

**TOWN OF EAST HARTFORD
PLANNING & ZONING COMMISSION
APPLICATION FORM**

DATE: _____

Official Receipt Date:

____ / ____ / ____

1. APPLICATION TYPE: (CHECK ALL THAT APPLY)

***COMPLETE SECTION ON PAGE 2 OR 3**

- | | |
|--|--|
| <input type="checkbox"/> SITE PLAN APPLICATION | <input type="checkbox"/> NATURAL RESOURCES REMOVAL AND FILLING |
| <input checked="" type="checkbox"/> SITE PLAN MODIFICATION | <input type="checkbox"/> SPECIAL USE PERMIT* |
| <input checked="" type="checkbox"/> FLOOD HAZARD – MAJOR* | <input type="checkbox"/> ZONING MAP CHANGE* |
| <input type="checkbox"/> FLOOD HAZARD – MINOR* | <input type="checkbox"/> TEXT AMENDMENT* |
| <input type="checkbox"/> SOIL EROSION AND SEDIMENTATION - Cumulative disturbed area (sq. ft.): _____ | |

2. SITE AND PROJECT INFORMATION

PROPERTY ADDRESS: 133, 167, 195, 211 Riverside Drive ZONE: DDD1

ASSESSORS MAP AND LOT: 9-3,9-4, 10-1 PARCEL SIZE (ACRES OR SQ. FT.): 17 AC+-

PROJECT NAME: Goodwin College Marina

PROJECT DESCRIPTION (ATTACH ADDITIONAL SHEETS IF NEEDED):

See Attached Narrative

3. PROPERTY OWNER INFORMATION

☐ CHECK IF PRIMARY CONTACT

OWNER OF RECORD: Goodwin College, Inc.

OWNER ADDRESS: One Riverside Drive, East Hartford, CT 06118

OWNER PHONE: 860-727-6756 OWNER EMAIL: BHarrell@goodwin.edu

OWNER SIGNATURE: *Bryant L. Harrell* PRINT NAME: Bryant L. Harrell

The undersigned owner hereby authorizes: (1) this application, and (2) the Planning and Zoning Commission and Town of East Hartford staff the right to enter upon the property for the purposes of inspection associated with this application.

4. APPLICANT INFORMATION

☐ CHECK IF PRIMARY CONTACT

☒ CHECK IF APPLICANT IS SAME AS PROPERTY OWNER

APPLICANT: _____

APPLICANT ADDRESS: _____

APPLICANT PHONE: _____ APPLICANT EMAIL: _____

APPLICANT SIGNATURE: _____ PRINT NAME: _____

5. DESIGN PROFESSIONAL INFORMATION

☒ CHECK IF PRIMARY CONTACT

FIRM: Zuvic, Carr and Associates PHONE: 860-899-1919

CONTACT PERSON: Galen Semprebon, P.E. EMAIL: galen@zuvic.com

- COMPLETE ONLY THE SECTIONS THAT APPLY TO YOUR APPLICATION TYPE -

A.	SPECIAL USE PERMIT	(ATTACH ADDITIONAL SHEETS IF NEEDED)
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1) Applicable Section of the Zoning Regulations: _____

2) Describe how the proposed Special Use Permit relates to the Plan of Conservation and Development:

3) Describe how the proposed Special Use Permit will benefit the Town of East Hartford:

B.	FLOOD HAZARD ZONE – MAJOR DEVELOPMENT OR MINOR DEVELOPMENT
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1) Name of associated watercourse: CT River

2) Total amount of land (in sq. ft.) to be affected within the:

a. Flood Hazard Zone: 11,000 S.F.+ (Includes Marina Structure)

b. Floodway: 9,000 S.F.+

c. Floodway fringe: 500 SF+-

3) Enumerate methods of compliance with Sections 601.10, 601.11, and 601.12 of the Zoning Regulations:

See attached narrative

General Narrative
Planning and Zoning Narrative
Riverside Drive Marina

February, 2018

The applicant, Goodwin College, Inc., wishes to remove existing structures and construct a commercial marina at their properties in East Hartford, CT. The properties are situated on the east bank of the Connecticut River. The proposed marina will help address the need to provide seasonal and transient/large vessel berthing and boating access opportunities in this stretch of the Connecticut River.

Proposed construction activities include removal of an existing lower platform adjacent to the 133 Riverside Drive pier, and removal of an existing fixed pier at 211 Riverside Drive.

Proposed improvements include construction of a new 32 slip commercial marina. All pier support piles will be driven using a barge borne pile driver during periods of high water. The pier split caps and stringers will be hoisted into place by a barge borne crane and affixed to the piles by workers using hand tools operating from a work boat. The pier decking and railings will be installed by workers using hand tools operating from a work boat or from atop the pier as appropriate.

Due to flood conditions that are typical in the Connecticut River during the spring and early summer, the top elevations of the proposed pier and float anchor piles have been designed to exceed the flood stage elevation of the river. This will ensure that the floating docks and ramps do not become separated from the facility and cause damage downriver during typical flooding events. The proposed docks, ramps and access stairs will be securely anchored to their foundation to prevent flotation and movement during flood events. The railings on the access stairs are removable to allow for storage during flood events.

Environmentally, little or no adverse impacts are anticipated from the proposed marina construction and structure removal as these activities have been minimized to the greatest extent possible. All activities water ward of the Coastal Jurisdiction Line require approval from the Army Corp of Engineers. This includes the pile supported and floating structures which require no filling.

A review of the State of Connecticut's Natural Diversity Database reveals that several state listed species are present in the vicinity of the proposed work – the State Threatened Bald Eagle, State Endangered Yellow lampmussel, State Special Concern Tidewater mucket, and State Special Concern Eastern pondmussel.

With respect to the Bald Eagle, the NDDDB has recommended that all pile driving be conducted during the non-breeding season (August 1 – February 1). It is expected that this restriction will be included as a condition of approval for any issued permits.

In order to protect the listed mussel species, the applicant provided a freshwater mussel management plan which specifies that an initial pre-construction survey to determine the presence or absence of such species within the work area (including 25 meters upstream and downstream). The initial survey will document the shell conditions of the mussels, microhabitat, and location of each individual. If target species are found, biologists will identify suitable areas outside the influence of the project for relocation. Relocation will occur 2 weeks prior to the initiation of any work. Another survey will be conducted 5 years post-construction, with all findings and biological reports provided to NDDDB staff.

It is anticipated that construction will commence at the earliest in August of 2018, depending upon the timing of permit issuance, and will take approximately 6 months to complete.

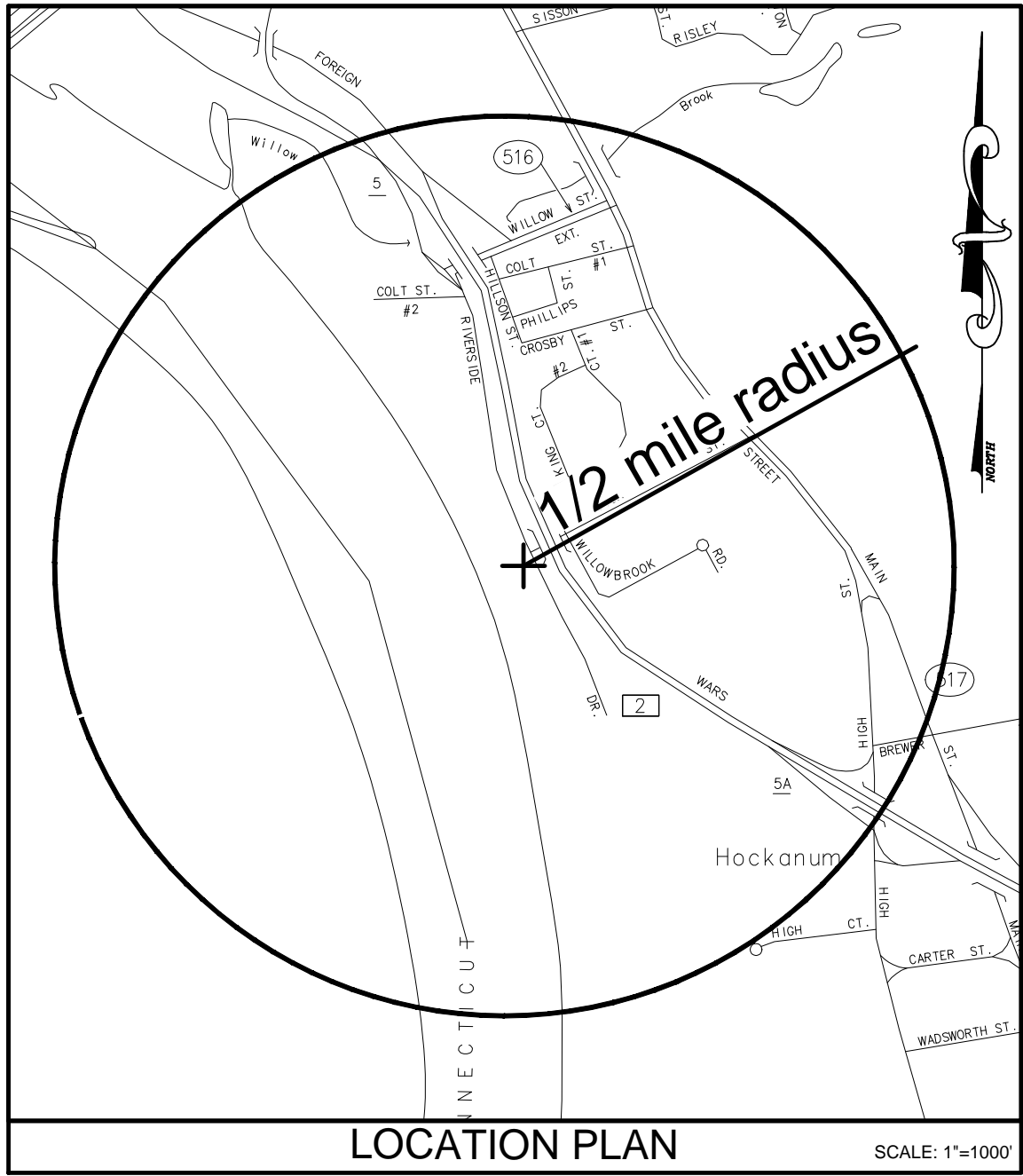
The Marina is a seasonal use and will generally be opened after the typical spring flooding and closed in the later fall. There will be a Dock Master hired by Goodwin to oversee the operation of the marina. Slips at the marina will be available for rent by the month, and also to transient boaters on the river. The Goodwin security personnel will also provide oversight of the marina. Garbage and recycling will be handled with the existing Goodwin operations for refuse and recycling.

Parking for the Marina will be provided on the 133 Riverside Drive property. The Marina use is expected to be a complementary use to the school. Higher parking demand for the Marina is expected in the summer and on weekends when the need for parking for the school is generally less.

GOODWIN COLLEGE RIVER CAMPUS

RIVERSIDE DRIVE MARINA

125, 133, 195 & 211 RIVERSIDE DRIVE
EAST HARTFORD, CONNECTICUT
DECEMBER, 2017



ZONING TABLE

ZONE: INDUSTRIAL (I-3) WITH DDD1 OVERLAY

REGULATION	REQUIRED	PROVIDED
209.3P. PARKING REQUIREMENT		
133 Riverside	15	49
211 Riverside	256	+9 (BEHIND #133)
Marina* (133/211 Riverside)	11*	519
		11* (11@ #133)
* THERE ARE NO SPECIFIC PARKING REQUIREMENTS FOR MARINAS. IN EAST HARTFORD PARKING REQUIREMENTS - SECTION 209.3.		

LIST OF DRAWINGS

- COVER SHEET
- SV-1 211 RIVERSIDE DRIVE PROPERTY BOUNDARY SURVEY
- SV-2 133 RIVERSIDE DRIVE PROPERTY BOUNDARY SURVEY
- EC-1 SITE PLAN OF EXISTING CONDITIONS - TOPOGRAPHIC SURVEY
- OS-1 OVERALL SITE PLAN
- DP-1 DEMOLITION PLAN
- SP-1 SITE IMPROVEMENTS PLAN (#133 DOCK)
- SP-2 SITE IMPROVEMENTS PLAN (#211 DOCK)
- SP-3 SITE UTILITY PLAN
- SP-4 SITE UTILITY PLAN
- P-1 PLAN & PROFILE
- MD-1;MD-2 SITE DETAILS AND GENERAL NOTES
- S-1, S-2 STRUCTURAL PLANS & DETAILS
- 1 OF 2;2 OF 2 MARINA PLAN AND DETAILS (COASTLINE CONSULTING & DEVELOPMENT)

NOTES:

1. THE DEVELOPER SHALL NOTIFY THE TOWN OF EAST HARTFORD ENGINEERING DIVISION 24 HOURS PRIOR TO BEGINNING ANY STORM DRAINAGE, ROADWAY PREPARATION, PAVING, SIDEWALK, CURBING, STREET LINE MONUMENTATION, PROPERTY CORNER PINS, ETC., TO SCHEDULE INSPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:30 A.M. - 4:30 P.M. AT 291-7380.
2. THE TOWN SHALL BE NOTIFIED IN WRITING AT LEAST 2 DAYS IN ADVANCE OF THE PRE-CONSTRUCTION MEETING BETWEEN THE CONTRACTOR AND THE ENGINEER.

INLAND WETLANDS/
ENVIRONMENT COMMISSION -
APPLICATION FOR PERMIT

FLOOD HAZARD ZONE -
MAJOR DEVELOPMENT

MODIFICATION OF
SITE PLAN APPLICATION

PREPARED FOR:

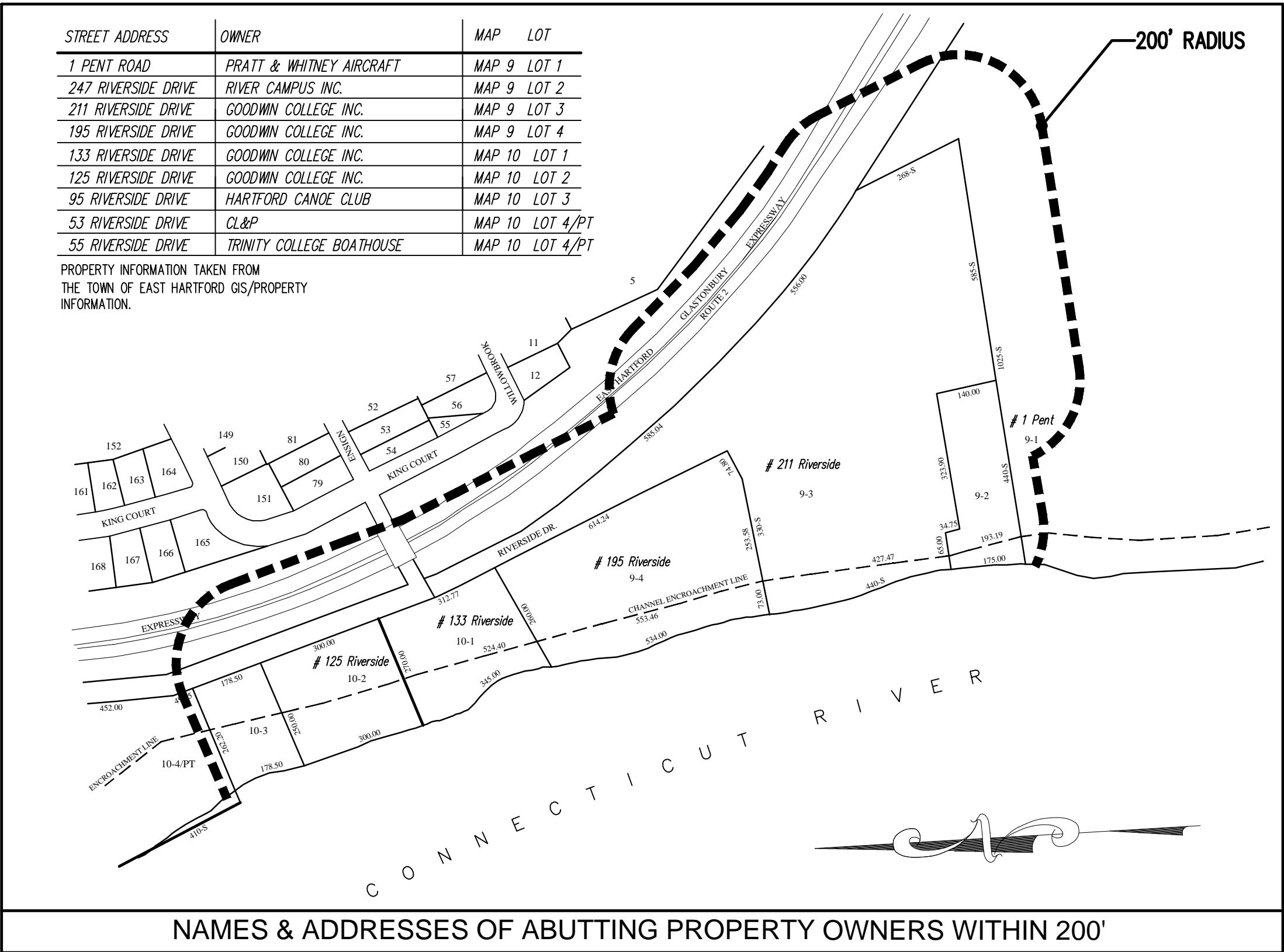


GOODWIN COLLEGE

PREPARED BY:

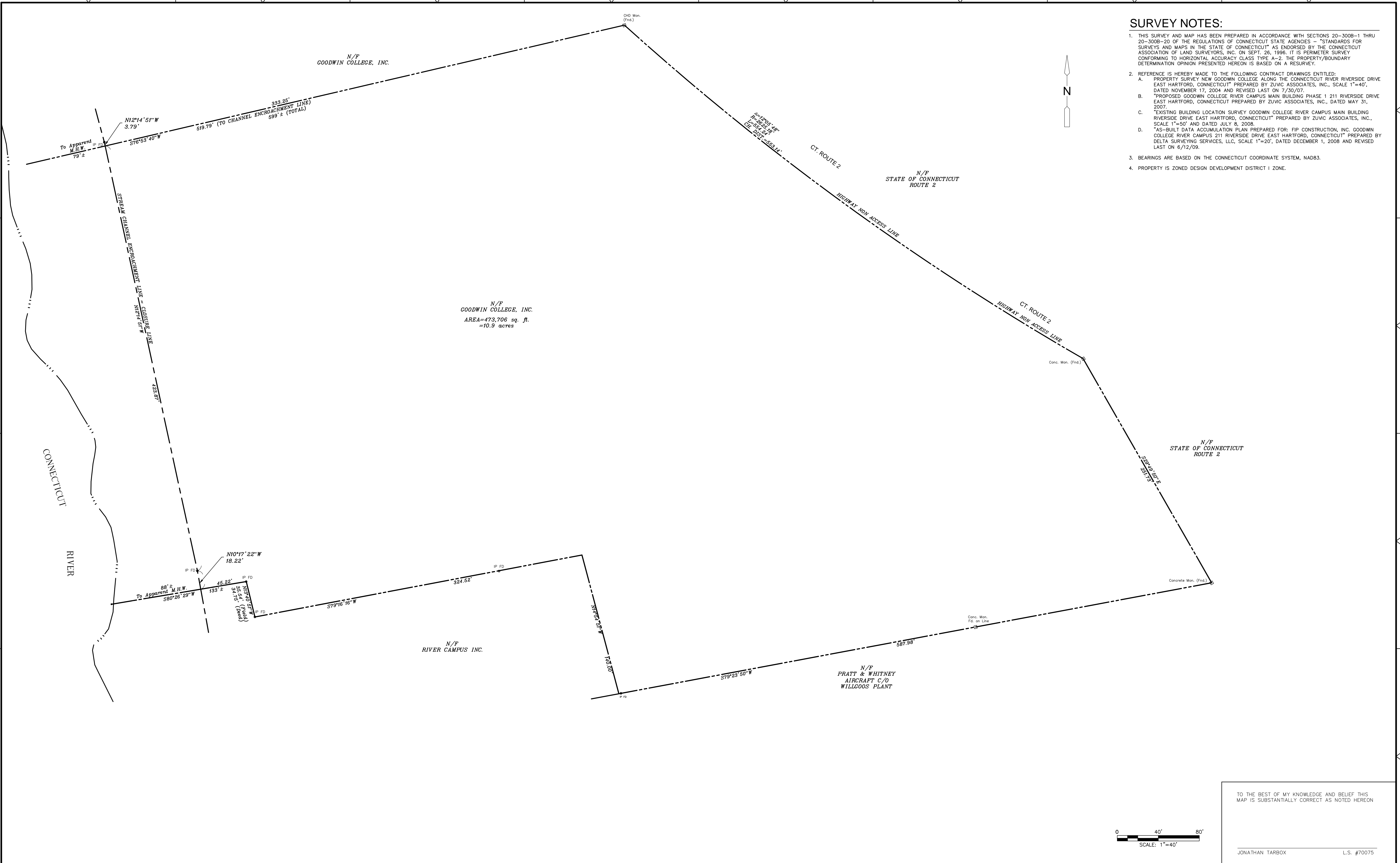
ZUVIC • CARR
AND ASSOCIATES
CONSULTING ENGINEERS

40 Cold Spring Road • Rocky Hill, CT 06067
Phone 860.436.4901 • Fax 860.436.4953



FOR PERMIT USE ONLY
NOT FOR CONSTRUCTION

FILE PATH: H:\Projects\Goodwin College\1570 - Misc Campus Wide Tech Support\Task 012 Marina\AutoCAD\SV\1570-12.SV\A2.dwg PLOT DATE: 1/25/2017 PLOT TIME: 11:01:05 AM



SURVEY NOTES:

- THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300B-1 THRU 20-300B-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES - "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ENDORSED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPT. 26, 1996. IT IS PERIMETER SURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS TYPE A-2. THE PROPERTY/BOUNDARY DETERMINATION OPINION PRESENTED HEREON IS BASED ON A RESURVEY.
- REFERENCE IS HEREBY MADE TO THE FOLLOWING CONTRACT DRAWINGS ENTITLED:
 - PROPERTY SURVEY NEW GOODWIN COLLEGE ALONG THE CONNECTICUT RIVER RIVERSIDE DRIVE EAST HARTFORD, CONNECTICUT" PREPARED BY ZUVIC ASSOCIATES, INC., SCALE 1"=40', DATED NOVEMBER 17, 2004 AND REVISED LAST ON 7/30/07.
 - "PROPOSED GOODWIN COLLEGE RIVER CAMPUS MAIN BUILDING PHASE 1 211 RIVERSIDE DRIVE EAST HARTFORD, CONNECTICUT PREPARED BY ZUVIC ASSOCIATES, INC., DATED MAY 31, 2007.
 - "EXISTING BUILDING LOCATION SURVEY GOODWIN COLLEGE RIVER CAMPUS MAIN BUILDING RIVERSIDE DRIVE EAST HARTFORD, CONNECTICUT" PREPARED BY ZUVIC ASSOCIATES, INC., SCALE 1"=50' AND DATED JULY 8, 2008.
 - "AS-BUILT DATA ACCUMULATION PLAN PREPARED FOR: FIP CONSTRUCTION, INC. GOODWIN COLLEGE RIVER CAMPUS 211 RIVERSIDE DRIVE EAST HARTFORD, CONNECTICUT" PREPARED BY DELTA SURVEYING SERVICES, LLC, SCALE 1"=20', DATED DECEMBER 1, 2008 AND REVISED LAST ON 6/12/09.
- BEARINGS ARE BASED ON THE CONNECTICUT COORDINATE SYSTEM, NAD83.
- PROPERTY IS ZONED DESIGN DEVELOPMENT DISTRICT I ZONE.

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON

JONATHAN TARBOX L.S. #70075

REV. NO.	DATE	DRWN	CHKD	REMARKS

PROJECT NO.: 1570-12
DESIGNED BY: _____
DRAWN BY: RMG
SHEET CHK'D BY: JT
CROSS CHK'D BY: _____
APPROVED BY: JT
DATE: JANUARY 2017



GOODWIN COLLEGE
ONE RIVERSIDE DRIVE
EAST HARTFORD, CONNECTICUT



ZUVIC-CARR AND ASSOCIATES
CONSULTING ENGINEERS
40 Cold Spring Road • Rocky Hill, CT 06067
Phone 860.436.4901 • Fax 860.436.4953

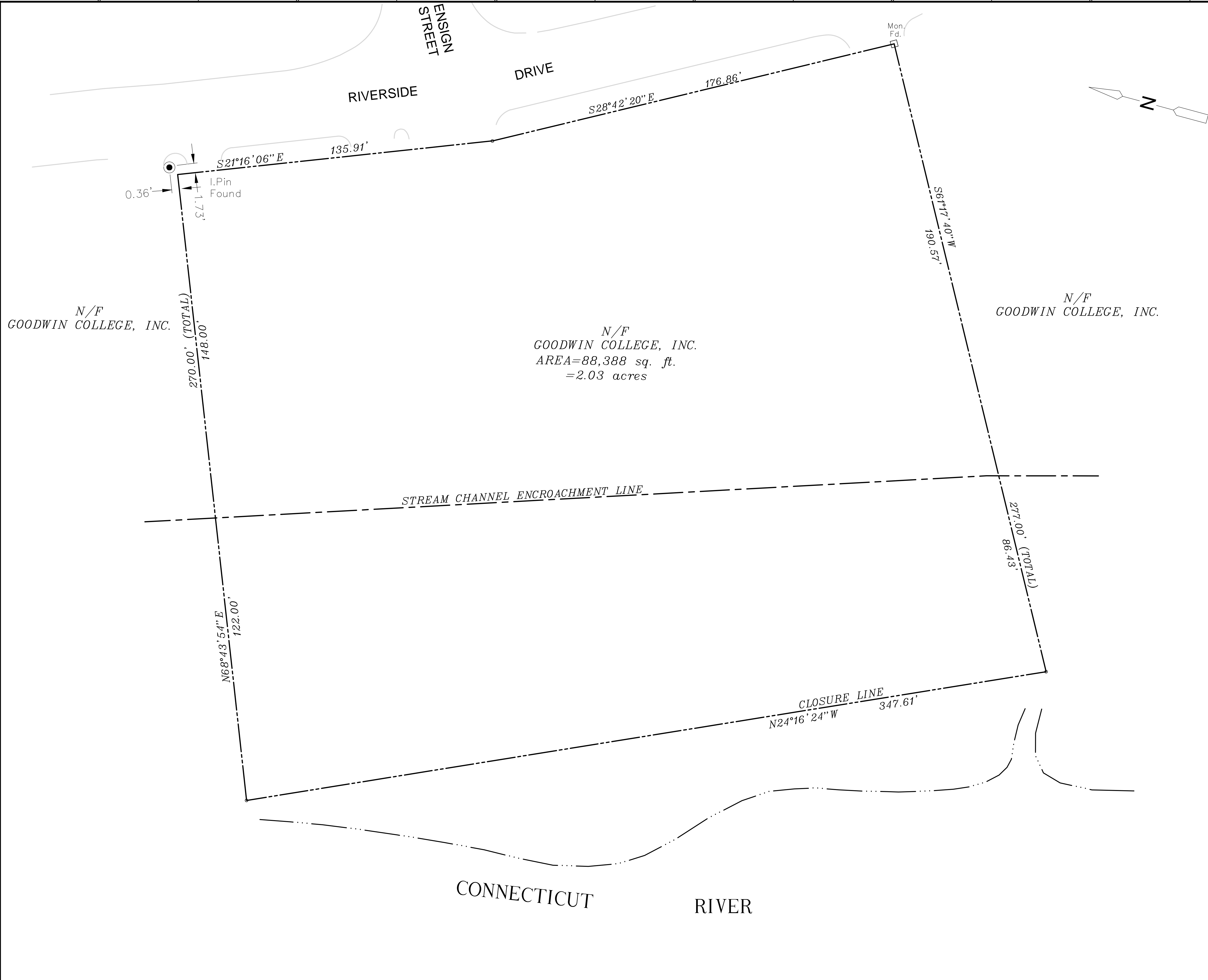
RIVERSIDE DRIVE MARINA
RIVERSIDE DRIVE
EAST HARTFORD, CONNECTICUT

211 RIVERSIDE DRIVE
PROPERTY BOUNDARY SURVEY

SHEET NO.

SV-1

FILE PATH: H:\Projects\Goodwin College\1570 - Misc Campus Wide Tech Support\Task 012 Marina\AutoCAD\SV\1570-12.SV\A2.dwg PLOT DATE: 1/25/2017 PLOT TIME: 11:22:14 AM



- SURVEY NOTES:**
- THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300B-1 THRU 20-300B-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES - "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ENDORSED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPT. 26, 1996. IT IS PERMETER SURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS TYPE A-2. THE PROPERTY/BOUNDARY DETERMINATION OPINION PRESENTED HEREON IS BASED ON A RESURVEY.
 - REFERENCE IS HEREBY MADE TO THE FOLLOWING CONTRACT DRAWINGS ENTITLED:
 - "CONSTRUCTION DRAWINGS GOODWIN COLLEGE RIVER CAMPUS MODULAR BUILDING 133/195 RIVERSIDE DRIVE, EAST HARTFORD, CONNECTICUT" PREPARED BY ZUVIC, CARR AND ASSOCIATES, INC., DATED 4/14/10 AND REVISED 5/17/10.
 - "PROPERTY SURVEY, GOODWIN COLLEGE ALONG THE CONNECTICUT RIVER, RIVERSIDE DRIVE EAST HARTFORD, CONNECTICUT" PREPARED BY ZUVIC ASSOCIATES, INC., SCALE 1"=30', DATED SEPTEMBER 18, 2009.
 - "PROPERTY SURVEY NEW GOODWIN COLLEGE ALONG THE CONNECTICUT RIVER RIVERSIDE DRIVE EAST HARTFORD, CONNECTICUT" PREPARED BY ZUVIC ASSOCIATES, INC., SCALE 1"=40', DATED NOVEMBER 17, 2004 AND REVISED LAST ON 7/30/07.
 - BEARINGS ARE BASED ON THE CONNECTICUT COORDINATE SYSTEM, NAD83.
 - PROPERTY IS ZONED DESIGN DEVELOPMENT DISTRICT I ZONE.

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON

JONATHAN TARBOX L.S. #70075

REV. NO.	DATE	DRWN	CHKD	REMARKS

PROJECT NO.: 1570-12
DESIGNED BY: _____
DRAWN BY: RMG
SHEET CHK'D BY: JT
CROSS CHK'D BY: _____
APPROVED BY: JT
DATE: JANUARY 2017



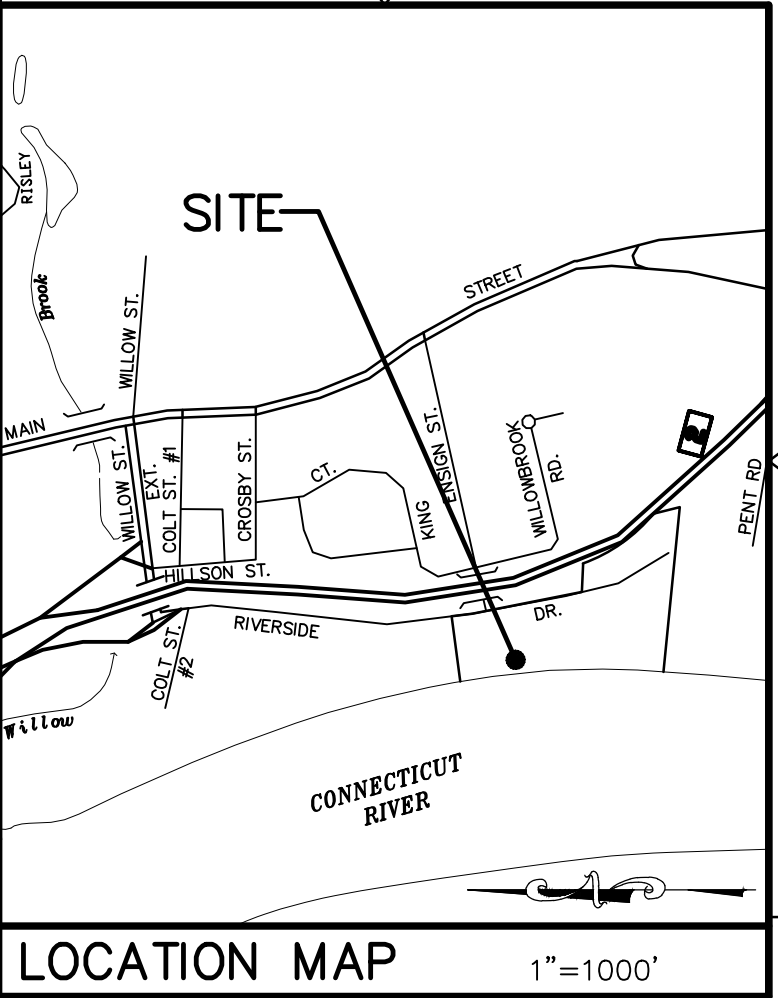
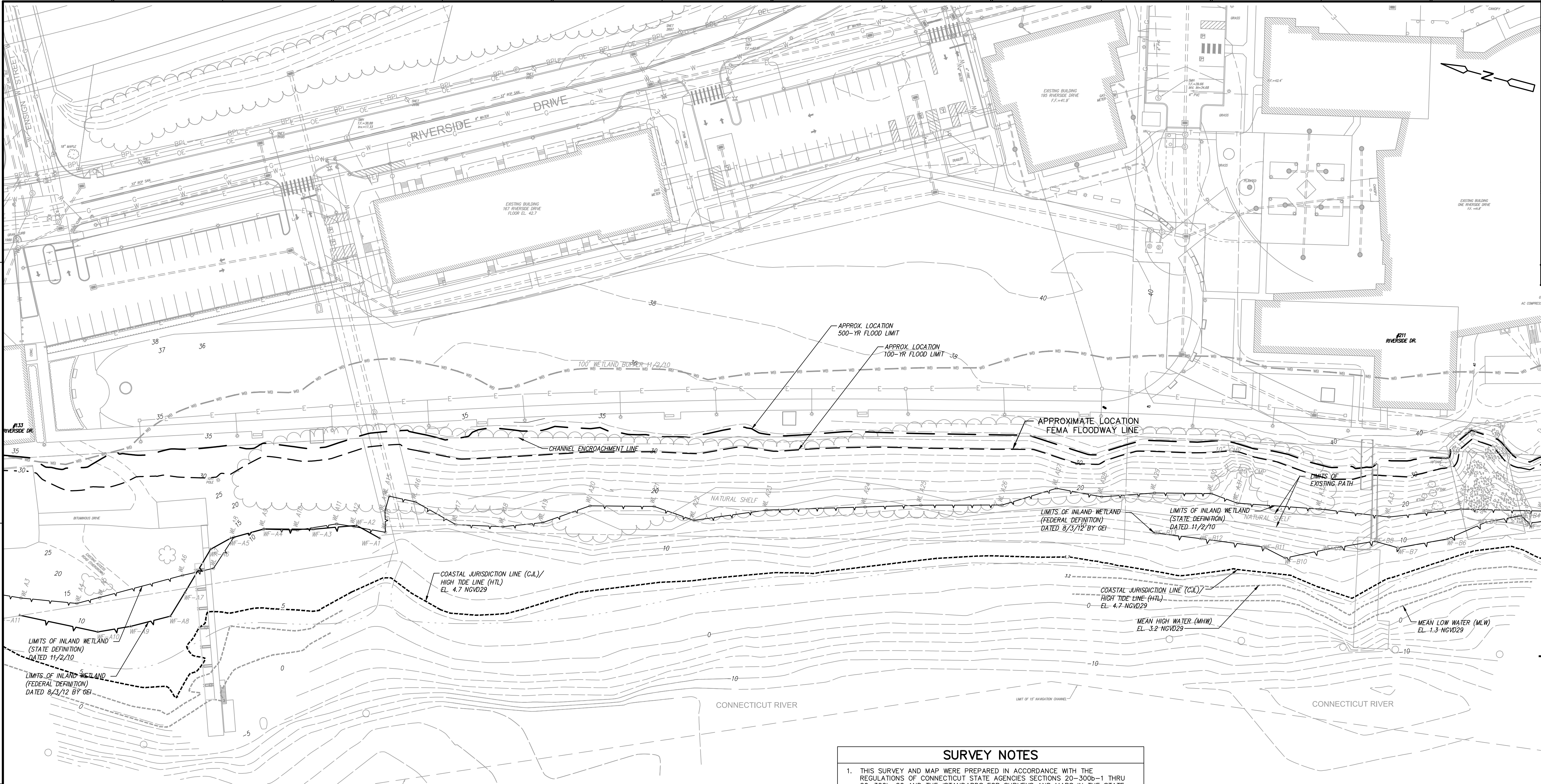
RIVERSIDE DRIVE MARINA
RIVERSIDE DRIVE
EAST HARTFORD, CONNECTICUT

133 RIVERSIDE DRIVE
PROPERTY BOUNDARY SURVEY

SHEET NO.

SV-2

FILE PATH: H:\Projects\Goodwin College\1570 - Misc Campus Wide Tien Support\Task 012 Marina\AutoCAD\1570-12 - Marina EC-1 Existing Conditions Plan.dwg PLOT DATE: 12/21/2017 PLOT TIME: 1:39:24 PM



LEGEND	
	PROPERTY/STREET LINE
	STREAM CHANNEL ENCROACHMENT LINE
	EASEMENT LINE
	UTILITY POLE
	YARD DRAIN
	CATCH BASIN
	DRAINAGE MANHOLE
	SANITARY MANHOLE
	ELECTRIC MANHOLE
	BUCKEYE GAS PIPELINE
	UNDERGROUND TEL., CATV
	OVERHEAD ELECTRIC, TEL., CATV
	SANITARY SEWER MAIN
	GAS MAIN
	UNDERGROUND ELECTRICAL LINES
	STORM DRAINAGE MAIN
	WATER MAIN
	WATER VALVE
	HYDRANT
	CHAIN LINK FENCE
	SITE LIGHTING
	SIGN
	BOLLARD
	MONITOR WELL
	TREE LINE
	2 FOOT CONTOUR ELEVATION
	10 FOOT CONTOUR ELEVATION
	WETLANDS FLAGGING STATE DEFINITION (BY SOIL SCIENTIST ON 11/02/10)
	WETLANDS FLAGGING FEDERAL DEFINITION (BY GEI ON 8/3/12)

NOTES:

1. THE DEVELOPER SHALL NOTIFY THE TOWN OF EAST HARTFORD ENGINEERING DIVISION 24 HOURS, PRIOR TO BEGINNING ANY STORM DRAINAGE, ROADWAY PREPARATION, PAVING, SIDEWALK, CURBING, STREET LINE MONUMENTATION, PROPERTY CORNER PINS, ETC., TO SCHEDULE INSPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:30 A.M. - 4:30 P.M. AT 860-291-7380.

2. THE TOWN SHALL BE NOTIFIED IN WRITING AT LEAST 2 DAYS IN ADVANCE OF THE PRE-CONSTRUCTION MEETING BETWEEN THE CONTRACTOR AND THE ENGINEER.

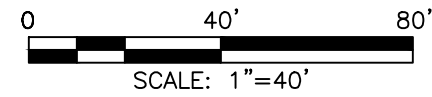
TOWN OF EAST HARTFORD PLANNING & ZONING COMMISSION SITE PLAN CERTIFICATE OF APPROVAL	
APPROVAL DATE _____	
EXPIRATION DATE _____	
CHAIRMAN _____	

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS
MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON

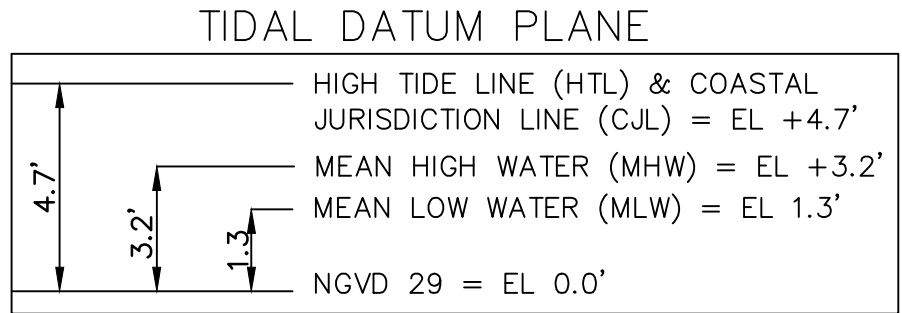
JONATHAN TARBOX L.S. #70075

PLAN
SCALE: 1"=40'

- SURVEY NOTES**
- THIS SURVEY AND MAP WERE PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THRU 20-300b-20 AND THE STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996. IT IS A TOPOGRAPHIC SURVEY CONFORMING TO TOPOGRAPHIC ACCURACY CLASS T-2. ELEVATIONS DEPICTED HEREON CONFORM TO VERTICAL ACCURACY CLASS V-2.
 - REFERENCE IS HEREBY MADE TO THE FOLLOWING MAP ENTITLED: A. PROPERTY SURVEY NEW GOODWIN COLLEGE ALONG THE CONNECTICUT RIVER RIVERSIDE DRIVE EAST HARTFORD, CONNECTICUT; PREPARED BY ZUVIC ASSOCIATES, INC.; SCALE 1" = 40'; DATED NOVEMBER 17, 2004 AND REVISED LAST ON 7/30/07.
 - CONTOURS AND ELEVATIONS DEPICTED HEREON ARE BASED ON THE NGVD 1929 AND ARE THE RESULT OF A FIELD SURVEY.
 - THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
 - THE INLAND WETLANDS LIMITS PER THE STATE OF CONNECTICUT DEFINITION WERE FIELD DETERMINED BY GEORGE T. LOGAN (REGISTERED SOIL SCIENTIST) OF REMA ECOLOGICAL SERVICES LLC ON NOVEMBER 2, 2010.
 - THE INLAND WETLANDS LIMITS PER THE FEDERAL (ARMY CORPS OF ENGINEERS) DEFINITION WERE FIELD DETERMINED BY GEI ON AUGUST 3, 2012.



ABBREVIATIONS	
R/W	RETAINING WALL
BIT.	BITUMINOUS
CONC.	CONCRETE
CLF	CHAIN LINK FENCE
TYP.	TYPICAL
CB	CATCH BASIN
MH	MANHOLE
INV	INVERT
TF	TOP OF FRAME
RCP	REINFORCED CONCRETE PIPE
Mon. Fd.	MONUMENT FOUND



NOTE:
THE EXISTING TOPOGRAPHY IS BASED ON NGVD 29 DATUM. THE 100-YEAR AND 500-YEAR FLOOD LIMITS PROVIDED BY FEMA FLOOD INSURANCE RATE MAPS (FIRM) DATED SEPTEMBER 16, 2011 ARE BASED ON NAVD 88 DATUM. THE 100-YEAR AND 500-YEAR FLOOD ELEVATIONS DEPICTED ON THIS PLAN HAVE BEEN CONVERTED TO NGVD 29 BY APPLYING THE CONVERSION FACTOR OF +0.9 FEET. (EXAMPLE: EL. 29.0 (NAVD 88) + 0.9 = 29.9 (NGVD 29))

REV. NO.	DATE	DRWN	CHKD	REMARKS

PROJECT NO.: 1570-12
DESIGNED BY: GBS
DRAWN BY: KML
SHEET CHK'D BY: GBS
CROSS CHK'D BY: _____
APPROVED BY: _____
DATE: DECEMBER 2017

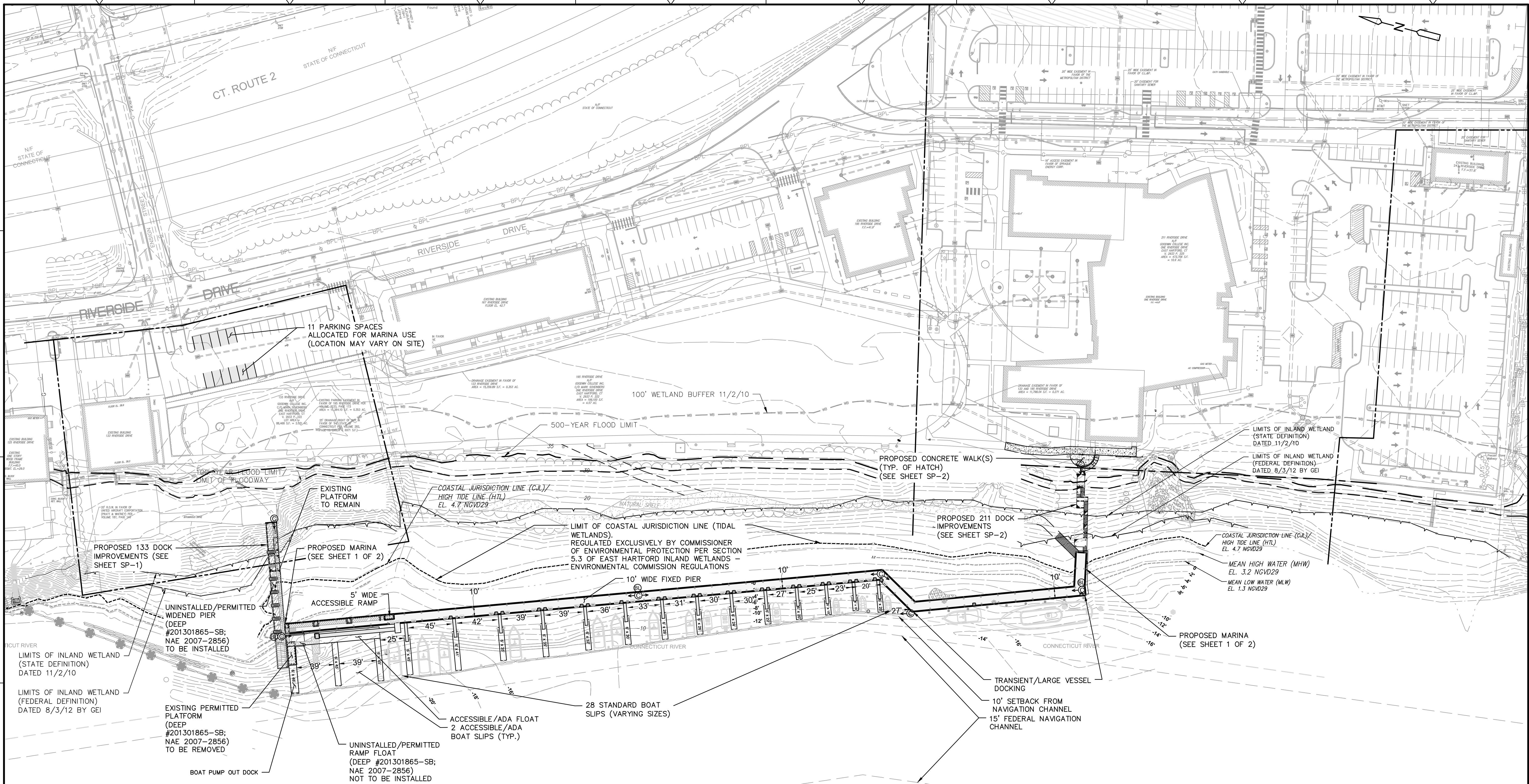


RIVERSIDE DRIVE MARINA
RIVERSIDE DRIVE
EAST HARTFORD, CONNECTICUT

SITE PLAN OF EXISTING CONDITIONS
TOPOGRAPHIC SURVEY

SHEET NO.
EC-1

FILE PATH: H:\Projects\Goodwin College\1570 - Misc Campus Wide Team Support\Task 012 Marina\AutoCAD\1570-12 - Marina OS-1 Overall Site Plan.dwg PLOT DATE: 12/21/2017 PLOT TIME: 1:44:58 PM



NOTES:

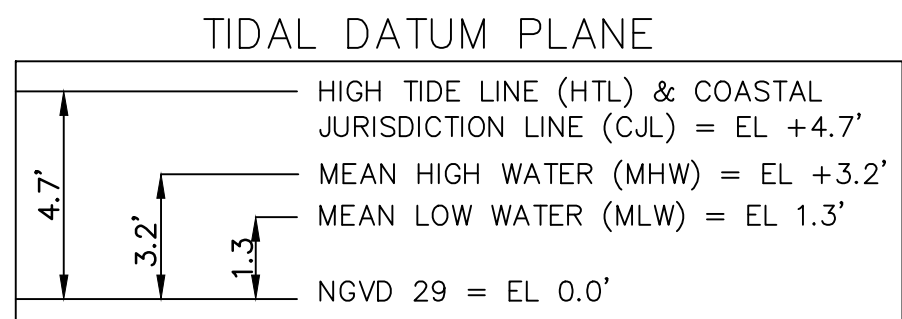
- THE DEVELOPER SHALL NOTIFY THE TOWN OF EAST HARTFORD ENGINEERING DIVISION 24 HOURS, PRIOR TO BEGINNING ANY STORM DRAINAGE, ROADWAY PREPARATION, PAVING, SIDEWALK, CURBING, STREET LINE MONUMENTATION, PROPERTY CORNER PINS, ETC., TO SCHEDULE INSPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:30 A.M. - 4:30 P.M. AT 860-291-7380.
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**TOWN OF EAST HARTFORD
PLANNING & ZONING COMMISSION
SITE PLAN CERTIFICATE
OF APPROVAL**

APPROVAL DATE _____
EXPIRATION DATE _____
CHAIRMAN _____

SECURITY LEGEND

- Ⓢ - CAMERA LOCATIONS
- Ⓢ - BLUE LIGHT EMERGENCY PHONE LOCATIONS



NOTE:

THE EXISTING TOPOGRAPHY IS BASED ON NGVD 29 DATUM. THE 100-YEAR AND 500-YEAR FLOOD LIMITS PROVIDED BY FEMA FLOOD INSURANCE RATE MAPS (FIRM) DATED SEPTEMBER 16, 2011 ARE BASED ON NAVD 88 DATUM. THE 100-YEAR AND 500-YEAR FLOOD ELEVATIONS DEPICTED ON THIS PLAN HAVE BEEN CONVERTED TO NGVD 29 BY APPLYING THE CONVERSION FACTOR OF +0.9 FEET. (EXAMPLE: EL. 29.0 (NAVD 88) + 0.9 = 29.9 (NGVD 29))

REV. NO.	DATE	DRWN	CHKD	REMARKS

PROJECT NO.: 1570-12
DESIGNED BY: GBS
DRAWN BY: KML
SHEET CHK'D BY: GBS
CROSS CHK'D BY: -
APPROVED BY: -
DATE: DECEMBER 2017

PREPARED FOR:

GOODWIN COLLEGE

ONE RIVERSIDE DRIVE
EAST HARTFORD, CT 06118

PREPARED BY:

**ZUVIC-CARR
AND ASSOCIATES
CONSULTING ENGINEERS**

40 Cold Spring Road • Rocky Hill, CT 06067
Phone 860.436.4901 • Fax 860.436.4953

RIVERSIDE DRIVE MARINA

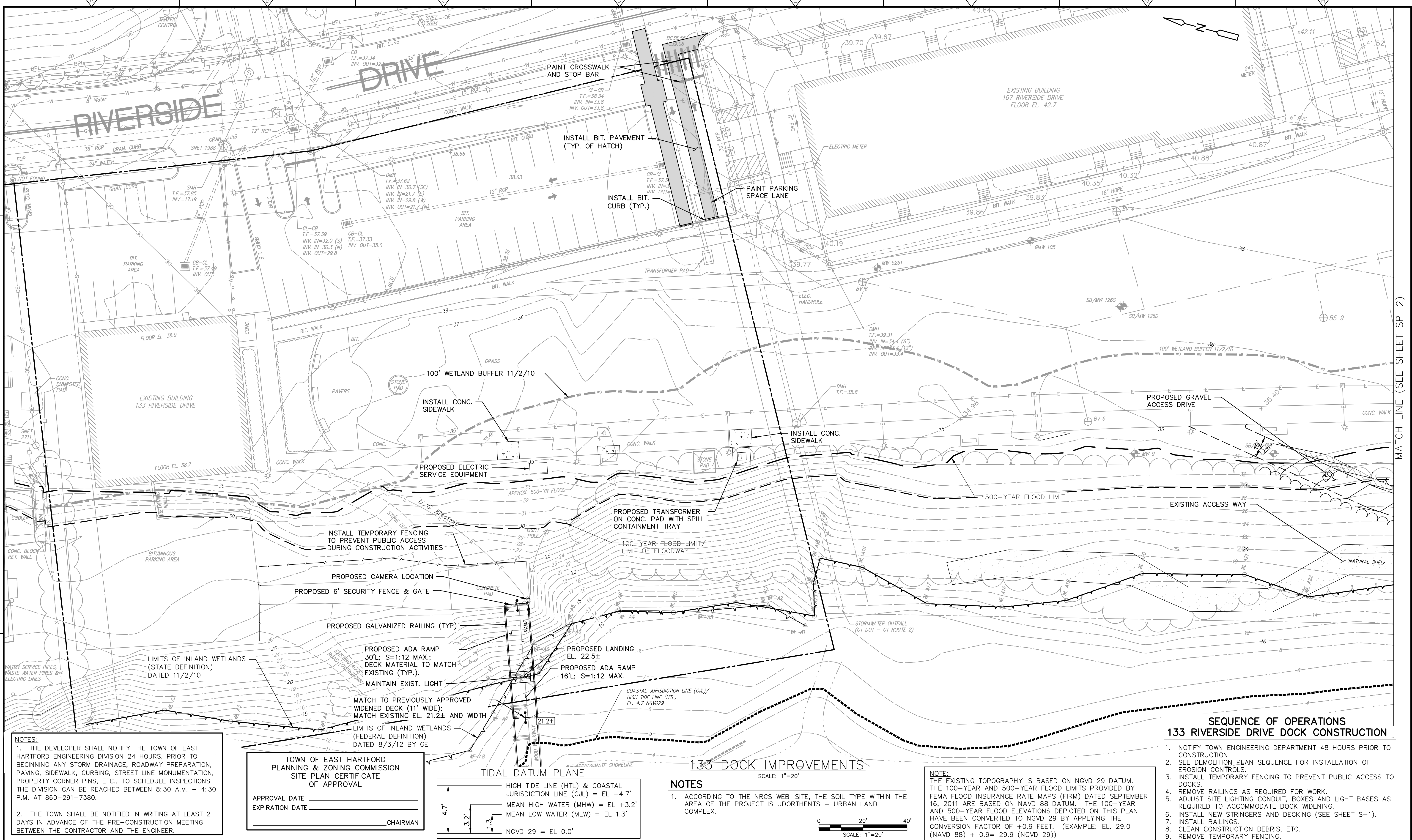
RIVERSIDE DRIVE
EAST HARTFORD, CONNECTICUT

OVERALL SITE PLAN

SHEET NO.

OS-1

FILE PATH: H:\Projects\Goodwin College\1570 - Misc Campus Wide Ties\Task 012 Marina\AutoCAD\1570-12 - Marina SP-1 - Site Improvements Plan.dwg PLOT DATE: 2/5/2018 PLOT TIME: 10:17:10 AM



REV. NO.	DATE	DRWN	CHKD	REMARKS
1	02/18	GBS		PER TOWN COMMENTS

PROJECT NO.: 1570-12
DESIGNED BY: GBS
DRAWN BY: KML
SHEET CHK'D BY: GBS
CROSS CHK'D BY: -
APPROVED BY: -
DATE: DECEMBER 2017



ONE RIVERSIDE DRIVE
EAST HARTFORD, CT 06118



40 Cold Spring Road • Rocky Hill, CT 06067
Phone 860.436.4901 • Fax 860.436.4953

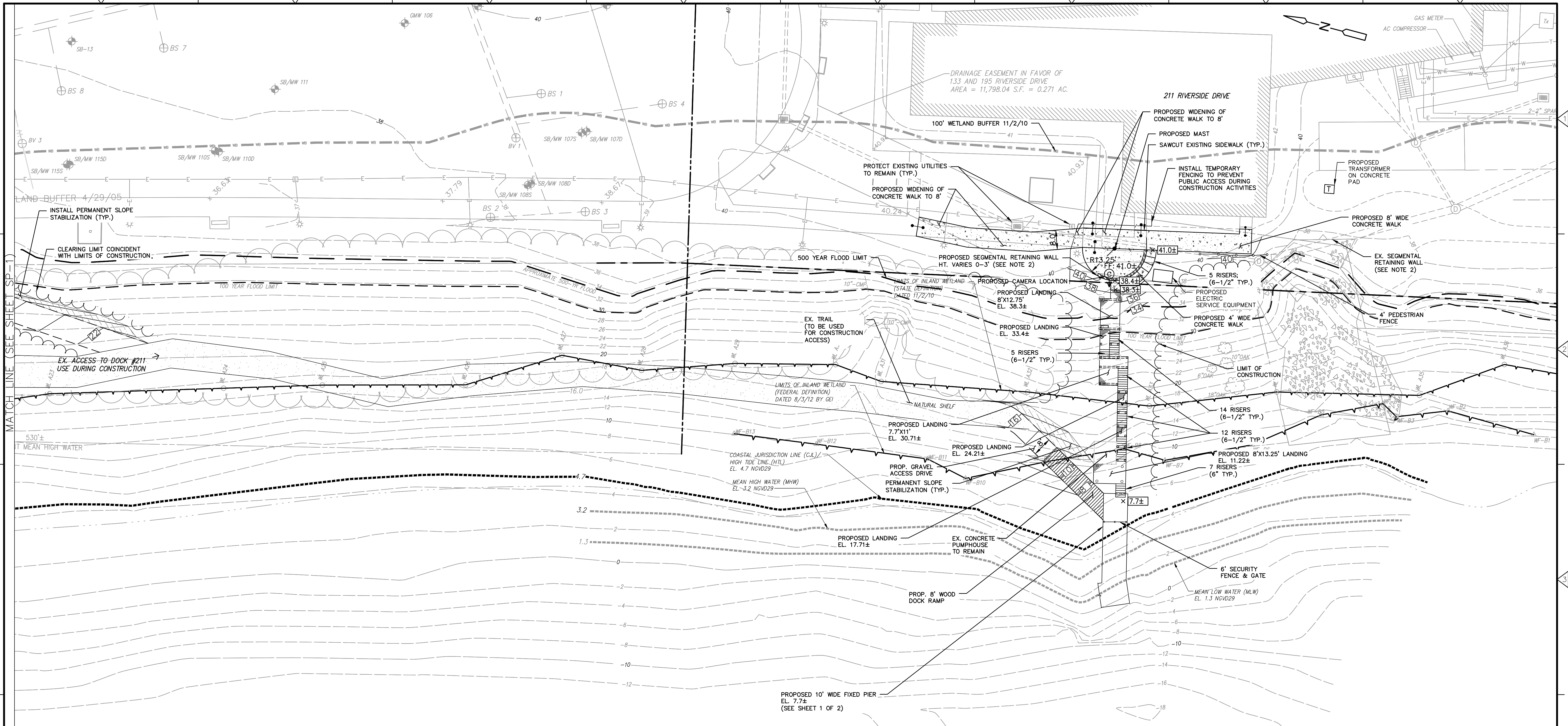
RIVERSIDE DRIVE MARINA
RIVERSIDE DRIVE
EAST HARTFORD, CONNECTICUT

SITE IMPROVEMENTS PLAN

SP-1

SHEET NO.

FILE PATH: H:\Projects\Goodwin College\1570 - Misc Campus Wide Team Support\Task 012 Marina\AutoCAD\1570-12 - Marina SP-1 Site Improvements Plan.dwg PLOT DATE: 2/25/2018 PLOT TIME: 10:18:13 AM



211 DOCK IMPROVEMENTS

SCALE: 1"=20'

SEQUENCE OF OPERATIONS
211 RIVERSIDE DRIVE DOCK CONSTRUCTION

1. NOTIFY TOWN ENGINEERING DEPARTMENT 48 HOURS PRIOR TO CONSTRUCTION.
2. SEE DEMOLITION PLAN SEQUENCE FOR INSTALLATION OF EROSION CONTROLS.
3. INSTALL TEMPORARY FENCING TO PREVENT PUBLIC ACCESS TO DOCK.
4. INSTALL CONCRETE PIERS AND TIMBER COLUMNS.
5. INSTALL NEW STRINGERS AND DECKING (SEE SHEET S-1).
6. INSTALL RAILINGS.
7. INSTALL CONDUIT FOR ELECTRIC EXTENSION.
8. INSTALL CONCRETE WALK, STEPS, AND MODULAR RETAINING WALL.
9. CLEAN CONSTRUCTION DEBRIS, ETC.
10. REMOVE TEMPORARY FENCING.

NOTES

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2. CONTRACTOR TO REPLACE ALL LANDSCAPING DISTURBED BY CONSTRUCTION.
3. CONTRACTOR TO RELOCATE EXISTING IRRIGATION SYSTEM AS NEEDED.

NOTES:

1. THE DEVELOPER SHALL NOTIFY THE TOWN OF EAST HARTFORD ENGINEERING DIVISION 24 HOURS, PRIOR TO BEGINNING ANY STORM DRAINAGE, ROADWAY PREPARATION, PAVING, SIDEWALK, CURBING, STREET LINE MONUMENTATION, PROPERTY CORNER PINS, ETC., TO SCHEDULE INSPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:30 A.M. - 4:30 P.M. AT 860-291-7380.

2. THE TOWN SHALL BE NOTIFIED IN WRITING AT LEAST 2 DAYS IN ADVANCE OF THE PRE-CONSTRUCTION MEETING BETWEEN THE CONTRACTOR AND THE ENGINEER.

TOWN OF EAST HARTFORD
PLANNING & ZONING COMMISSION
SITE PLAN CERTIFICATE
OF APPROVAL

APPROVAL DATE _____
EXPIRATION DATE _____
CHAIRMAN

REV. NO.	DATE	DRWN	CHKD	REMARKS
1	02/18	GBS		PER TOWN COMMENTS

PROJECT NO.: 1570-12
DESIGNED BY: GBS
DRAWN BY: KML
SHEET CHK'D BY: GBS
CROSS CHK'D BY: -
APPROVED BY: -
DATE: DECEMBER 2017



ONE RIVERSIDE DRIVE
EAST HARTFORD, CT 06118



40 Cold Spring Road • Rocky Hill, CT 06067
Phone 860.436.4901 • Fax 860.436.4953

RIVERSIDE DRIVE MARINA

RIVERSIDE DRIVE
EAST HARTFORD, CONNECTICUT

SITE IMPROVEMENTS PLAN

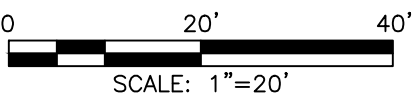
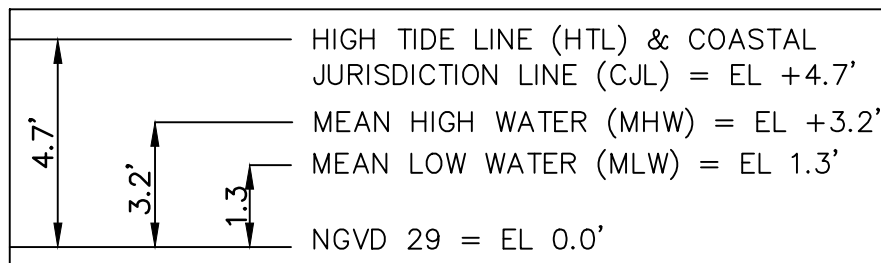
SHEET NO.

SP-2

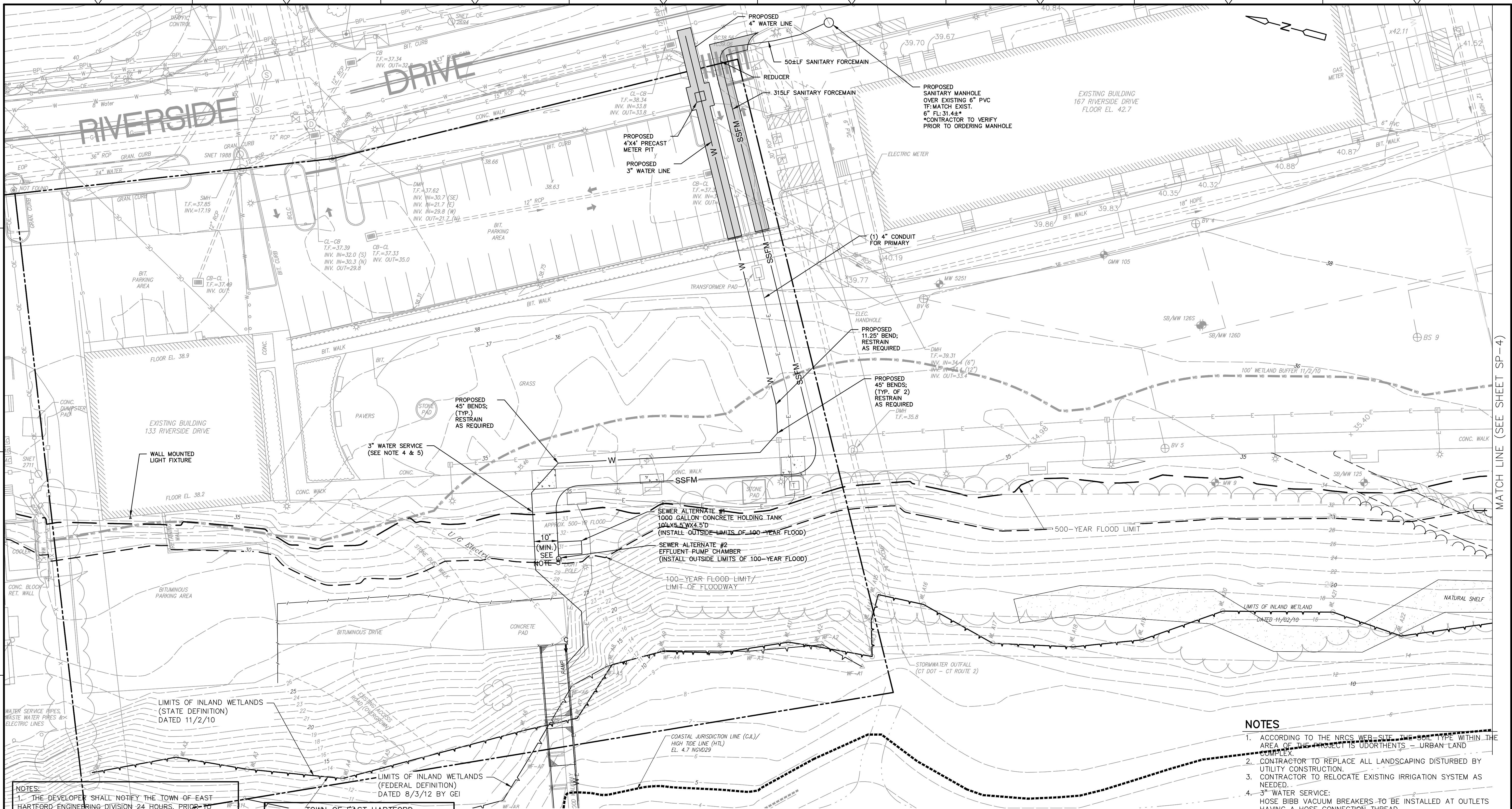
NOTE:

THE EXISTING TOPOGRAPHY IS BASED ON NGVD 29 DATUM. THE 100-YEAR AND 500-YEAR FLOOD LIMITS PROVIDED BY FEMA FLOOD INSURANCE RATE MAPS (FIRM) DATED SEPTEMBER 16, 2011 ARE BASED ON NAVD 88 DATUM. THE 100-YEAR AND 500-YEAR FLOOD ELEVATIONS DEPICTED ON THIS PLAN HAVE BEEN CONVERTED TO NGVD 29 BY APPLYING THE CONVERSION FACTOR OF +0.9 FEET. (EXAMPLE: EL. 29.0 (NAVD 88) + 0.9 = 29.9 (NGVD 29))

TIDAL DATUM PLANE



FILE PATH: H:\Projects\Goodwin College\1570 - Misc Campus Wide Ties\Task 012 Marina\AutoCAD\1570-12 - Marina SP-1 Site Improvements Plan.dwg PLOT DATE: 12/21/2017 PLOT TIME: 1:55:16 PM



NOTES:

1. THE DEVELOPER SHALL NOTIFY THE TOWN OF EAST HARTFORD ENGINEERING DIVISION 24 HOURS, PRIOR TO BEGINNING ANY STORM DRAINAGE, ROADWAY PREPARATION, PAVING, SIDEWALK, CURBING, STREET LINE MONUMENTATION, PROPERTY CORNER PINS, ETC., TO SCHEDULE INSPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:30 A.M. - 4:30 P.M. AT 860-291-7380.
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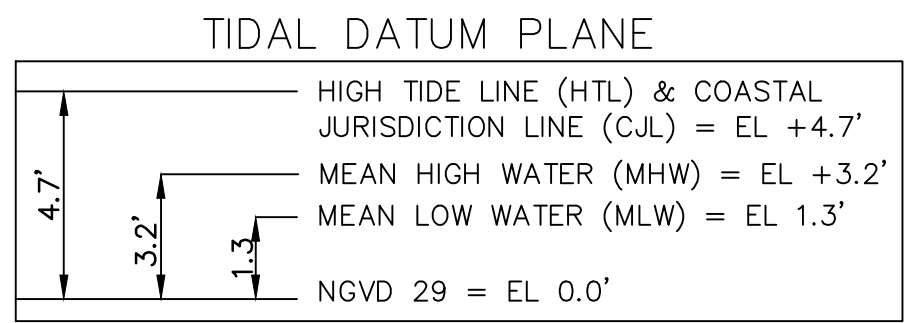
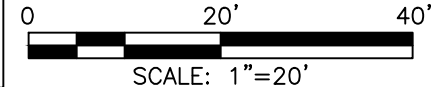
TOWN OF EAST HARTFORD
PLANNING & ZONING COMMISSION
SITE PLAN CERTIFICATE
OF APPROVAL

APPROVAL DATE _____
EXPIRATION DATE _____
CHAIRMAN _____

133 DOCK IMPROVEMENTS

SCALE: 1"=20'

NOTE:
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- #### NOTES
1. ACCORDING TO THE NRCS WEB SITE, THE SOIL TYPE WITHIN THE AREA OF THE PROJECT IS UDORTHENTS - URBAN LAND COMPLEX.
 2. CONTRACTOR TO REPLACE ALL LANDSCAPING DISTURBED BY UTILITY CONSTRUCTION.
 3. CONTRACTOR TO RELOCATE EXISTING IRRIGATION SYSTEM AS NEEDED.
 4. 3" WATER SERVICE:
HOSE BIBB VACUUM BREAKERS TO BE INSTALLED AT OUTLETS HAVING A HOSE CONNECTION THREAD.
PEAK FLOW RATE:
3" HOSE BIBB CONNECTION AT SLIP=(37)5=185 GPM
DEMAND FACTOR (70%) = 130 GPM
 5. WATER LINE TRENCH EXCAVATIONS LESS THAN 25 FEET FROM HOLDING TANK SHALL NOT BE BACKFILLED WITH FREE DRAINING MATERIAL.
 6. ELUR SUBJECT AREA A AND B: SOIL POLLUTED WITH ETPH AND PAHS IS PRESENT AT DEPTHS OF MORE THAN 4 FEET BELOW THE GROUND SURFACE AT CONCENTRATIONS EXCEEDING THE RESIDENTIAL DIRECT EXPOSURE CRITERIA.

REV. NO.	DATE	DRWN	CHKD	REMARKS

PROJECT NO.: 1570-12
DESIGNED BY: GBS
DRAWN BY: KMI
SHEET CHK'D BY: GBS
CROSS CHK'D BY: -
APPROVED BY: -
DATE: DECEMBER 2017



RIVERSIDE DRIVE MARINA
RIVERSIDE DRIVE
EAST HARTFORD, CONNECTICUT

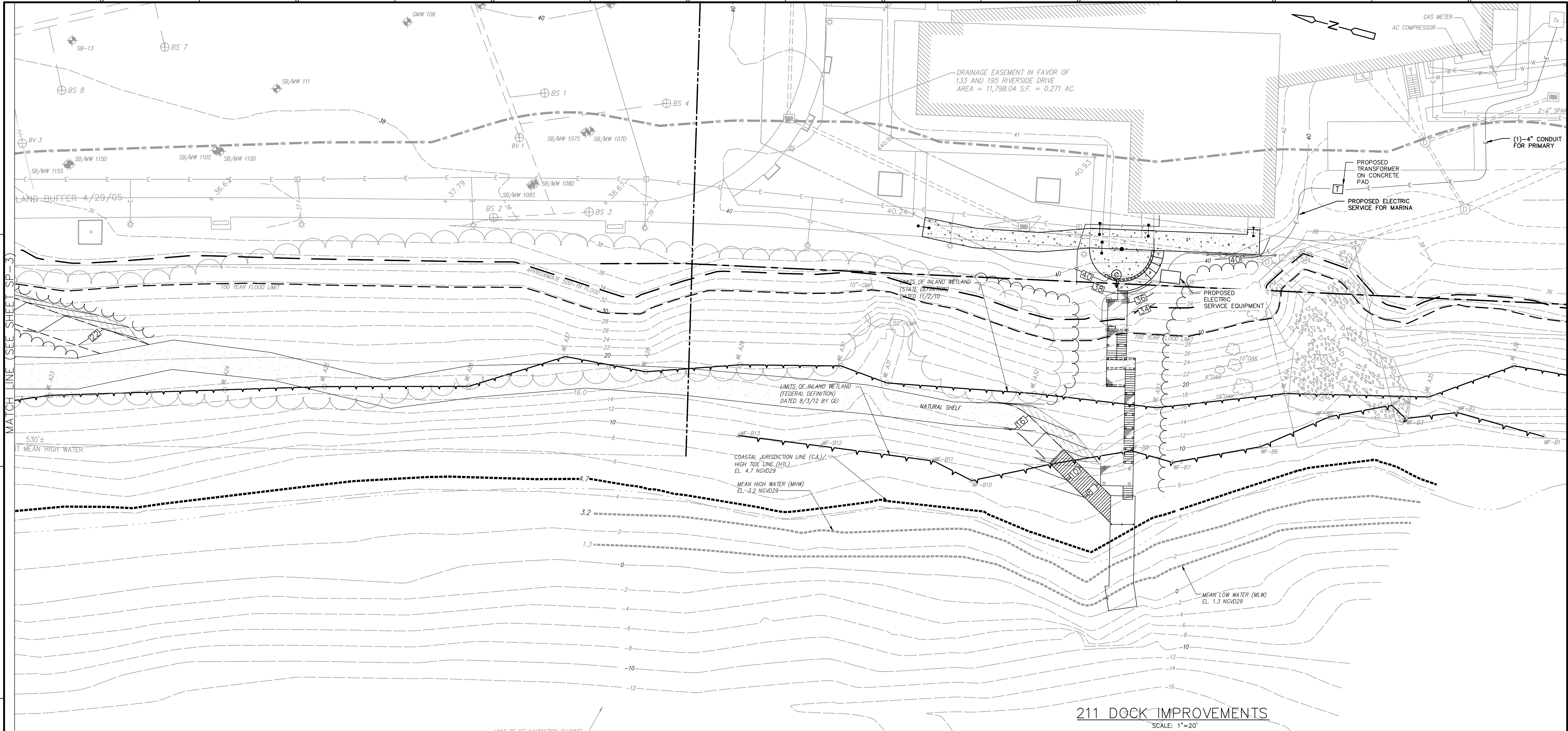
SITE UTILITY PLAN

SHEET NO.

SP-3

MATCH LINE (SEE SHEET SP-4)

MATCH LINE (SEE SHEET SP-3)



211 DOCK IMPROVEMENTS

SCALE: 1"=20'

NOTES

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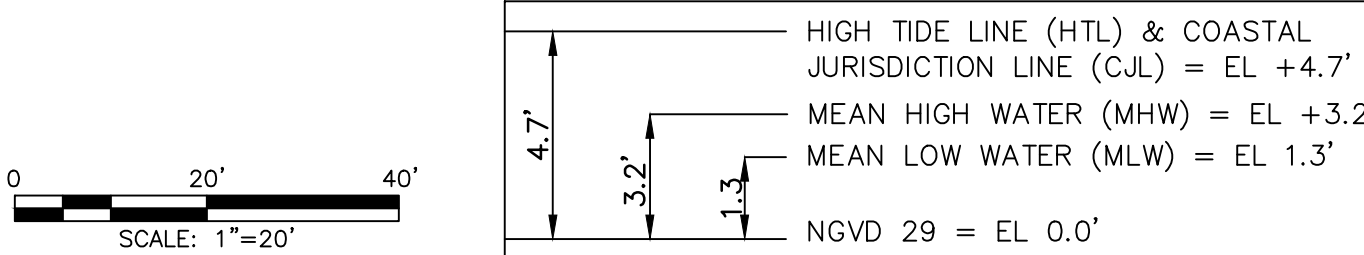
NOTES:

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TOWN OF EAST HARTFORD PLANNING & ZONING COMMISSION SITE PLAN CERTIFICATE OF APPROVAL

APPROVAL DATE _____
EXPIRATION DATE _____
CHAIRMAN

TIDAL DATUM PLANE



NOTE:

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REV. NO.	DATE	DRWN	CHKD	REMARKS

PROJECT NO.: 1570-12
DESIGNED BY: GBS
DRAWN BY: KML
SHEET CHK'D BY: GBS
CROSS CHK'D BY: -
APPROVED BY: -
DATE: DECEMBER 2017

PREPARED FOR:



ONE RIVERSIDE DRIVE
EAST HARTFORD, CT 06118

PREPARED BY:



40 Cold Spring Road • Rocky Hill, CT 06067
Phone 860.436.4901 • Fax 860.436.4953

RIVERSIDE DRIVE MARINA

RIVERSIDE DRIVE
EAST HARTFORD, CONNECTICUT

SITE UTILITY PLAN

SHEET NO.

SP-4

FILE PATH: H:\Projects\Goodwin College\1570 - Misc Campus Wide Tent Support\Task 012 Marina\AutoCAD\1570-12 Marina P-1 Plan Profile.dwg PLOT DATE: 12/21/2017 PLOT TIME: 2:00:24 PM

CONNECTICUT RIVER

MEAN LOW WATER (MLW)
EL. 1.3 NGVD29

HIGH TIDE LINE (HTL)/
COASTAL JURISDICTION
LINE (CJL)
EL. +4.7 NGVD29

MEAN HIGH WATER (MHW)
EL. +3.2 NGVD29

PUMP HOUSE
TO REMAIN

LANDING EL. 11.2±
(SEE CONSTRUCTION
NOTE 1)

TIMBER PILE
(TYP.)

PROPOSED 10'
WIDE FIXED PIER

FF ELEV.
7.7±

7 RISERS
(6-½" TYP.)

6" SECURITY
FENCE AND GATE

12 RISERS
(6-½" TYP.)

LANDING
EL. 17.7±

12 RISERS
(6-½" TYP.)

LIMITS OF INLAND WETLAND
(FEDERAL DELINEATION)
DATED 8/3/12 BY GEI

LIMITS OF INLAND WETLAND
(STATE DELINEATION)
DATED 11/2/10

SITE LAYOUT PLAN
HORIZONTAL: 1"=10'

TOP OF CONC. PIER ±30"
ABOVE GRADE (TYP. OF 4)

ACCESS WALKWAY
FF EL. 33.4±

5 RISERS
(6-½" TYP.)

5' GATE

LANDING
EL. 30.7±

LANDING
EL. 38.3±

LANDING
EL. 38.3±

7.7±

11.0'

DECK

12.75'

DECK

8.0'

5'±

3.7'±

14 RISERS
(6-½" TYP.)

8"x8" TIMBER
COLUMN (TYP.)

12 RISERS
(6-½" TYP.)

APPROX. LOCATION
FEMA FLOODWAY

APPROX. 100-YEAR
FLOOD LINE

APPROX. 500-YEAR
FLOOD LINE

5 RISERS
(6-½" TYP.)

8' CONCRETE
SIDEWALK
(2% CROSS
SLOPE TYP.)

CONNECT 5' CONCRETE
SIDEWALK TO CONCRETE
STAIRCASE

211 RIVERSIDE DRIVE

PROTECT UTILITIES
TO REMAIN (TYP.)

MATCH CONCRETE
SIDEWALK (TYP.)

MAST

MODULAR BLOCK
RETAINING WALL
(0'-3.0' HIGH)

CONSTRUCTION NOTE:
1. LANDING ELEVATION TO
MATCH PUMP HOUSE FF.

WOOD DECK FLUSH
WITH CONCRETE

PI: 0+95.43
N: 831457.47
E: 1029704.56

R13.25'

R17.25'

FF ELEV.
41.0±

8"x8" TIMBER
SUPPORT BEAM
(TYP.)

8"x8" TIMBER
COLUMN (TYP.)

5 RISERS
(6-½" TYP.)

8' CONCRETE
SIDEWALK
(2% CROSS
SLOPE TYP.)

CONNECT 5' CONCRETE
SIDEWALK TO CONCRETE
STAIRCASE

211 RIVERSIDE DRIVE

PROTECT UTILITIES
TO REMAIN (TYP.)

MATCH CONCRETE
SIDEWALK (TYP.)

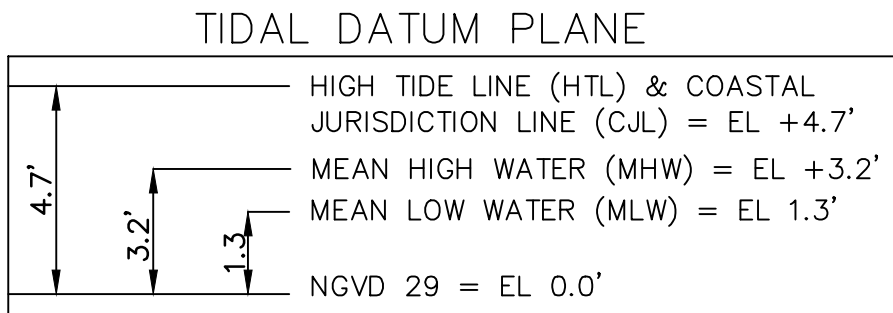
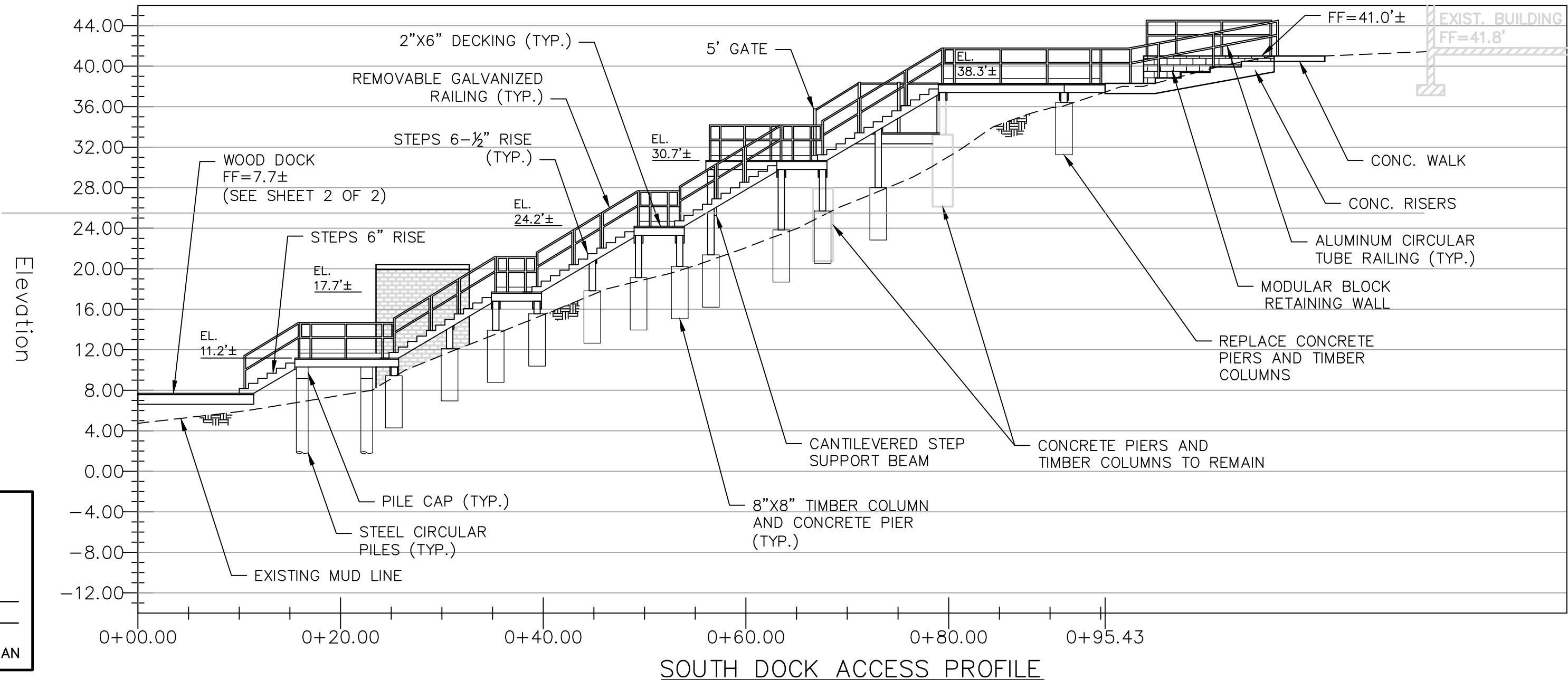
MAST

MODULAR BLOCK
RETAINING WALL
(0'-3.0' HIGH)

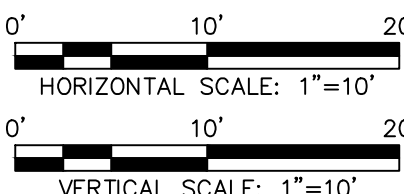
CONSTRUCTION NOTE:
1. LANDING ELEVATION TO
MATCH PUMP HOUSE FF.

NOTES:
1. THE DEVELOPER SHALL NOTIFY THE TOWN OF EAST HARTFORD ENGINEERING DIVISION 24 HOURS, PRIOR TO BEGINNING ANY STORM DRAINAGE, ROADWAY PREPARATION, PAVING, SIDEWALK, CURBING, STREET LINE MONUMENTATION, PROPERTY CORNER PINS, ETC., TO SCHEDULE INSPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:30 A.M. - 4:30 P.M. AT 860-291-7380.
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TOWN OF EAST HARTFORD
PLANNING & ZONING COMMISSION
SITE PLAN CERTIFICATE
OF APPROVAL
APPROVAL DATE _____
EXPIRATION DATE _____
CHAIRMAN



NOTE:
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REV. NO.	DATE	DRWN	CHKD	REMARKS

PROJECT NO.: 1570-12
DESIGNED BY: GBS
DRAWN BY: KML
SHEET CHK'D BY: GBS
CROSS CHK'D BY: _____
APPROVED BY: _____
DATE: DECEMBER 2017

PREPARED FOR:
GOODWIN COLLEGE
ONE RIVERSIDE DRIVE
EAST HARTFORD, CT 06118

PREPARED BY:
ZUVIC-CARR AND ASSOCIATES
CONSULTING ENGINEERS
40 Cold Spring Road • Rocky Hill, CT 06067
Phone 860.436.4901 • Fax 860.436.4953

RIVERSIDE DRIVE MARINA
RIVERSIDE DRIVE
EAST HARTFORD, CONNECTICUT

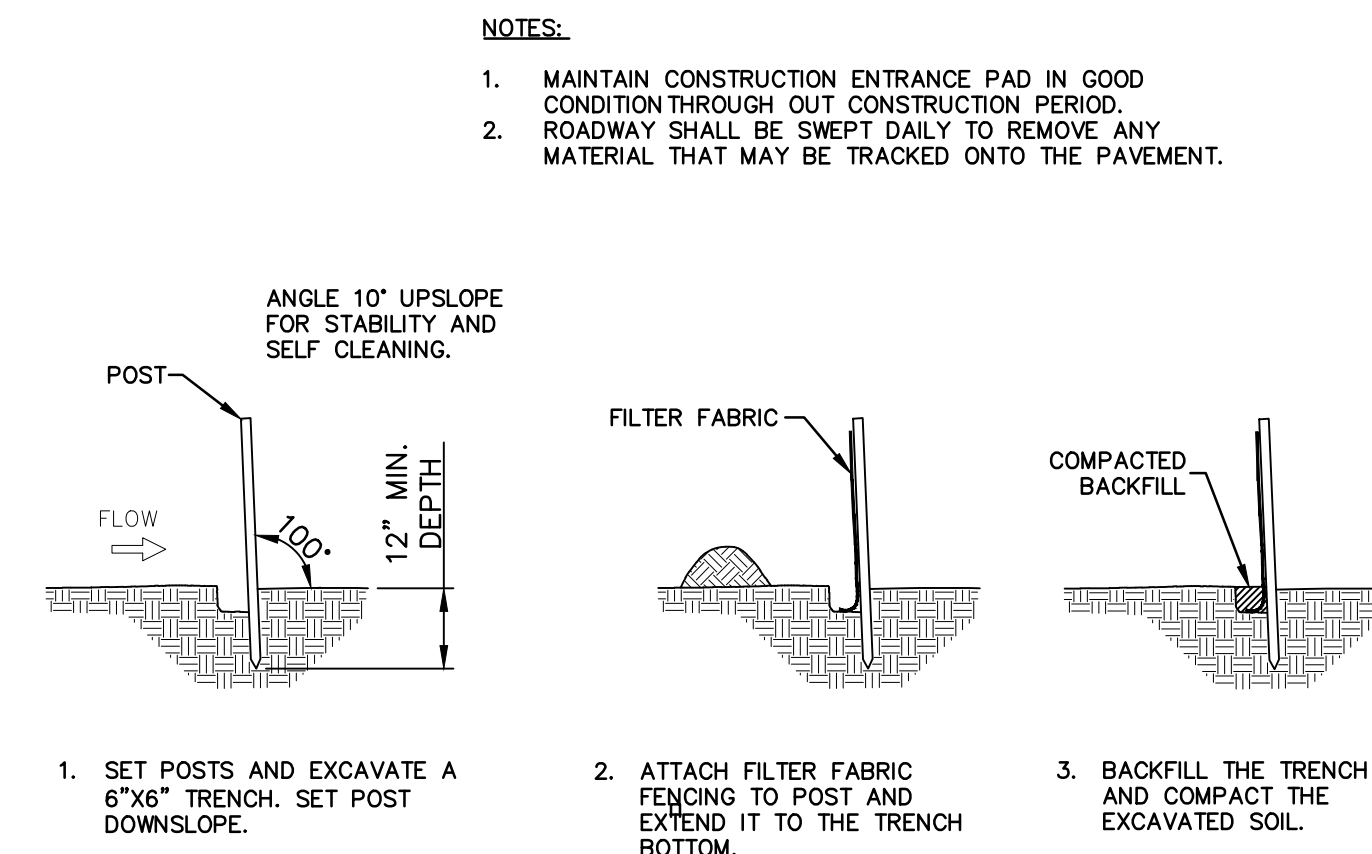
PLAN & PROFILE

SHEET NO.

P-1

1. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ANY SEDIMENT TRACKED ONTO A PUBLIC ROADWAY AS A RESULT OF CONSTRUCTION TRAFFIC.
2. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH STANDARDS AND SPECIFICATIONS OF THE "2002 GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" DATED MAY 2002 BY THE CONNECTICUT COUNCIL ON SOIL AND WATER CONSERVATION. ALL EROSION CONTROL MEASURES ARE TO BE MAINTAINED AND UPGRADED AS REQUIRED TO ACHIEVE PROPER SEDIMENT CONTROL DURING CONSTRUCTION.
3. SEDIMENT REMOVED FROM CONTROL STRUCTURES SHALL BE DISPOSED OF OFF-SITE AND ABOVE THE FLOODPLAIN IN A MANNER WHICH IS CONSISTENT WITH THE INTENT OF THIS PLAN. ALL HAY BALES OR SILT FENCE RETAINING SEDIMENT OVER ½ THEIR HEIGHT SHALL HAVE THE SEDIMENT REMOVED AND ALL DAMAGED EROSION CONTROLS REMOVED AND REPLACED.
4. CONTRACTOR SHALL BE ASSIGNED THE RESPONSIBILITY OF IMPLEMENTING THIS EROSION AND SEDIMENT CONTROL PLAN. THIS RESPONSIBILITY INCLUDES THE INSTALLATION AND MAINTENANCE OF CONTROL MEASURES AND INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN.
5. ONLY THE SMALLEST PRACTICAL AREA OF DISTURBED LAND SHALL BE EXPOSED DURING CONSTRUCTION, AND SUCH EXPOSURE SHALL BE KEPT TO THE SHORTEST PRACTICAL PERIOD OF TIME.
6. WHENEVER AND WHEREVER PRACTICAL, NEW MATERIALS TO BE INSTALLED WITHIN THE FLOOD HAZARD AREA SHALL BE UNLOADED AND INSTALLED IMMEDIATELY UPON DELIVERY. UTILIZE EXISTING DRIVEWAYS AND ROADWAYS FOR VEHICLE TURNING AND STAGING.
7. SURROUND ANY TEMPORARY MATERIAL STOCKPILE AND STAGING AREA(S) WITH HAY BALES AND/OR SILT FENCE, WHERE SHOWN.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTROLLING DUST AND WIND EROSION THROUGHOUT THE LIFE OF THE CONTRACT. DUST CONTROL SHALL INCLUDE APPLICATION OF WATER ON EXPOSED SOILS.
9. HAY BALES SHALL BE USED ONLY AS A TEMPORARY MEASURE. WHERE CONTROL MEASURES WILL BE REQUIRED FOR LONGER THAN SIXTY (60) DAYS, FILTER FABRIC SHALL BE USED.
10. NO WORK SHALL OCCUR DURING PERIODS OF LOCALIZED FLOODING OR HEAVY RAINFALL.
11. ESTABLISH TURF ON DISTURBED AREAS OUTSIDE DRIVEWAY, BUILDING, AND WALK LIMITS. APPLY SEED AS FOLLOWS:

CREeping RED FESCUE	35%
RED TOP (STREEKER, COMMON)	5%
PERENNIAL RYE GRASS	35%
CREeping BENTGRASS	25%
	100% BY WEIGHT



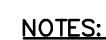
THIS SITE IS CLOSE TO AND WITHIN THE CONNECTICUT RIVER. ACCORDING TO THE FEDERAL EMERGENCY PROTECTION AGENCY (FEMA) FLOOD INSURANCE RATE MAPS (FIRM), EFFECTIVE DATE SEPTEMBER 16, 2011, THE 100-YEAR FLOOD ELEVATION IS 28.8, BASED ON THE NORTH AMERICAN VERTICAL DATUM (NAVD) OF 1988. THE PROJECT BASE MAP IS BASED ON NATIONAL GEOGRAPHIC VERTICAL DATUM (NGVD) OF 1929; THE CORRESPONDING 100-YEAR FLOOD ELEVATION BASED ON THIS DATUM IS 29.7. THE FLOOD CONTINGENCY PLAN ACTIONS OUTLINED BELOW SHALL BE IMPLEMENTED DURING CONSTRUCTION IN THE EVENT OF A "SIGNIFICANT RAINFALL EVENT," DEFINED HEREIN AS A STORM DURING WHICH MORE THAN 2.5-INCHES OF RAINFALL OCCURS IN A ONE-HOUR PERIOD OR MORE THAN 6.5-INCHES OCCURS IN A 24-HOUR PERIOD (STORM WITH A POTENTIAL RETURN PERIOD OF 50-YEARS), OR IF THE CONNECTICUT RIVER RISES ABOVE ELEVATION 6.0 (NGVD 1929) AS A RESULT OF LESSER STORMS.

CONTRACTOR SHALL:

1. ADMINISTER ALL FLOOD CONTINGENCY ACTIONS AT THE SITE AND ABIDE BY THIS FLOOD CONTINGENCY PLAN.
2. EXCHANGE EMERGENCY CONTACT TELEPHONE NUMBERS WITH OWNER AT THE BEGINNING OF THE WORK, IN CASE CONTACT IS NEEDED AFTER NORMAL BUSINESS HOURS.
3. MONITOR WEATHER CONDITIONS FROM START TO COMPLETION OF WORK INCLUDING FORECASTS FOR A "SIGNIFICANT RAINFALL EVENT" AND RISING RIVER LEVELS.
4. NOTIFY OWNER OF ANY ADVANCE FORECAST FOR A "SIGNIFICANT RAINFALL EVENT" OR FLOODING.
5. HALT ALL CONSTRUCTION ACTIVITIES AT ONSET OF A "SIGNIFICANT RAINFALL EVENT" AND DURING ANY SUBSEQUENT PERIODS OF RISING RIVER LEVELS THAT FLOOD THE SITE.
6. STAGE ALL CONSTRUCTION MATERIALS AND EQUIPMENT FOR LONG TERM STORAGE (LONGER THAN 1 WEEK) OUT OF THE FLOODPLAIN. ANY FUEL OR MAINTENANCE FLUID CONTAINERS SHALL BE PROPERLY STORED OUTSIDE OF THE FLOODPLAIN. SHORT TERM STORAGE OF MATERIALS (LESS THAN 1 WEEK) MAY OCCUR WITHIN THE FLOODPLAIN, BUT MATERIALS MUST BE REMOVED PRIOR TO ANY FLOODING EVENT.
7. INSPECT ALL WORK AREAS TO ENSURE CONSTRUCTION AREAS ARE STABILIZED AND PROTECTED FROM RISING WATER LEVELS TO THE GREATEST EXTENT POSSIBLE.
8. NOTIFY OWNER OF ANY FLOODING PROBLEMS AND INSPECT THE WORK AREA FOR DAMAGE WITH OWNER AS SOON AS PRACTICABLE AFTER ANY "SIGNIFICANT RAINFALL EVENT."

THE POST CONSTRUCTION OPERATION AND MAINTENANCE PLAN SHALL BE IMPLEMENTED PRIOR TO AND AFTER A FLOOD EVENT:

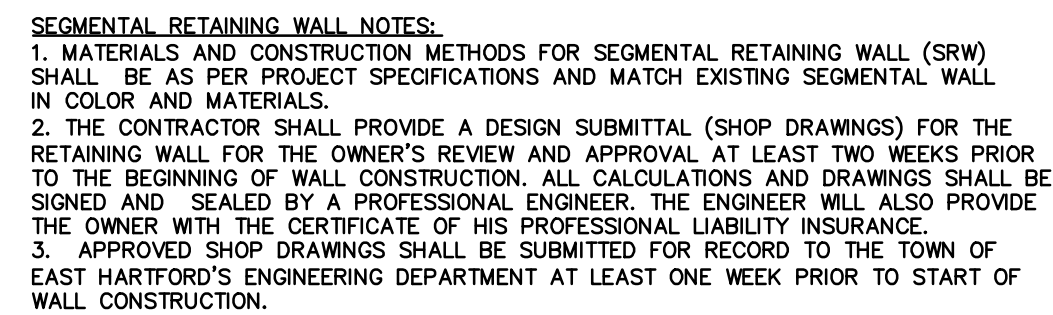
1. GOODWIN COLLEGE SHALL MONITOR THE CONNECTICUT RIVER AND WEATHER FORECASTS FOR THE POSSIBILITY OF A FLOOD EVENT.
2. PRIOR TO FLOOD EVENT, AN INSPECTION SHALL BE CONDUCTED TO ENSURE THAT ALL MATERIALS SUBJECT TO FLOATATION OR DISLODGE DURING FLOOD EVENTS ARE REMOVED FROM WITHIN THE FLOODPLAIN.
3. THE MARINA SHALL BE CLOSED WHEN THE RIVER LEVEL IS WITHIN 1' OF THE MARINA DECK SURFACE.
4. AFTER FLOOD EVENT HAS SUBSIDED, DECK SURFACES SHALL BE CLEANED. ALL MATERIAL REMOVED SHALL BE PROPERLY DISPOSED OF OFF-SITE.
5. DEBRIS DEPOSITED ON SITE SHALL BE REMOVED AND PROPERLY DISPOSED OF OFF-SITE.
6. LAWN AREAS SHALL BE RE-SEEDED WHERE REQUIRED TO MAINTAIN A HEALTHY VEGETATED COVER ON THE SITE.
7. ANY HAZARDOUS MATERIALS DEPOSITED ON THE SITE DURING A FLOOD EVENT SHALL BE REMOVED AND DISPOSED OF BY A LICENSED CONTRACTOR.



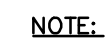
1. EXCAVATE A TRENCH 4" DEEP AND THE WIDTH OF A STRAW BALE.
2. PLACE AND STAKE STRAW BALES, TWO STAKES PER BALE.
3. WEDGE LOOSE STRAW BETWEEN BALES TO CREATE A CONTINUOUS BARRIER.
4. BACKFILL AND COMPACT THE EXCAVATED SOIL AS SHOWN ON THE UPHILL SIDE OF THE BARRIER TO PREVENT PIPING.



NOT TO SCALE



NOT TO SCALE



1. REFER TO SIDEWALK DETAIL FOR REINFORCING AND DIMENSIONS.

NOT TO SCALE



NOT TO SCALE



- NOTE:
1. PITCH SIDEWALK TOWARDS ROAD.

NOT TO SCALE

					PROJECT NO.: <u>1570-12</u>
					DESIGNED BY: <u>GBS</u>
					DRAWN BY: <u>KMI</u>
					SHEET CHK'D BY: <u>GBS</u>
					CROSS CHK'D BY: _____
					APPROVED BY: _____
REV. NO.	DATE	DRWN	CHKD	REMARKS	DATE: <u>DECEMBER 2017</u>

PREPARED FOR:



ONE RIVERSIDE DRIVE
EAST HARTFORD, CT 06118

PREPARED BY:



40 Cold Spring Road • Rocky Hill, CT 06067
Phone 860.436.4901 • Fax 860.436.4953

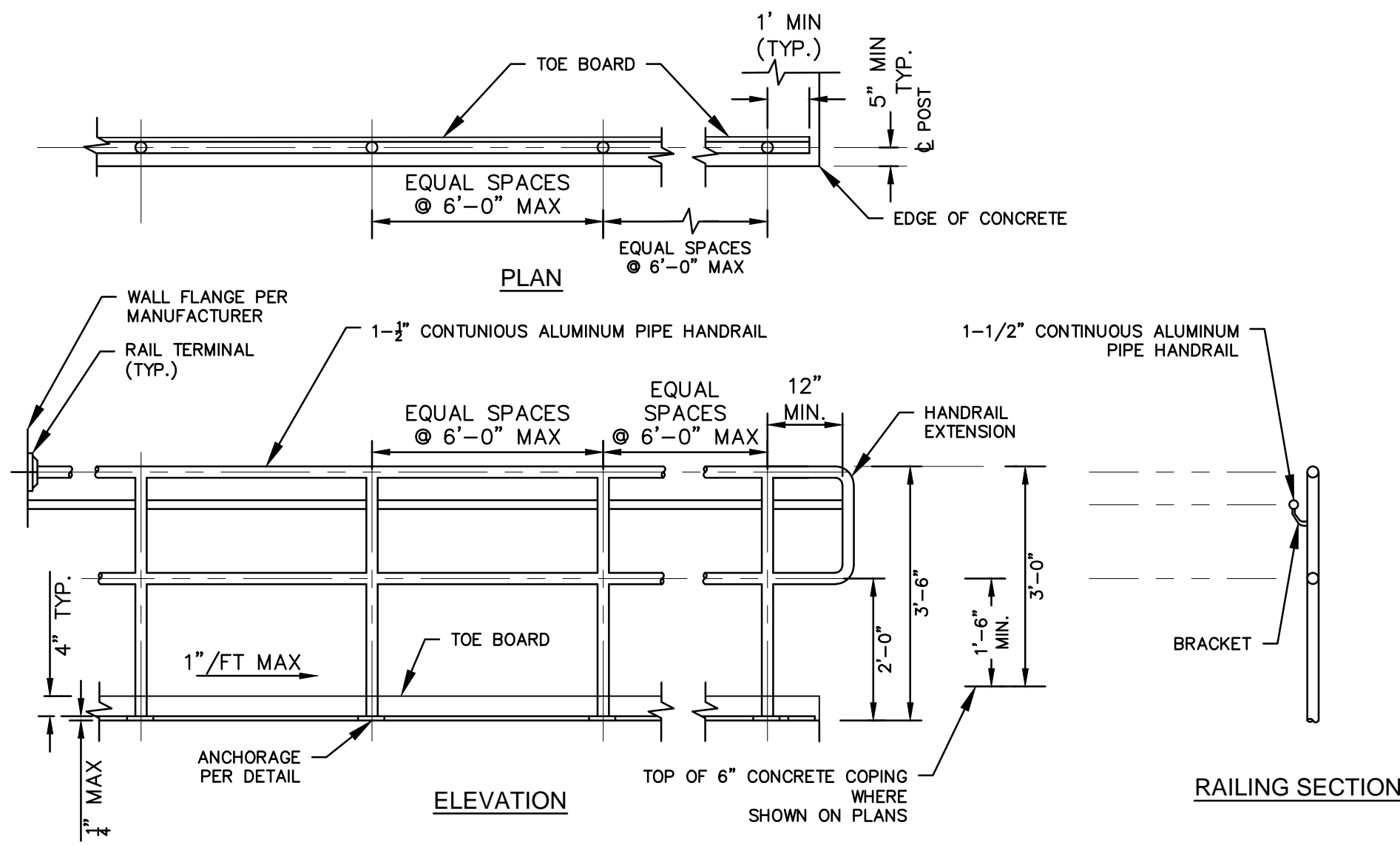
RIVERSIDE DRIVE MARINA

RIVERSIDE DRIVE
EAST HARTFORD, CONNECTICUT

SHEET NO.

MD-1

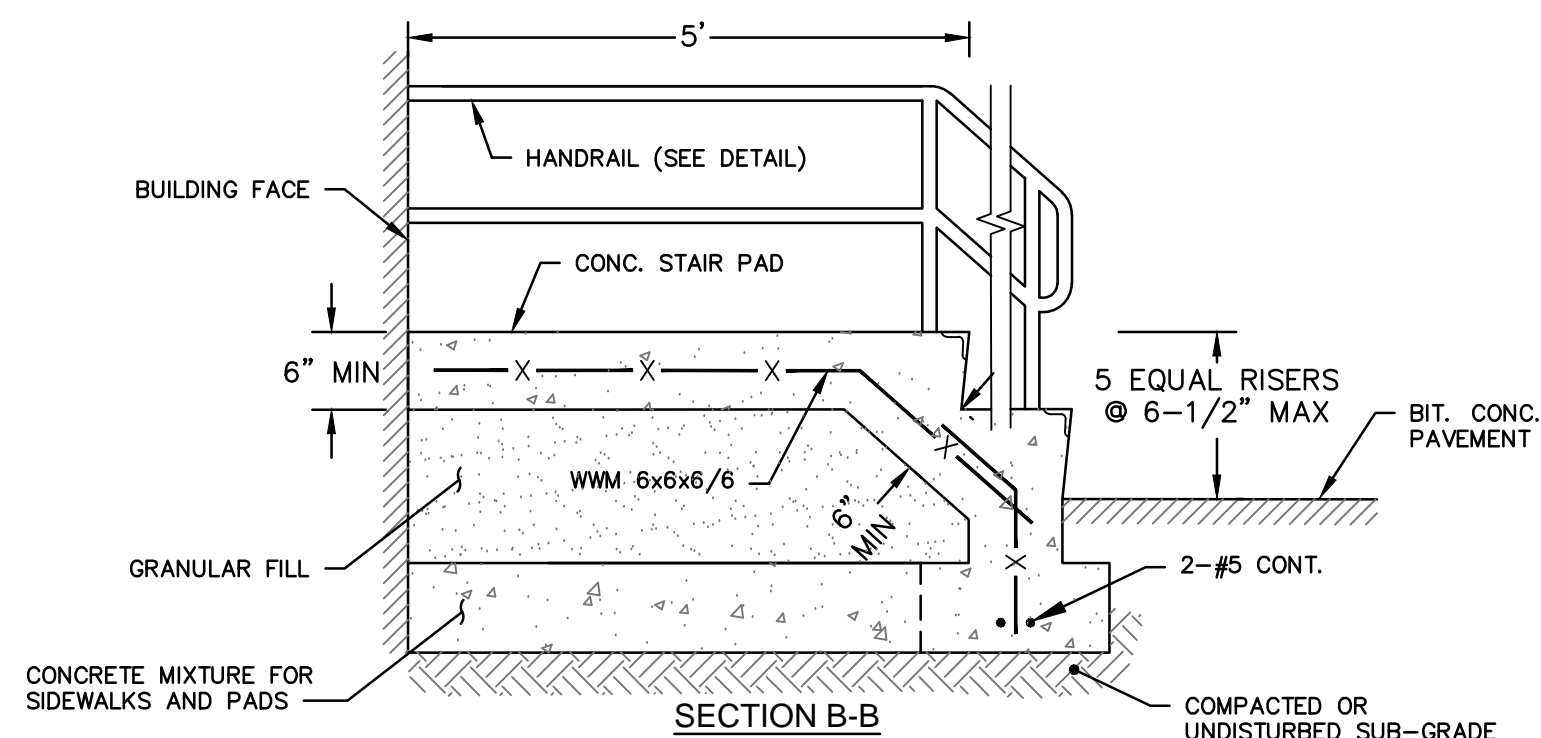
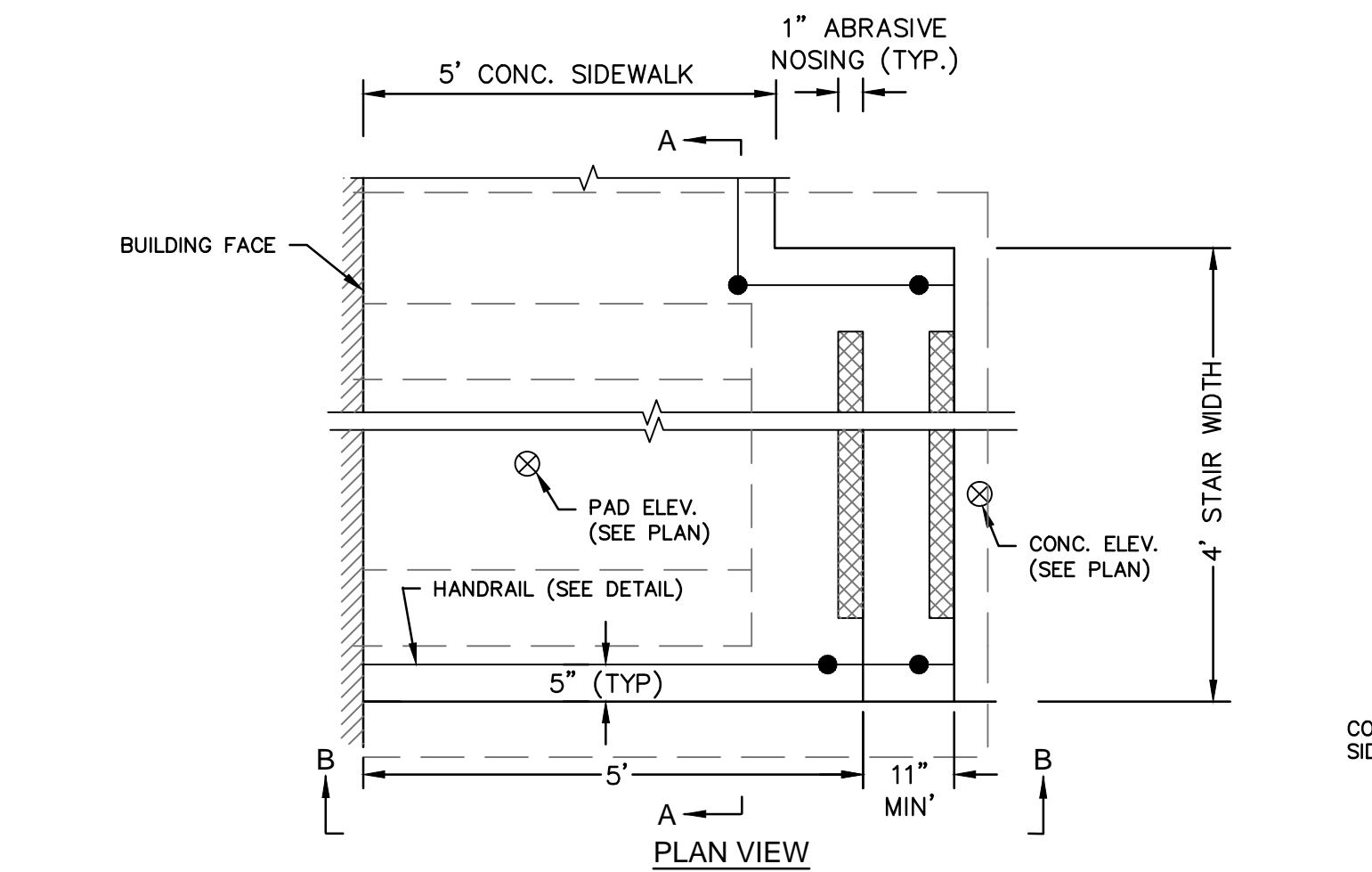
FILE PATH: H:\Projects\Goodwin College\1570 - Misc Campus Wide Tech Support\Task 012 Marina\AutoCAD\1570 - 12 Marina MD-1 - Details.dwg PLOT DATE: 12/21/2017 PLOT TIME: 2:02:32 PM



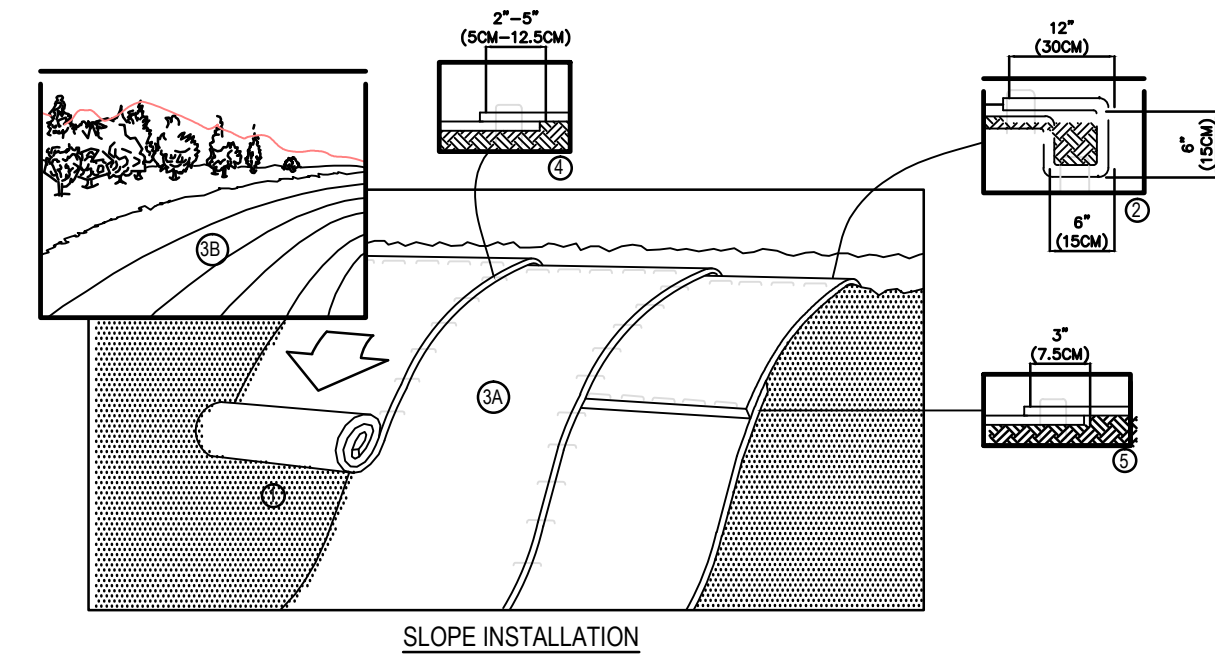
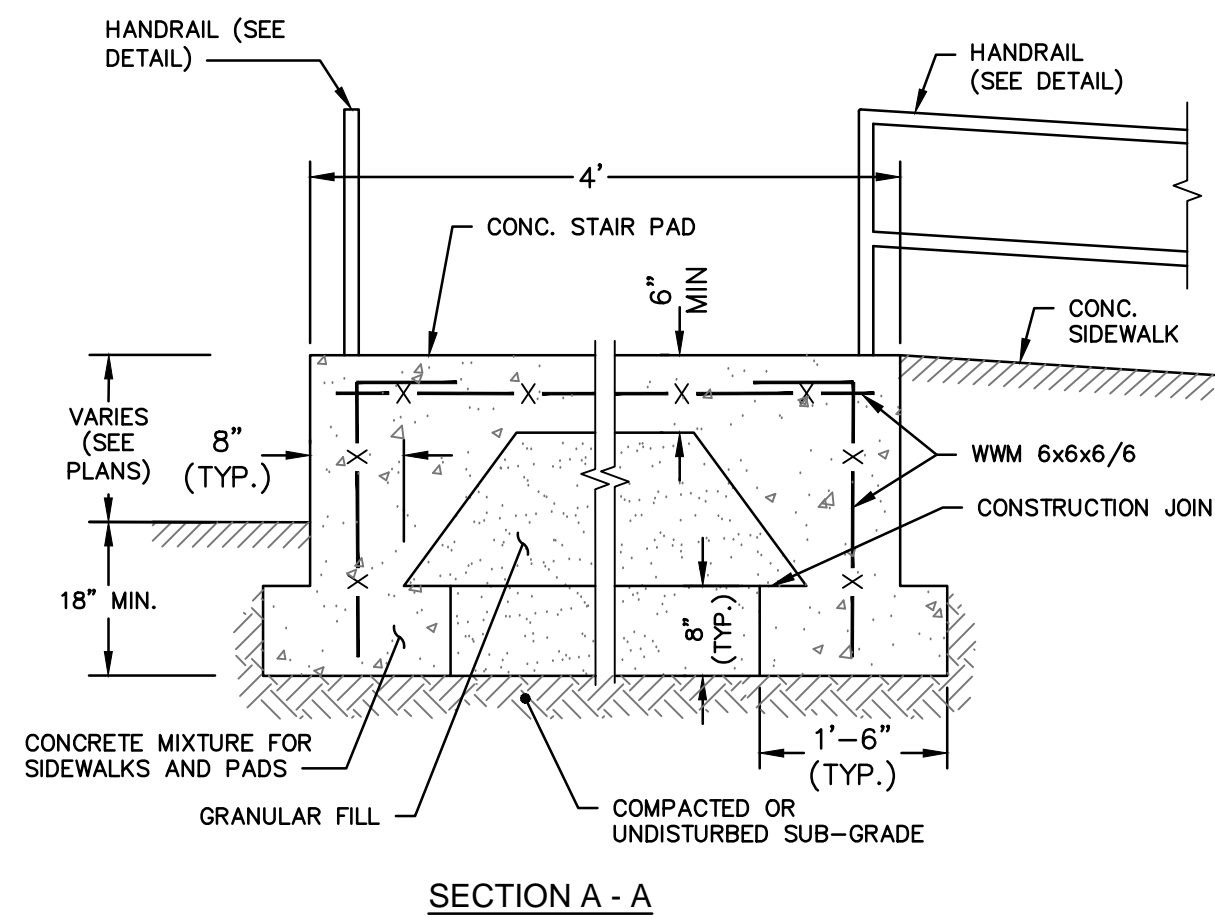
NOTES:

1. FASTEN RAIL TO WALL FLANGE AND WALL FLANGE TO FACE OF BUILDING PER MANUFACTURER'S REQUIREMENTS.
2. HANDRAIL MUST COMPLY WITH THE 2010 ADA STANDARDS AS AMENDED.
3. INSTALL HANDRAIL AT LOCATIONS WHERE GRADE TO RAMP SURFACE IS HIGHER THAN 30" AND AT LOCATIONS SHOWN ON PLANS.

HANDRAIL DETAIL
NOT TO SCALE



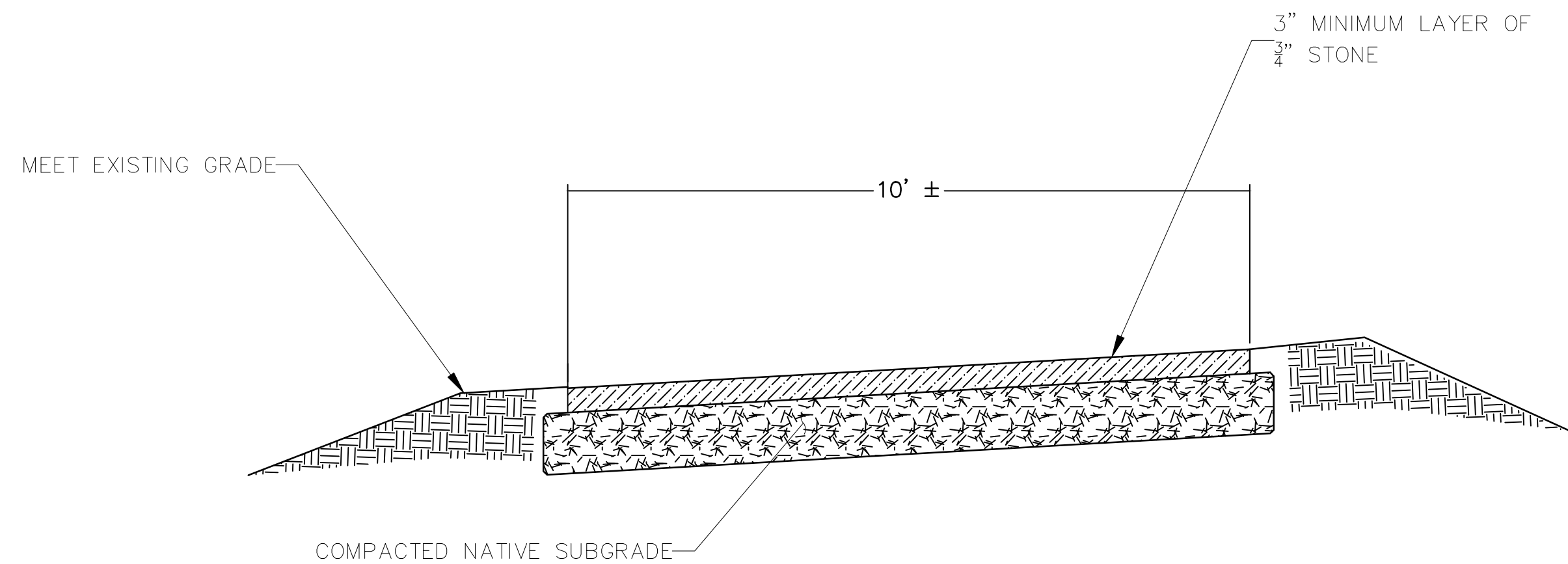
CONCRETE PAD WITH HANDRAIL AND STAIRS
NOT TO SCALE



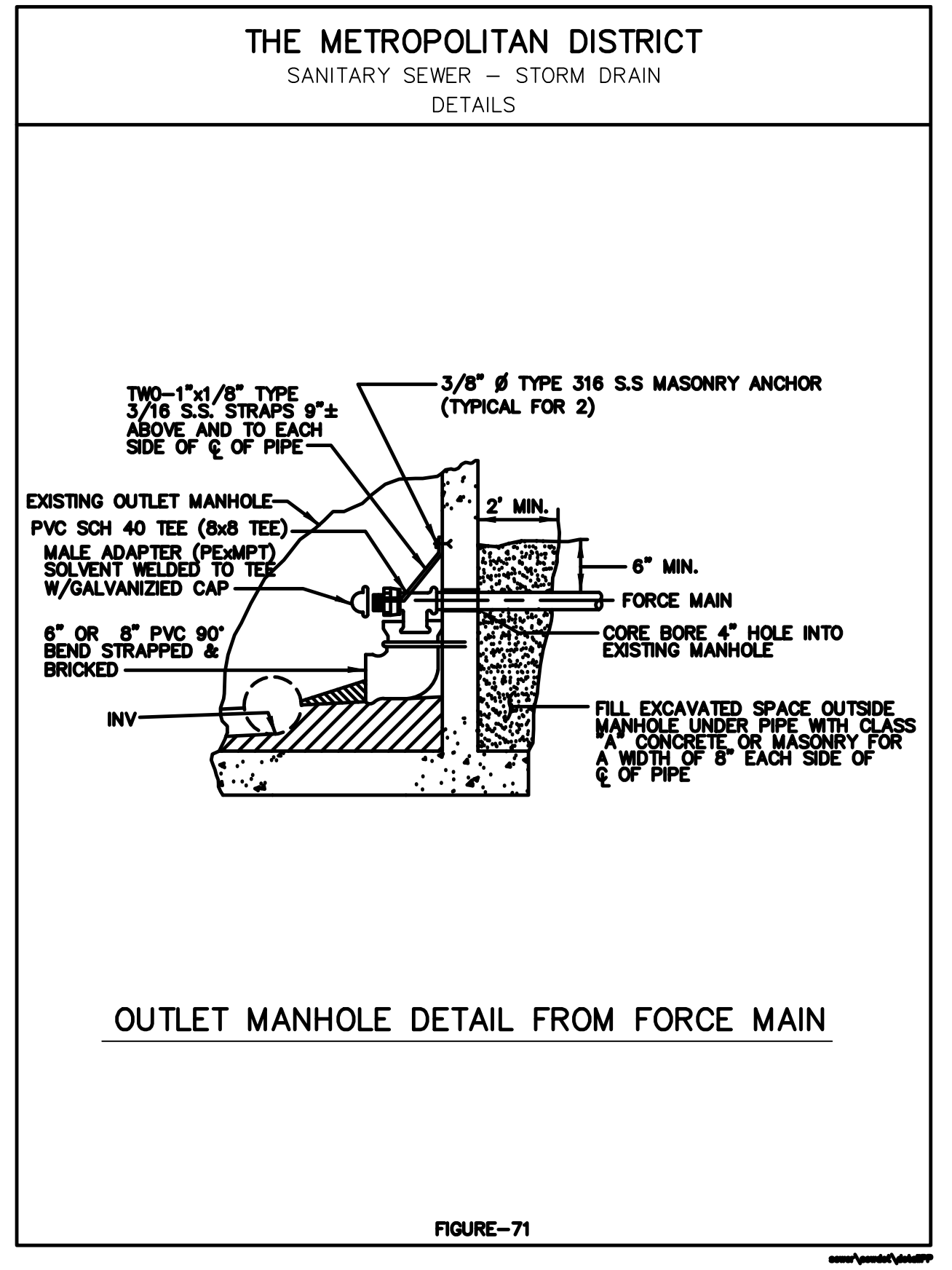
1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" (15CM) DEEP X 6" (15CM) WIDE TRENCH WITH APPROXIMATELY 12" (30CM) OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30CM) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" (30CM) PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" (30CM) APART ACROSS THE WIDTH OF THE BLANKET.
3. ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING OPTIONAL DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2'-5" (50M-12.5CM) OVERLAP DEPENDING ON BLANKET TYPE. TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH ON THE PREVIOUSLY INSTALLED BLANKET.
5. CONSECUTIVE BLANKETS SPICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" (7.5CM) OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" (30CM) APART ACROSS ENTIRE BLANKET WIDTH.

- NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. TENSAR BY NORTH AMERICAN GREEN, OR APPROVED EQUAL.
 2. DO NOT SCALE DRAWINGS.
 3. IN LOOSE SOIL CONDITIONS THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15CM) MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.

PERMANENT SLOPE STABILIZATION
NOT TO SCALE



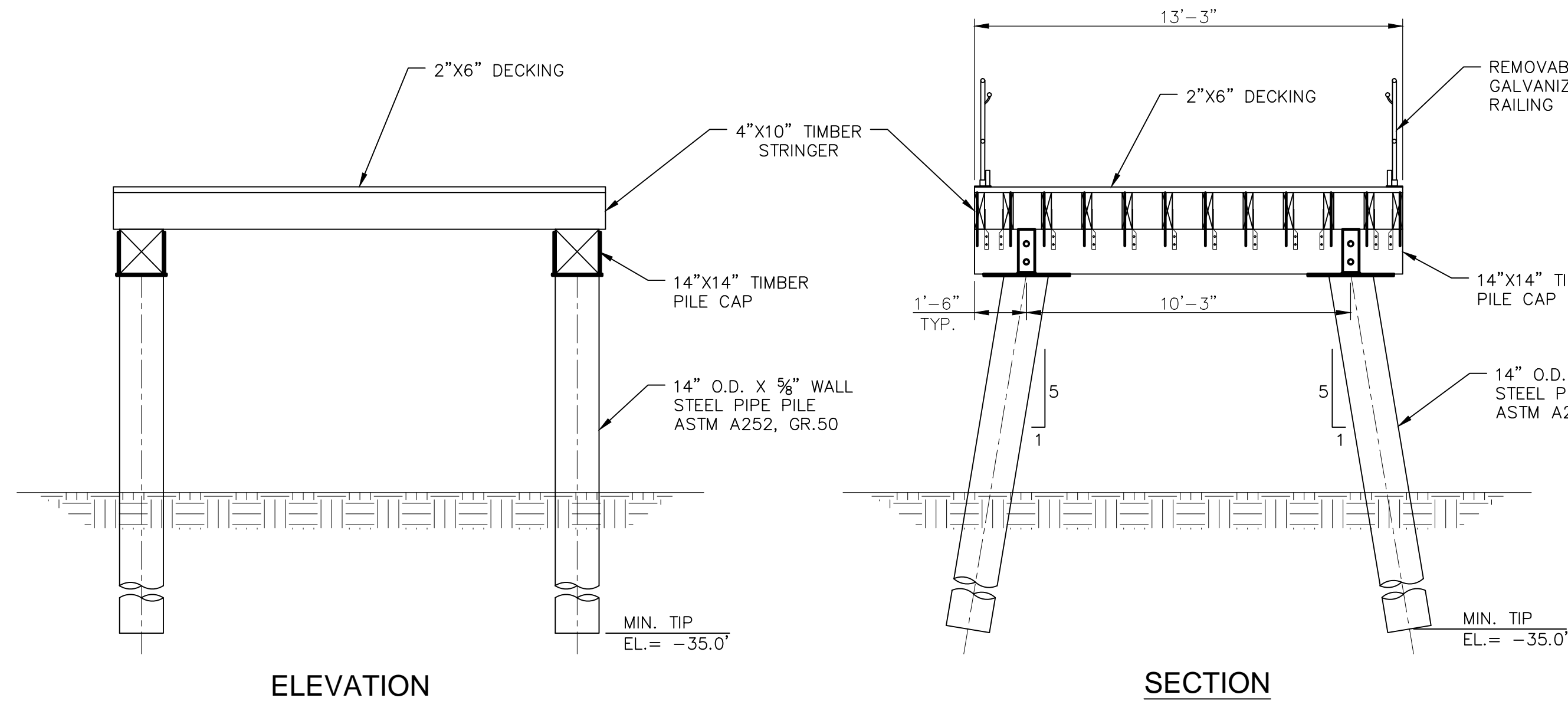
TYPICAL SECTION - GRAVEL ACCESS DRIVE
NOT TO SCALE



					PROJECT NO.: 1570-12
					DESIGNED BY: GBS
					DRAWN BY: KMI
					SHEET CHK'D BY: GBS
					CROSS CHK'D BY:
					APPROVED BY:
					DATE: DECEMBER 2017
REV. NO.	DATE	DRWN	CHKD	REMARKS	

<p>PREPARED FOR:</p> <p>GOODWIN COLLEGE</p> <p>ONE RIVERSIDE DRIVE EAST HARTFORD, CT 06118</p>	<p>PREPARED BY:</p> <p>ZUVIC-CARR AND ASSOCIATES CONSULTING ENGINEERS</p> <p>40 Cold Spring Road • Rocky Hill, CT 06067 Phone 860.436.4901 • Fax 860.436.4953</p>	<p>RIVERSIDE DRIVE MARINA</p> <p>RIVERSIDE DRIVE EAST HARTFORD, CONNECTICUT</p>	<p>SITE DETAILS & GENERAL NOTES</p>	<p>SHEET NO.</p> <p>MD-2</p>
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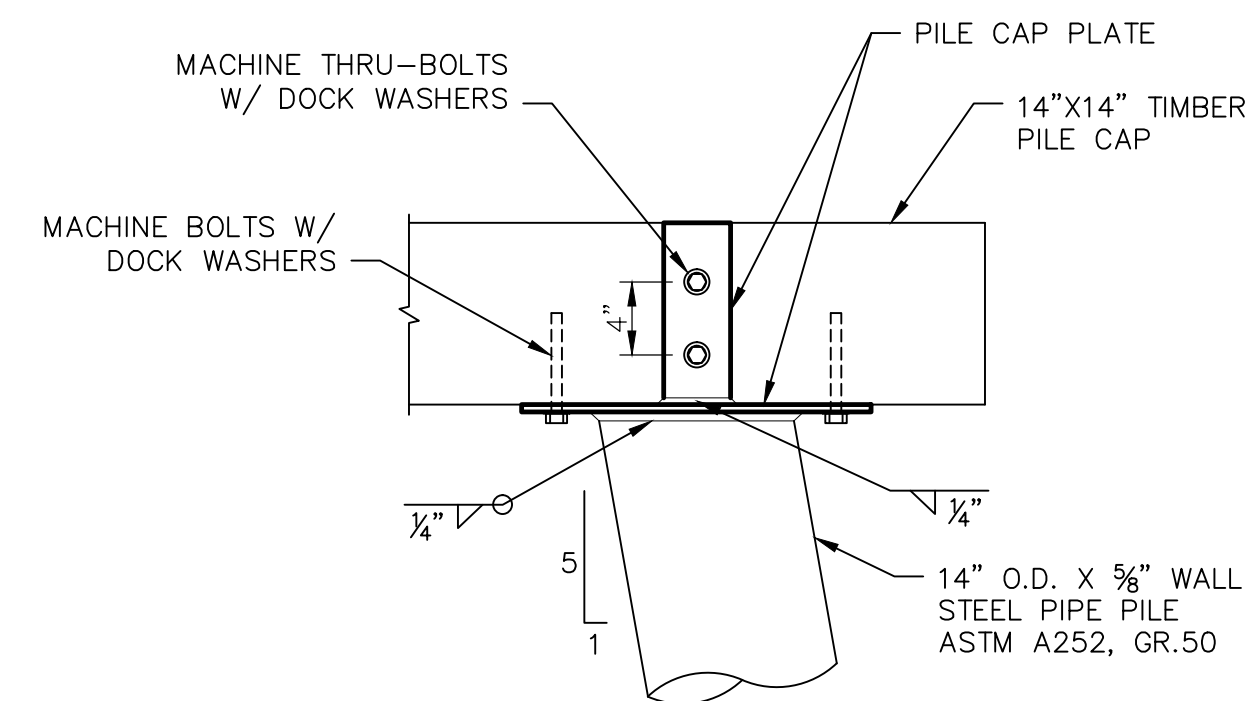
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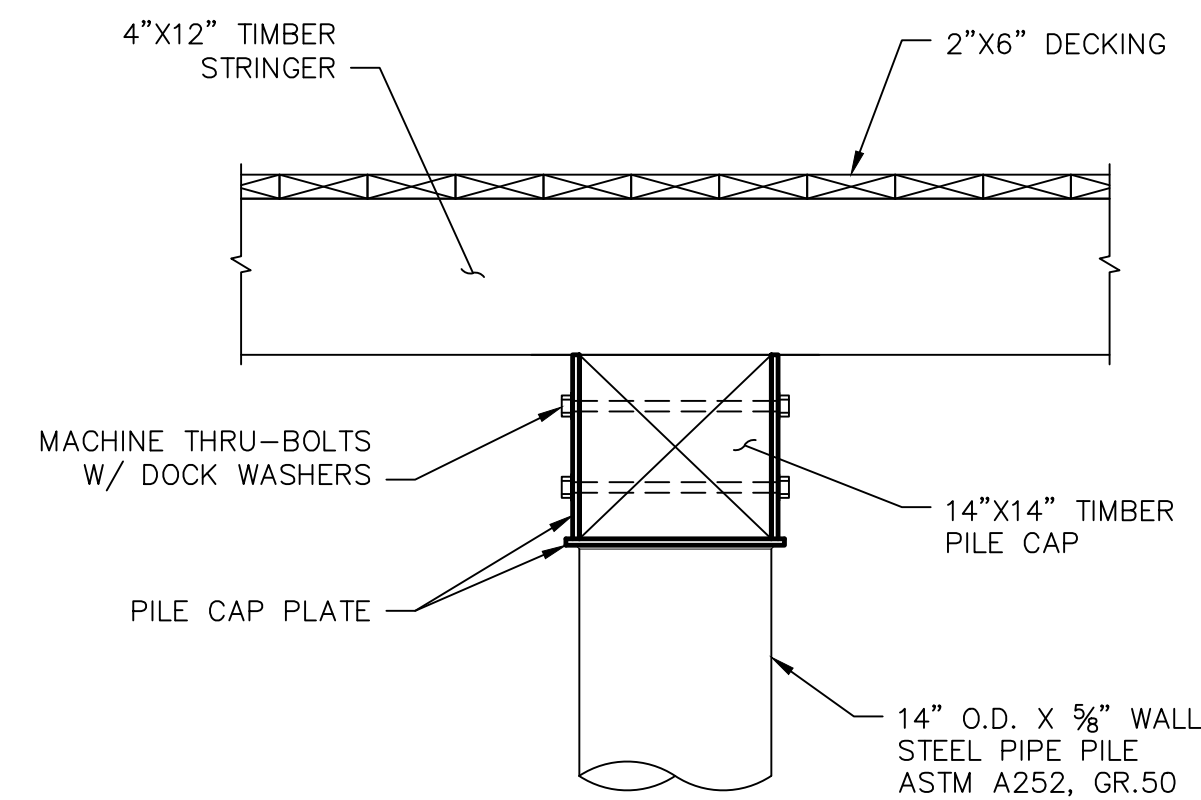
ELEVATION

SECTION

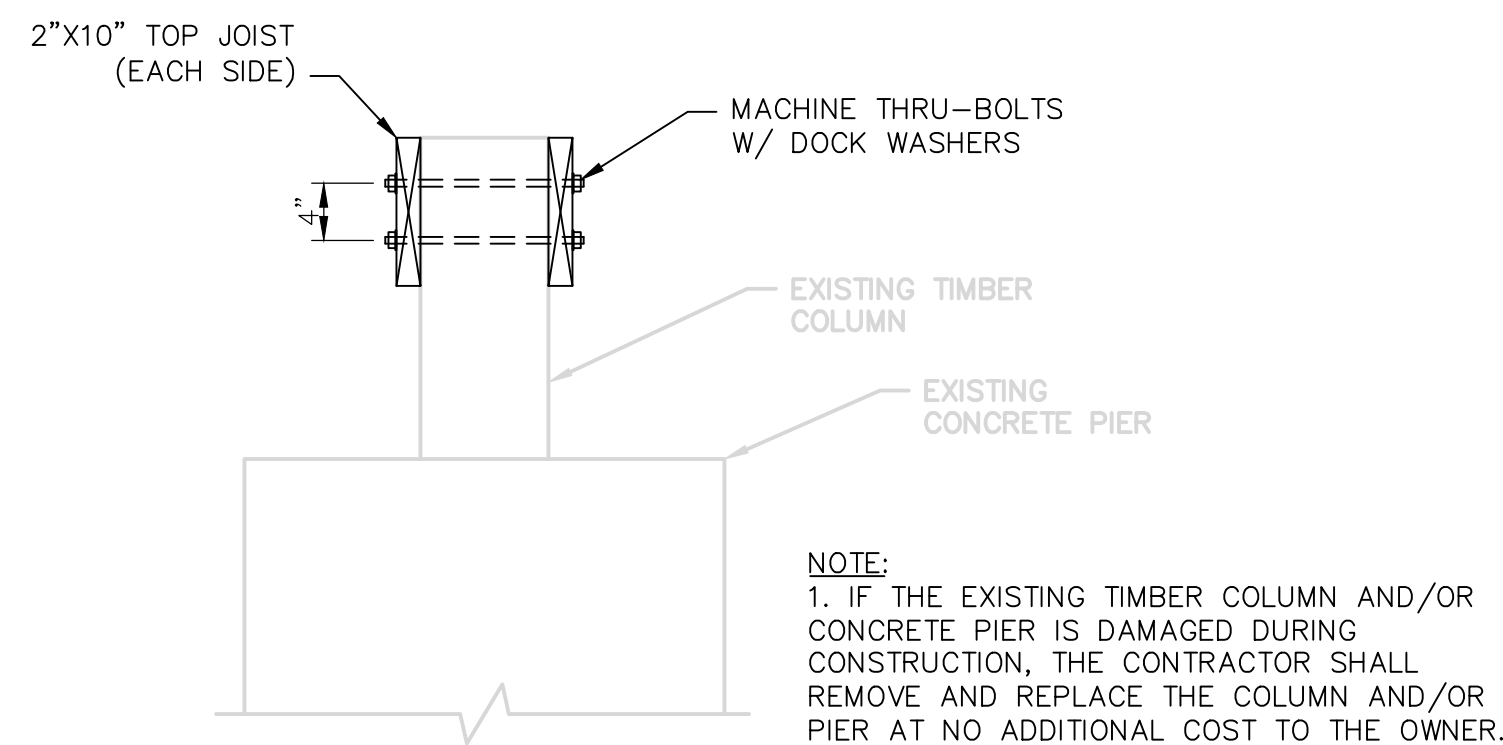
PUMP HOUSE DECK
NOT TO SCALE



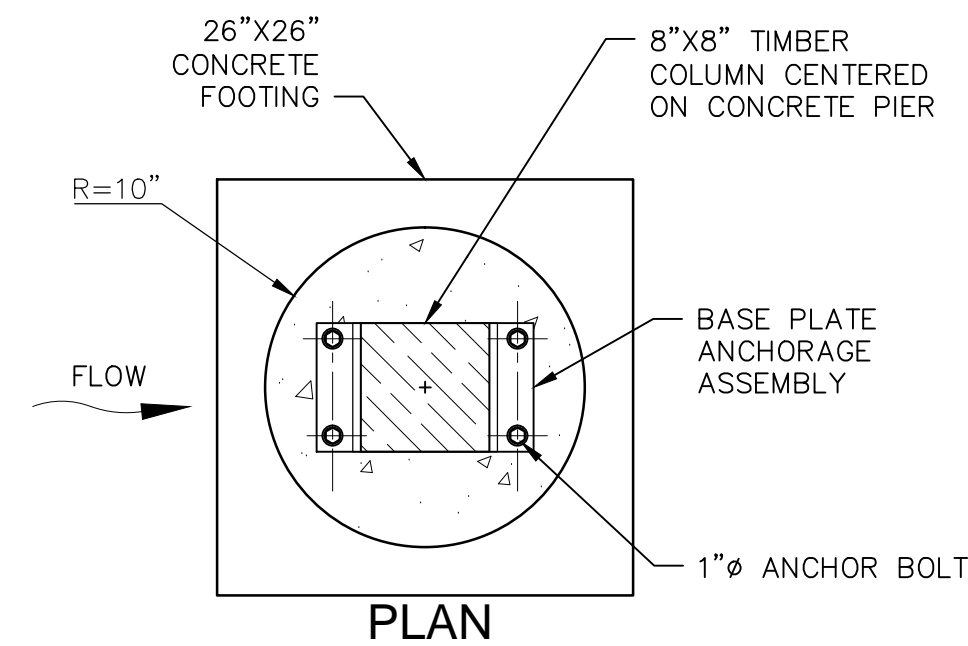
PILE CAP CONNECTION
SCALE: 1"=1'-0"



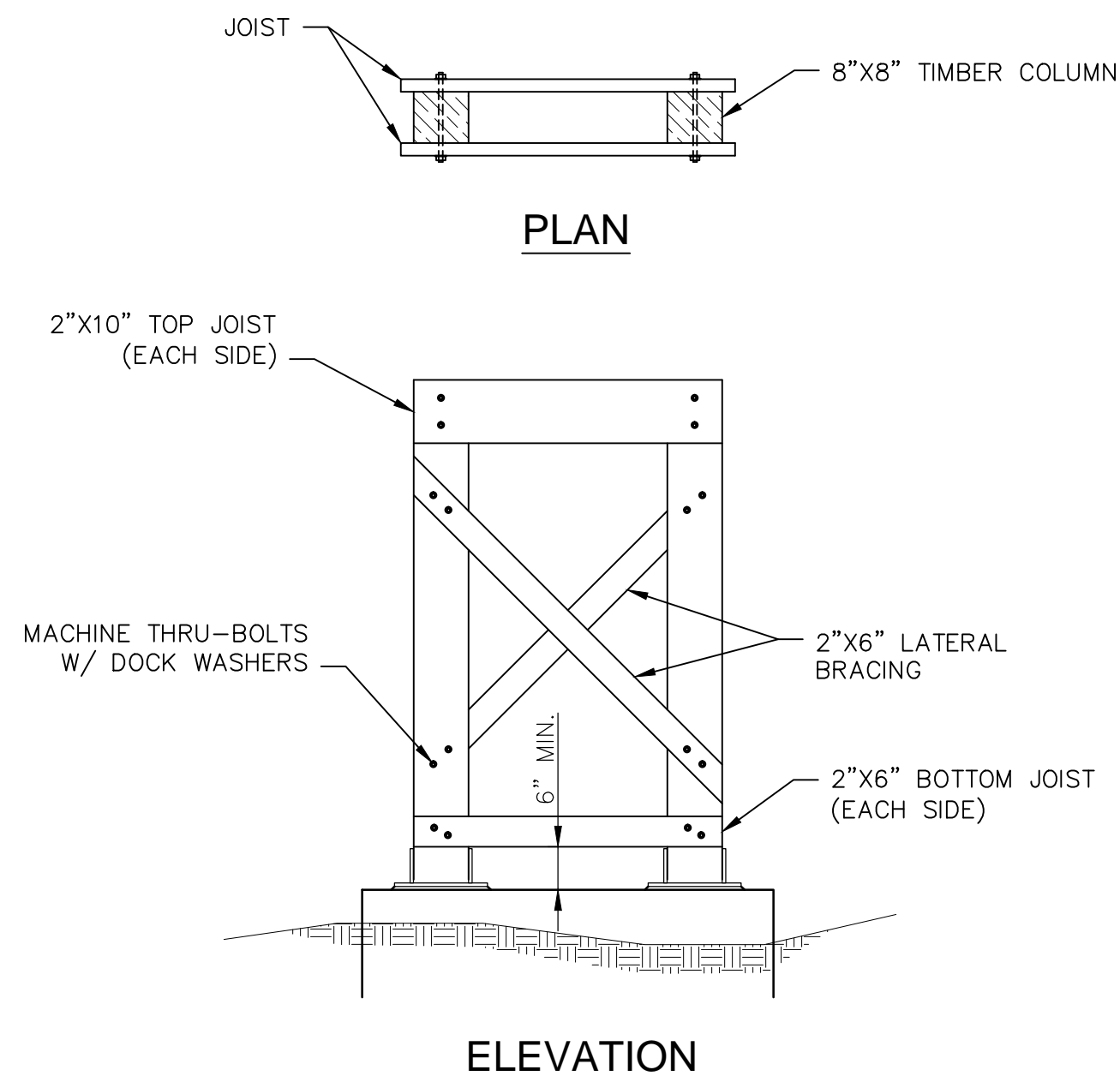
PILE CAP SECTION
SCALE: 1"=1'-0"



REUSE EXISTING SUPPORT COLUMN AND PIER
SCALE: 1"=1'-0"



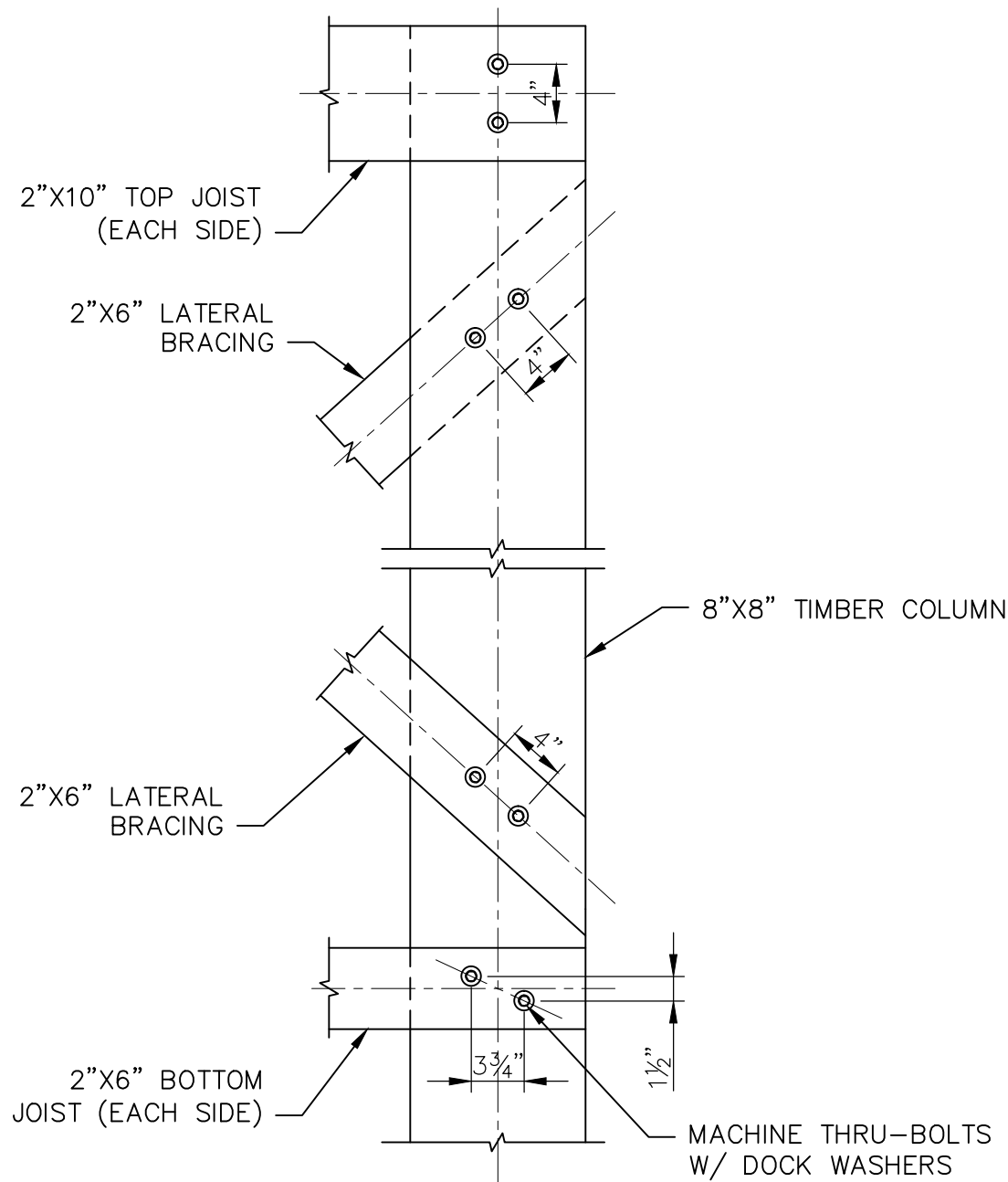
SINGLE SUPPORT COLUMN AND PIER
SCALE: 1"=1'-0"



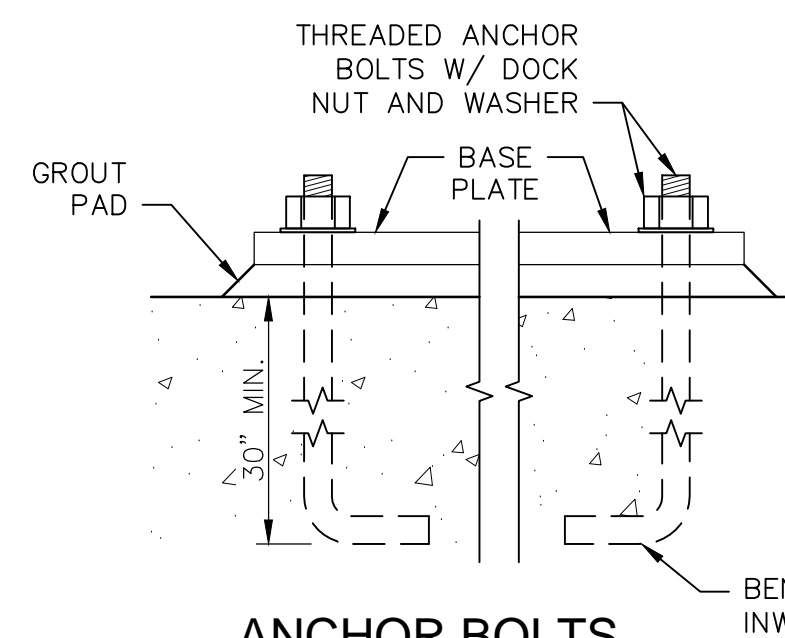
PLAN

ELEVATION

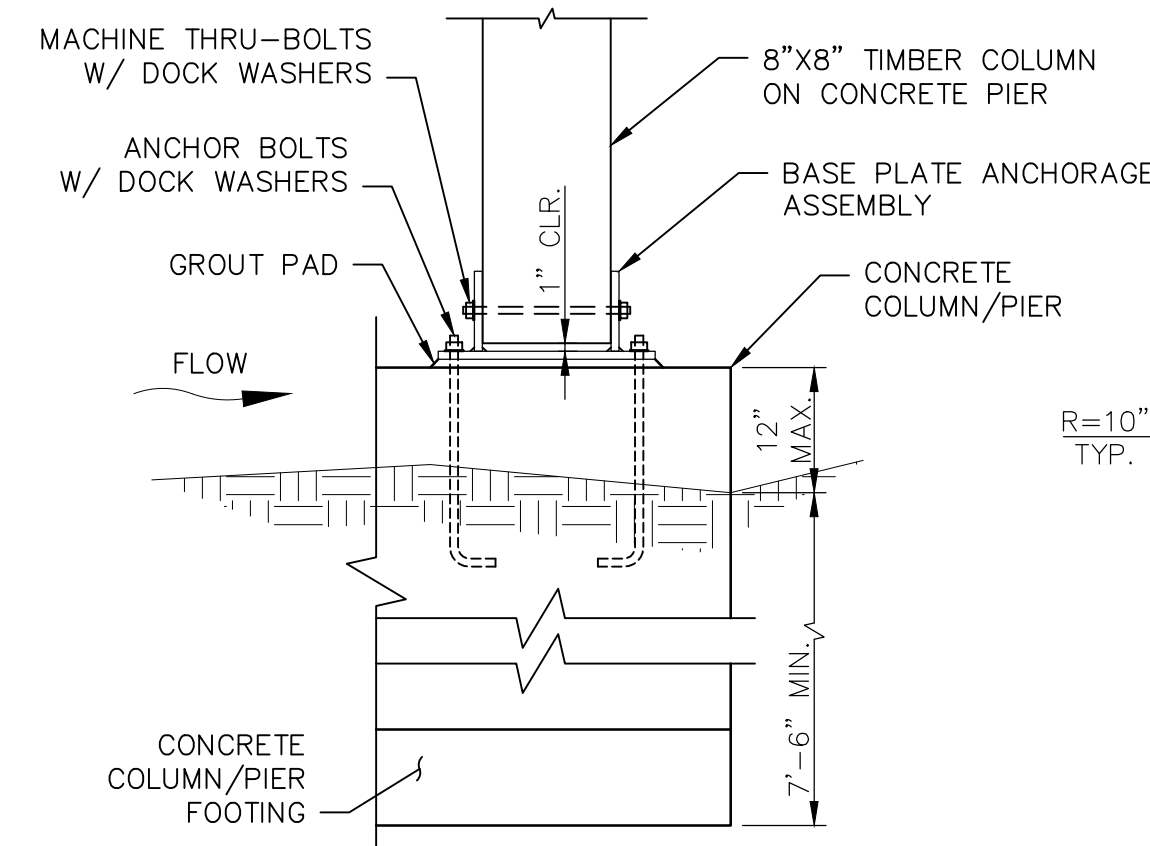
LATERAL BRACING SCHEMATIC
NOT TO SCALE



LATERAL BRACING CONNECTION
NOT TO SCALE

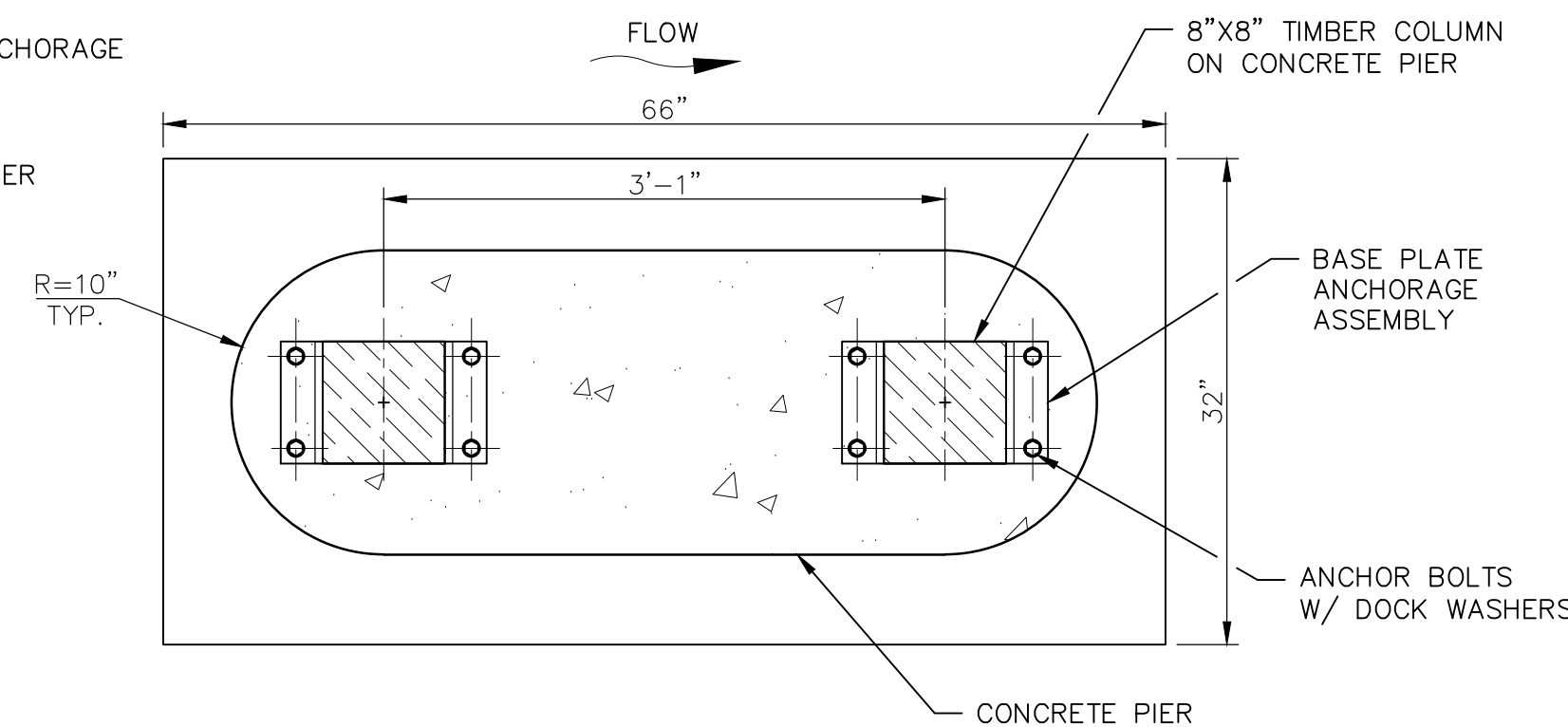


ANCHOR BOLTS
NOT TO SCALE



ELEVATION

STAIR SUPPORT COLUMNS AND PIER
NOT TO SCALE



PLAN

0' 10' 20'
VERTICAL SCALE: 1"=10'

- NOTES:
1. THE DEVELOPER SHALL NOTIFY THE TOWN OF EAST HARTFORD ENGINEERING DIVISION 24 HOURS, PRIOR TO BEGINNING ANY STORM DRAINAGE, ROADWAY PREPARATION, PAVING, SIDEWALK, CURBING, STREET LINE MONUMENTATION, PROPERTY CORNER PINS, ETC., TO SCHEDULE INSPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:30 A.M. - 4:30 P.M. AT 860-291-7380.
 2. THE TOWN SHALL BE NOTIFIED IN WRITING AT LEAST 2 DAYS IN ADVANCE OF THE PRE-CONSTRUCTION MEETING BETWEEN THE CONTRACTOR AND THE ENGINEER.

TOWN OF EAST HARTFORD
PLANNING & ZONING COMMISSION
SITE PLAN CERTIFICATE
OF APPROVAL

APPROVAL DATE _____
EXPIRATION DATE _____
CHAIRMAN _____

REV. NO.	DATE	DRWN	CHKD	REMARKS
1	02/05/18	SJH	GBS	PER TOWN COMMENTS

PROJECT NO.:	1570-12
DESIGNED BY:	GBS
DRAWN BY:	SJH
SHEET CHK'D BY:	GBS
CROSS CHK'D BY:	
APPROVED BY:	
DATE:	DECEMBER 2017



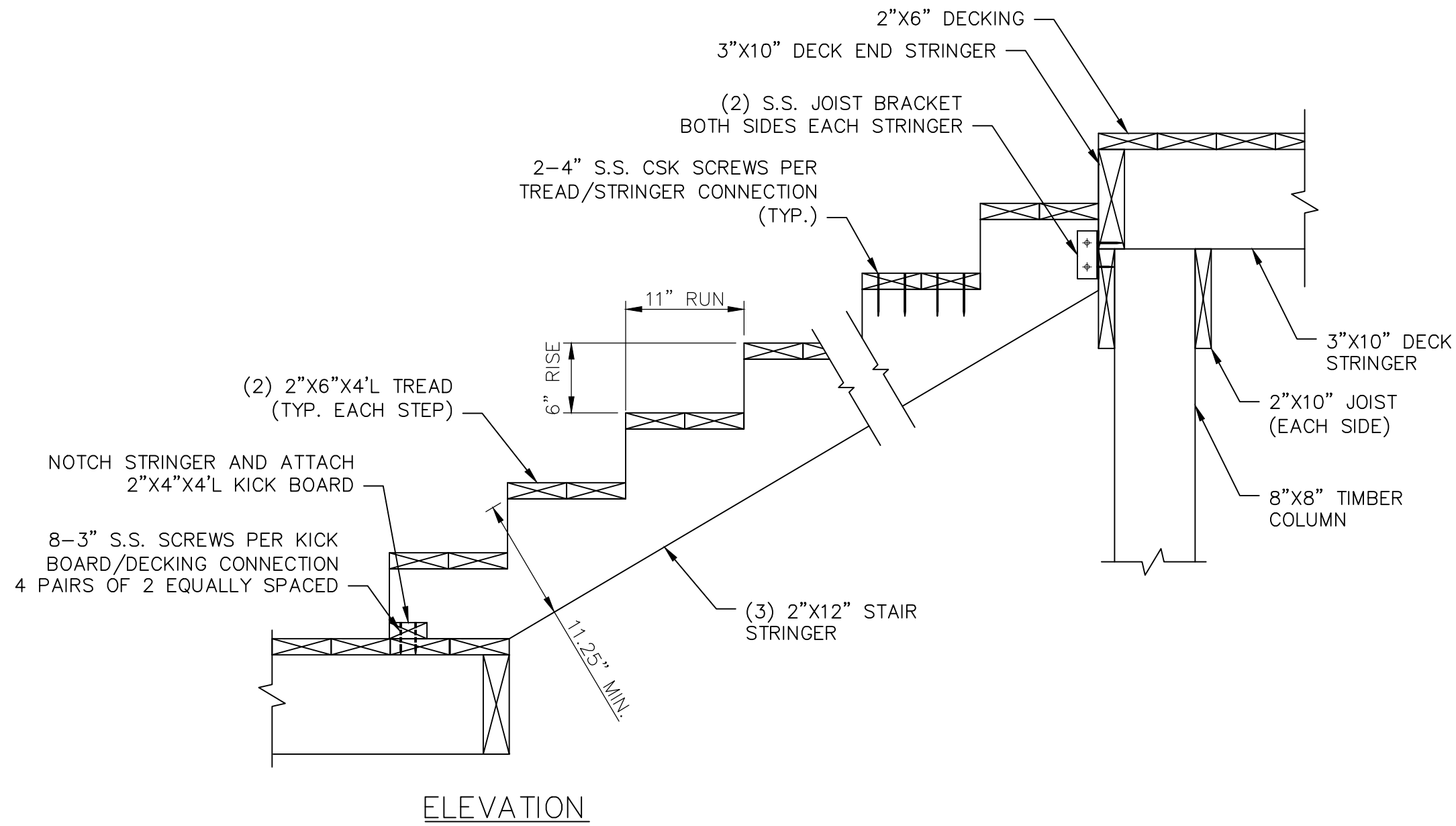
RIVERSIDE DRIVE MARINA
RIVERSIDE DRIVE
EAST HARTFORD, CONNECTICUT

STRUCTURAL PLANS & DETAILS

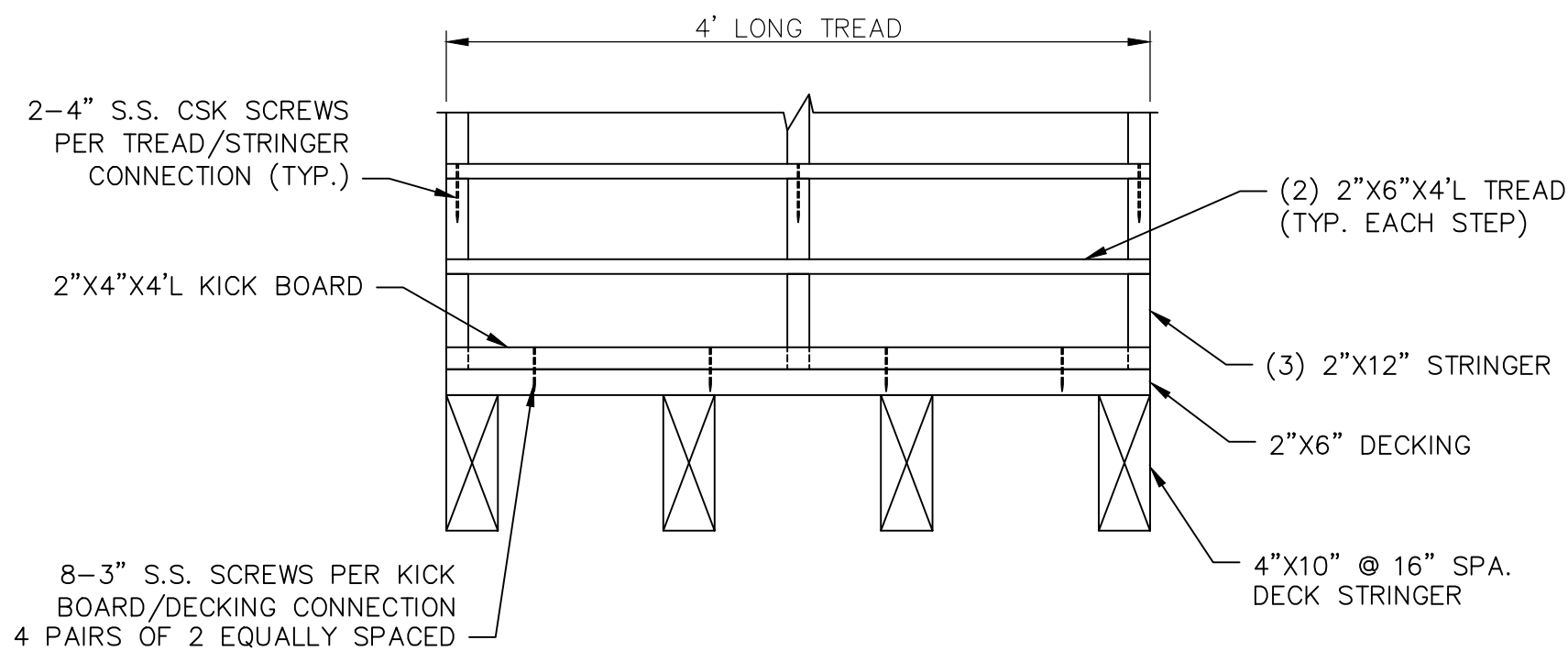
SHEET NO.

S-1

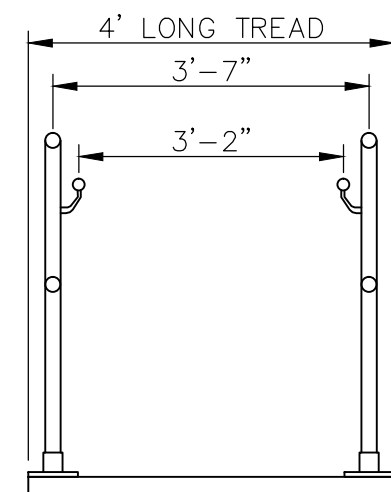
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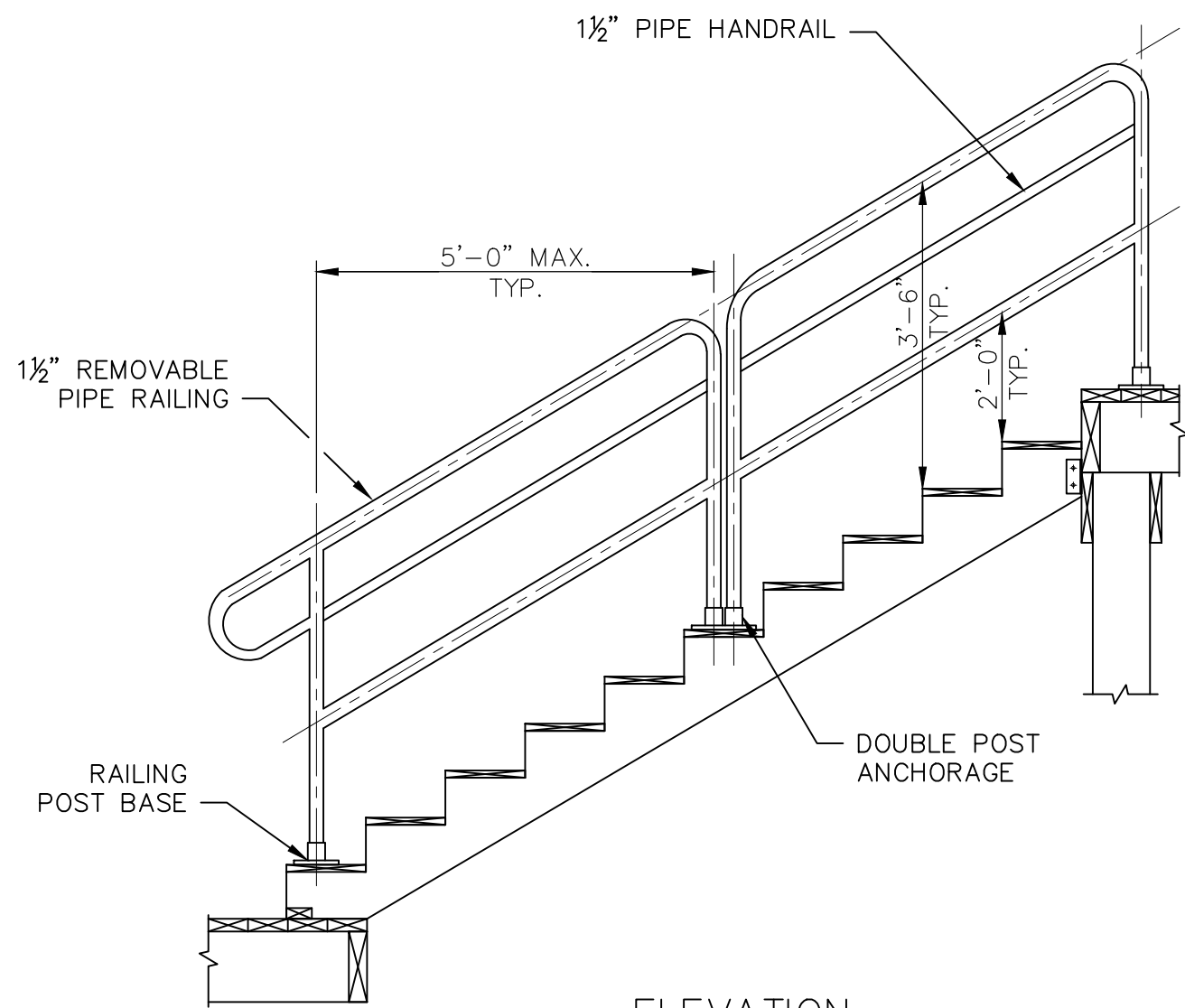
ELEVATION



SECTION



SECTION



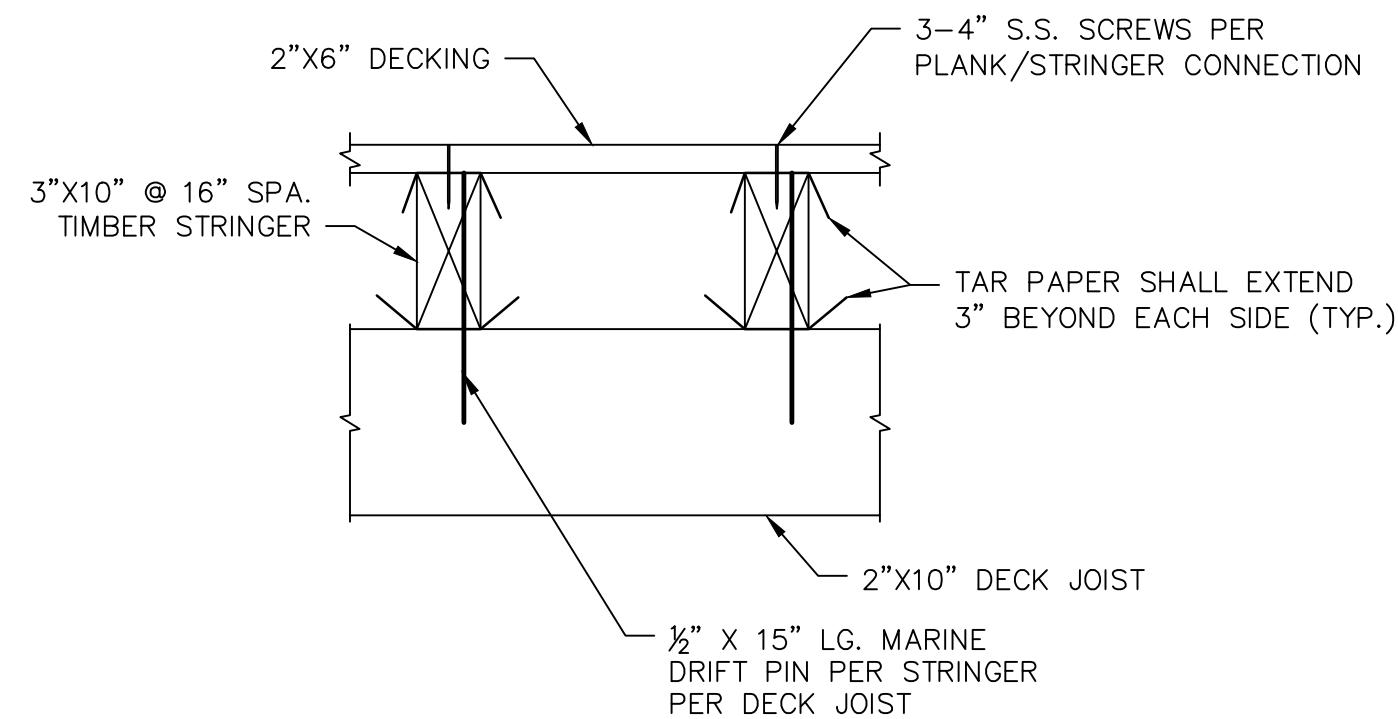
ELEVATION

STAIR CONSTRUCTION SCHEMATICS

NOT TO SCALE

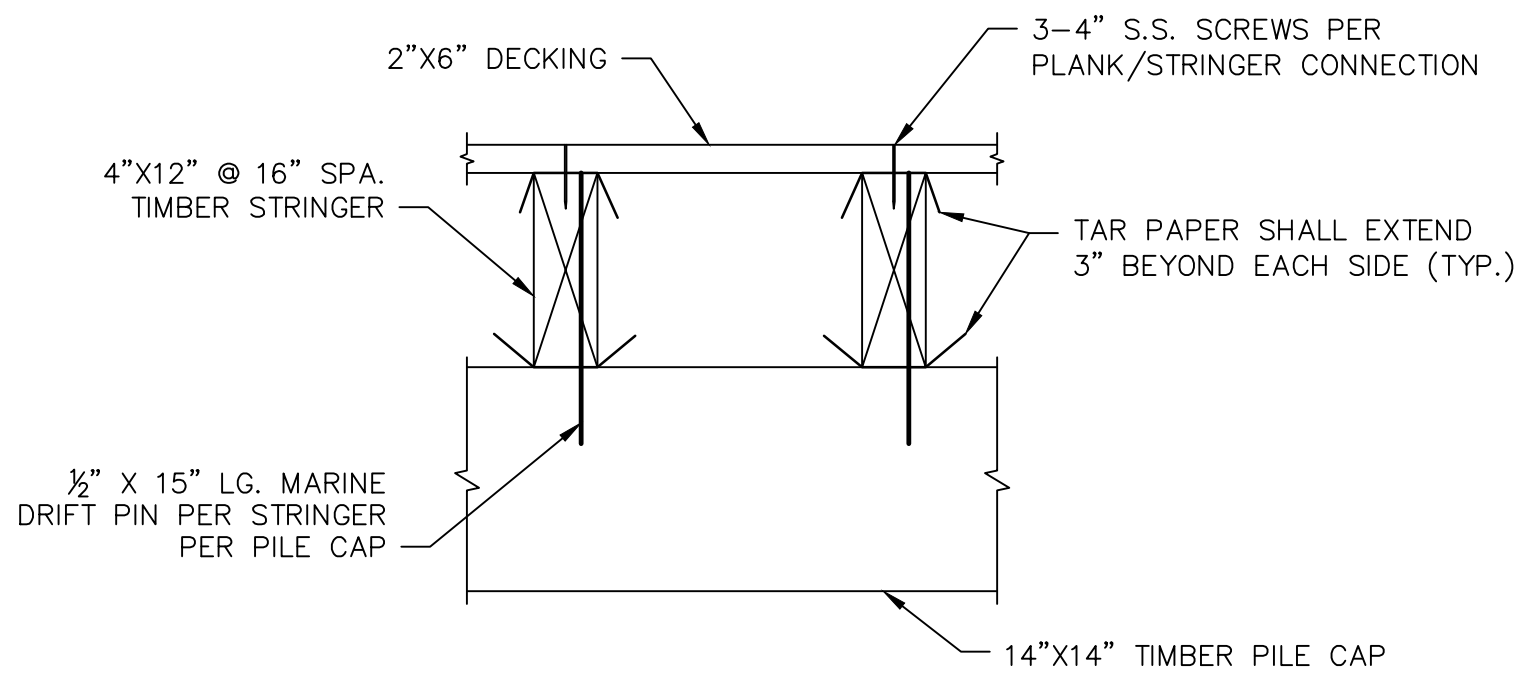
DECK STAIR RAILING SCHEMATIC

NOT TO SCALE



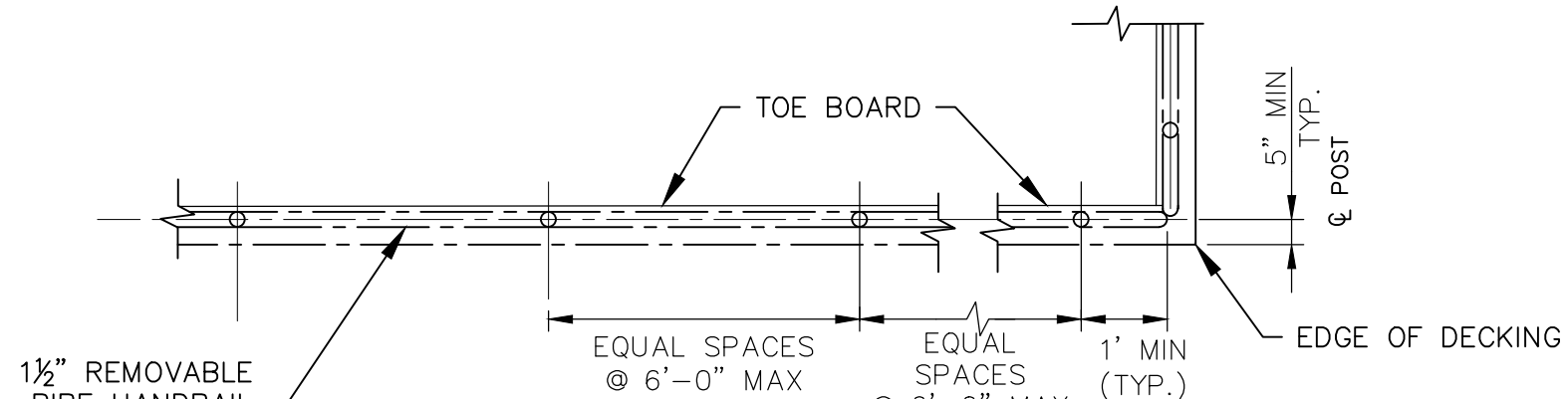
DECK AND JOIST CONNECTION

NOT TO SCALE

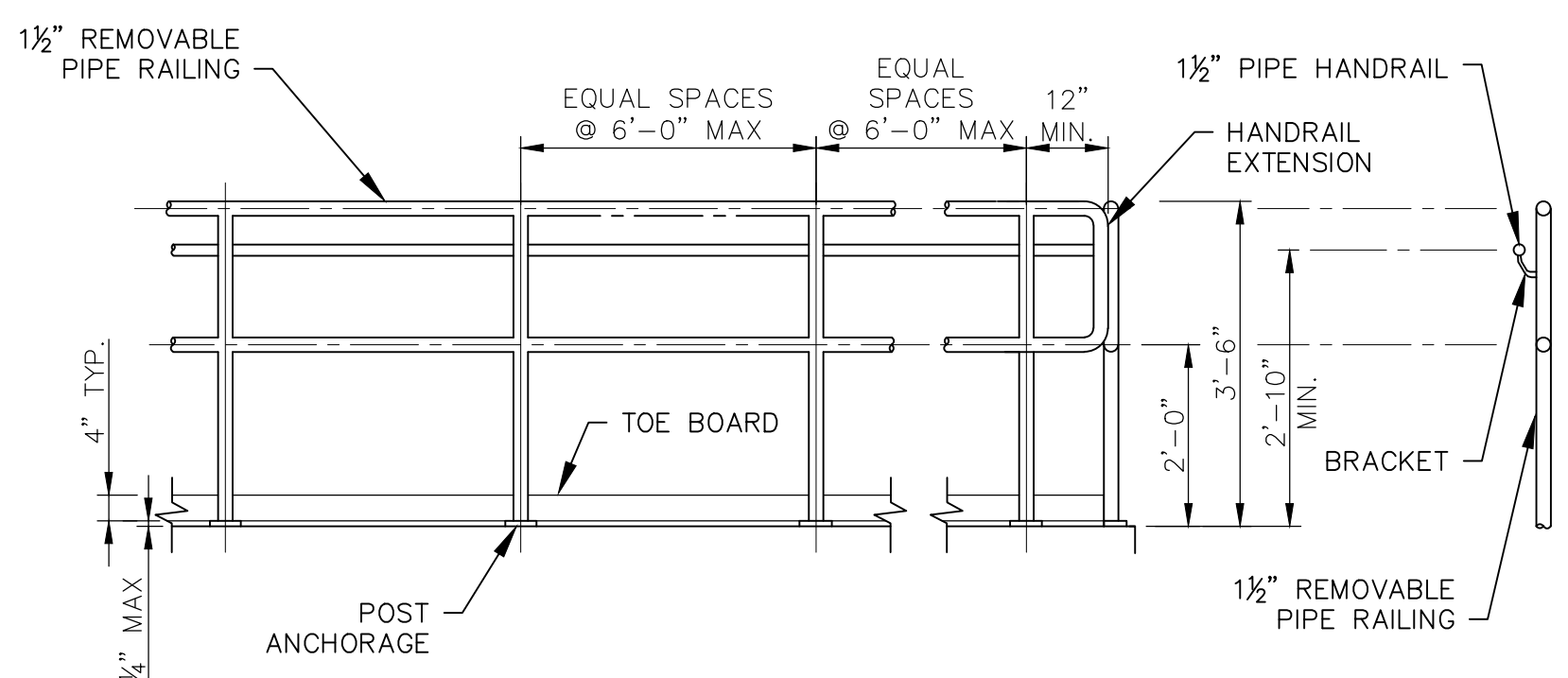


DECK AND STRINGER CONNECTION

NOT TO SCALE



PLAN

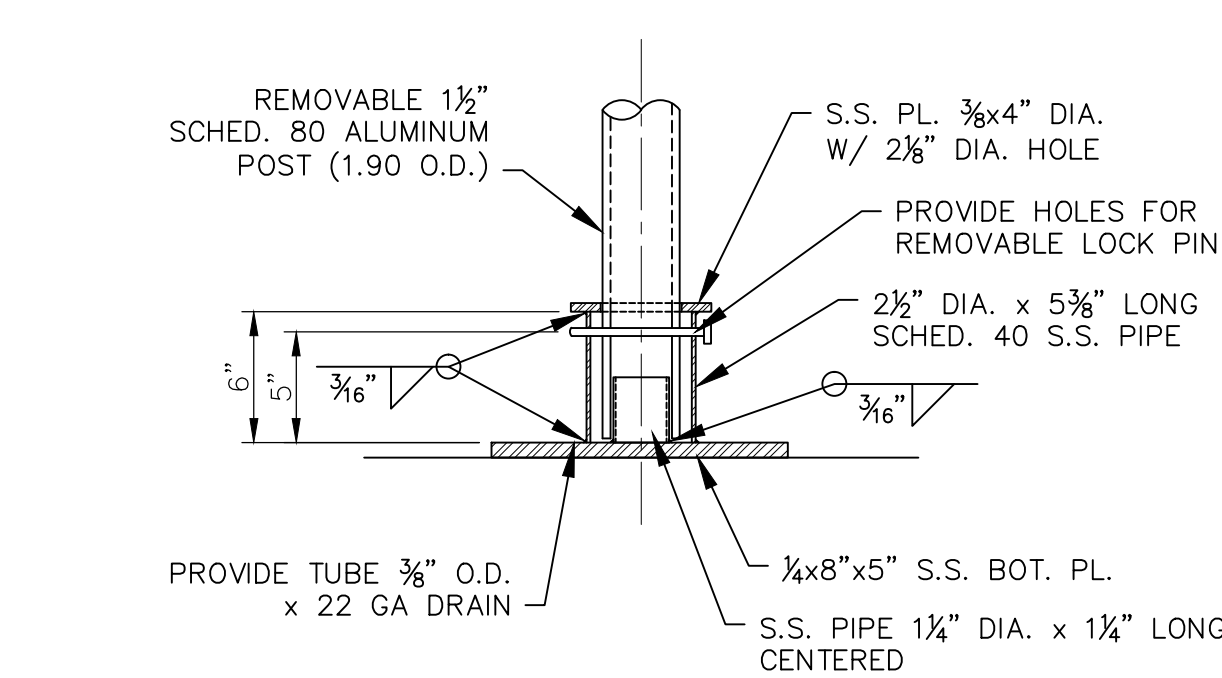
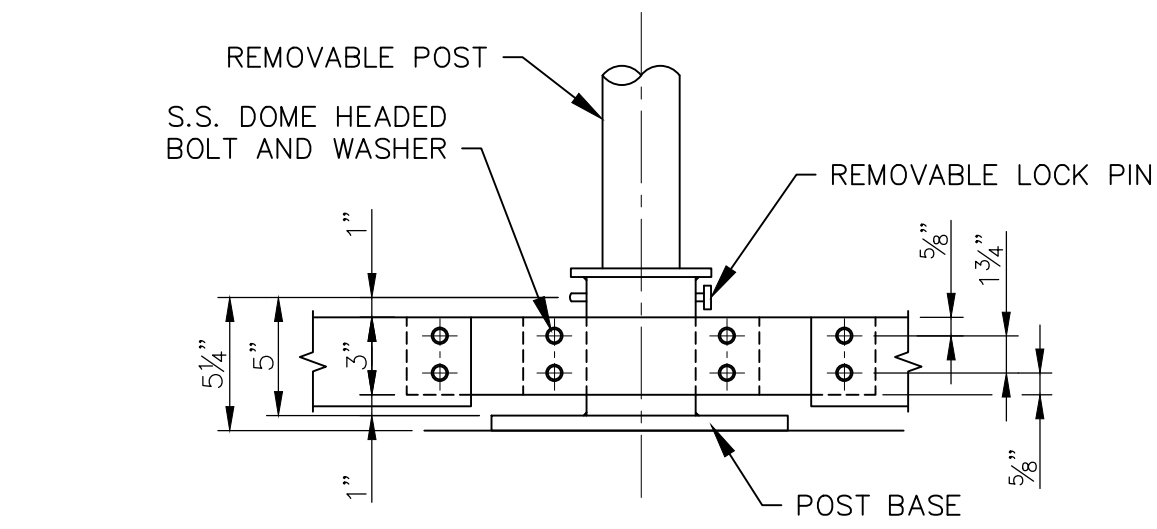
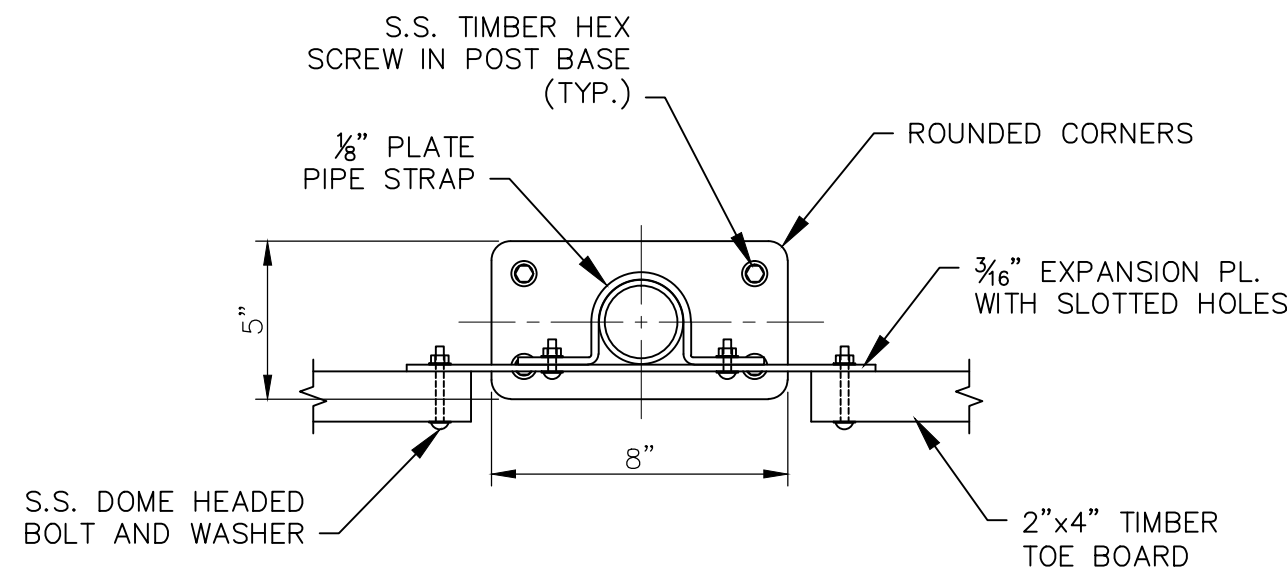


ELEVATION

RAILING SECTION

DECK RAILING

NOT TO SCALE

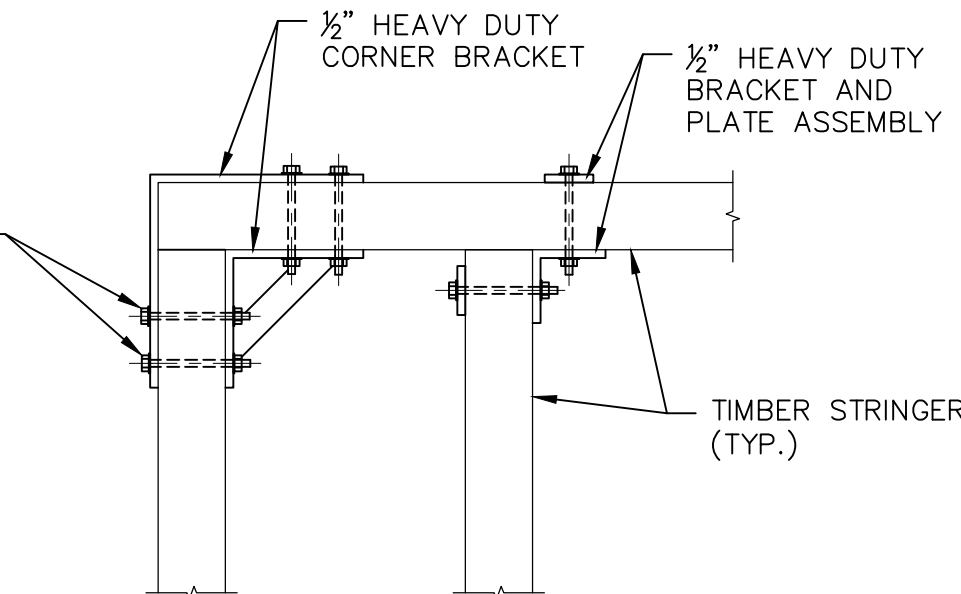


RAILING POST BASE

NOT TO SCALE

NOTES:
1. THE DEVELOPER SHALL NOTIFY THE TOWN OF EAST HARTFORD ENGINEERING DIVISION 24 HOURS, PRIOR TO BEGINNING ANY STORM DRAINAGE, ROADWAY PREPARATION, PAVING, SIDEWALK, CURBING, STREET LINE MONUMENTATION, PROPERTY CORNER PINS, ETC., TO SCHEDULE INSPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:30 A.M. - 4:30 P.M. AT 860-291-7380.
2. THE TOWN SHALL BE NOTIFIED IN WRITING AT LEAST 2 DAYS IN ADVANCE OF THE PRE-CONSTRUCTION MEETING BETWEEN THE CONTRACTOR AND THE ENGINEER.

TOWN OF EAST HARTFORD
PLANNING & ZONING COMMISSION
SITE PLAN CERTIFICATE
OF APPROVAL
APPROVAL DATE: _____
EXPIRATION DATE: _____
CHAIRMAN



STRINGER CORNER CONNECTIONS

NOT TO SCALE

REV. NO.	DATE	DRWN	CHKD	REMARKS
1	02/05/18	SJH	GBS	PER TOWN COMMENTS

PROJECT NO.: 1570-12
DESIGNED BY: GBS
DRAWN BY: SJH
SHEET CHK'D BY: GBS
CROSS CHK'D BY:
APPROVED BY:
DATE: DECEMBER 2017



ONE RIVERSIDE DRIVE
EAST HARTFORD, CT 06118



40 Cold Spring Road • Rocky Hill, CT 06067
Phone 860.436.4901 • Fax 860.436.4953

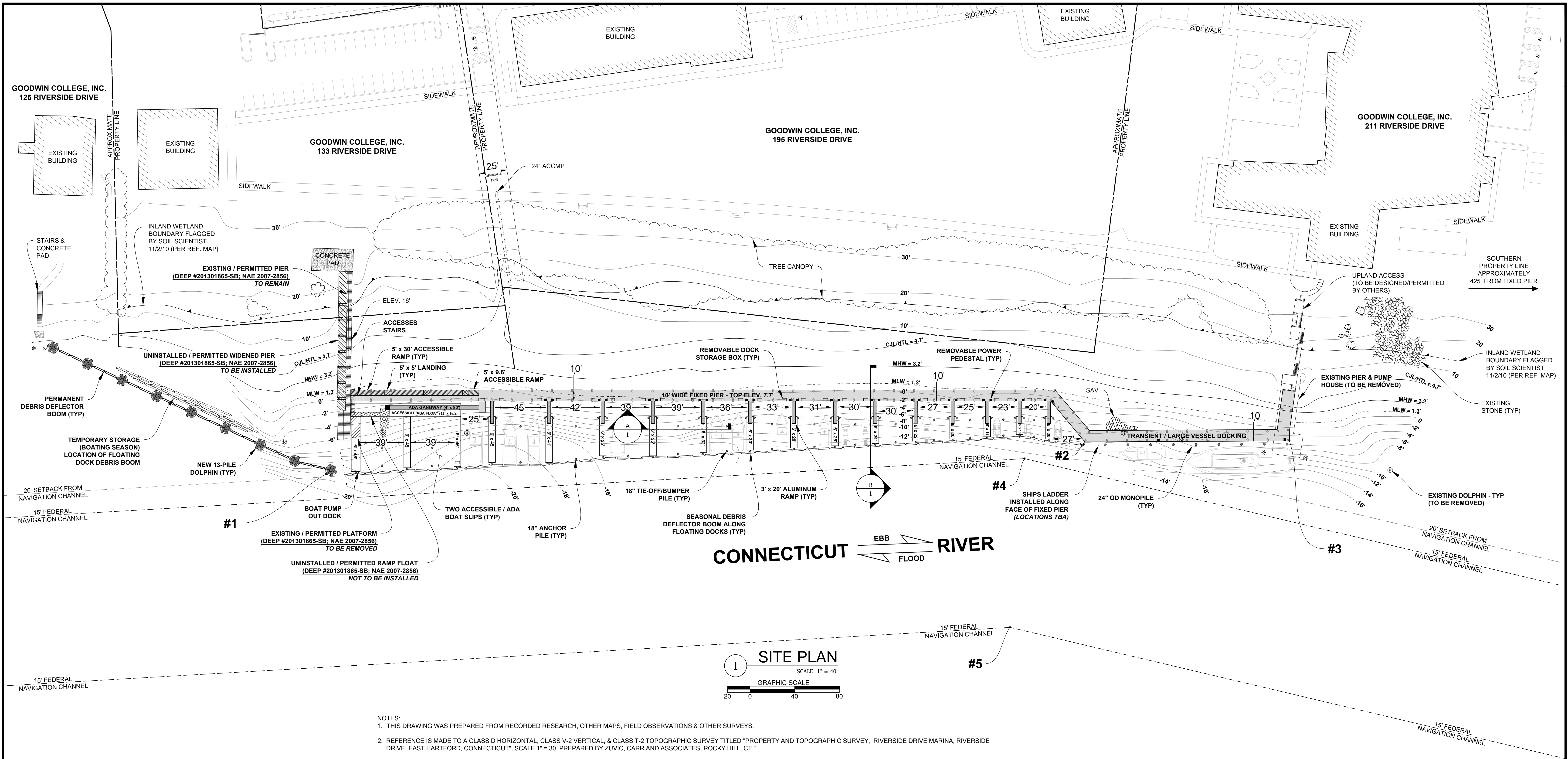
RIVERSIDE DRIVE MARINA

RIVERSIDE DRIVE
EAST HARTFORD, CONNECTICUT

STRUCTURAL PLANS & DETAILS

SHEET NO.

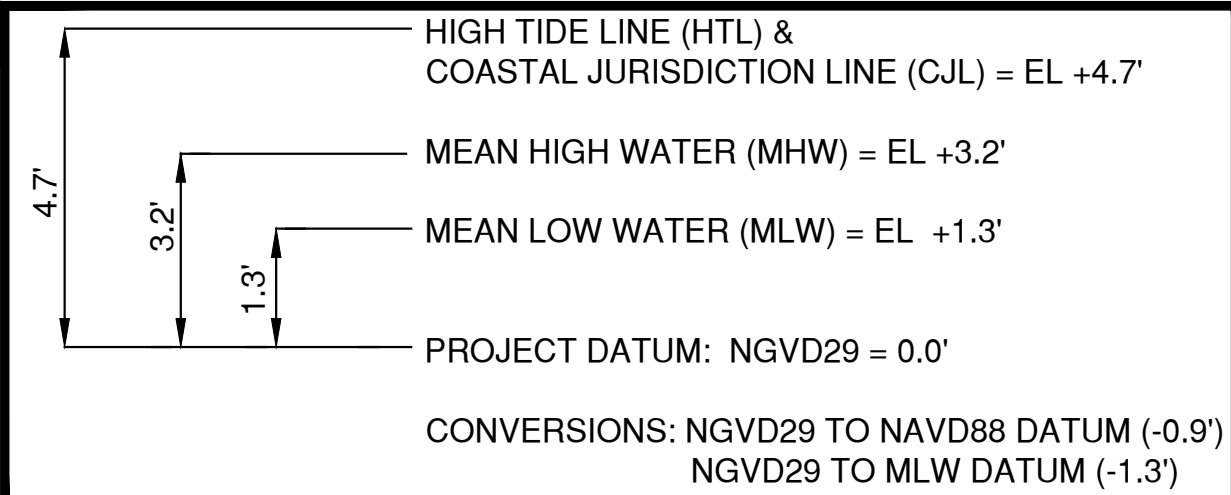
S-2



NOTES:

- THIS DRAWING WAS PREPARED FROM RECORDED RESEARCH, OTHER MAPS, FIELD OBSERVATIONS & OTHER SURVEYS.
- REFERENCE IS MADE TO A CLASS D HORIZONTAL, CLASS V-2 VERTICAL, & CLASS T-2 TOPOGRAPHIC SURVEY TITLED "PROPERTY AND TOPOGRAPHIC SURVEY, RIVERSIDE DRIVE MARINA, RIVERSIDE DRIVE, EAST HARTFORD, CONNECTICUT", SCALE 1" = 30', PREPARED BY ZUVIC, CARR AND ASSOCIATES, ROCKY HILL, CT."
- TIDE LINES, CONTOURS, AND UPLAND ELEVATIONS ARE IN FEET, BASED ON THE REFERENCE MAP NOTED HEREON AND REFERENCED TO NGVD 29.
- TIDE LINES ARE REFERENCED TO THE NGVD29 VERTICAL DATUM BASED ON A CONVERSION OF +0.9' FROM NAVD88 VERTICAL DATUM. TIDE LINES WERE TAKEN FROM "RESOURCES FOR TIDAL AND NAVIGABLE WATERS IN CONNECTICUT" BY JOHN DOODY, PS. & PE, CONNECTICUT ASSOCIATION OF LAND SURVEYORS, OCTOBER 15, 2012. THE C.J.L (COASTAL JURISDICTION LINE) ELEVATION OF 3.8' NAVD88 (4.7' NGVD29) IS THE VALUE FOR EAST HARTFORD, CT AS ESTABLISHED BY THE CONNECTICUT DEPARTMENT OF ENERGY & ENVIRONMENTAL PROTECTION.
- THIS DRAWING IS FOR PLANNING PURPOSES ONLY AND IS NOT INTENDED FOR BID DOCUMENTS, STRUCTURAL DESIGN OR CONSTRUCTION. THE PROPERTY LINES ARE DEPICTED GRAPHICALLY ONLY, AND DO NOT REPRESENT ANY PROPERTY/BOUNDARY OPINION. NOT ALL IMPROVEMENTS AND FEATURES HAVE BEEN DEPICTED.
- SITE MAY BE SUBJECT TO AND/OR TOGETHER WITH CERTAIN LITTORAL, RIPARIAN, OR OTHER RIGHTS AS PER THE RECORD MAY APPEAR.
- ANY UNDERGROUND AND/OR UNDERWATER UTILITY, STRUCTURE, AND FACILITY LOCATIONS DEPICTED AND/OR NOTED HEREON MAY HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROLE TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE LOCATIONS OF WHICH ARE UNKNOWN TO COASTLINE CONSULTING AND DEVELOPMENT, LLC. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO ANY CONSTRUCTION. CALL BEFORE YOU DIG: 1-800-922-4455.

TIDAL DATUM PLANE



SLIP TYPE / COUNT

ACCESSIBLE / ADA SLIPS - 3 MAX; 2 MIN (BASED ON 26 - 50 SLIP FACILITY)

BOAT PUMP OUT STATION - 1

STANDARD - 28 (VARYING SIZES)

TRANSIENT - 183 LINEAR FEET OF PARALLEL BERTHING

LEGEND

MLW = MEAN LOW WATER
MHW = MEAN HIGH WATER
CJL = COASTAL JURISDICTION LINE
HTL = HIGH TIDE LINE
SAV = SUBMERGED AQUATIC VEGETATION
ACCOMP = ASPHALT-COATED CORRUGATED METAL PIPE
TYP = TYPICAL

COORDINATE LEGEND

#1 = EASTING(X) 1029255.14, NORTHING (Y) 832220.90
#2 = EASTING(X) 1029513.07, NORTHING (Y) 831593.36
#3 = EASTING(X) 1029578.91, NORTHING (Y) 831421.35
#4 = EASTING(X) 1029482.77, NORTHING (Y) 831638.64
#5 = EASTING(X) 1029336.47, NORTHING (Y) 831598.93

Coastline Consulting & Development
57-B East Industrial Road, Branford, CT 06405
(203) 433-4486

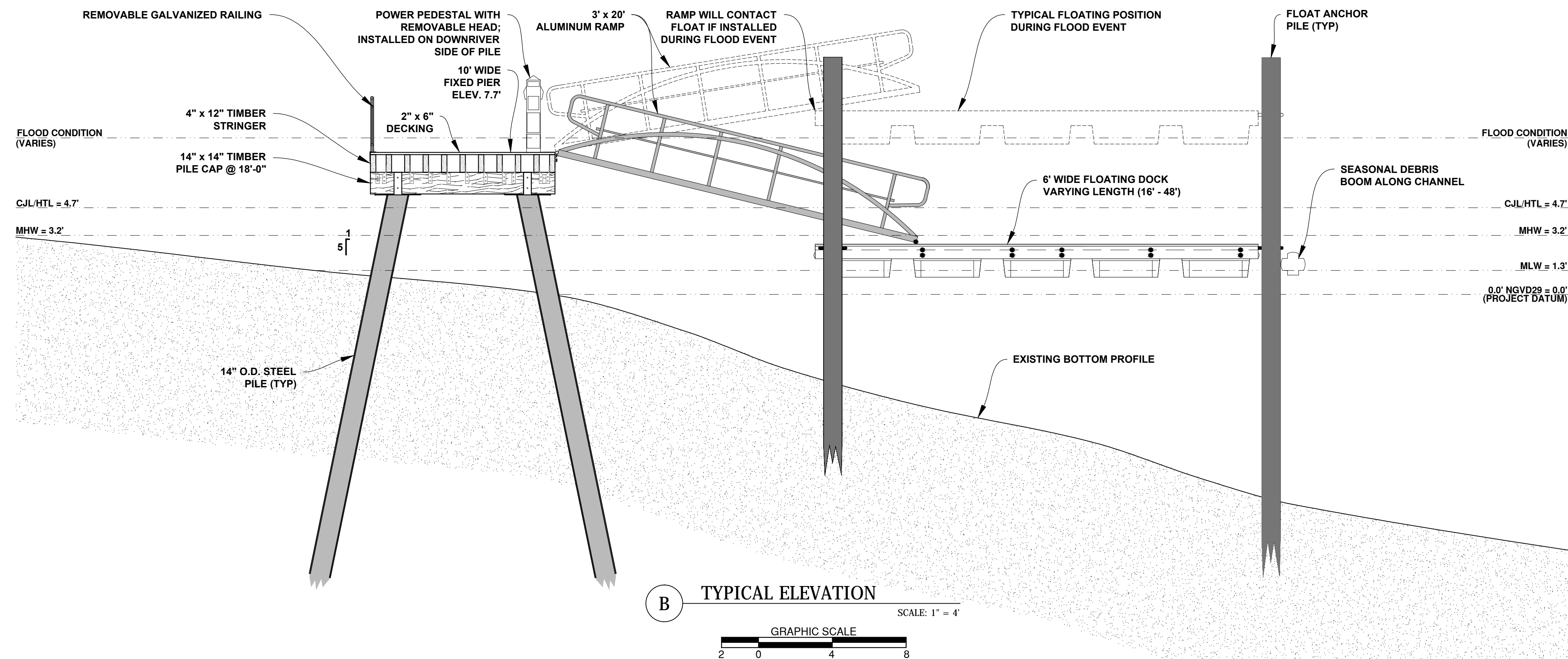
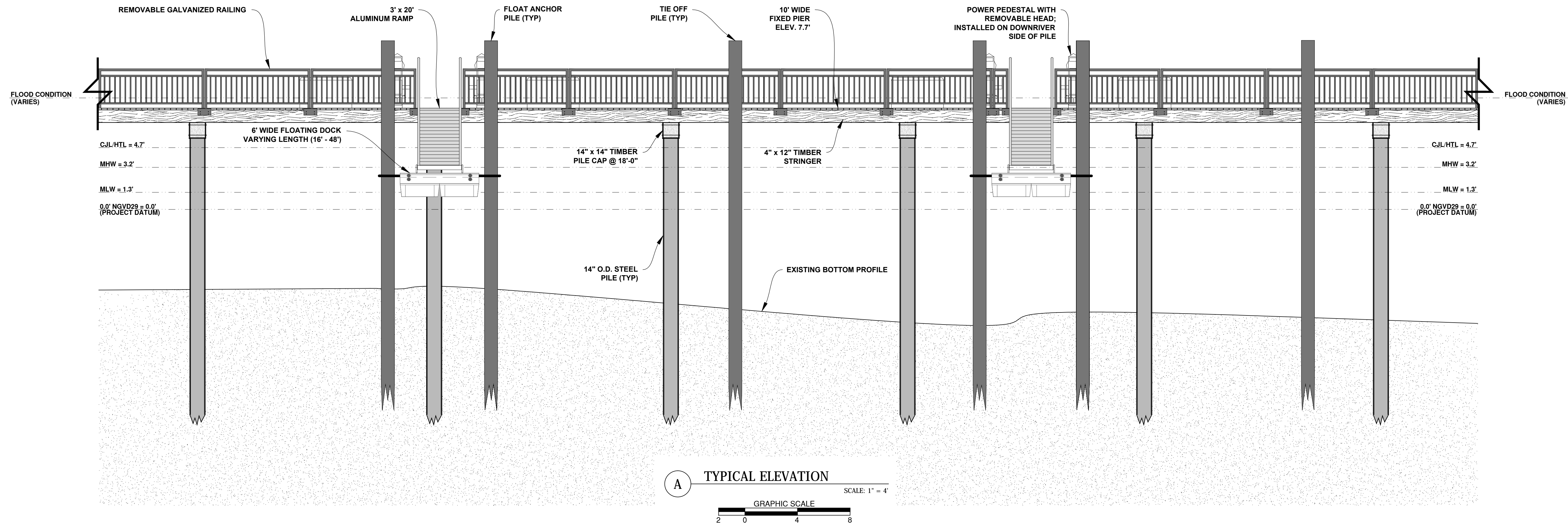
PRELIMINARY DESIGN
CONN. RIVER DOCKING FACILITY

GOODWIN COLLEGE, INC.
125, 133 & 195 RIVERSIDE DRIVE
EAST HARTFORD, CONNECTICUT

NOVEMBER 23, 2016

SCALE: 1" = 40'

SHEET 1 OF 2



Coastline Consulting & Development
 57-B East Industrial Road, Branford, CT 06405
 (203) 433-4486

PRELIMINARY DESIGN DETAIL VIEWS
 CONN. RIVER DOCKING FACILITY

GOODWIN COLLEGE, INC.
 125, 133 & 195 RIVERSIDE DRIVE
 EAST HARTFORD, CONNECTICUT

NOVEMBER 23, 2016

SCALE: 1" = 4'

SHEET 2 OF 2