

SITE PLAN FOR PARKING EXPANSION AND WATER LINE EXTENSION 127 PARK AVENUE EAST HARTFORD, CT

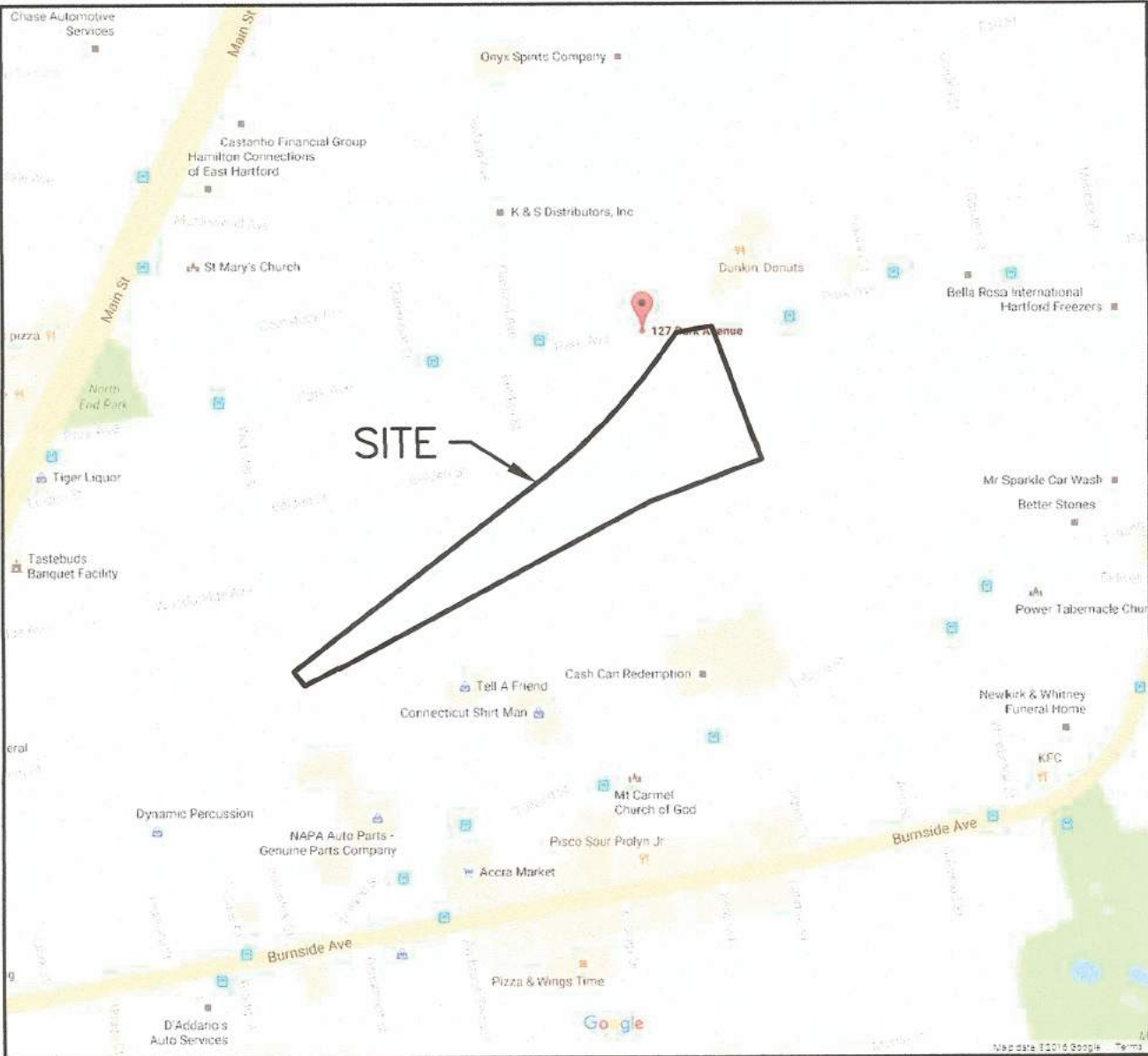
GENERAL NOTES:

- 1. EXISTING PROPERTY LINE AND UTILITY INFORMATION SHOWN IS BASED ON AN EXISTING SURVEY CONDUCTED BY MEEHAN & GOODIN ENGINEERS—SURVEYORS, P.C. REVISED THROUGH JULY 20, 2016.
- 2. THE ACCURACY AND COMPLETENESS OF THE UNDERGROUND UTILITIES AS SHOWN ON THE PLANS ARE NOT GUARANTEED. IT SHALL BE THE CONTRACTOR’S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION, SIZE, TYPE, ETC. OF ALL UNDERGROUND UTILITIES THAT MAY BE AFFECTED BY BY THE WORK. AT LEAST 72 HOURS BEFORE EXCAVATION, THE CONTRACTOR SHALL BE REQUIRED TO CONTACT DIGSAFE AT 1-800-922-4455.
- 3. THE CONTRACTOR SHALL FIELD VERIFY CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
- 4. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE APPROPRIATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION.
- 5. ALL UTILITY COMPANIES, PUBLIC AND PRIVATE, MUST BE NOTIFIED, INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THIS PLAN, PRIOR TO EXCAVATING, BLASTING, INSTALLING, BACKFILLING, GRADING, PAVEMENT RESTORATION OR REPAVING.
- 6. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES EXCEPT THOSE NOTED TO BE ABANDONED, REMOVED AND DISPOSED.
- 7. THE CONTRACTOR SHALL DISPOSE OF ALL WASTE MATERIAL IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REQUIREMENTS AT HIS/HER OWN EXPENSE, OUTSIDE OF THE PROJECT LIMITS.
- 8. THE DEVELOPER SHALL NOTIFY THE TOWN OF EAST HARTFORD ENGINEERING DIVISION 24 HOURS PRIOR TO BEGINNING ANY STORM DRAINAGE,ROADWAY PREPARATION, PAVING, SIDEWALK, CURBING, STREET LINE MONUMENTATION, PROPERTY CORNER PINS, ETC. TO SCHEDULE INSPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:30AM-4:30PM AT 291-7380.

SHEET INDEX

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EXISTING CONDITIONS PLAN



LOCUS MAP
1"=500'

OWNER

WE 115 PARK LLC,
C/O WINSTANLEY ENTERPRISES LLC,
150 BAKER AVENUE EXTENSION, SUITE 303
CONCORD, MA 01742

ASSESSORS INFORMATION

ASSESSORS MAP 25 BLOCK 370

REFERENCES

EXISTING CONDITIONS PLAN ENTITLED "PROPERTY TOPOGRAPHIC SURVEY" BY MEEHAN & GOODIN ENGINEERS—SURVEYORS, P.C., DATED 7/20/2016

ZONING REQUIREMENTS

B3 – BUSINESS ZONE 3

	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	10,000 SF	320,081 SF	320,081 SF
MINIMUM LOT FRONTAGE	60 FT	105 FT	105 FT
MINIMUM LOT WIDTH	100 FT	117 FT	117 FT
MINIMUM FRONT YARD	10 FT	266.9 FT	266.9 FT
MINIMUM SIDE YARD	5 FT	18.1 FT	18.1 FT
OPPOSITE SIDE	10 FT	239 FT	239 FT
MINIMUM REAR YARD	25 FT	0 FT	0 FT
MINIMUM OPEN SPACE	25%	13.6%	12.2%
MAXIMUM IMPERVIOUS SURFACE	85%	86.4%	85.8%
MAXIMUM BUILDING HEIGHT	50 FT	35.4 FT	35.4 FT

PARKING REQUIREMENTS

WAREHOUSES REQUIRE ONE (1) PARKING SPACE PER ONE THOUSAND (1,000) SF OF GROSS FLOOR AREA (TOWN OF EAST HARTFORD ZONING REGULATIONS SECTION 209.3; 28. TRUCK TERMINALS, WHOLESALE STORAGE AND WAREHOUSES)

157,268 SF / 1,000 SF = 157.3 ≈ 158 SPACES REQUIRED.

	REQUIRED	EXISTING	PROPOSED
PARKING	158 SPACES	111 SPACES*	153 SPACES*

* EXISTING NON-CONFORMING

TOWN OF EAST HARTFORD
PLANNING AND ZONING COMMISSION
SITE PLAN CERTIFICATE
OF APPROVAL

APPROVAL DATE: _____
EXPIRATION DATE: _____

CHAIRMAN



HOWARD STEIN HUDSON

114 Turnpike Road, Suite 2C
Chelmsford, MA 01824
www.hshassoc.com

PREPARED FOR:
WE 115 PARK LLC
C/O WINSTANLEY ENTERPRISES LLC
150 BAKER AVENUE EXTENSION, SUITE 303
CONCORD, MA 01742

PROPOSED PARKING
EXPANSION &
WATER LINE EXTENSION
127 PARK AVENUE
EAST HARTFORD, CT

REVISIONS:

NO	BY	DATE	DESCRIPTION



SITE PLAN

TITLE SHEET

DATE: 10-4-2016

PROJECT NUMBER: 16099

DESIGNED BY: KLE

DRAWN BY: DRE/KJF

CHECKED BY: KLE

Element II LED		Project Name:	Catalog Number:	Type				
Dimensional Drawings								
Fixture		A	B	C	D	E	Max. LEDs	Lbs
EL2-1	18"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	96	34
EL2-2	22 1/2"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	144	38
EL2-3	30"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	144	41
EL2-4	42"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	192	58
EL2-5	48"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	288	94
EL2-6	54"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	384	122
EL2-7	60"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	480	158
EL2-8	66"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	576	184
EL2-9	72"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	672	210
EL2-10	78"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	768	236
EL2-11	84"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	864	262
EL2-12	90"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	960	288
EL2-13	96"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	1056	314
EL2-14	102"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	1152	340
EL2-15	108"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	1248	366
EL2-16	114"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	1344	392
EL2-17	120"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	1440	418
EL2-18	126"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	1536	444
EL2-19	132"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	1632	470
EL2-20	138"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	1728	496
EL2-21	144"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	1824	522
EL2-22	150"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	1920	548
EL2-23	156"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	2016	574
EL2-24	162"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	2112	600
EL2-25	168"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	2208	626
EL2-26	174"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	2304	652
EL2-27	180"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	2400	678
EL2-28	186"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	2496	704
EL2-29	192"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	2592	730
EL2-30	198"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	2688	756
EL2-31	204"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	2784	782
EL2-32	210"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	2880	808
EL2-33	216"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	2976	834
EL2-34	222"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	3072	860
EL2-35	228"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	3168	886
EL2-36	234"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	3264	912
EL2-37	240"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	3360	938
EL2-38	246"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	3456	964
EL2-39	252"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	3552	990
EL2-40	258"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	3648	1016
EL2-41	264"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	3744	1042
EL2-42	270"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	3840	1068
EL2-43	276"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	3936	1094
EL2-44	282"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	4032	1120
EL2-45	288"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	4128	1146
EL2-46	294"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	4224	1172
EL2-47	300"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	4320	1198
EL2-48	306"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	4416	1224
EL2-49	312"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	4512	1250
EL2-50	318"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	4608	1276
EL2-51	324"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	4704	1302
EL2-52	330"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	4800	1328
EL2-53	336"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	4896	1354
EL2-54	342"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	4992	1380
EL2-55	348"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	5088	1406
EL2-56	354"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	5184	1432
EL2-57	360"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	5280	1458
EL2-58	366"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	5376	1484
EL2-59	372"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	5472	1510
EL2-60	378"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	5568	1536
EL2-61	384"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	5664	1562
EL2-62	390"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	5760	1588
EL2-63	396"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	5856	1614
EL2-64	402"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	5952	1640
EL2-65	408"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	6048	1666
EL2-66	414"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	6144	1692
EL2-67	420"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	6240	1718
EL2-68	426"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	6336	1744
EL2-69	432"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	6432	1770
EL2-70	438"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	6528	1796
EL2-71	444"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	6624	1822
EL2-72	450"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	6720	1848
EL2-73	456"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	6816	1874
EL2-74	462"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	6912	1900
EL2-75	468"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	7008	1926
EL2-76	474"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	7104	1952
EL2-77	480"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	7200	1978
EL2-78	486"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	7296	2004
EL2-79	492"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	7392	2030
EL2-80	498"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	7488	2056
EL2-81	504"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	7584	2082
EL2-82	510"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	7680	2108
EL2-83	516"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	7776	2134
EL2-84	522"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	7872	2160
EL2-85	528"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	7968	2186
EL2-86	534"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	8064	2212
EL2-87	540"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	8160	2238
EL2-88	546"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	8256	2264
EL2-89	552"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	8352	2290
EL2-90	558"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	8448	2316
EL2-91	564"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	8544	2342
EL2-92	570"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	8640	2368
EL2-93	576"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	8736	2394
EL2-94	582"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	8832	2420
EL2-95	588"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	8928	2446
EL2-96	594"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	9024	2472
EL2-97	600"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	9120	2498
EL2-98	606"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	9216	2524
EL2-99	612"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	9312	2550
EL2-100	618"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	9408	2576
EL2-101	624"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	9504	2602
EL2-102	630"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	9600	2628
EL2-103	636"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	9696	2654
EL2-104	642"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	9792	2680
EL2-105	648"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	9888	2706
EL2-106	654"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	9984	2732
EL2-107	660"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	10080	2758
EL2-108	666"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	10176	2784
EL2-109	672"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	10272	2810
EL2-110	678"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	10368	2836
EL2-111	684"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	10464	2862
EL2-112	690"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	10560	2888
EL2-113	696"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	10656	2914
EL2-114	702"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	10752	2940
EL2-115	708"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	10848	2966
EL2-116	714"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	10944	2992
EL2-117	720"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	11040	3018
EL2-118	726"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	11136	3044
EL2-119	732"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	11232	3070
EL2-120	738"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	11328	3096
EL2-121	744"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	11424	3122
EL2-122	750"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	11520	3148
EL2-123	756"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	11616	3174
EL2-124	762"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	11712	3200
EL2-125	768"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	11808	3226
EL2-126	774"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	11904	3252
EL2-127	780"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	12000	3278
EL2-128	786"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	12096	3304
EL2-129	792"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	12192	3330
EL2-130	798"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	12288	3356
EL2-131	804"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	12384	3382
EL2-132	810"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	12480	3408
EL2-133	816"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	12576	3434
EL2-134	822"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	12672	3460
EL2-135	828"	14 1/2"	4"	2 1/2"	14 1/2"	14 1/2"	12768	3486
EL2-								

PREPARED FOR:
WE 115 PARK LLC
C/O WINSTANLEY ENTERPRISES LLC
150 BAKER AVENUE EXTENSION, SUITE 303
CONCORD, MA 01742

**PROPOSED PARKING
EXPANSION &
WATER LINE EXTENSION**
127 PARK AVENUE
EAST HARTFORD, CT

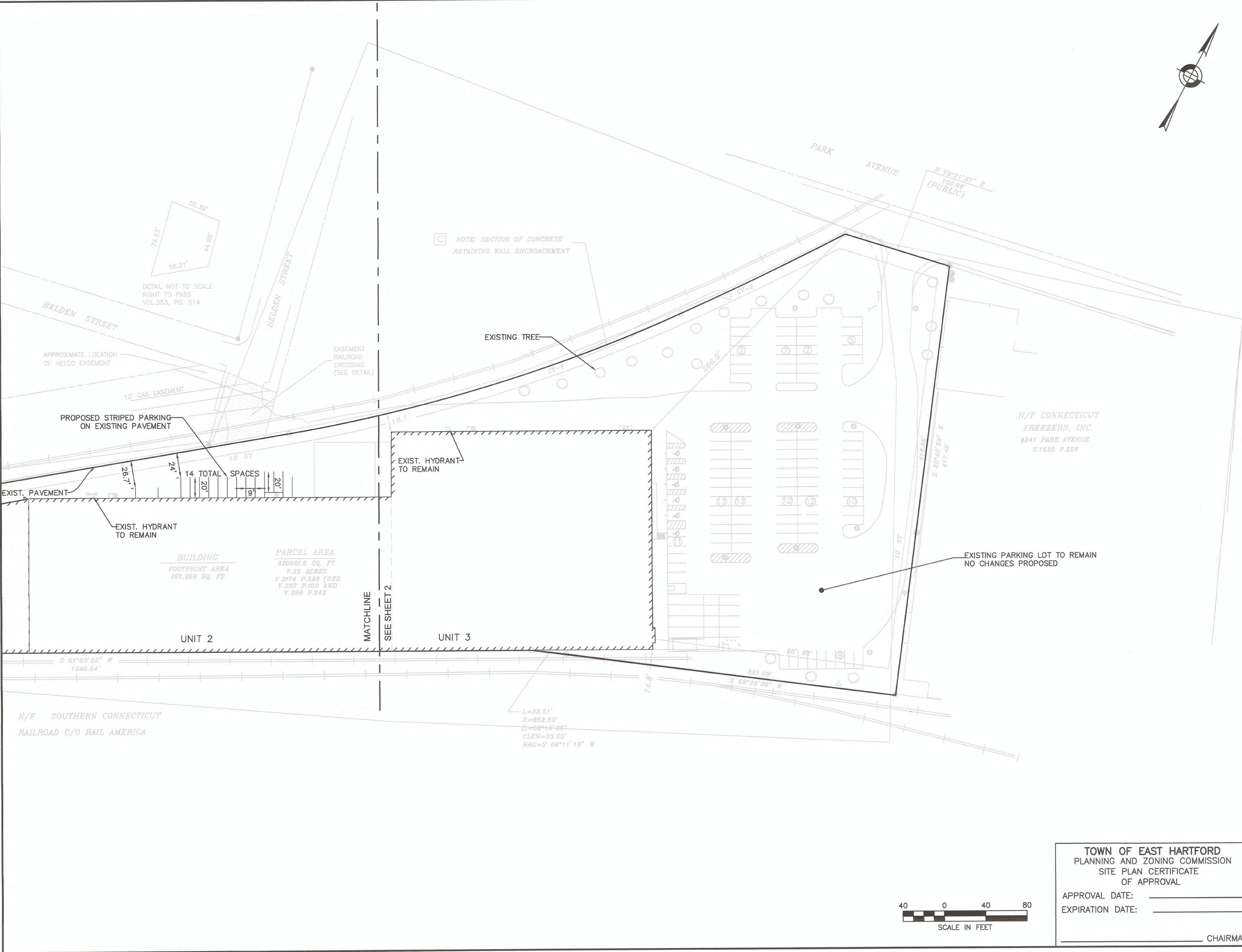
REVISIONS:			
NO	BY	DATE	DESCRIPTION



SITE PLAN

**LAYOUT AND
MATERIALS
PLAN
2 OF 2**

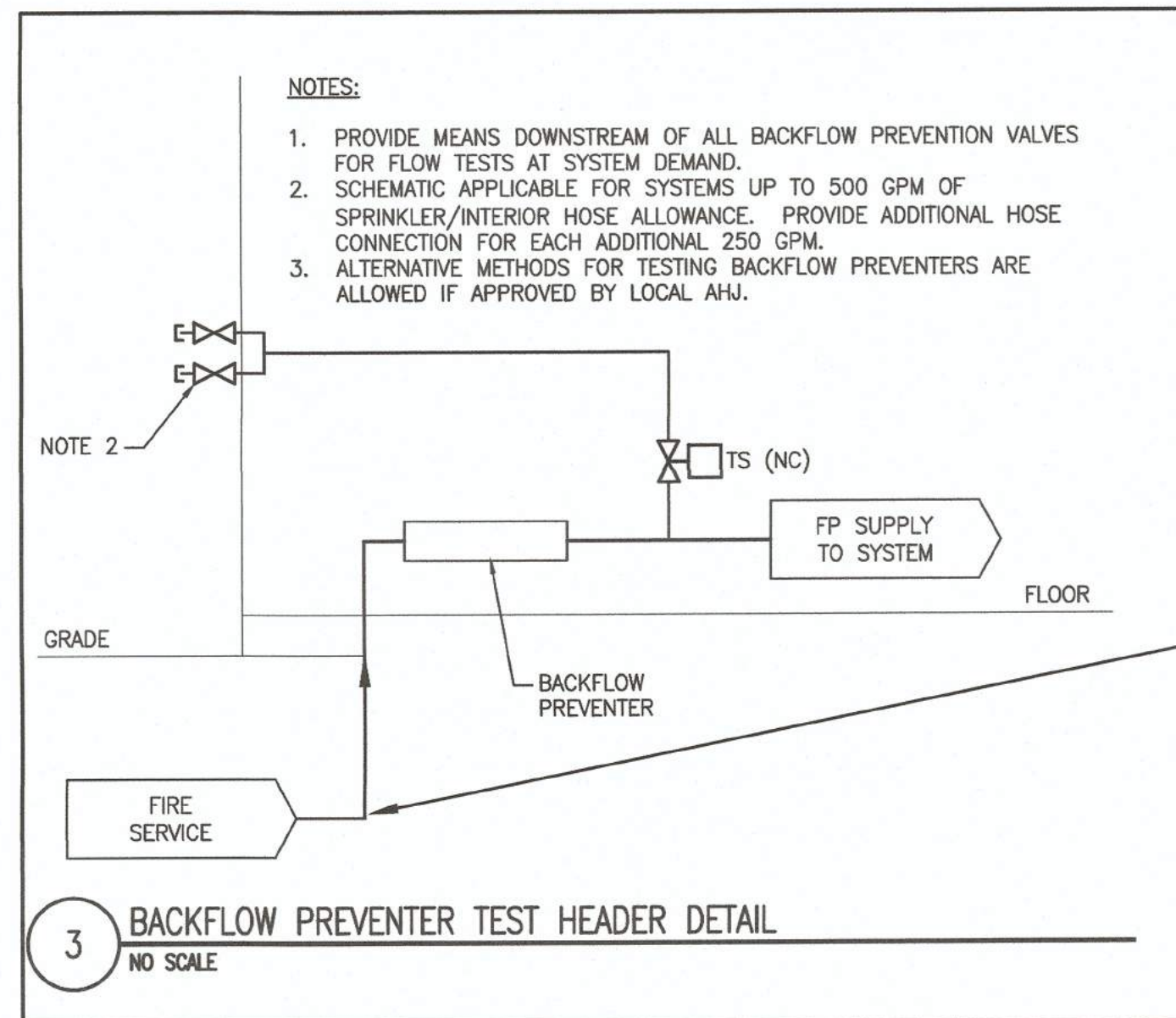
DATE:	10-4-2016
PROJECT NUMBER:	16099
DESIGNED BY:	KLE
DRAWN BY:	DRE/KJF
CHECKED BY:	KLE



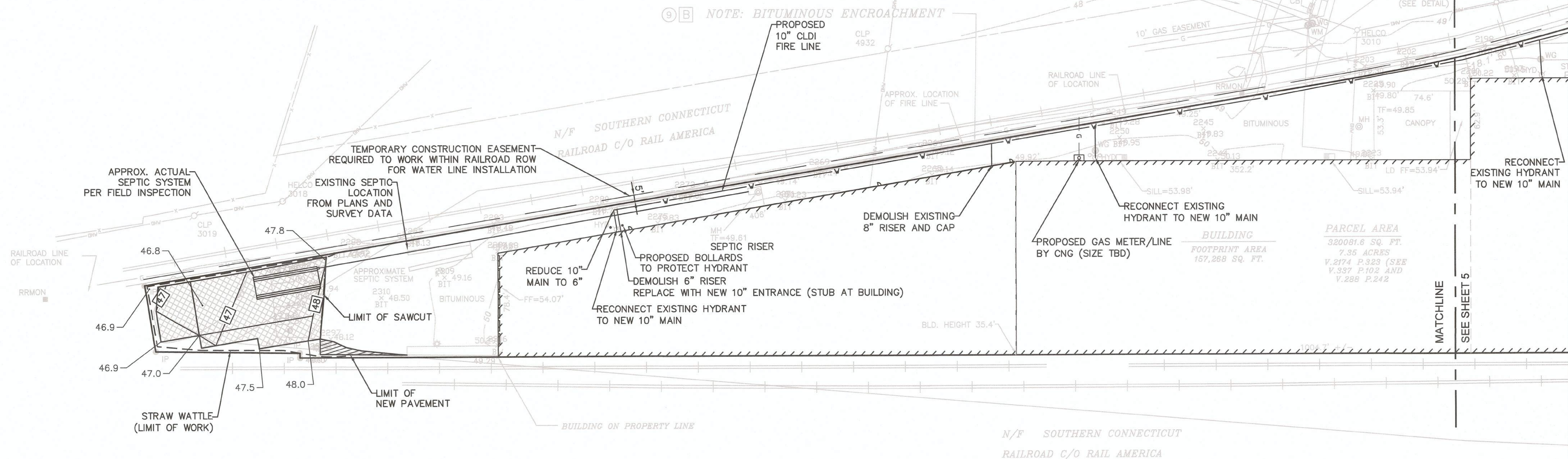
TOWN OF EAST HARTFORD
PLANNING AND ZONING COMMISSION
SITE PLAN CERTIFICATE
OF APPROVAL

APPROVAL DATE: _____
EXPIRATION DATE: _____

CHAIRMAN



NOTE:
10" FIRE SERVICE TO BE PROVIDED BY OTHERS,
ALL CONNECTIONS AFTER FIRE SERVICE BY FIRE
PROTECTION CONTRACTOR.



HOWARD STEIN HUDSON
114 Turnpike Road, Suite 2C
Chelmsford, MA 01824
www.hshassoc.com

PREPARED FOR:
WE 115 PARK LLC
C/O WINSTANLEY ENTERPRISES LLC
150 BAKER AVENUE EXTENSION, SUITE 303
CONCORD, MA 01742

**PROPOSED PARKING
EXPANSION &
WATER LINE EXTENSION**
127 PARK AVENUE
EAST HARTFORD, CT

REVISIONS:				DESCRIPTION
NO	BY	DATE		



SITE PLAN

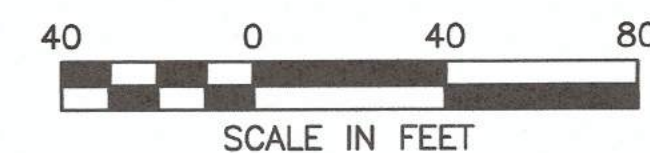
**GRADING,
DRAINAGE, AND
UTILITIES PLAN**
1 of 2

**TOWN OF EAST HARTFORD
PLANNING AND ZONING COMMISSION
SITE PLAN CERTIFICATE
OF APPROVAL**

APPROVAL DATE: _____
EXPIRATION DATE: _____

CHAIRMAN

DATE:	10-4-2016
PROJECT NUMBER:	16099
DESIGNED BY:	KLE
DRAWN BY:	DRE/KJF
CHECKED BY:	KLE





HOWARD STEIN HUDSON

114 Turnpike Road, Suite 2C
Chelmsford, MA 01824
www.hshassoc.com

PREPARED FOR:
WE 115 PARK LLC
C/O WINSTANLEY ENTERPRISES LLC
150 BAKER AVENUE EXTENSION, SUITE 303
CONCORD, MA 01742

PROPOSED PARKING
EXPANSION &
WATER LINE EXTENSION
127 PARK AVENUE
EAST HARTFORD, CT

REVISIONS:

NO	BY	DATE	DESCRIPTION



SITE PLAN

GRADING,
DRAINAGE, AND
UTILITIES PLAN
2 of 2

TOWN OF EAST HARTFORD
PLANNING AND ZONING COMMISSION
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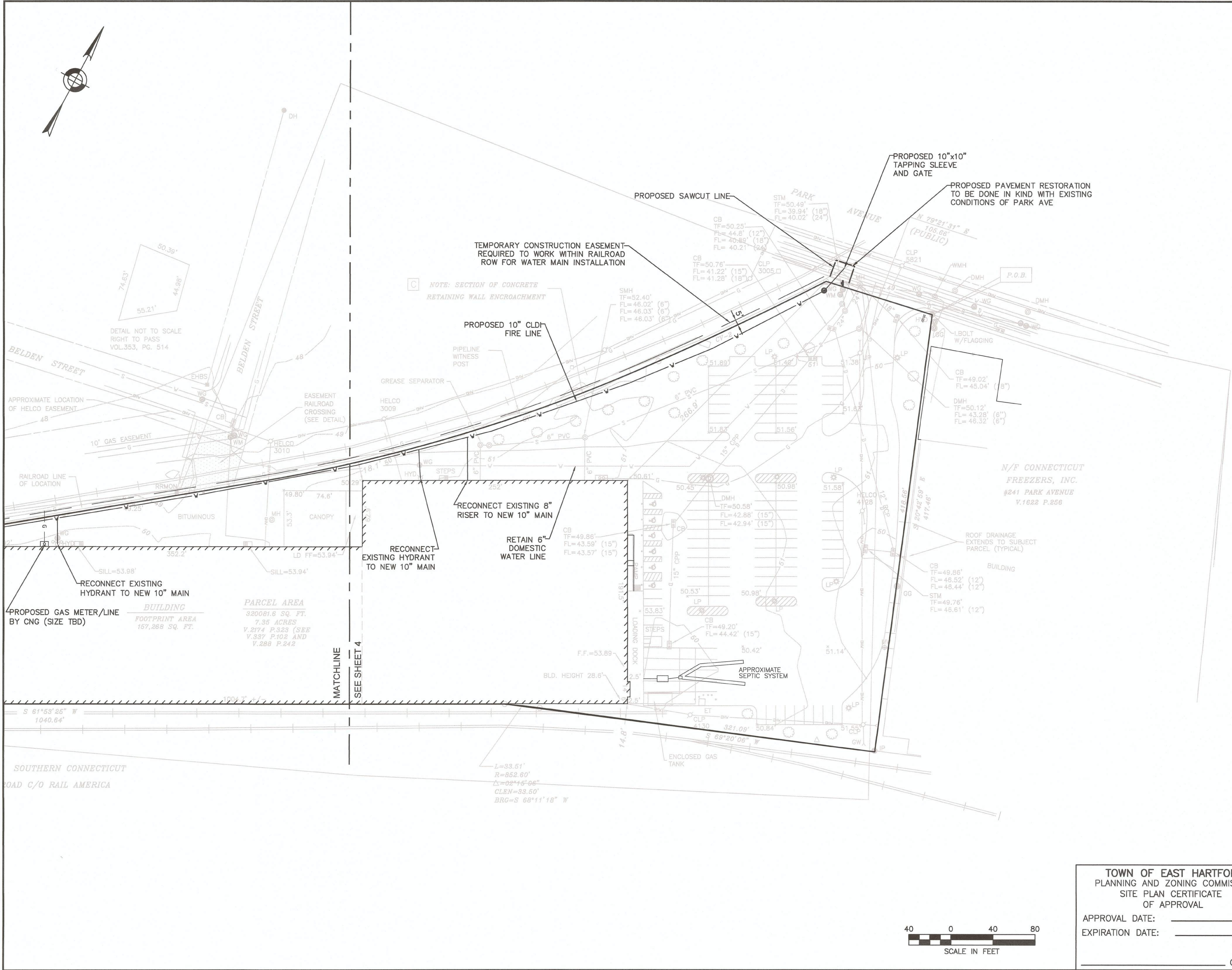
DESIGNED BY: KLE

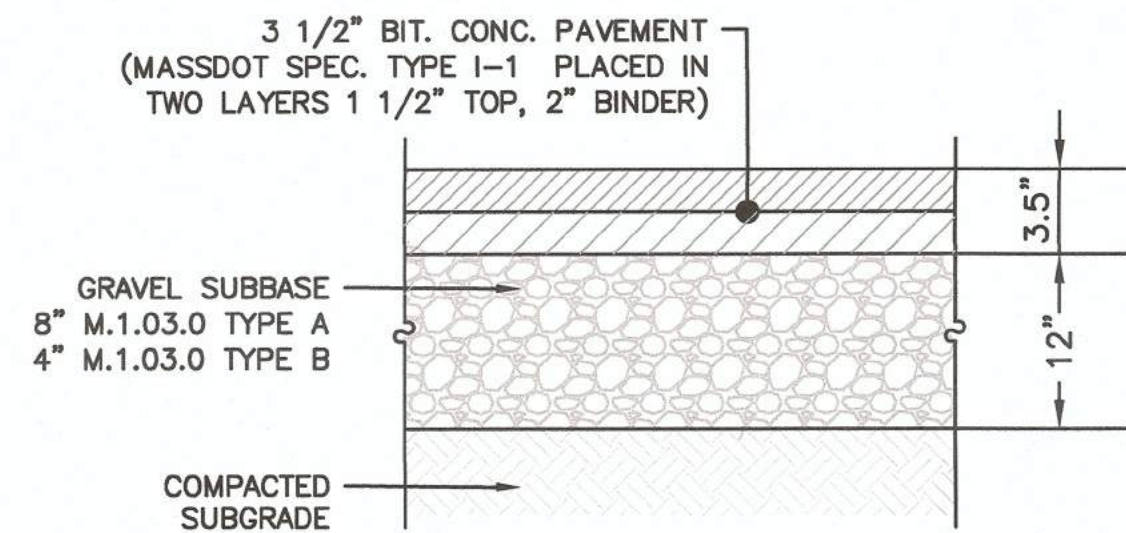
DRAWN BY: DRE/KJF

CHECKED BY: KLE

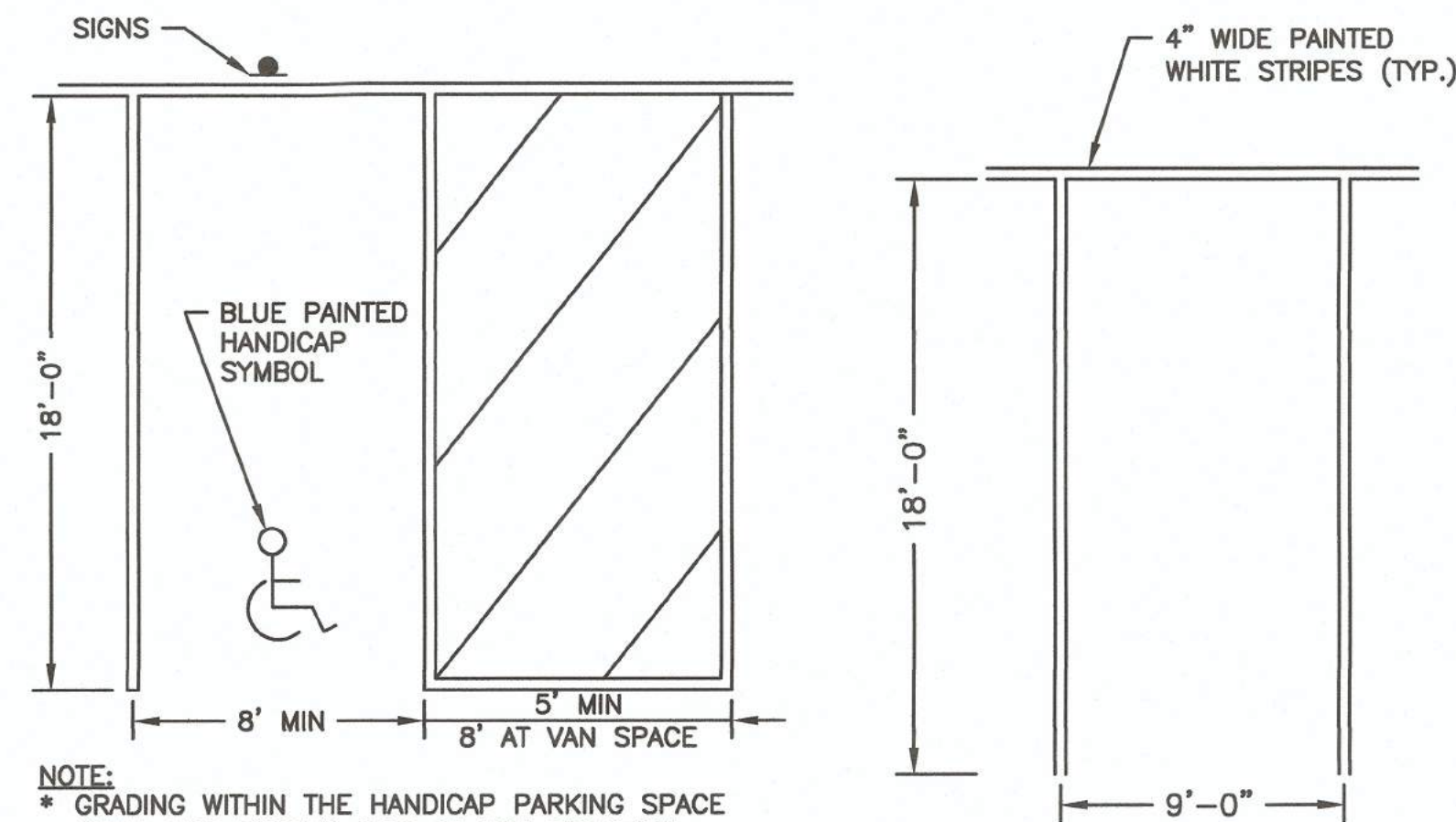
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OF 6



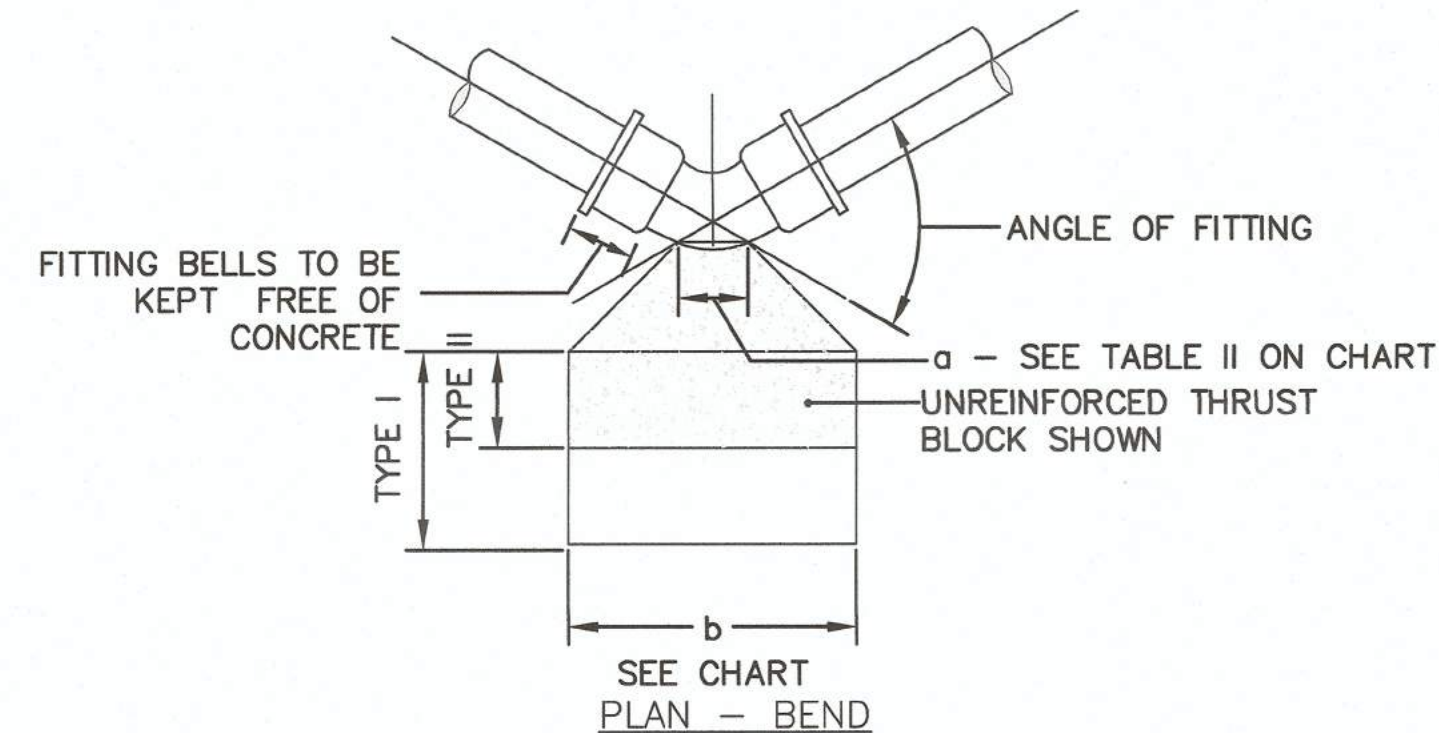
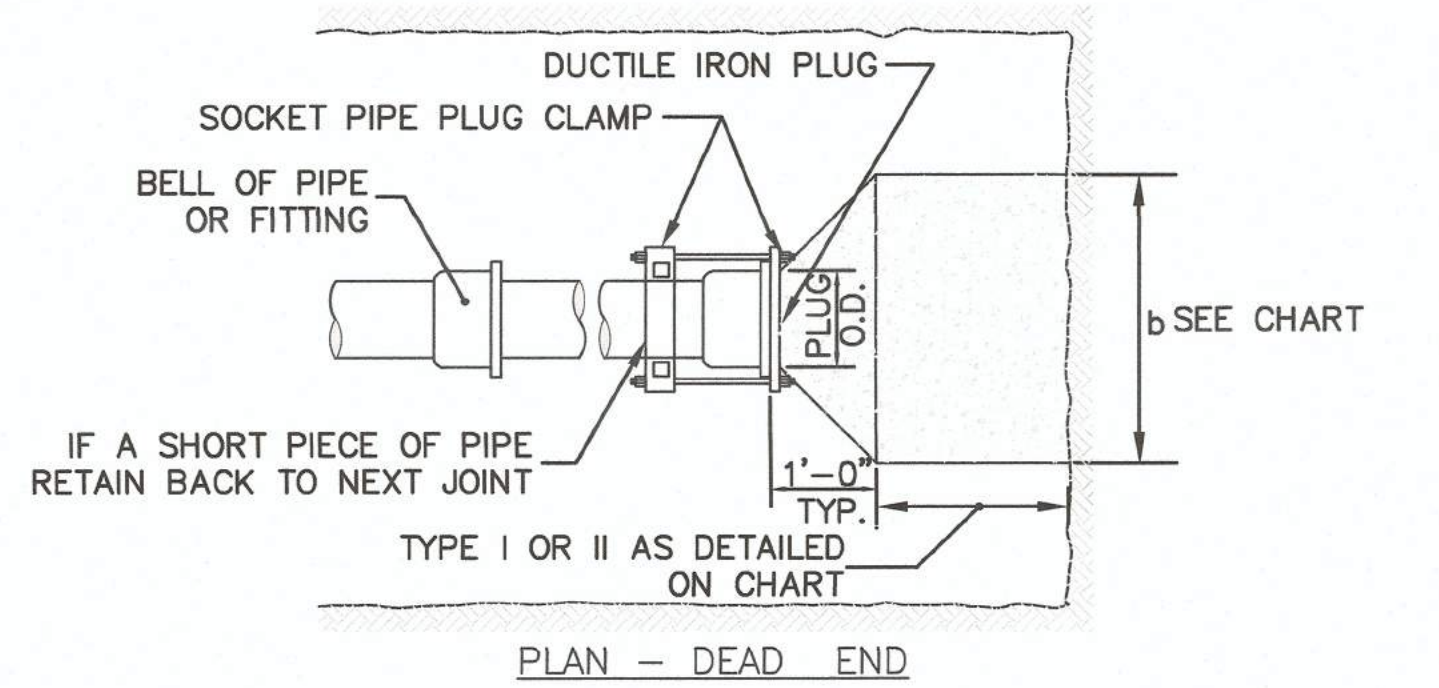


FULL DEPTH PARKING LOT SECTION DETAIL
NOT TO SCALE



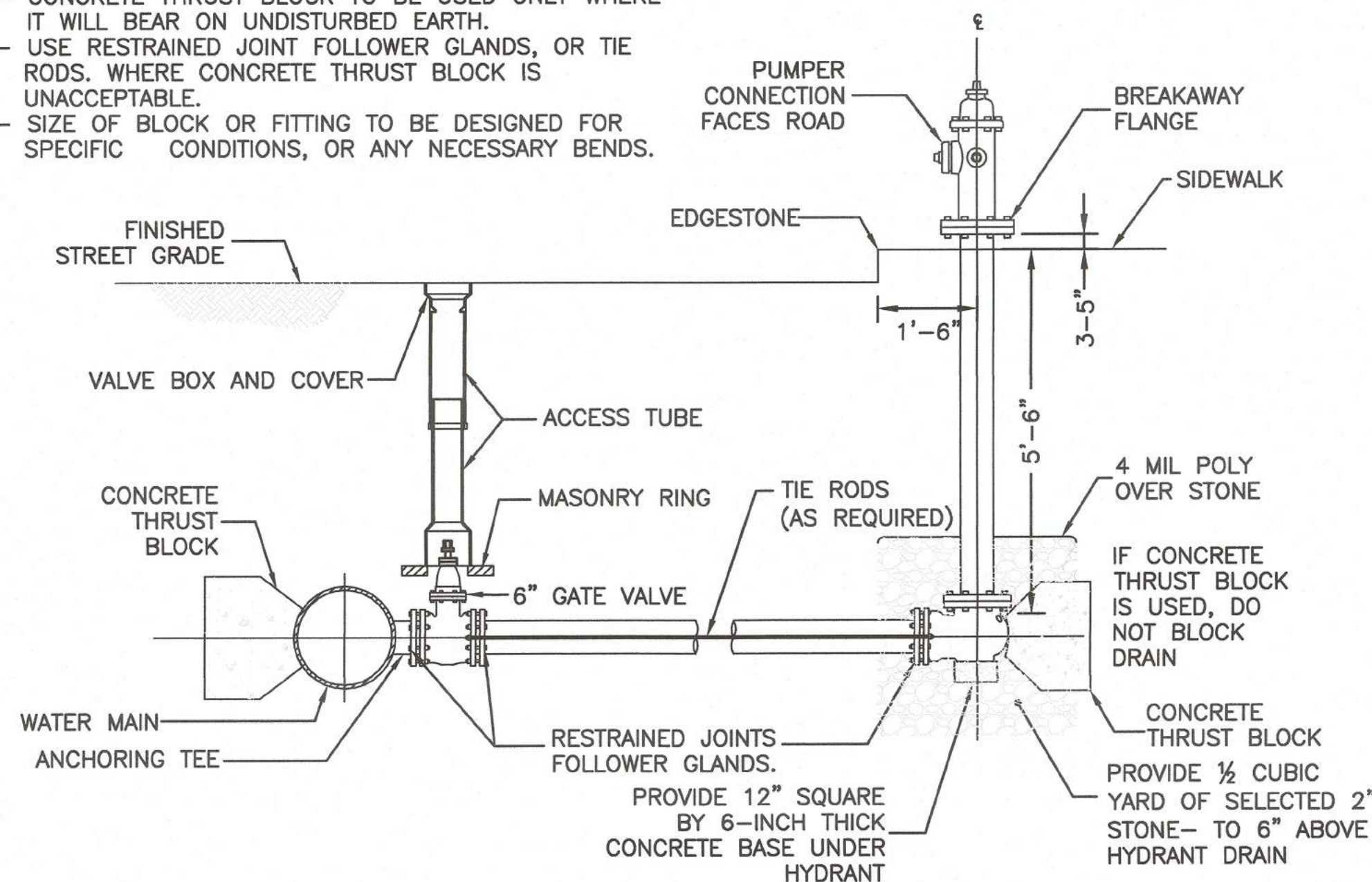
TYPICAL HANDICAP PARKING SPACE
NOT TO SCALE

TYPICAL PARKING SPACE
NOT TO SCALE

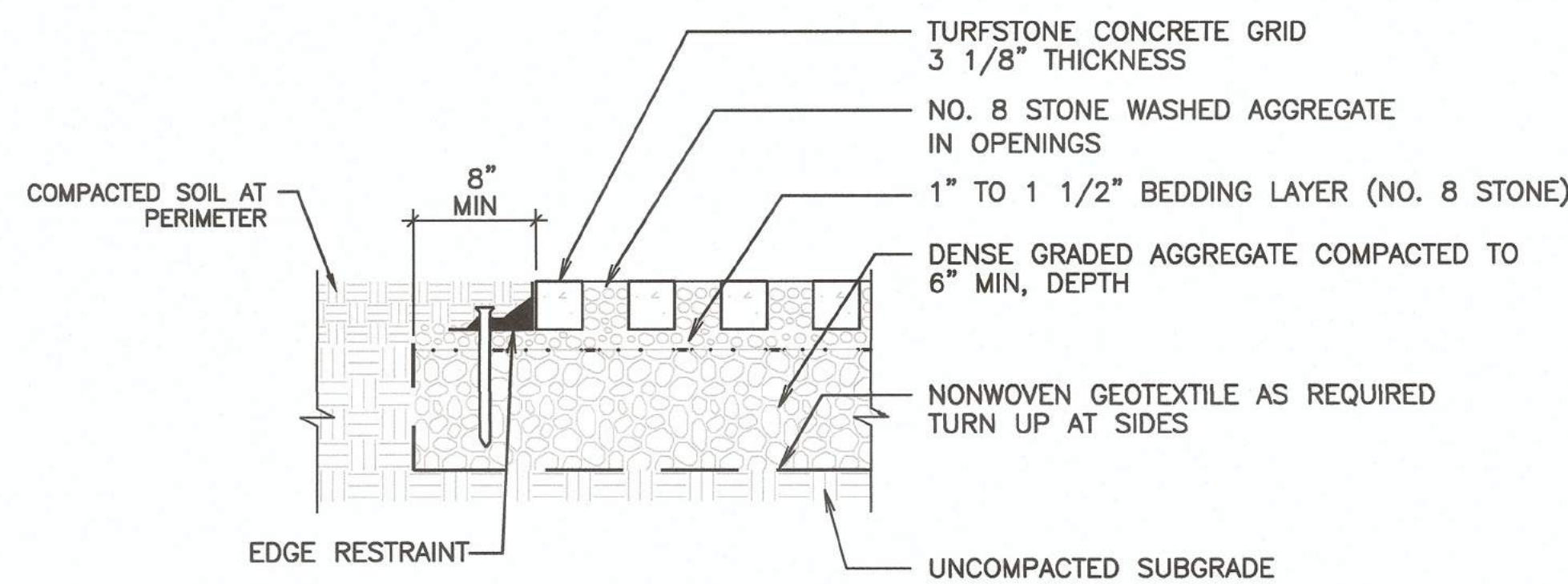


THRUST BLOCK
NOT TO SCALE

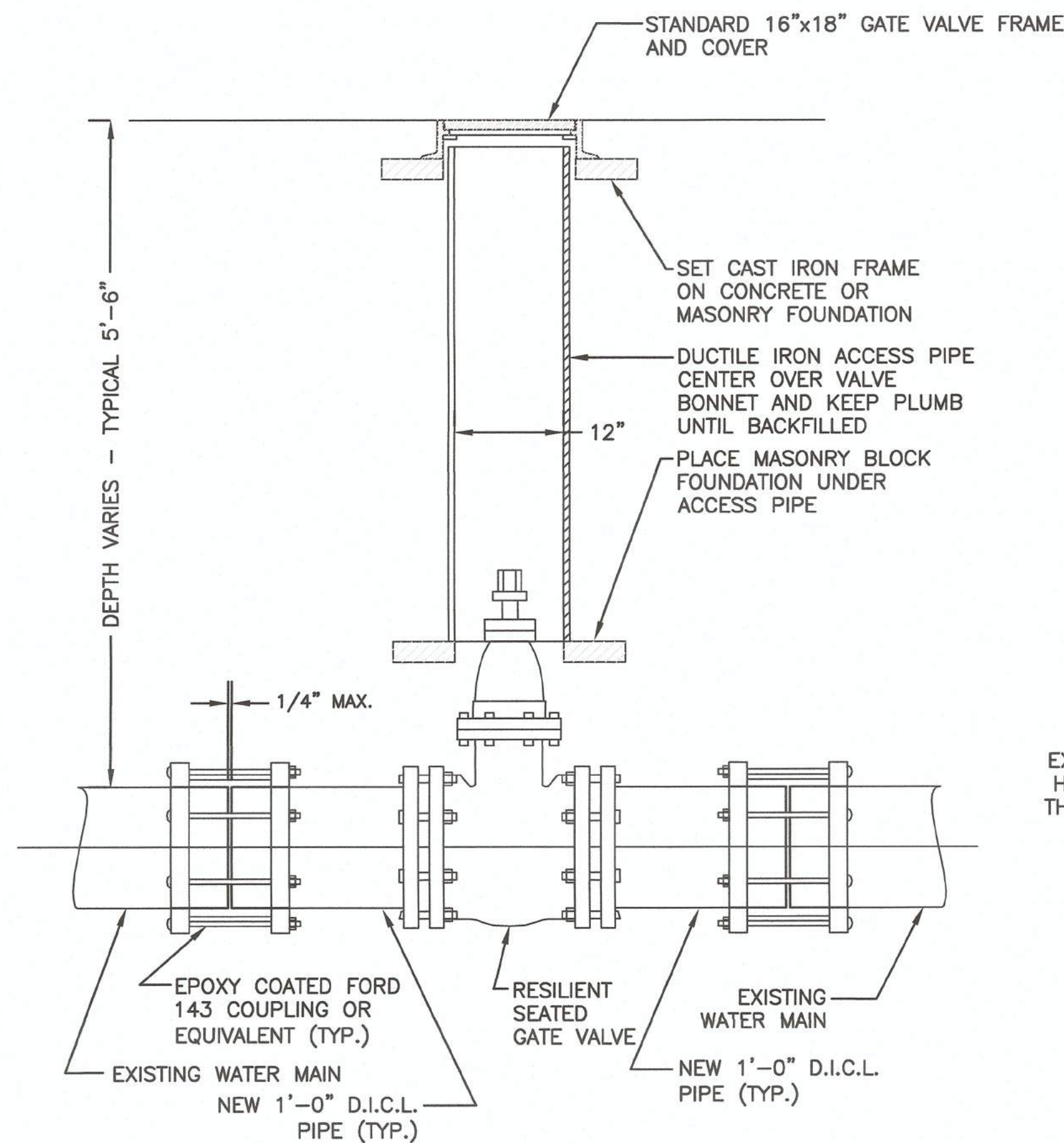
- NOTES:
- CONCRETE THRUST BLOCK TO BE USED ONLY WHERE IT WILL BEAR ON UNDISTURBED EARTH.
 - USE RESTRAINED JOINT FOLLOWER GLANDS, OR TIE RODS, WHERE CONCRETE THRUST BLOCK IS UNACCEPTABLE.
 - SIZE OF BLOCK OR FITTING TO BE DESIGNED FOR SPECIFIC CONDITIONS, OR ANY NECESSARY BENDS.



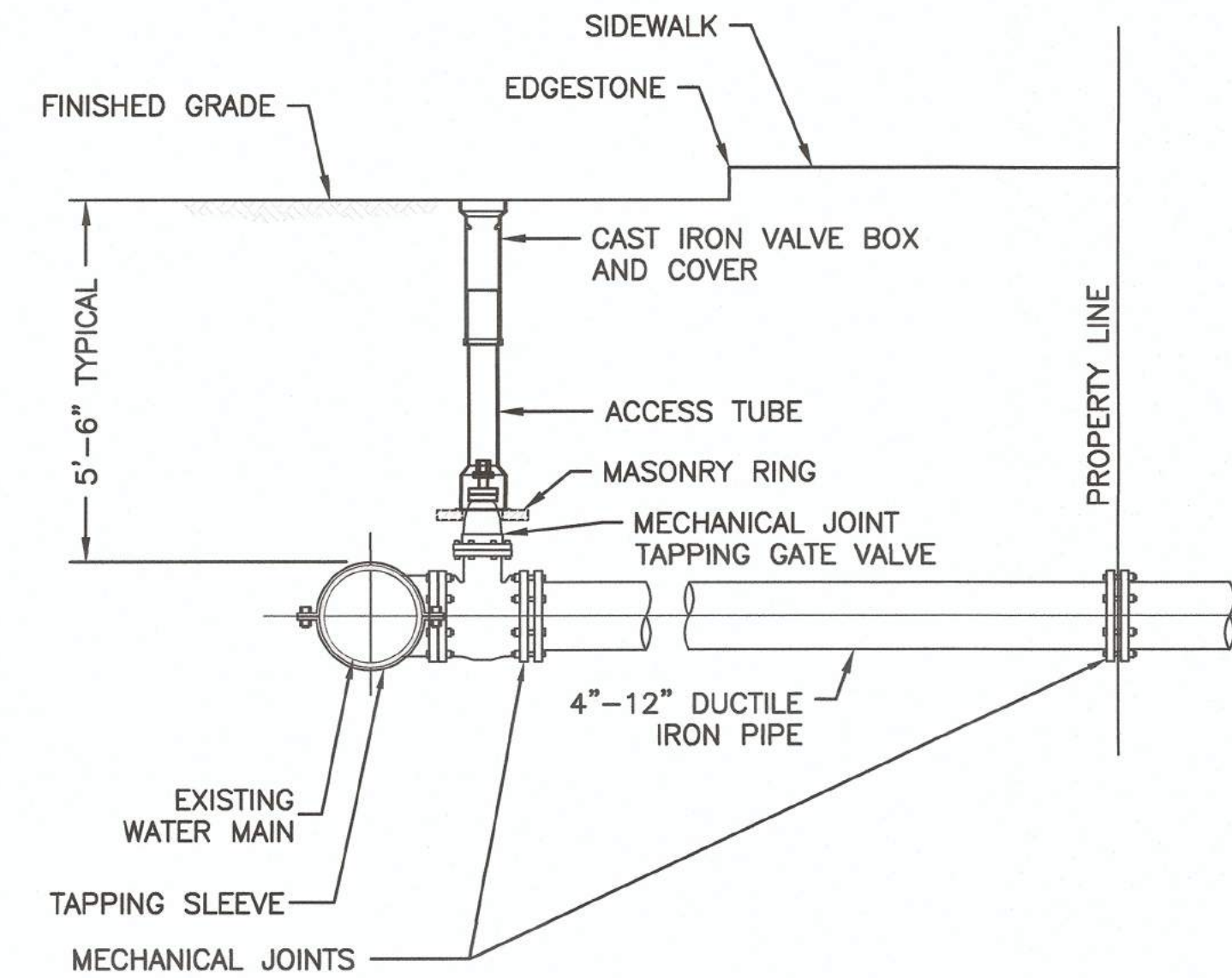
TYPICAL FIRE HYDRANT CONNECTION
NOT TO SCALE



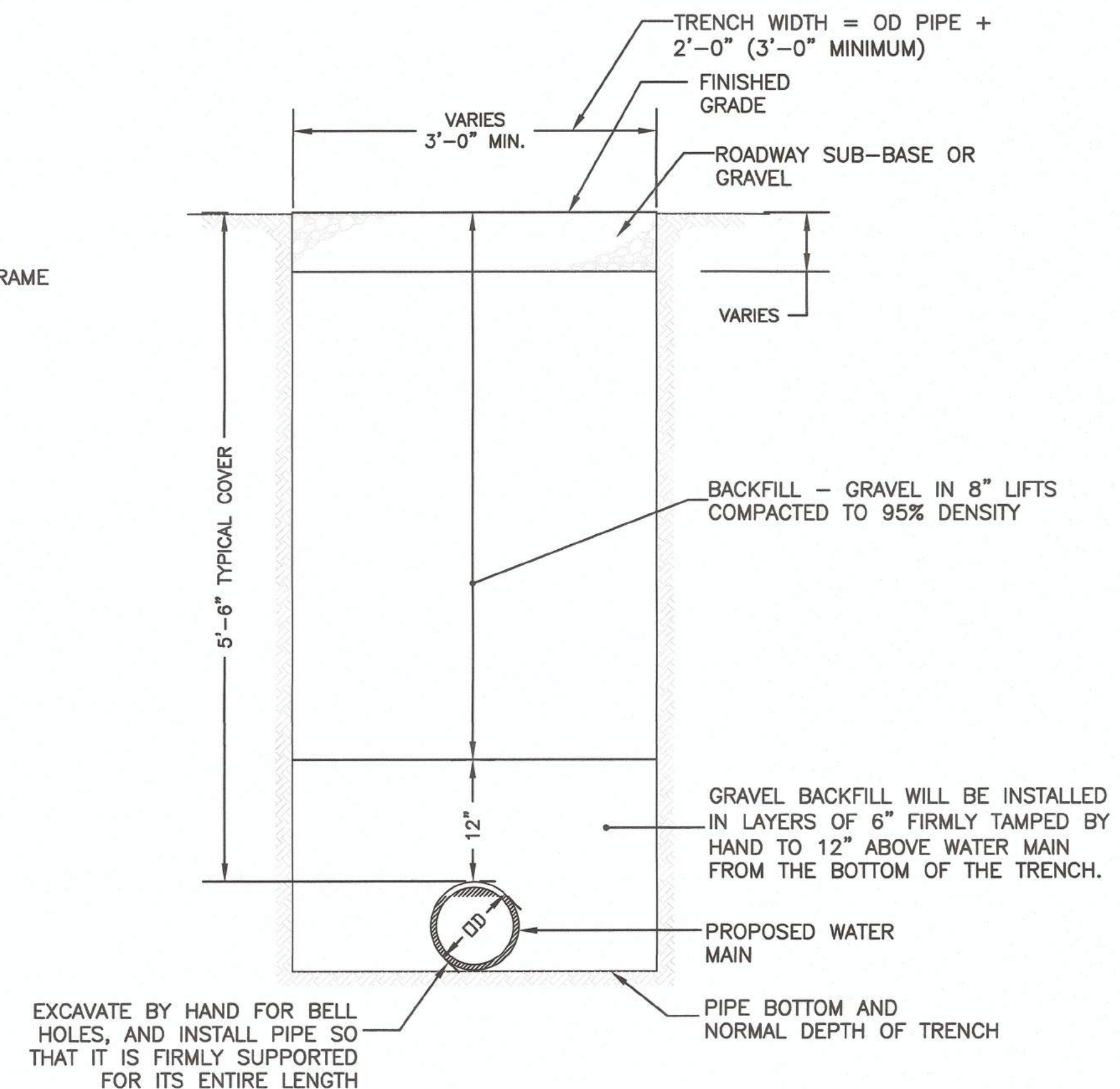
NICOLOCK TURFSTONE GRASSED PAVERS DETAIL
NOT TO SCALE



TYPICAL GATE VALVE INSTALLATION
NOT TO SCALE



TAPPING SLEEVE & VALVE
NOT TO SCALE



TRENCH DETAIL - WATER MAIN
NOT TO SCALE

TOWN OF EAST HARTFORD
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SITE PLAN

DETAILS SHEET
1 OF 1

DATE:	10-4-2016
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