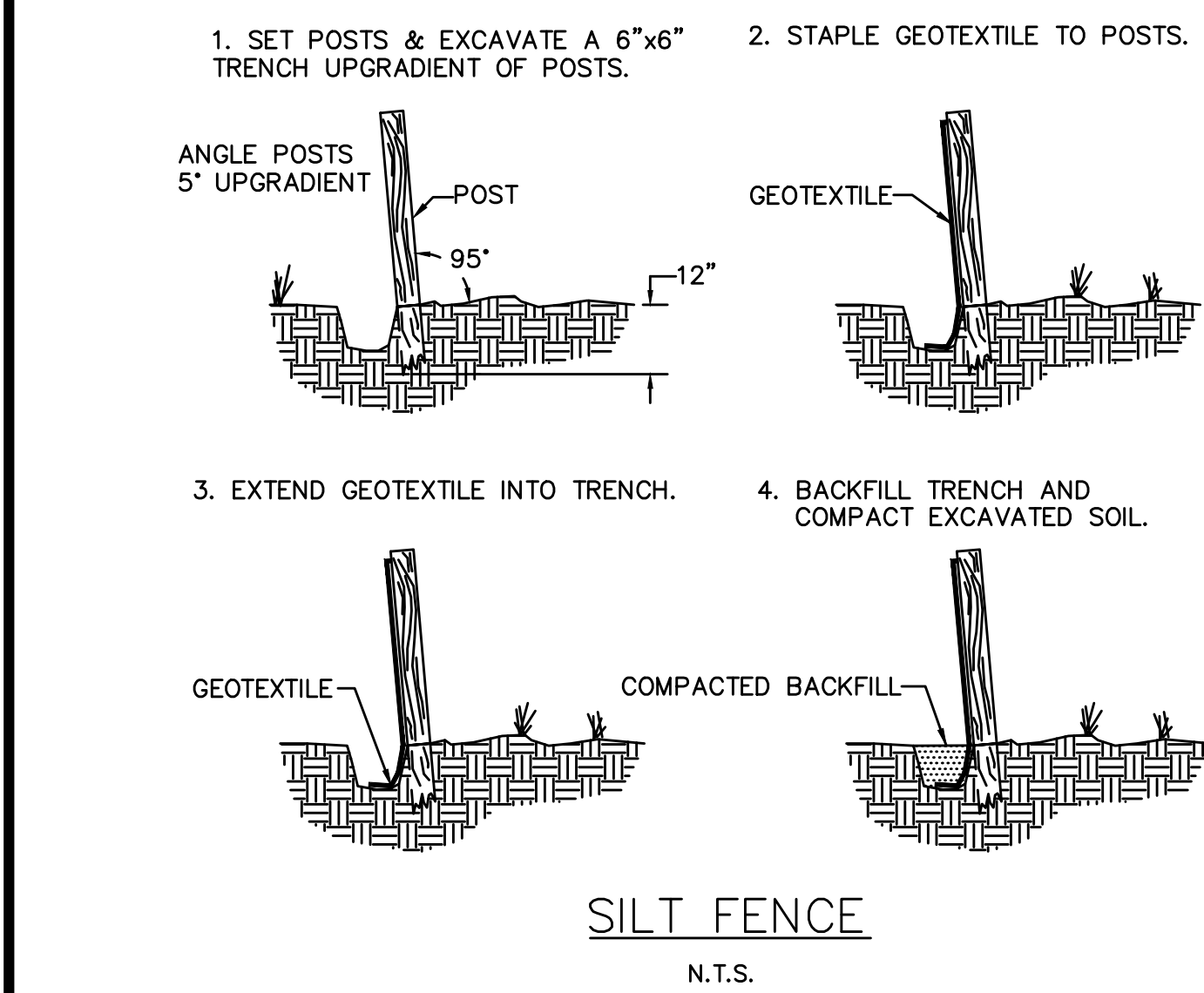
# GRADING & DRAINAGE PLAN

SHEET

**C-GD1**

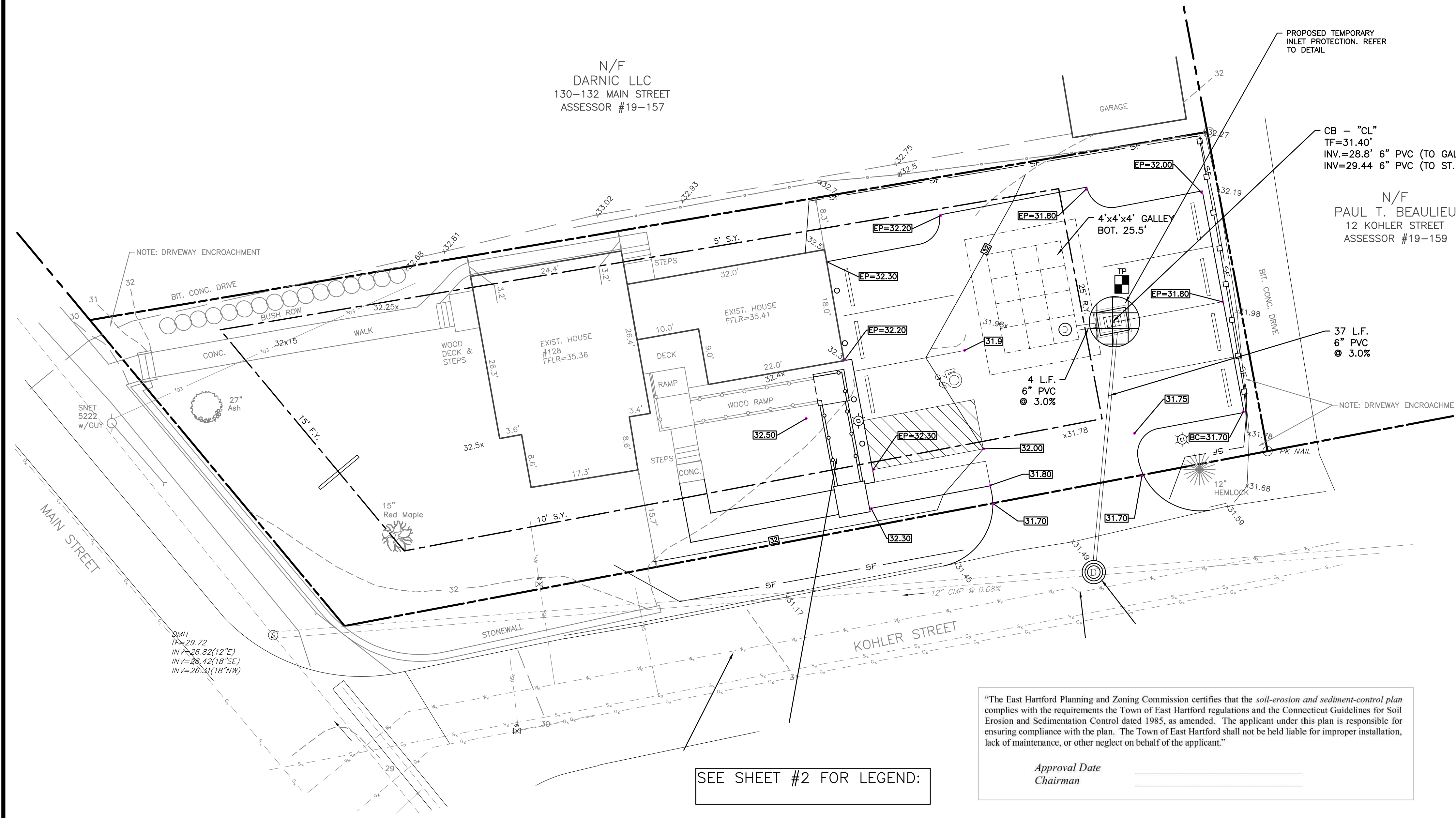
SHEET 5 OF 8





**CURB-LESS INLET PROTECTION DETAIL**

N.T.S.





# REFERENCES:

- THIS PLAN REFERS TO THE FOLLOWING:
1. PLAN ENTITLED "126 MAIN STREET PROPERTY OF RYAN MAY EAST HARTFORD, CONN." BY AESCHLIMAN LAND SURVEYING, PC DATED: 3-22-17 SCALE: 1"=20'

## LANDSCAPE PLAN NOTES:

1. "CALL BEFORE YOU DIG" CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION BY CALLING 811 AT LEAST 3 WORKING DAYS PRIOR TO BEGINNING EXCAVATION.
2. THIS PLAN SHALL BE USED FOR LANDSCAPE PURPOSES ONLY
3. REFER TO LANDSCAPE NOTES AND DETAILS SHEET FOR LANDSCAPE NOTES

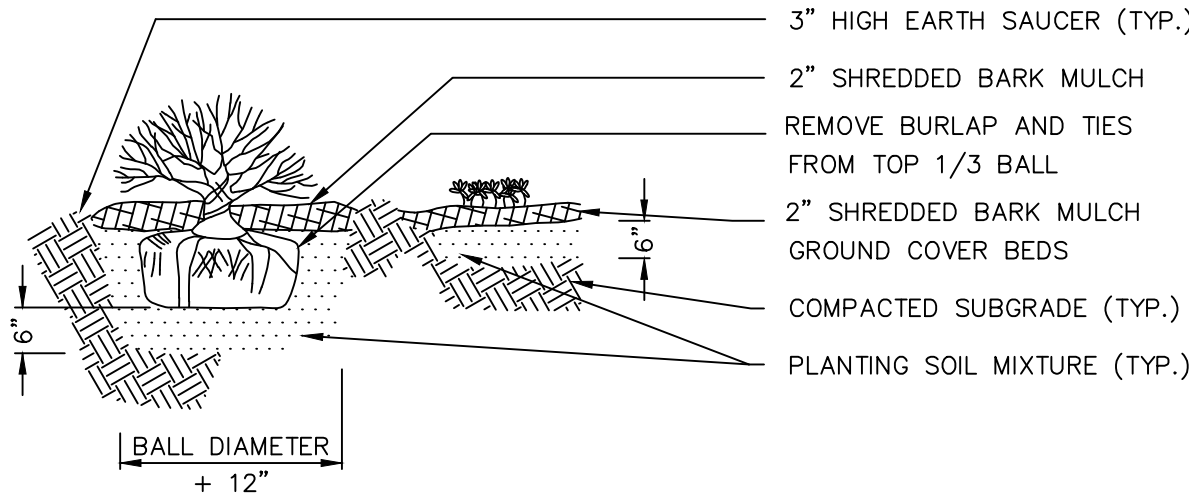
## LANDSCAPE NOTES:

1. ALL EXISTING TREES TO REMAIN SHALL BE SHAPED OR PRUNED WITHIN THE DEVELOPMENT AND ALONG THE PERIMETER OF CONSTRUCTION LIMIT AS REQUIRED BY OWNER'S REPRESENTATIVE.
2. WEEDS AND DEAD, UNHEALTHY EXISTING TREES AND INVASIVE SPECIES SHALL BE REMOVED FROM WETLANDS AND RESIDENTIAL LANDSCAPE BUFFER AREAS.
3. ALL AREAS DESIGNATED TO BE SEEDD SHALL RECEIVE FOUR (4) INCHES OF TOPSOIL, SOIL AMENDMENTS AND MULCH. WATER AND MAINTAIN LAWN AREAS UNTIL ALL AREAS ARE STABILIZED AND ACCEPTED BY OWNER'S REPRESENTATIVE.
4. PLANTS: ALL PLANTS SHALL COMPLY WITH THE RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 "AMERICAN STANDARD OF NURSERY STOCK." PROVIDE PLANTS TYPICAL OF THEIR SPECIES OR VARIETY WITH NORMAL, DENSELY DEVELOPED BRANCHES AND VIGOROUS, FIBROUS ROOT SYSTEMS. PROVIDE ONLY SOUND, HEALTHY, VIGOROUS PLANTS FREE FROM INSECT PESTS, DISEASES, AND PHYSICAL INJURY. ALL PLANTS SHALL HAVE A FULLY DEVELOPED FORM WITHOUT Voids AND OPEN SPACES.
5. BALLED AND BURLAPPED PLANTS: DIG BALLED AND BURLAPPED PLANTS WITH FIRM, NATURAL BALLS OF EARTH OF SUFFICIENT DIAMETER AND DEPTH TO ENCOMPASS THE FIBROUS AND FEEDING ROOT SYSTEM. NECESSARY FOR LOG, RECOVERY OF PLANT, PROVIDE BALL SIZES COMPLYING WITH THE LATEST EDITION OF THE "AMERICAN STANDARD FOR NURSERY STOCK." CRACKED OR MUSHROOMED BALLS ARE NOT ACCEPTABLE.
- 5.A. BARE-ROOT PLANTS: DIG WITH ADEQUATE FIBROUS ROOTS, COVERED WITH A UNIFORM, THICK COATING OF MUD BY BEING PUDDLED IMMEDIATELY AFTER THEY ARE DUG, OR PACKED IN MOIST STRAW OR PEAT MOSS.
- 5.B. CONTAINER-GROWN STOCK: GROWN IN A CONTAINER FOR SUFFICIENT LENGTH OF TIME FOR THE ROOT SYSTEM TO HAVE DEVELOPED TO HOLD ITS SOIL TOGETHER, FIRM AND WHOLE.
- 5.B.A. CONTAINER STOCK SHALL NOT BE ROOT BOUND.
- 5.B.B. ALL PLANTS SHALL BE NURSERY GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT, FOR AT LEAST ONE YEAR.
6. CONTRACTOR RESPONSIBLE TO WARRANT PLANT MATERIAL TO REMAIN ALIVE AND BE HEALTHY, VIGOROUS CONDITION FOR A PERIOD OF 1 YEAR AFTER FINAL ACCEPTANCE OF ENTIRE PROJECT INCLUDING DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM NEGLECT BY OWNER, ABUSE OR DAMAGE BY OTHERS, OR UNUSUAL PHENOMENA OR INCIDENTS WHICH ARE BEYOND CONTRACTOR'S CONTROL.
7. CONTRACTOR TO REMOVE AND REPLACE TREES, SHRUBS, OR OTHER PLANTS FOUND TO BE DEAD OR IN UNHEALTHY CONDITION DURING WARRANTY PERIOD AT CONTRACTOR'S EXPENSE. REPLACE TREES AND SHRUBS WHICH ARE IN DOUBTFUL CONDITION AT END OF WARRANTY PERIOD, AND EXTEND WARRANTY PERIOD FOR AN ADDITIONAL GROWING SEASON FOR THE REPLACEMENT PLANTS.
8. CONTRACTOR RESPONSIBLE FOR PLANTING UNDER FAVORABLE WEATHER CONDITIONS AND RECOMMENDED SEASON FOR PLANT SURVIVAL AND ESTABLISHMENT. AT OPTION OF, AND UNDER FULL RESPONSIBILITY OF CONTRACTOR, PLANTING OPERATIONS MAY BE CONDUCTED UNDER UNSEASONABLE CONDITIONS, BUT WITHOUT ADDITIONAL COMPENSATION. SPECIAL CONDITIONS EXIST TO REQUIRE PLANTING OUTSIDE THE ABOVE SPECIFIED DATES, THE CONTRACTOR SHALL SUBMIT IN WRITING FOR PERMISSION BY THE OWNER'S REPRESENTATIVE. ANY VARIANCE IN THE PLANTING SEASON WILL NOT AFFECT THE ONE YEAR PLANTING GUARANTEE PERIOD.
9. DO NOT MAKE SUBSTITUTIONS. IF SPECIFIED LANDSCAPE MATERIAL IS NOT OBTAINABLE, SUBMIT PROOF OF NON-AVAILABILITY TO OWNER TOGETHER WITH PROPOSAL FOR USE OF EQUIVALENT MATERIAL. SUBSTITUTION OF PLANTS WILL NOT BE PERMITTED UNLESS APPROVED IN WRITING BY THE OWNER.
- 9.A. ROOT SYSTEMS: FREELY SUBSTITUTED IN THE CASE OF BALLED AND BURLAPPED, OR CONTAINER GROWN. ALL OTHER SPECIFICATIONS REMAINING UNCHANGED. BARE ROOT OR COLLECTED PLANTS ARE NOT ACCEPTABLE AS SUBSTITUTES WITHOUT RECEIPT OF A CHANGE ORDER.
10. PROVIDE A MINIMUM OF 1/2" OF PLANTING SOIL MIXTURE IN ALL PLANTING BEDS.
- 10.1. PLANTING SOIL MIXTURE (BY VOLUME) SHALL BE EQUAL TO:
  - A. BARK MULCH/COMPOST 40-45%
  - B. COARSE SAND 40-45%
  - C. TOPSOIL 15-20%
12. PRIOR TO PLANTING, THE CONTRACTOR SHALL OBTAIN SOIL TEST FROM A CERTIFIED SOIL LABORATORY FOR ALL AREAS OF THE SITE WITH RECOMMENDATIONS FOR APPROPRIATE SOIL AMENDMENTS FOR THE TYPES OF PLANTS SPECIFIED.
- 12.A. LIFE SHALL BE PELLETED LIME MANUFACTURED TO MEET AGRICULTURAL STANDARDS AND CONTAIN A MINIMUM OF 60% OXIDE, (I.E. CALCIUM OXIDE PLUS MAGNESIUM OXIDE).
- 12.B. FERTILIZER SHALL BE OF A FORMULA INDICATED BY THE SOIL TESTING TO ACHIEVE A MINIMUM OF ONE POUND OF NITROGEN PER 1000 S.F. OF LAWN AREA. FERTILIZER SHALL BE A MINIMUM OF 50% ORGANIC SLOW-RELEASE COMPOSITION.
- 12.C. NO SOIL AMENDMENTS OR FERTILIZER SHALL BE USED FOR AREA DISTURBED WITHIN WETLANDS OR CREATED WATER QUALITY BASINS.
- 12.D. CONTRACTOR TO HAVE FERTILIZER MATERIALS DELIVERED IN ORIGINAL, UNOPENED, AND UNDAMAGED CONTAINERS SHOWING HEIGHT, ANALYSIS, AND NAME OF MANUFACTURER. STORE IN MANNER TO PREVENT HEETING AND DETERIORATION.
- 12.E. DELAY MIXING FERTILIZER IF PLANTING WILL NOT FOLLOW PLACING OF PLANTING SOIL WITHIN A FEW DAYS.
14. DAYLILIES AND PERENNIALS SHALL BE INSTALLED AT 24" O.C., UNLESS NOTED OTHERWISE. APPLY 2" OF BARK MULCH IN AREAS OF GROUND COVER AND PERENNIALS OR OWNER SELECTED ANNUALS.
15. NO PLANT, EXCEPT GROUND COVERS, GRASSES, OR VINES, SHALL BE PLANTED LESS THAN TWO FEET FROM STRUCTURES, EDGE OF PAVEMENT, OR BACK OF CURB.
16. TREES IN EXCESS OF 3" CALIPER SHALL BE SUBJECT TO INSPECTION FOR CONFORMITY TO THE SPECIFICATIONS AND APPROVAL OF LANDSCAPE ARCHITECT AT THEIR PLACE OF GROWTH AND UPON DELIVERY. WRITTEN REQUEST SHALL BE SUBMITTED 10 DAYS PRIOR.
- 16.1. CONTRACTOR RESPONSIBLE TO SUBMIT CERTIFICATES OF INSPECTION AS REQUIRED BY GOVERNMENTAL AUTHORITIES. LANDSCAPE MATERIALS TO BE SHIPPED WITH CERTIFICATES OF INSPECTION REQUIRED BY GOVERNMENTAL AUTHORITIES. COMPLY WITH REGULATIONS APPLICABLE TO LANDSCAPE MATERIALS AND CONTRACTOR TO SUBMIT MANUFACTURER'S OR VENDOR'S CERTIFIED ANALYSIS FOR FERTILIZER MATERIALS. MOVING AND STORAGE OF PLANT MATERIALS: CONTRACTOR TO TAKE ALL PRECAUTIONS CUSTOMARY IN GOOD TRADE PRACTICE IN PREPARING PLANTS FOR MOVING. WORKMANSHIP THAT FAILS TO MEET THE HIGHEST STANDARDS WILL BE REJECTED.
- 17.1. SPRAY DECIDUOUS PLANTS IN FOLIAGE WITH AN APPROVED ANTITRANSPIRANT IMMEDIATELY AFTER DIGGING TO PREVENT DEHYDRATION.
- 17.2. LEGIBLY TAG PLANTS WITH BOTANICAL NAME AND SIZE IN ACCORDANCE WITH THE STANDARDS OF PRACTICE OF THE AMERICAN ASSOCIATION OF NURSERMEN.
- 17.3. DIG, PACK, TRANSPORT, AND HANDLE PLANTS WITH CARE TO ENSURE PROTECTION AGAINST INJURY.
- 17.4. FULLY PROTECT PLANTS FROM DAMAGE BY SUN, WIND, DROUGHT, WATER AND OTHER INJURIOUS CONDITIONS DURING TRANSPORTATION TO SITE AND DURING TEMPORARY STORAGE BEFORE PLANTING.
- 17.5. INSPECTION CERTIFICATES REQUIRED BY LAW SHALL ACCOMPANY EACH SHIPMENT INVOICE OR ORDER TO STOCK AND ON ARRIVAL. THE CERTIFICATE SHALL BE FILED WITH THE OWNER.
- 17.6. NO PLANT SHALL BE BOUND WITH ROPE OR WIRE IN A MANNER THAT COULD DAMAGE OR BREAK THE BRANCHES.
- 17.7. A COMPLETE LIST OF PLANTS, INCLUDING A SCHEDULE OF SIZES, QUANTITIES, AND OTHER REQUIREMENTS IS SHOWN ON THE DRAWINGS. IN THE EVENT THAT QUANTITY DISCREPANCIES OR MATERIAL OMISSIONS OCCUR IN THE PLANT MATERIALS LIST, THE PLANTING PLANS SHALL GOVERN.
19. STOCK FURNISHED SHALL BE AT LEAST THE MINIMUM SIZE INDICATED ON THE DRAWINGS. LARGER STOCK IS ACCEPTABLE, AT NO ADDITIONAL COST AND PROVIDING THE LARGER PLANTS WILL NOT BE CUT BACK TO THE SIZE INDICATED ON THE DRAWINGS.
20. THE HEIGHT OF THE TREE, MEASURED FROM THE CROWN OF THE ROOTS TO THE AVERAGE HEIGHT OF THE TOP OF THE TREE, SHALL NOT BE LESS THAN THE MINIMUM SIZE DESIGNATED IN THE PLANT LIST.
21. SHRUBS AND SMALL PLANTS SHALL MEET THE REQUIREMENTS FOR SPREAD AND HEIGHT INDICATED IN THE PLANT LIST.
22. NO PRUNING WOUNDS SHALL BE PRESENT WITH A DIAMETER OF MORE THAN 1 INCH AND SUCH WOUNDS MUST SHOW VIGOROUS BARK ON ALL EDGES.
23. ANTI-TRANSPARENT: PROVIDE PROTECTIVE FILM EMISSION PROVIDING A PROTECTIVE FILM OVER PLANT SURFACES, PERMEABLE TO PERMIT TRANSPARATION. FIXED AND APPLIED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
24. WATER IS TO BE SUPPLIED FOR PLANTS THAT IS CLEAN, FREE FROM TOXIC AMOUNTS OF SALT, OIL, ACID, ALKALI, ORGANIC MATTER OR OTHER SUBSTANCES HARMFUL TO PLANTS.
- 25.1. CONTRACTOR TO PRUNE AND REPAIR PLANTS AS FOLLOWS:
  - 25.A. REMOVE OR CUT BACK BROKEN, DAMAGED, AND UNUSUAL GROWTH OF NEW WOOD.
  - 25.B. MULTIPLE LEADER PLANTS: PRESERVE THE CENTRAL LEADER WHICH WILL BEST PROMOTE THE SYMMETRY OF THE PLANT. CUT BRANCHES FLUSH WITH THE TRUNK OR MAIN BRANCH.
  - 25.C. PRUNE NEEDLE-LEAF EVERGREEN TREES ONLY TO REMOVE BROKEN OR DAMAGED BRANCHES.
  - 25.D. ALL TREES DIRECTLY ADJACENT TO WALKWAYS OR DRIVEWAYS SHALL BE PRUNED AND MAINTAINED TO A MINIMUM BRANCHING HEIGHT OF 7 FEET ABOVE FINISH GRADE.
26. MULCH TO BE APPLIED AS FOLLOWS:
  - 26.A. AREAS TO RECEIVE MULCH: ALL PLANT BEDS AND OTHER AREAS AS DESIGNATED ON DRAWINGS SHALL BE MULCHED.
  - 26.B. PLACEMENT: PLACE MULCH TO REQUIRED UNIFORM DEPTH SOON AFTER PLANTING TO PREVENT DRYING OF PLANTING SOIL AROUND ROOTS. DO NOT PLACE MULCH WITHIN 3" OF TREE TRUNKS.
  - 26.C. APPLY BARK MULCH TO A UNIFORM DEPTH OF 2 INCHES.
  - 26.D. MULCH SHALL BE 6 MONTHS OLD, WELL-ROTTED, SHREDDED, NATIVE HARDWOOD BARK, NOT LARGER THAN 4" IN LENGTH AND 1/2" IN WIDTH. FREE OF WOOD CHIPS AND SANDUST.
27. CONTRACTOR RESPONSIBLE FOR MAINTENANCE OF PLANT MATERIALS:
  - 27.A. MAINTAIN PLANTINGS UNTIL FINAL ACCEPTANCE OF WORK.
  - 27.B. MAINTENANCE SHALL INCLUDE PRUNING, WEEDING, WATERING, AND APPLICATION OF APPROPRIATE INSECTICIDES AND FUNGICIDES NECESSARY TO MAINTAIN PLANTS FREE OF INSECTS AND DISEASE.
  - 27.C. RESET SETTLED PLANTS TO PROPER GRADE AND POSITION. RESTORE PLANTING SAUCERS AND ADJACENT MATERIAL AND REMOVE DEAD MATERIAL.
  - 27.D. CORRECT DEFECTIVE WORK AS SOON AS POSSIBLE AFTER DEFICIENCIES BECOME APPARENT AND WEATHER AND SEASON PERMIT.
  - 27.E. WATER PLANTINGS IN A SATISFACTORY MANNER DURING AND IMMEDIATELY FOLLOWING PLANTING, TWICE PER WEEK, OR LESS UNDER WET CONDITIONS, FOR A PERIOD OF FOUR WEEKS OR UNTIL ACCEPTANCE BY OWNER, WHICHEVER IS LESSER. PROVIDE ADDITIONAL WATERING DURING EXCESSIVE DRY PERIODS DURING THE MAINTENANCE PERIOD AS DIRECTED BY THE OWNER.
  - 27.F. REPLACEMENT OF PLANTS: ANY PLANTS TO BE REPLACED PRIOR TO ACCEPTANCE OF WORK, OR UNDER TERMS OF GUARANTEE SHALL BE INSTALLED FOLLOWING PROCEDURES SET FORTH ABOVE.
28. LANDSCAPE CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING CONSTRUCTION. LOCATION, SUPPORT, PROTECTION AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
29. LANDSCAPE CONTRACTOR SHALL CONTACT CALL BEFORE YOU DIG 1-800-422-4455 AT LEAST TWO FULL WORKING DAYS PRIOR TO INSTALLATION.
30. LANDSCAPE CONTRACTOR TO REMOVE AND DISPOSE OF ALL CONSTRUCTION DEBRIS FROM SITE PER GOVERNING REGULATIONS.
31. CONSTRUCTION SITE IS TO BE IN A CLEAN, ORDERLY CONDITION AT ALL TIMES.
32. ALL REQUIRED PERMITS ARE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
33. LANDSCAPE CONTRACTOR SHALL PROVIDE FINE GRADING WORK FOR THE ENTIRE PROJECT. THIS WILL INCLUDE ALL AREAS TO BE GRASSED OR LANDSCAPED. FINE GRADING MUST PROVIDE DRAINAGE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS AND NOT LEAVE ANY POCKETS WHERE STANDING WATER MAY COLLECT.
34. TOPSOIL SHALL NOT BE SPREAD UNDER FROZEN OR MUDDY CONDITIONS.
- 34.A. THE LOCATION OF ALL TREES AND SHRUBS SHALL BE STAKED FOR APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.

## SEEDING NOTES:

1. SEEDING MIXTURE TYPE 1 (LAWN AREAS):
  - BLUEGRASS BLEND (3 VARIETIES) 50% OF MIXTURE
  - CHENINGES RED FESCUE 30% OF MIXTURE
  - PERENNIAL KYTGRASS 20% OF MIXTURE
2. APPLICATION RATE: 4.50LBS. PER 1000 S.F.

CONTRACTOR RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SEEDING AREAS UNTIL SATISFACTORY GROWTH AS DETERMINED BY THE OWNER. REPLANT BARE AND REPAIR ERODED AREAS UNTIL END OF MAINTENANCE PERIOD.



1 SHRUB & GROUND COVER PLANTING DETAIL

Not to Scale

Schedule									
Symbol	Label	Quantity	Manufactur er	Catalog Number	Description	Lamp	Number Lamps	Mounting Ht.	Lumens Per Lamp
⤴	A	1	LSI INDUSTRIES	XCXN3-PT-5-LED-SS-NW-UE	CONSTITUTION LED	LED	1	16'	5200
⤵	B	1	LSI INDUSTRIES	XCXN3-PT-3-LED-SS-NW-UE	CONSTITUTION LED	LED	1	16'	5744

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	0.8 fc	5.9 fc	0.0 fc	N/A	N/A

## LANDSCAPE PLANTING SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	TYPE	NOTES
SHRUBS						
JPCP	57	Juniperus chinensis 'Pfitzeriana Compacta'	Compact Pfitzer Juniper	No. 3	CONT.	5' O.C.
RPJM	4	Rhododendron 'PJM Compactum'	Compact PJM Rhododendron	No. 3	CONT.	5' O.C.

N/F  
DARNIC LLC  
130-132 MAIN STREET  
ASSESSOR #19-157

## NOTES:

1. THE LIGHT LEVELS SHOWN ON THESE PLANS (IN FOOTCANDLES) ARE APPROXIMATE AND BASED ON INFORMATION PROVIDED BY THE MANUFACTURER.
2. CONTRACTOR SHALL MAKE ADJUSTMENTS TO LIGHT LOCATIONS IN THE FIELD TO AVOID UNDERGROUND FUR FERTIGATION. CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT PRIOR TO INSTALLING IF DEVIATION IS 5' OR MORE FROM LOCATION SHOWN ON THE PLANS.
3. ELECTRICAL DESIGN OF SITE LIGHTING TO BE COMPLETED BY AN ELECTRICAL ENGINEER LICENSED IN THE STATE OF CONNECTICUT (BY OTHERS).
4. LIGHT POLE BASES TO BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF CONNECTICUT AND COORDINATED WITH THE LIGHTING MANUFACTURER (BY OTHERS).

## LED CONSTITUTION DECORATIVE AREA LIGHTS (XCXN3)

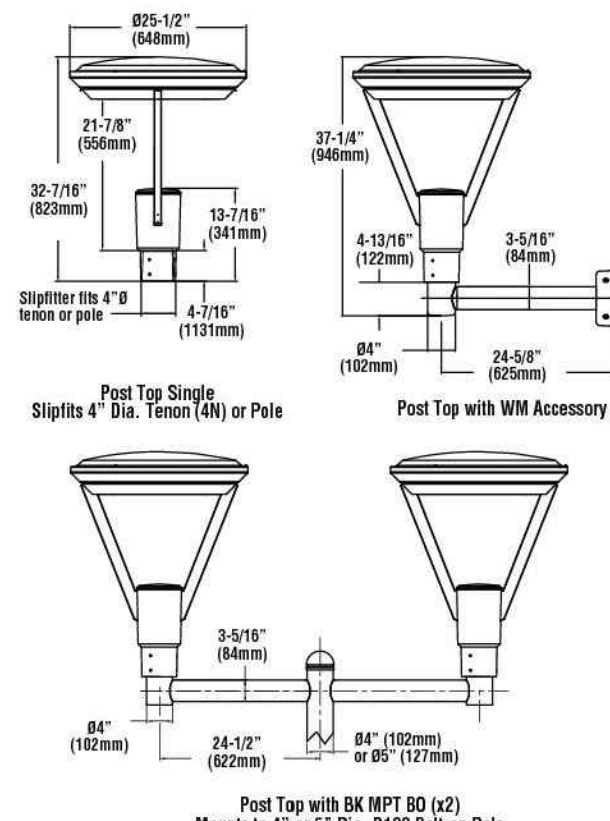
### LUMINAIRE ORDERING INFORMATION

TYPICAL ORDER EXAMPLE: **XCXN3 PT 5 LED HO CW UE MSV PCI120**

Profile	Mounting Style	Distribution	Light Source	Drive Current	Color Temperature	Input Voltage	Finish	Options
XCXN3	PT - Post Top	3-Type III PT - Forward Throw 5-Type V	LED	SS - Super Sharp HO - High Output	CW - Cool White (5000K) NW - Neutral White (4000K)	US - Universal Electronic (120-277V 50/60Hz) 347-480	BRZ - Bronze BLK - Black PLP - Platinum Plus WHT - White SVG - Satin Verde GRN - Green GPT - Graphite MSV - Metallic Silver	<b>Ballast Type Photocells</b> PCI 120 - 120V PCI228-227 - 228-277v PCI240 - 240V TE - Tool-less Entry DIM - 0-10V Dimming (from external signal) BLS - 0-10V Dimming (from external signal) BLS - 0-10V Dimming (from external signal) BLS - 0-10V Dimming (from external signal)

FOOTNOTES:  
1- DIM and BLS cannot be ordered together.  
2- Order poles with 3\"/>

## DIMENSIONS



LUMINAIRE EPA CHART - Constitution		
	MOUNTING STYLE	EPA
■	PT Single	1.0
■	PT 180°	2.0
■	PT 180° with 8K WPT 80 (2)	2.0

SHIPPING WEIGHTS - Constitution	
Catalog Number	Est. Weight (kg/lbs.)
XCXN3	20.4/45



Project Name \_\_\_\_\_ Fixture Type \_\_\_\_\_ 10/24/16  
Catalog # \_\_\_\_\_ ©2016 LSI INDUSTRIES INC.

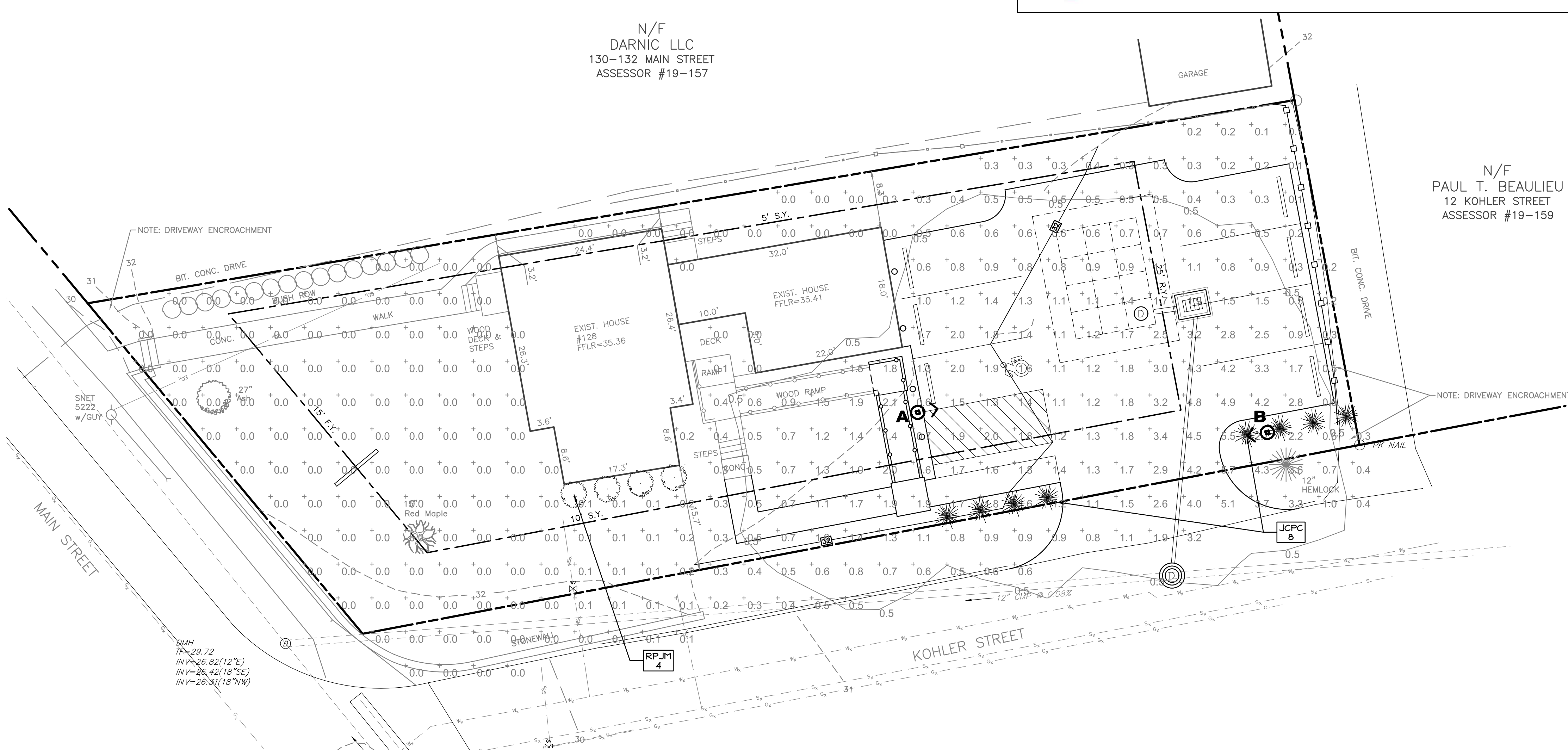
## BUG LISTING

XCXN3 - TYPE 3					
Drive Current	Color Temp.	Lumens	Watts	LER	BUG Rating
HO	CW	8423	108	78	B1-U2-G1
NW	CW	7985	108	74	B1-U2-G1
SS	CW	6044	70	86	B1-U1-G1
NW	CW	5744	70	82	B1-U1-G1

XCXN3 - TYPE 5					
Drive Current	Color Temp.	Lumens	Watts	LER	BUG Rating
HO	CW	7594	108	70	B3-U1-G1
NW	CW	7286	108	67	B3-U1-G1
SS	CW	5361	70	77	B3-U1-G1
NW	CW	5199	70	74	B2-U1-G1

XCXN3 - TYPE FT					
Drive Current	Color Temp.	Lumens	Watts	LER	BUG Rating
HO	CW	7937	108	73	B1-U2-G2
NW	CW	7738	108	72	B1-U2-G2
SS	CW	5708	70	82	B1-U2-G2
NW	CW	5446	70	78	B1-U2-G1

\* Color Temperature: WW-3000K, NW-4000K, CW-5000K



Prepared for:

MAY CHIROPRACTIC  
REHABILITATION, LLC  
50 MAIN STREET  
EAST HARTFORD, CT  
860 568-3900

PROJECT NO.	DATE	BY	DATE	BY
3832	05-08-2017	JAB	05-08-2017	JAB

MAY CHIROPRACTIC  
128 MAIN STREET  
MAP 19, LOT 158  
EAST HARTFORD, CT  
SITE PLANS

REVISIONS

NO.	DATE	BY

## LANDSCAPE & LIGHTING PLAN

SHEET

LS-LT1  
SHEET 7 OF 8

21 EFFEY DRIVE  
PO BOX 167  
SOUTH WINDSOR, CT 06074  
860-298-9257  
www.designprofessionals.com

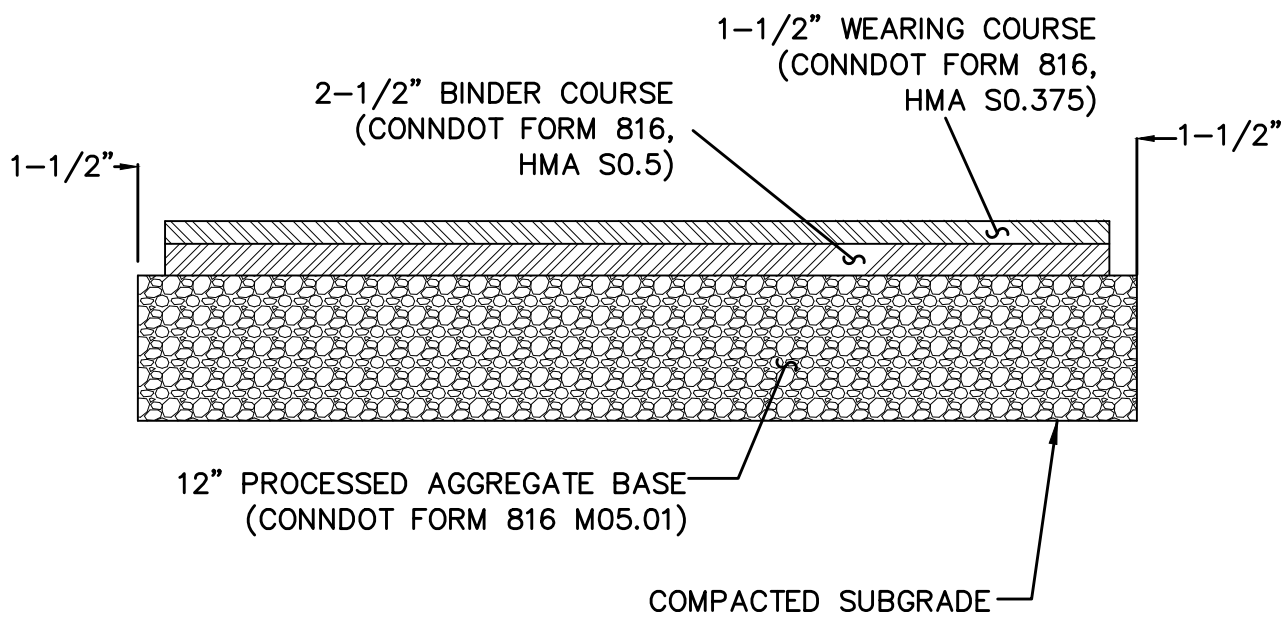
Design Professionals  
CIVIL & TRAFFIC ENGINEERS / PLANNERS / SURVEYORS  
GIS ANALYSTS / LANDSCAPE ARCHITECTS

This plan was created using the latest version of AutoCAD and other software. The user is responsible for ensuring that the plan is accurate and that all necessary permits are obtained. The user is also responsible for ensuring that the plan is used for the intended purpose and that it is not used for any other purpose without the written consent of the user.

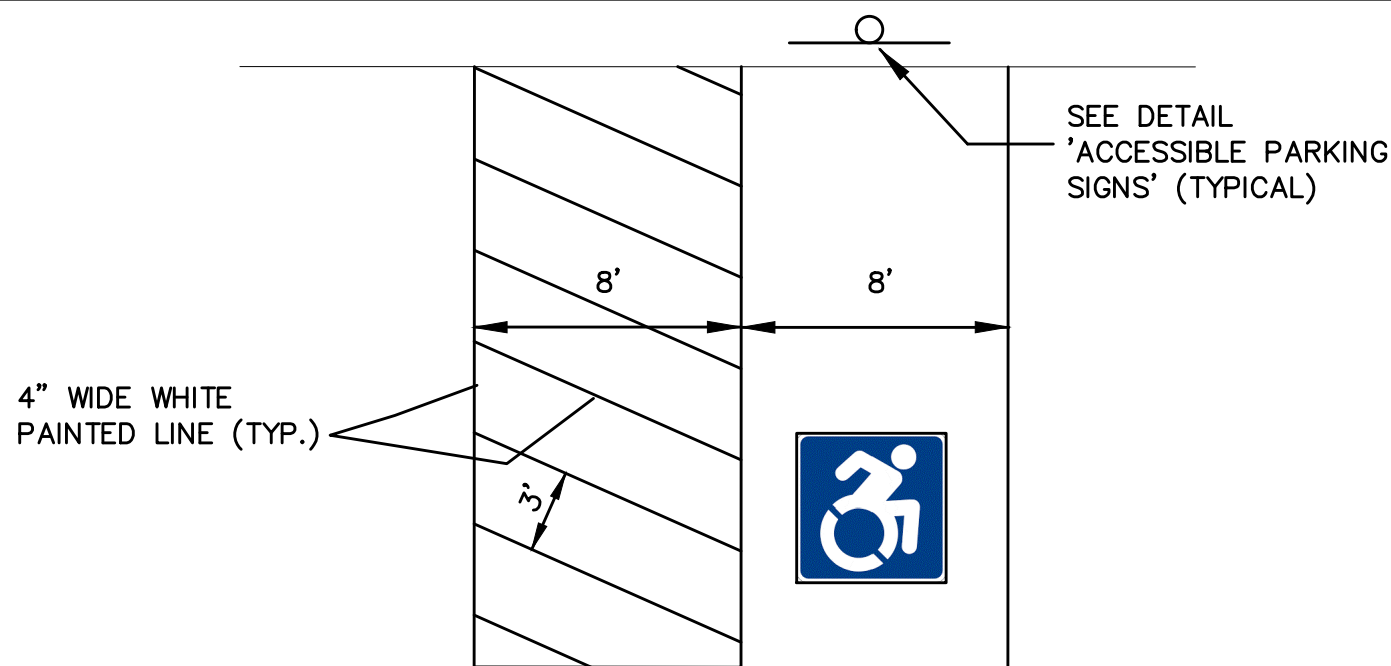


- NOTES:
1. CONCRETE, 4000 P.S.I., 28 DAYS.
  2. WEIGHT 300 LBS.
  3. REINFORCEMENT, (2) #4 REBAR.
  4. (2) 3/4" HOLES CAST IN FOR ANCHORING.

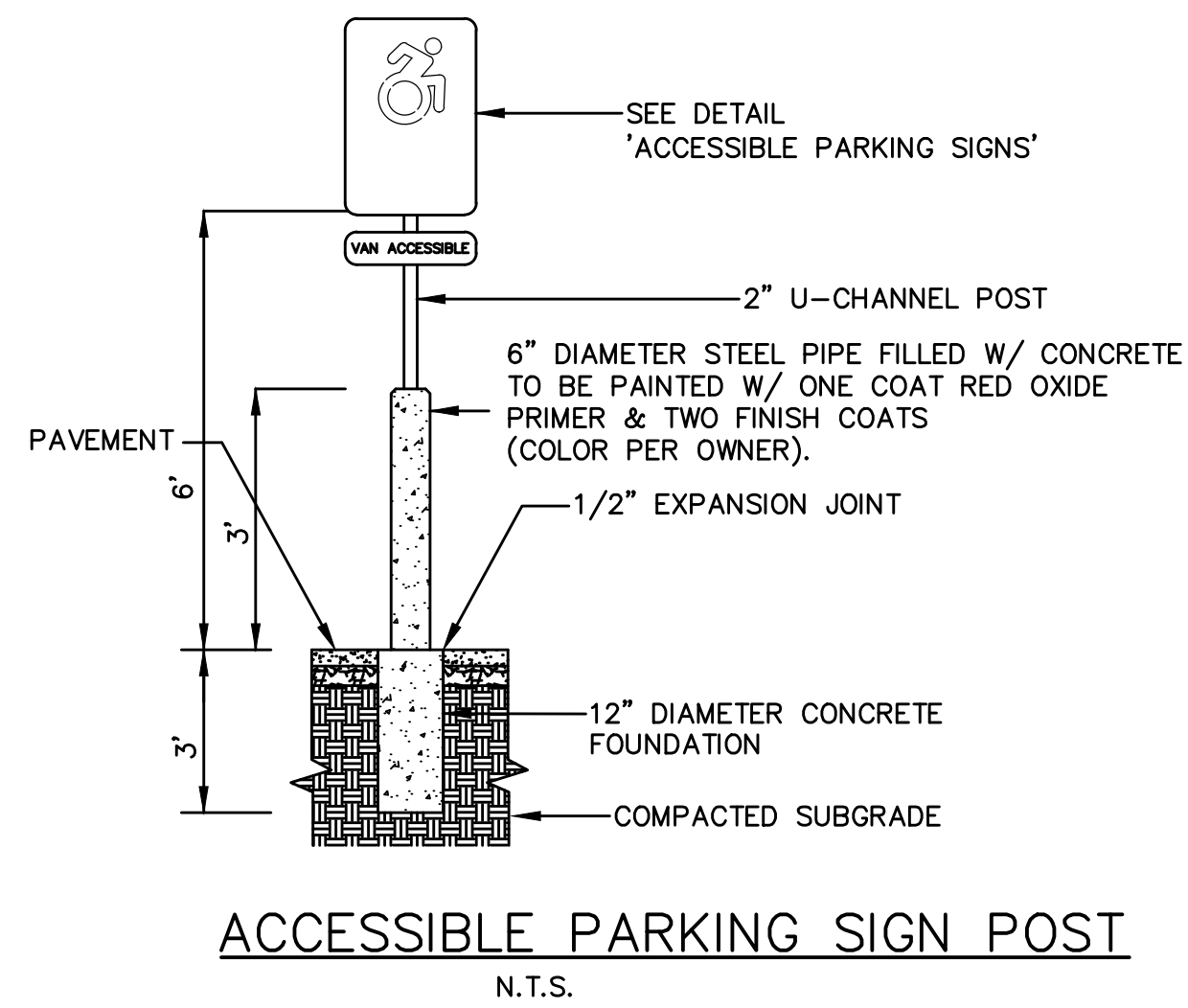
PRECAST CONCRETE WHEELSTOP  
N.T.S.



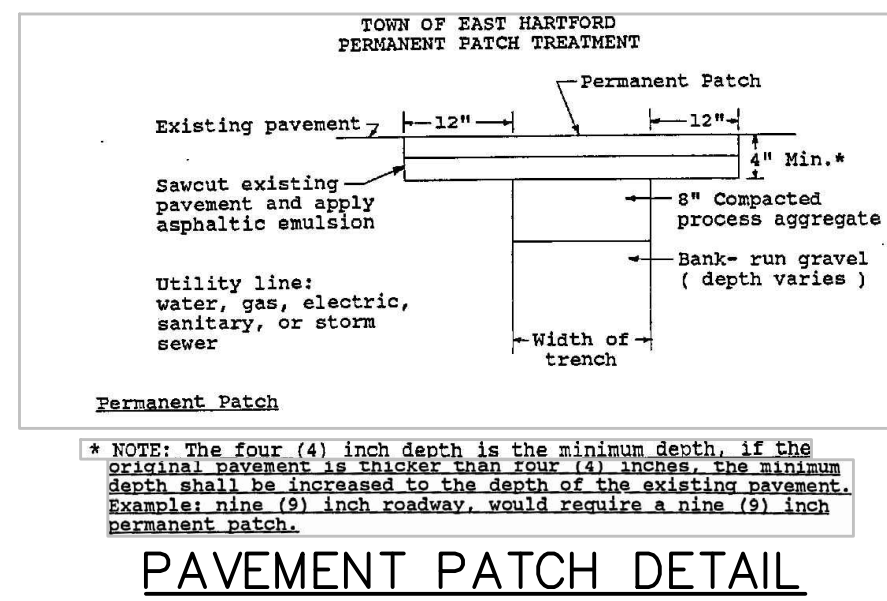
BITUMINOUS CONCRETE PAVEMENT SECTION  
STANDARD DUTY  
N.T.S.



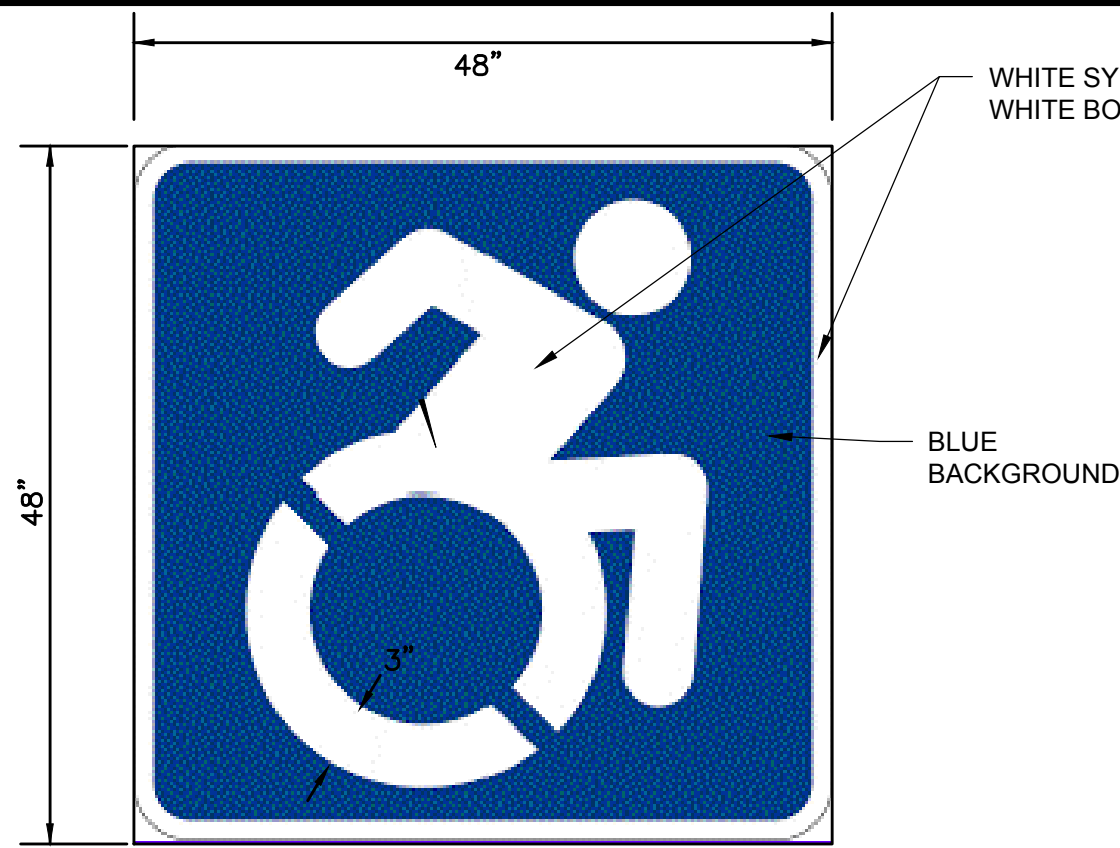
VAN ACCESSIBLE PARKING LAYOUT



ACCESSIBLE PARKING SIGN POST  
N.T.S.

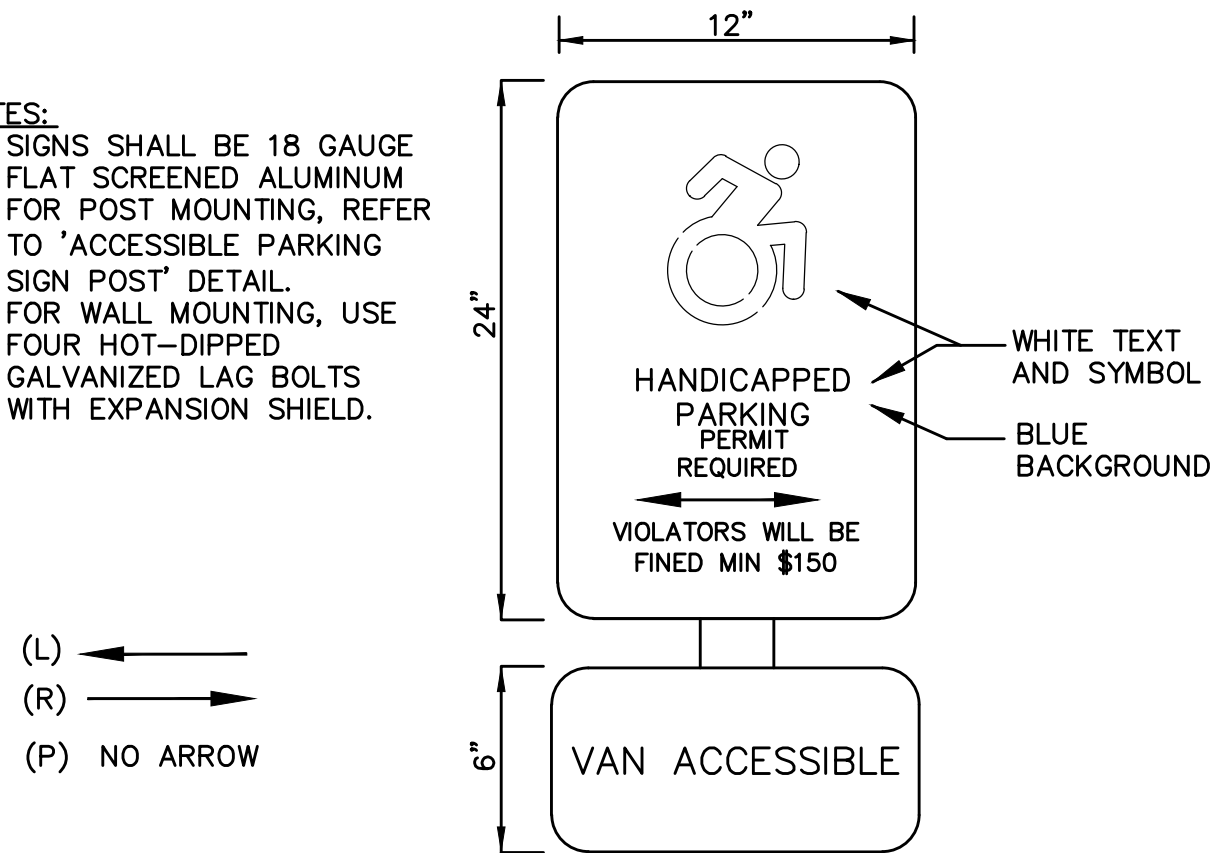


PAVEMENT PATCH DETAIL

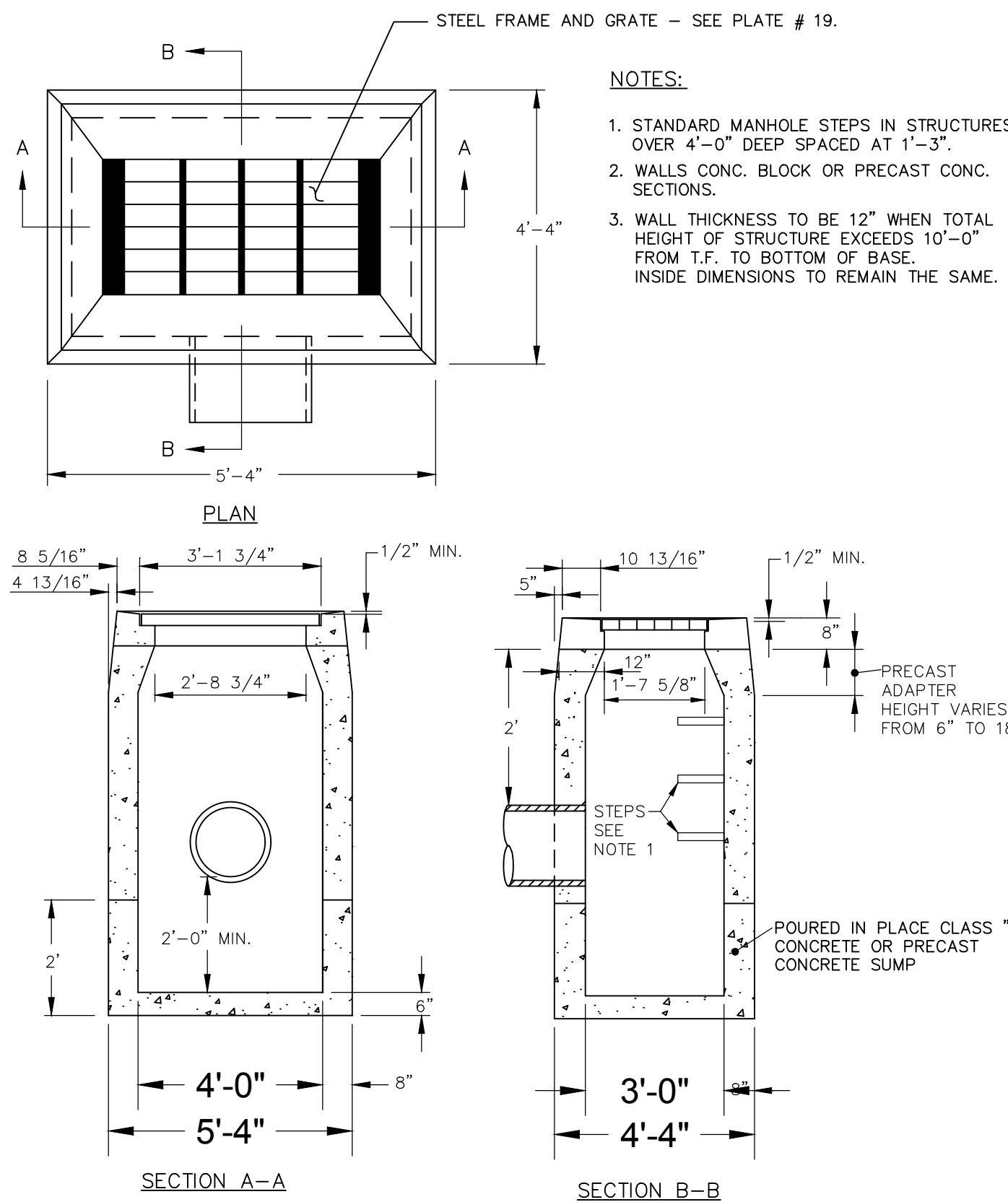


RESERVED PARKING SYMBOL  
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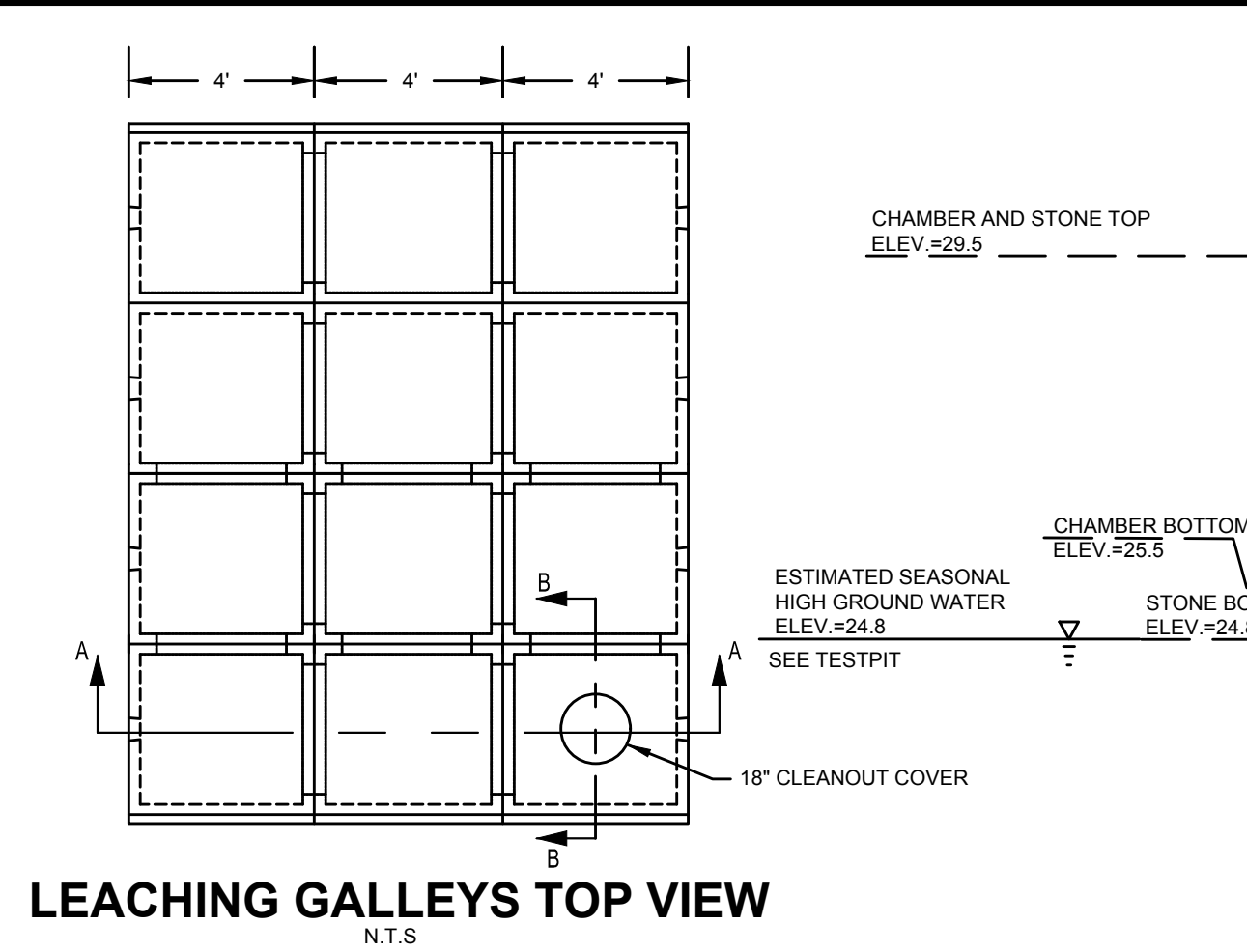
- NOTES:
1. SIGNS SHALL BE 18 GAUGE FLAT SCREENED ALUMINUM
  2. FOR POST MOUNTING, REFER TO 'ACCESSIBLE PARKING SIGN POST' DETAIL.
  3. FOR WALL MOUNTING, USE FOUR HOT-DIPPED GALVANIZED LAG BOLTS WITH EXPANSION SHIELD.



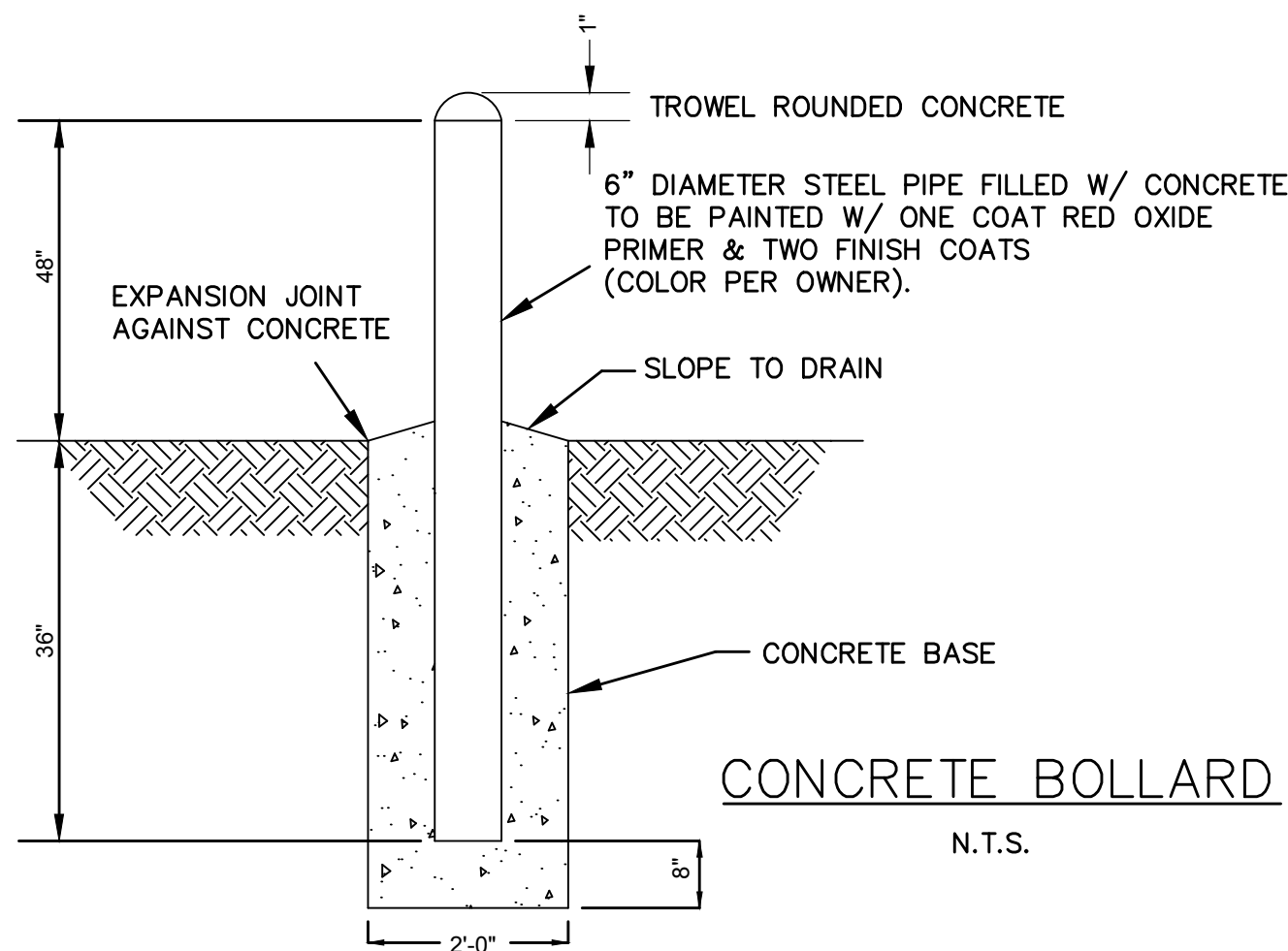
RESERVED PARKING SIGNAGE  
N.T.S.



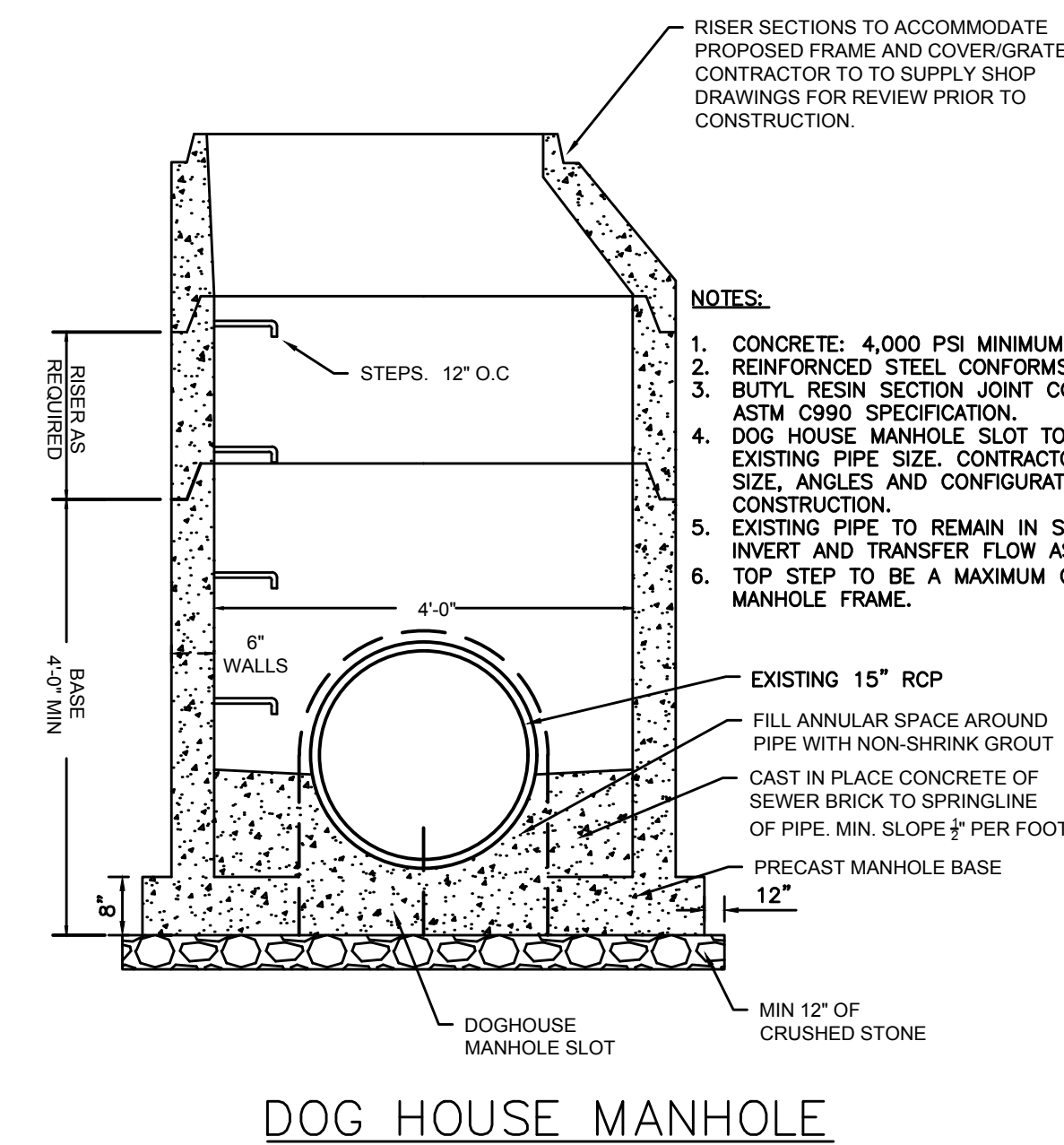
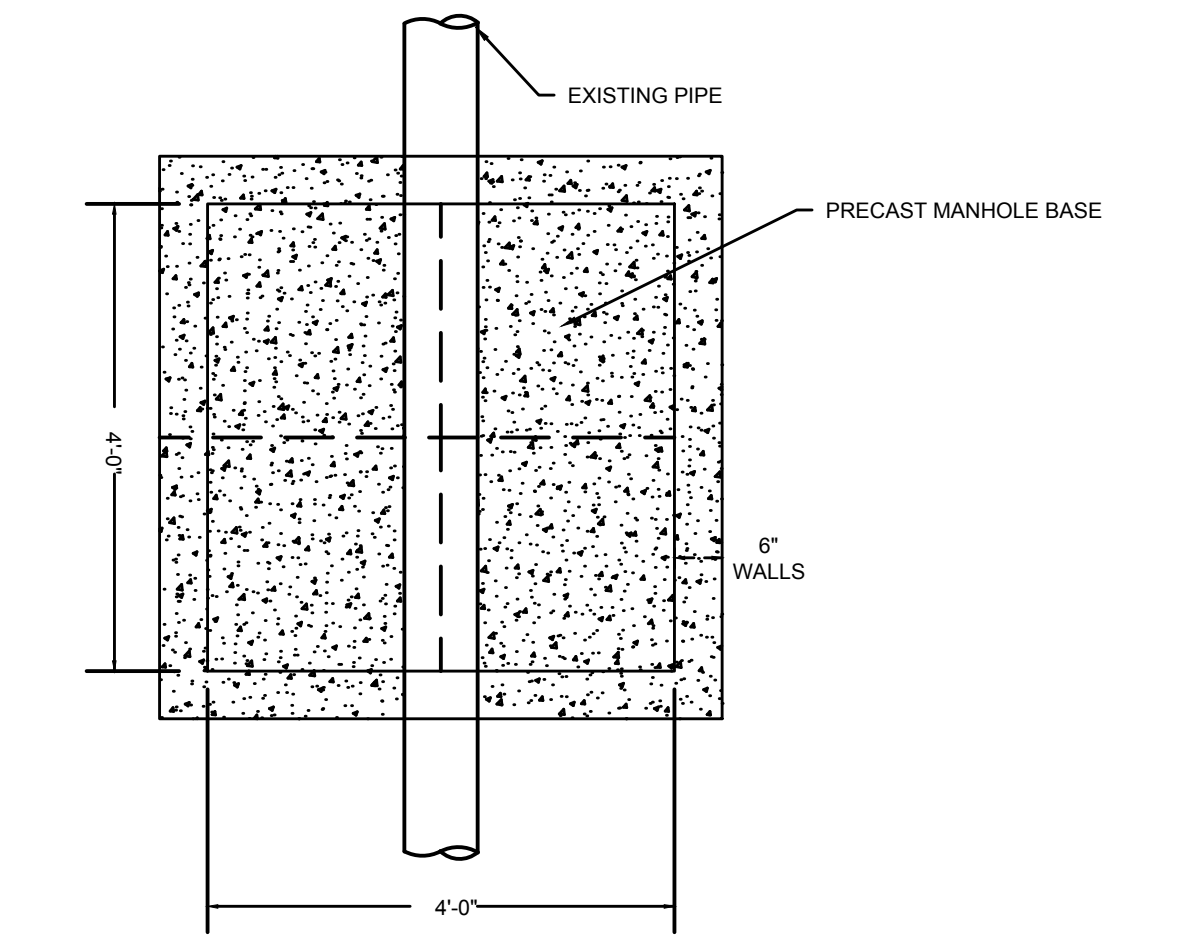
TYPE "C-L" CATCH BASIN  
Not to Scale



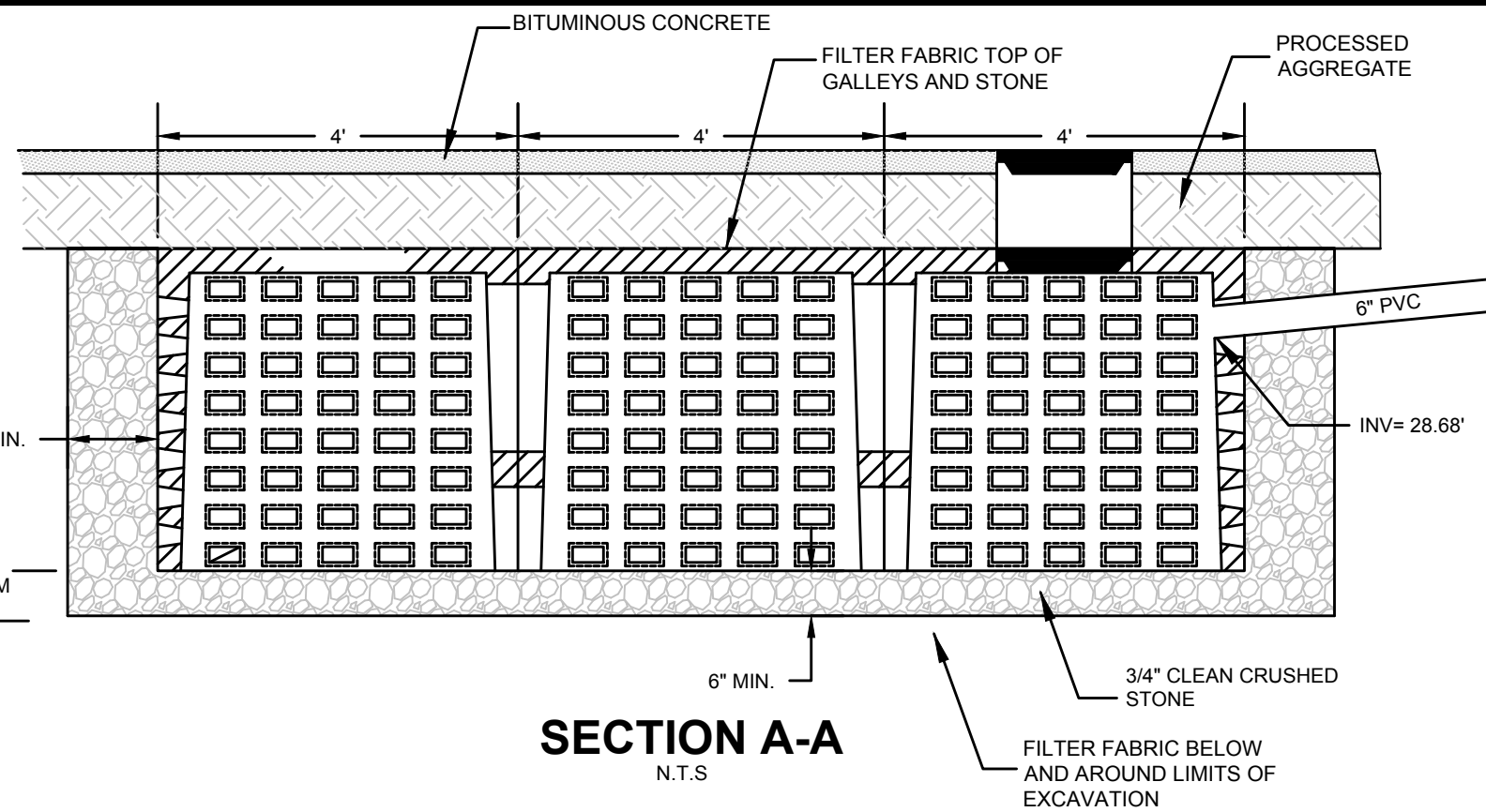
LEACHING GALLEYS TOP VIEW  
N.T.S.



CONCRETE BOLLARD  
N.T.S.



DOG HOUSE MANHOLE



SECTION A-A  
N.T.S.

LEACHING GALLEYS SHALL  
BE HS-20 LOADING

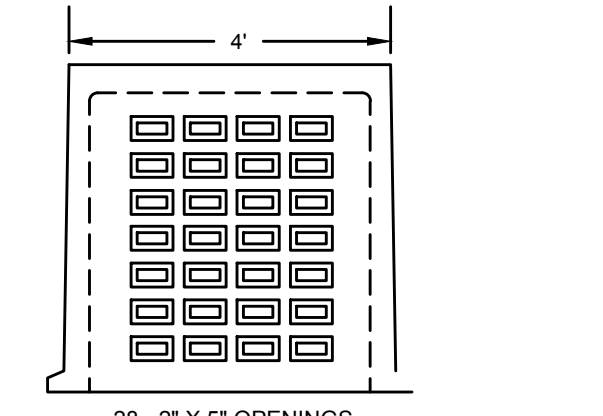
STORM DRAINAGE SYSTEM MAINTENANCE AND OPERATION:

THE FOLLOWING MAINTENANCE SHALL BE REQUIRED TO ENSURE EFFICIENT OPERATION OF THE STORM DRAINAGE SYSTEM DETENTION BASIN AND/OR UNDERGROUND BASINS. THE MAINTENANCE SCHEDULE IS INTENDED TO BE A GUIDE. AN INSPECTION OF ALL STORM DRAINAGE COMPONENTS IS REQUIRED FOLLOWING LARGE STORM EVENTS (0.5 INCHES OR GREATER) THAT COULD CAUSE THE DEPOSITION OF EXCESS DEBRIS.

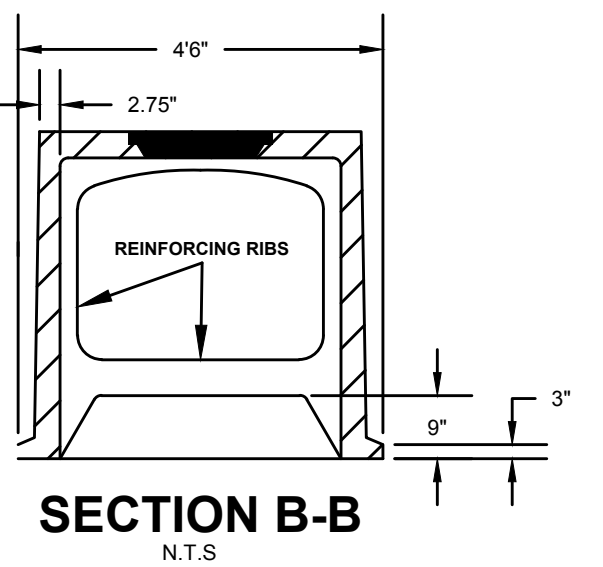
CATCHBASIN INLET PROTECTION: SHALL BE INSPECTED AND CLEANED OF SEDIMENT BI-ANNUALLY. FILTER INLET SHALL BE REPLACED SHOULD TEARS OR SIGNS OF FABRIC DETERIORATION BE OBSERVED DURING INSPECTION.

PAVEMENT SWEEPING: PAVEMENT AREAS SHALL BE SWEEPED AT LEAST TWICE PER YEAR, ONCE IN THE SPRING SHORTLY AFTER THE END OF THE SNOW SEASON, AND IN THE FALL AFTER THE LEAVES HAVE FALLEN. DURING CONSTRUCTION KEEP PAVEMENT FREE OF SEDIMENTS TO REDUCE THE TRANSFER OF SEDIMENTS OFFSITE.

UNDERGROUND DETENTION/INFILTRATION SYSTEM: SHALL BE INSPECTED BI-ANNUALLY AND ANY OBSERVED SEDIMENT ACCUMULATION SHALL BE REMOVED.

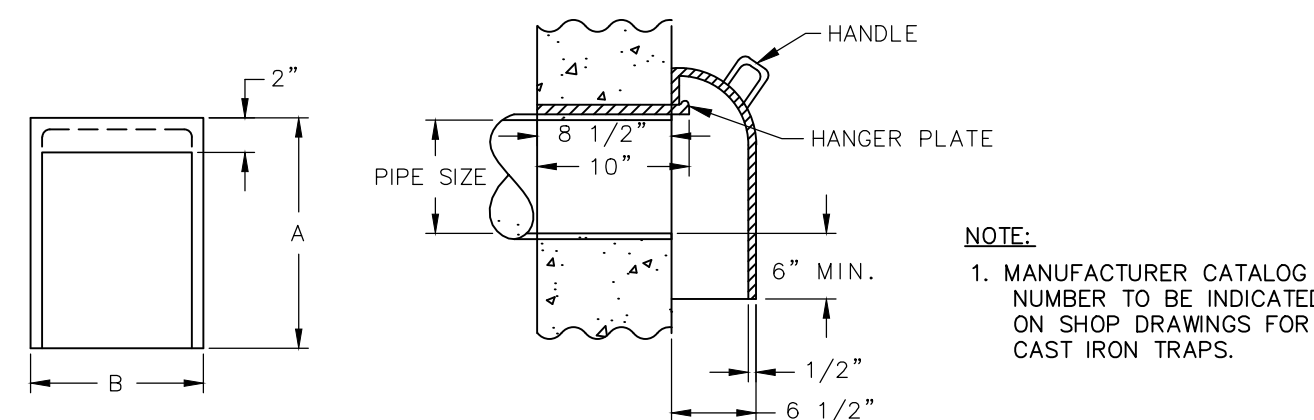


END VIEW TYPICAL  
N.T.S.

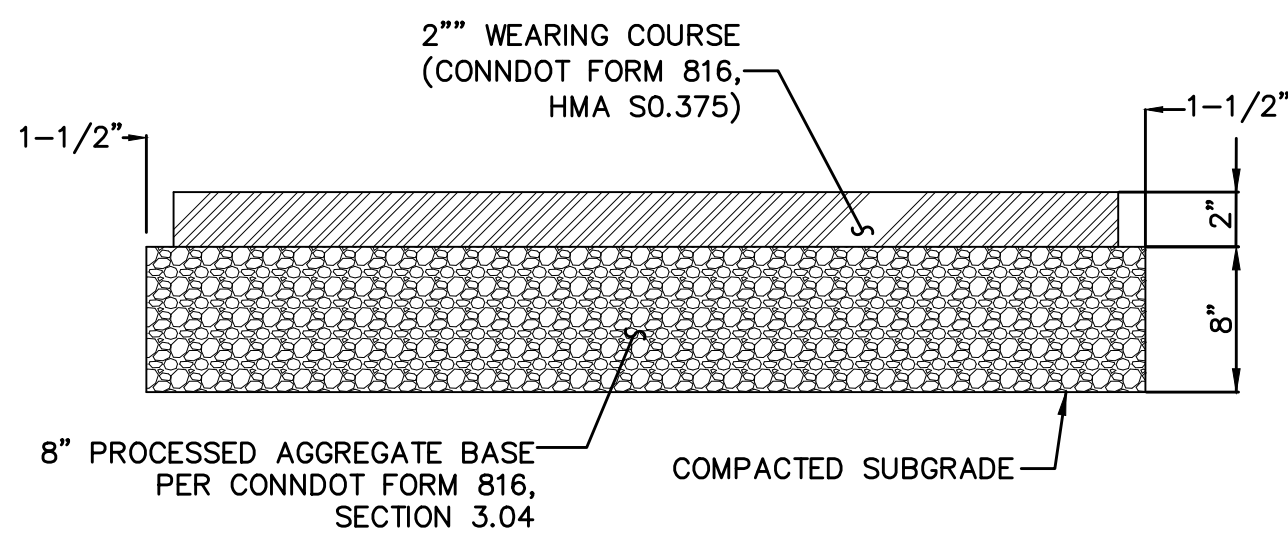


SECTION B-B  
N.T.S.

LEACHING GALLEYS



CATCH BASIN TRAP HOOD  
N.T.S.



BITUMINOUS CONCRETE SIDEWALK SECTION  
N.T.S.