

**TOWN OF EAST HARTFORD
PLANNING & ZONING COMMISSION
APPLICATION FORM**

DATE: 1/10/19

Official Receipt Date:

1 / 10 / 19

1. APPLICATION TYPE: (CHECK ALL THAT APPLY)

***COMPLETE SECTION ON PAGE 2 OR 3**

- | | |
|--|--|
| <input type="checkbox"/> SITE PLAN APPLICATION | <input type="checkbox"/> NATURAL RESOURCES REMOVAL AND FILLING |
| <input type="checkbox"/> SITE PLAN MODIFICATION | <input checked="" type="checkbox"/> SPECIAL USE PERMIT* |
| <input type="checkbox"/> FLOOD HAZARD – MAJOR* | <input type="checkbox"/> ZONING MAP CHANGE* |
| <input type="checkbox"/> FLOOD HAZARD – MINOR* | <input type="checkbox"/> TEXT AMENDMENT* |
| <input type="checkbox"/> SOIL EROSION AND SEDIMENTATION - Cumulative disturbed area (sq. ft.): _____ | |

2. SITE AND PROJECT INFORMATION

PROPERTY ADDRESS: 1277-1287 Main Street ZONE: B-5

ASSESSORS MAP AND LOT: 14-278 PARCEL SIZE (ACRES OR SQ. FT.): .38

PROJECT NAME: Paddle Creek Beer Company

PROJECT DESCRIPTION (ATTACH ADDITIONAL SHEETS IF NEEDED):

Paddle Creek Beer Company is a boutique beer company proposing the build-out of 1277-1287 Main Street property in order to manufacture, store, bottle and sell at wholesale or at retail sealed bottles for consumption off premises and offer on premise beer tastings and or sold to be consumed on the premise in a room ancillary to the production room.

3. PROPERTY OWNER INFORMATION

☐ CHECK IF PRIMARY CONTACT

OWNER OF RECORD: M. Cruikshank, LLC

OWNER ADDRESS: 10 Northwood Drive

OWNER PHONE: 860-218-6220

OWNER EMAIL: awesthaver@wsg-ct.com

OWNER SIGNATURE: 

PRINT NAME: Adam B. Westhaver

The undersigned owner hereby authorizes: (1) this application, and (2) the Planning and Zoning Commission and Town of East Hartford staff the right to enter upon the property for the purposes of inspection associated with this application.

4. APPLICANT INFORMATION

☐ CHECK IF PRIMARY CONTACT

☒ CHECK IF APPLICANT IS SAME AS PROPERTY OWNER

APPLICANT: _____

APPLICANT ADDRESS: _____

APPLICANT PHONE: _____ APPLICANT EMAIL: _____

APPLICANT SIGNATURE: _____ PRINT NAME: _____

5. DESIGN PROFESSIONAL INFORMATION

☐ CHECK IF PRIMARY CONTACT

FIRM: Casle Corporation

PHONE: 860-674-9000

CONTACT PERSON: John Manners

EMAIL: jmanners@casle.com

- COMPLETE ONLY THE SECTIONS THAT APPLY TO YOUR APPLICATION TYPE -

A. SPECIAL USE PERMIT	(ATTACH ADDITIONAL SHEETS IF NEEDED)
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1) Applicable Section of the Zoning Regulations: B-5

2) Describe how the proposed Special Use Permit relates to the Plan of Conservation and Development:

This Special Use Permit Application meets the guidelines as defined by the Town of East Hartford 's Zoning Regulations for Brewery and Brew Pub Facilities.

3) Describe how the proposed Special Use Permit will benefit the Town of East Hartford:

Urban revival of the Main Street neighborhood. The byproduct of boutique/craft beer companies has been documented in an increase in new business around the breweries. Drawing cross culture individuals that can create a vibrant community where families can plant roots and small businesses thrive. Blighted properties are purchased promoting residential and commercial development. Trendy shops, restaurants and stores will create an influx of people revitalizing Main Street and the surrounding area.

B. FLOOD HAZARD ZONE – MAJOR DEVELOPMENT OR MINOR DEVELOPMENT
--

1) Name of associated watercourse: N/A

2) Total amount of land (in sq. ft.) to be affected within the:

a. Flood Hazard Zone: N/A

b. Floodway: N/A

c. Floodway fringe: N/A

3) Enumerate methods of compliance with Sections 601.10, 601.11, and 601.12 of the Zoning Regulations:

N/A

SPECIAL USE PERMIT

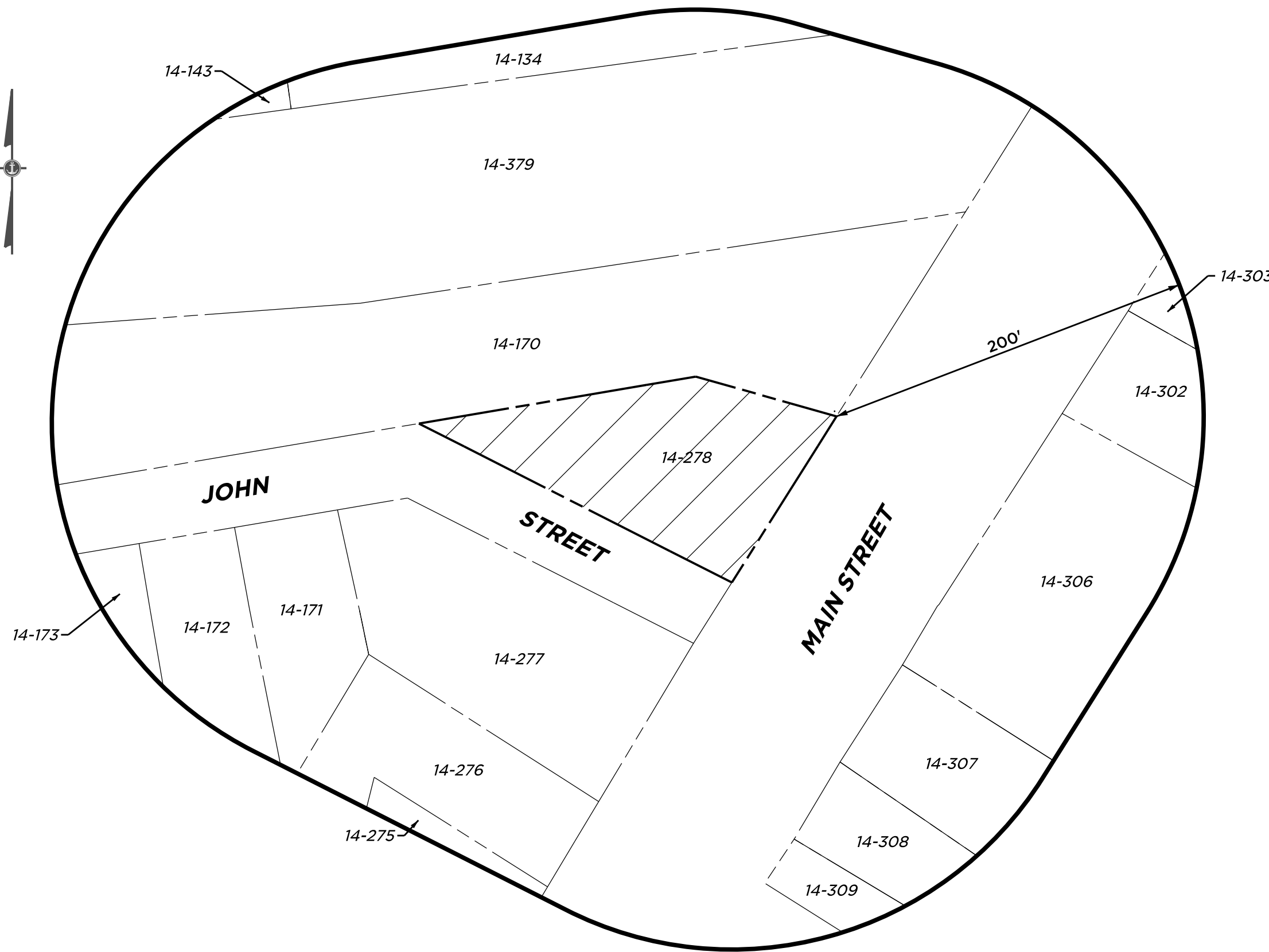
PREPARED FOR

PADDLE CREEK BEER COMPANY

1277-1287 MAIN STREET, EAST HARTFORD CT, 06108

DATE: JANUARY 23, 2019

MAP	LOT	NAME & ADDRESS
14	278	M. CRUICKSHANK CO. LLC 10 NORTHWOOD DRIVE, BLOOMFIELD, CT 06002
14	277	R.R.A. PROPERTIES LLC 454 PARKER STREET EAST LONGMEADOW, MA 01028
14	276	M. CRUICKSHANK CO. LLC 10 NORTHWOOD DRIVE, BLOOMFIELD, CT 06002
14	275	MICHELLE V. HUROVITZ LIVING TRUST 10625 WILLOW OAK CT WELLINGTON, FL 33414
14	170	22 JOHN LLC 22 JOHN STREET EAST HARTFORD, CT 06108
14	171	MILES LUCIUS E 17 JOHN STREET EAST HARTFORD, CT 06108
14	172	HOULE ERIC J & SMITH CHRISTINA Y 21 JOHN STREET EAST HARTFORD, CT 06108
14	173	LAROCHELLE RITA & GHISLAIN 25 JOHN STREET EAST HARTFORD, CT 06108
14	379	CONNECTICUT SOUTHERN RAILROAD INC. 200 MERIDIAN CTR SUITE 300 ROCHESTER, NY 14618
14	134	STERLING ST. TERMINAL LLC 22 BROWNSTONE AVE PORTLAND CT, 06480
14	143	SAVIN STERLING LLC 77 STERLING ROAD EAST HARTFORD, CT 06108
14	303	M. CRUICKSHANK CO. LLC 10 NORTHWOOD DRIVE BLOOMFIELD, CT 06002
14	302	M. CRUICKSHANK CO. LLC 10 NORTHWOOD ROAD BLOOMFIELD, CT 06002
14	306	M. CRUICKSHANK CO. LLC 10 NORTHWOOD ROAD BLOOMFIELD, CT 06002
14	307	POCHMELITZA LLC 24 DRUMLIN ROAD SO. GLASTONBURY, CT 06073
14	308	NASHER SHIHAB NAGI 174 LASALLE STREET NEW BRITAIN, CT 06051
14	309	MYRTLE SOCIOS REALTY LLC 199 LEE AVE SUITE 230 BROOKLYN, NY 11211



SITE VICINITY MAP
SCALE: 1" = 60'

LIST OF SHEETS

EXISTING CONDITIONS PLAN	1
PROPOSED FLOOR PLAN (BY OTHERS)	A-1
EXISTING ELEVATIONS (BY OTHERS)	A-2
PROPOSED ELEVATIONS (BY OTHERS)	A-2.1

PREPARED BY:



ANCHOR

ENGINEERING SERVICES, INC.

41 Sequin Drive
Glastonbury, CT 06033
Phone: (860) 633-8770
Fax: (860) 633-5971
www.anchorengr.com

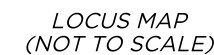
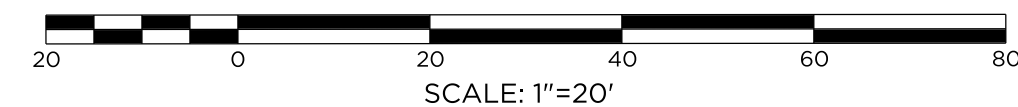
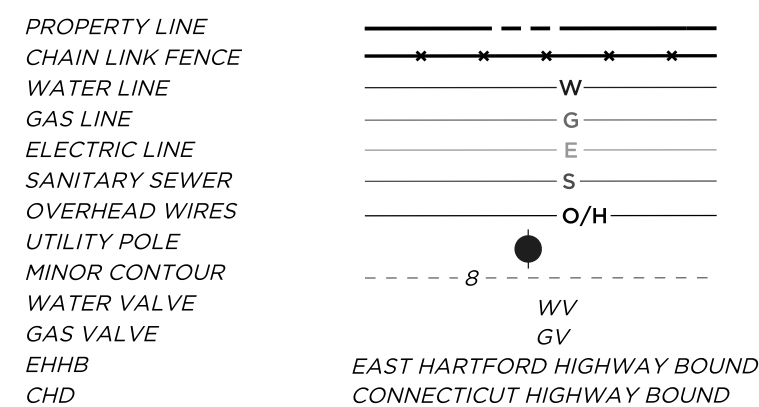
Civil Engineering • Environmental Consulting • Land Surveying • Construction Management

LANDOWNER:


M. CRUIKSHANK, LLC
10 NORTHWOOD DRIVE
BLOOMFIELD, CT 06002

1. RIGHT OF WAY MAP TOWN OF EAST HARTFORD MAIN STREET FROM CHURCH CORNERS NORTH-EASTERLY TO THE WAPPING ROAD ROUTE NO. US 1. SCALE: 1" = 40'. DATED OCT. 31, 1932. LAST REVISED APRIL 18, 1991. BY: CONNECTICUT STATE HIGHWAY DEPARTMENT. MAP NUMBER 42-01-SHEETS 1 & 2 OF 2.
2. MAP OF JOHN AND HOWARD STREETS OCTOBER 3, 1900.
3. THE HARTFORD ELECTRIC LIGHT COMPANY PROPERTY ON JOHN STREET TOWN OF EAST HARTFORD, CONNECTICUT SCALE: 1" = 20'. DATED JUNE 15, 1937. BY THE HARTFORD ELECTRIC LIGHT COMPANY.
4. LAND IN EAST HARTFORD CONN. TO BE CONVEYED TO JOHN P. GLEBA. SCALE: 1" = 100'. DATED, APRIL, 1946. BY NEW YORK NEW HAVEN & HARTFORD RAILROAD REAL ESTATE & RIGHT OF WAY DEPARTMENT.
5. LAND IN EAST HARTFORD CONN. TO BE CONVEYED TO THE LEWIS MACHINE COMPANY. SCALE: 1" = 50'. DATED JUNE 1967. BY NEW YORK NEW HAVEN & HARTFORD RAILROAD OFFICE OF ENGINEER- REAL ESTATE.
6. PROPOSED ADDITION TO THE LEWIS MACHINE CO. 22 JOHN STREET EAST HARTFORD, CONNECTICUT. SCALE: 1" = 20'. DATED, DEC. 31, 1979. LAST REVISED 5/31/80. BY: HALLISSEY & HERBERT.

1. FIELD SURVEY WAS PERFORMED BY ANCHOR ENGINEERING SERVICES INC. DECEMBER 2018.
2. BEARINGS AND ELEVATIONS BASED UPON NAD 83 AND NAVD 88 RESPECTIVELY OBTAINED THROUGH SUPERIOR INSTRUMENT RTK NETWORK.
3. NORTHERLY PROPERTY LINE IS BASED UPON DEED DESCRIPTION V. 37 P. 242.
4. JOHN STRAT ROW WIDTH OF 39.0' IS BASED UPON DEED DESCRIPTION IN V. 38 P. 33 & V. 47 P. 470.
5. NORTHWESTELY CORNER OF EXISTING BUILDING ENCROACHES PROPERTY LINE.
6. UTILITY NOTE: UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES FROM PAROL TESTIMONY AND OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE. THE EXISTENCE OF WHICH ARE UNKNOWN TO ANCHOR ENGINEERING SERVICES INC. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. DISC #1-888-344-7253.



ANY ORIGINAL OR DUPLICATE OF THIS MAP IS NOT VALID UNLESS IT BEARS THE EMBOSSED SEAL OF THE SURVEYOR WHOSE REGISTRATION APPEARS ABOVE NO OTHER CERTIFICATION OR WARRANTY IS EXPRESSED OR IMPLIED.



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Civil Engineering • Environmental Consulting • Land Surveying • Construction Management

PROJ. ENGINEER	ASF
PROJ. MANAGER	WEW
OFFICE REVIEW	WEW

REVISIONS

01-18-19	

EXISTING CONDITIONS SURVEY

BOUNDARY / TOPOGRAPHIC
PREPARED FOR

PADDLE CREEK BEER COMPANY

1277-1287 MAIN STREET
EAST HARTFORD, CT

SCALE: 1" = 20'

PROJECT

1367-02

DATE

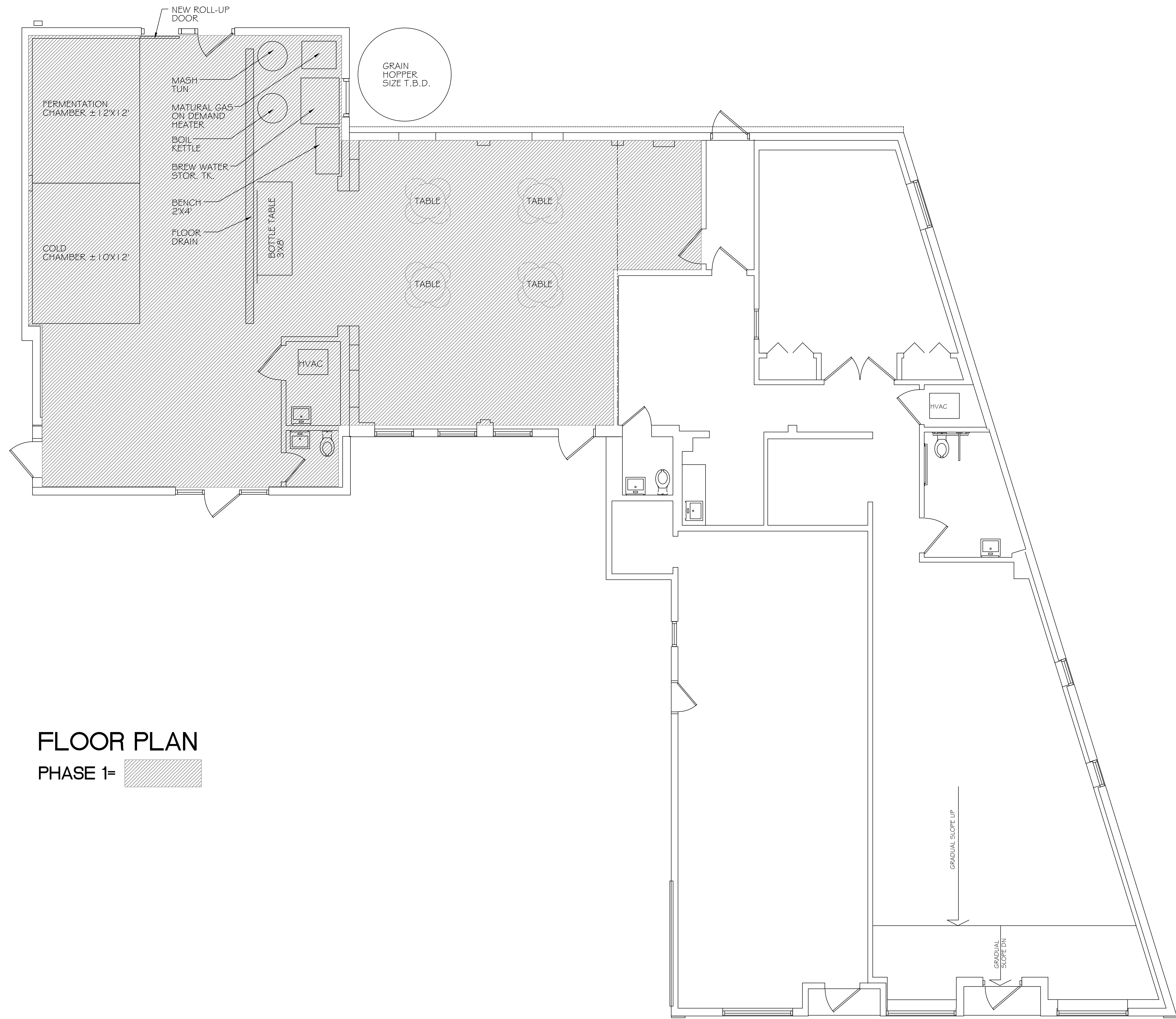
12/12/18

SHEET NO.

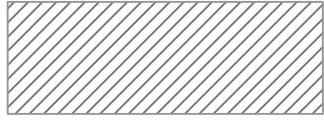
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OF

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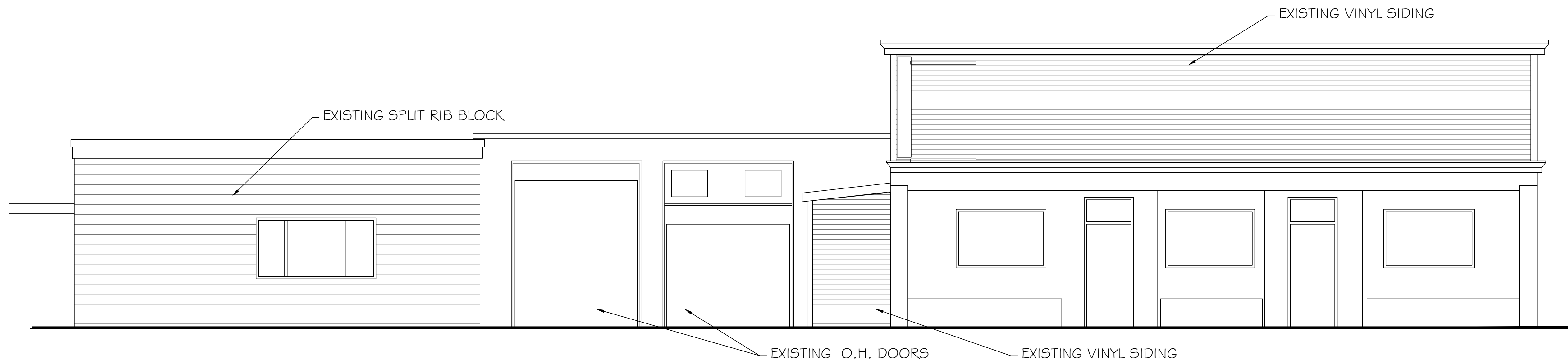


FLOOR PLAN

PHASE 1= 

PROPOSED FLOOR PLAN

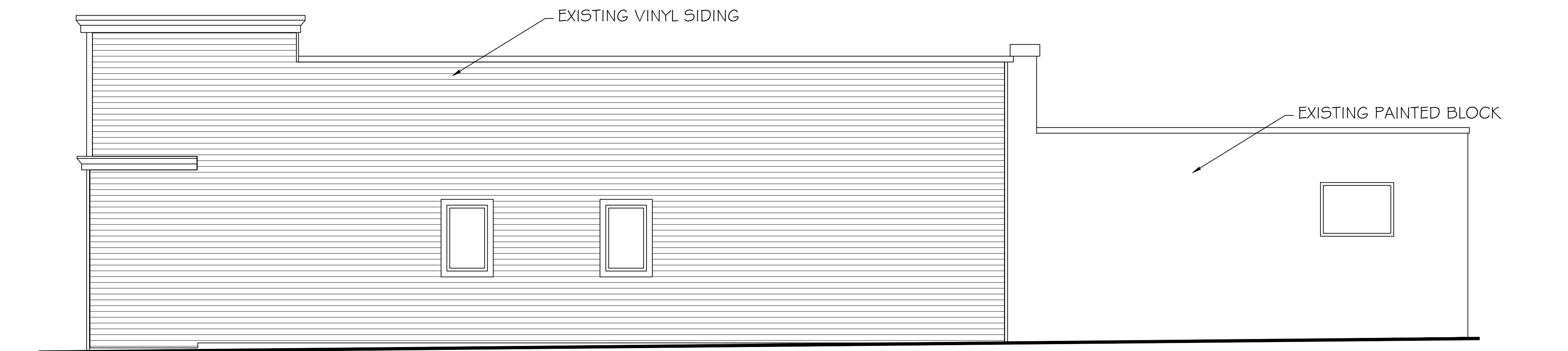
<p>THE CASLE CORPORATION AVON, CONNECTICUT</p> <p>CASLE</p> <p>DESIGN BUILDER</p>	
<p><i>1285-1287 Main Street</i> <i>East Hartford, Connecticut</i></p>	
REVISIONS	
DATE 1-23-19	SCALE 1/4" = 1'-0"
DRAWN BY AMM	PROJECT 1828
<p>A-1</p>	
<p><i>JWM</i> <i>Architectural</i> <i>Group</i></p>	



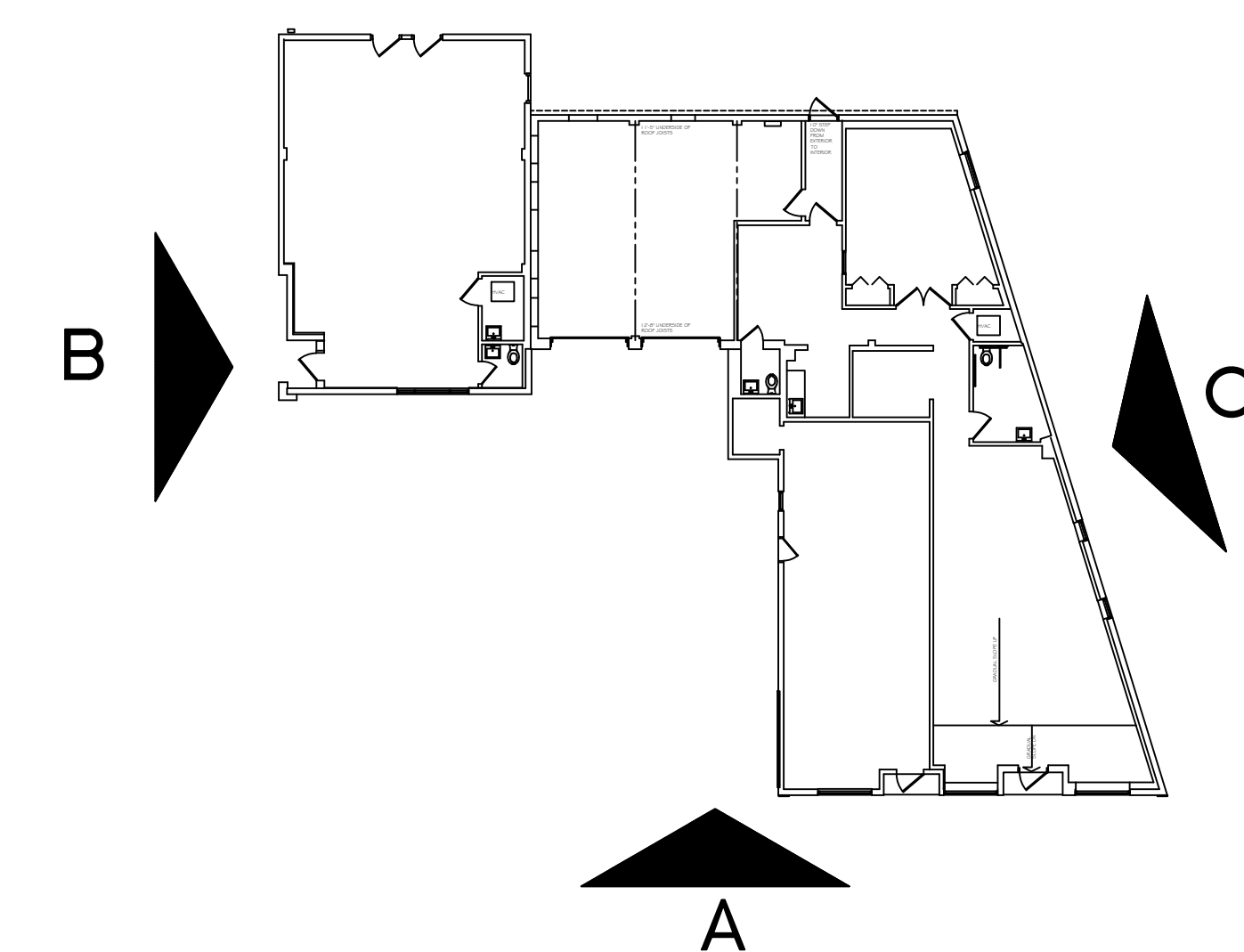
A FRONT ELEVATION ON MAIN STREET (EXISTING)



B SIDE ELEVATION (EXISTING)



C SIDE ELEVATION ADJACENT TO PARKING AREA AND FENCING (EXISTING)



KEY PLAN

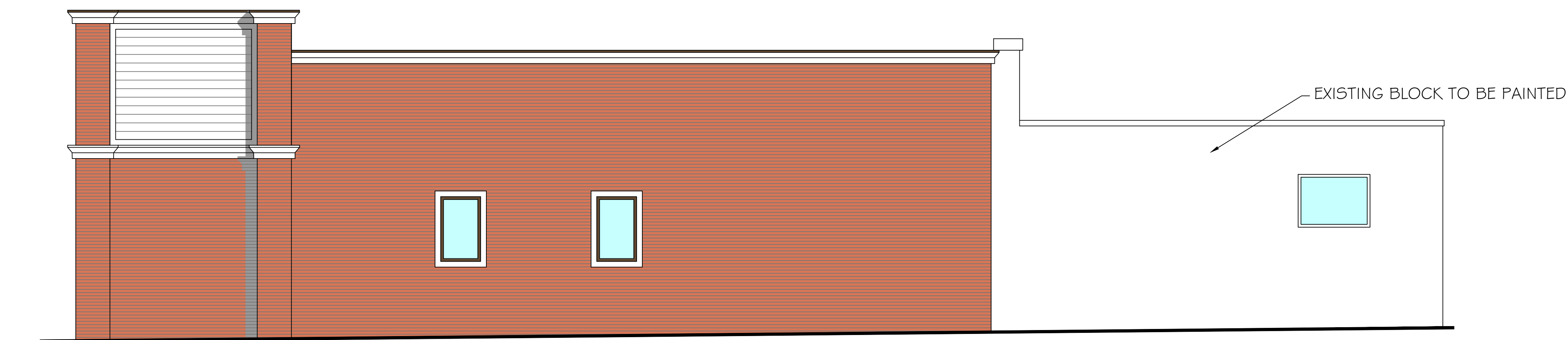
EXISTING ELEVATIONS



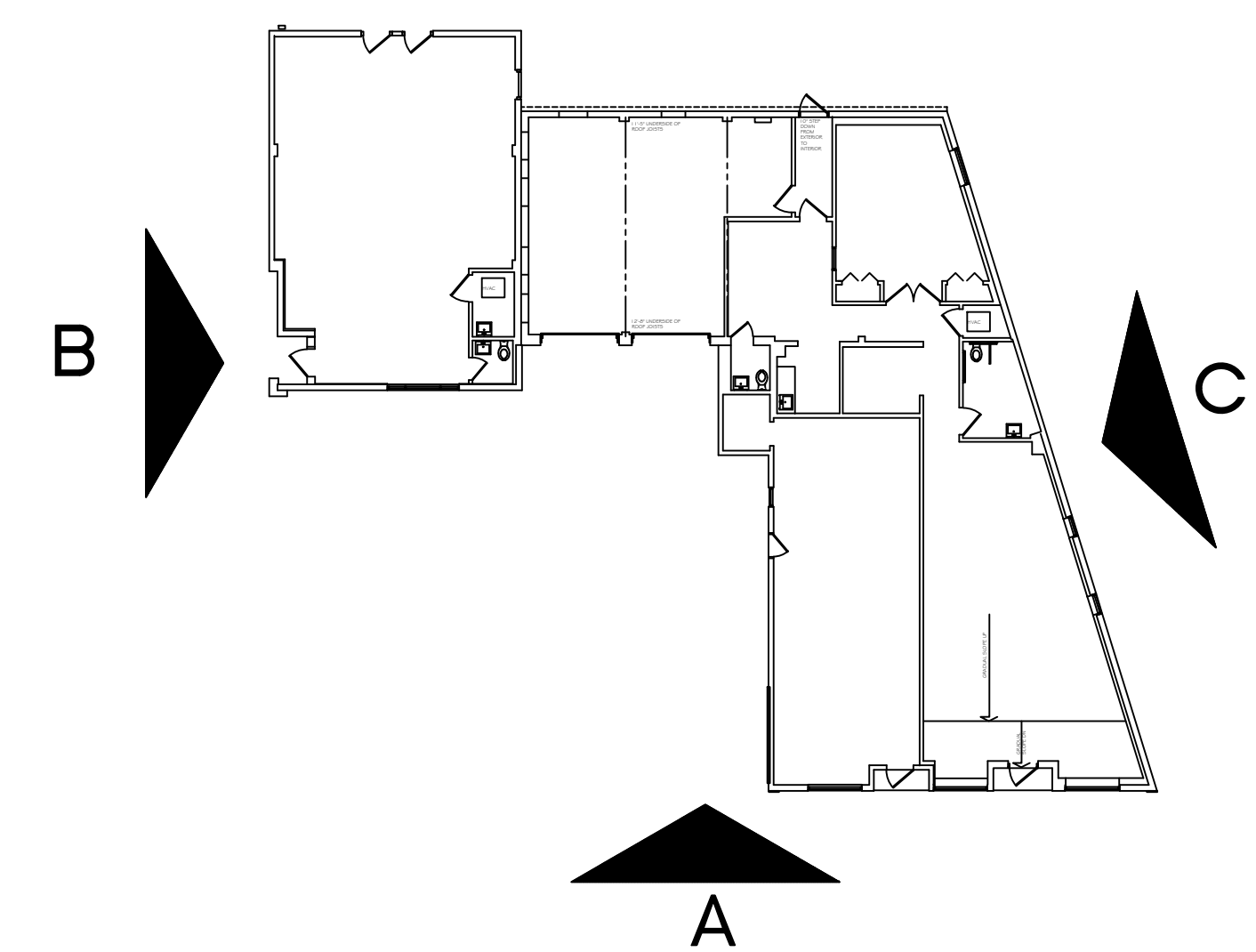
A FRONT ELEVATION ON MAIN STREET (PROPOSED)



B SIDE ELEVATION (PROPOSED)



C SIDE ELEVATION ADJACENT TO PARKING AREA AND FENCING (PROPOSED)



PROPOSED ELEVATIONS