

EAST HARTFORD PLANNING AND ZONING COMMISSION

APPLICATION FOR THE SUBDIVISION OF LAND

PRELIMINARY LAYOUT

9/25/17
Date

The undersigned hereby applies to the Town Planning and Zoning Commission for preliminary layout approval of the following subdivision.

Resubdivision - Proposed Lots 2-1 & 2-2
Map Title: Pratt & Whitney Aircraft - Willgoos Facility

This proposal involves: Subdivision _____ Resubdivision X

Address or location of subject parcel: One Pent Road East Hartford, CT

Assessor's Map # & Lot # Map 9, Lot 1

Total area of proposed subdivision: 54.3± Acres

by section: _____

Total Number of Lots: 2 Lots Proposed

by section: _____

Zone of subject parcel: I-3

APPLICANT/SUBDIVIDER (if more than one, list on a separate sheet)

Name: Goodwin College, Inc. SIGNATURE: [Signature]
Print or Type

Address: _____
Telephone: (Work) (860) 528-4111 (Home) _____

Signature: _____

() Owner () Optionee (x) Buyer () Agent - Check one

OWNER (S) OF RECORD (If other than applicant) If more than one, list on a separate sheet)
(One Pent Road)

Name: Pratt & Whitney Aircraft c/o Willgoos Plant

Address: One Pent Road East Hartford, CT

Telephone: (Work) 860 565-0886 (Home) _____

Signature: [Signature] 9/21/17

(If agent signs, a letter of authorization from the Owner (s) must accompany this application.)

(Please circle Yes & No Questions)

Environmental Data:

☒ Yes No Are there areas of FEMA Flood Hazard Zone within the Boundaries of the proposed subdivision?

Yes ☒ No Will any activity take place in these areas?

☒ Yes No Are there areas of designated Inland Wetlands within the Boundaries of the proposed subdivision?

Yes ☒ No Will any activity take place in these areas?

☒ Yes No Water Supply
Is public water available within or at periphery of proposed Subdivision?

_____ If not, how far distant is public water available, measured along a public right-of-way?

☒ Yes No Is the public water system to be extended to serve proposed Subdivision?

☒ Yes No Sanitary Sewage Disposal:
Is public sewage system available within or at periphery of proposed subdivision?

_____ If not, how far distant is public sewage system available, measured along a public right-of-way?

☒ Yes No Will the required sewage system within the subdivision be capped or connected to the public sewer system?

Yes ☒ No Has the Zoning Board of Appeals granted any variance or permit concerning this property? If so, full information must be attached.

☒ Yes No Is any waiver from the "Subdivision Regulations" requested?

See Attachment A

If so, provide an attachment which identifies Section, Sub section and the reason for such request. (Failure to identify request for waivers herewith may be grounds for denial.)

Subdivision Name: Resubdivision Proposed Lots 2-1 & 2-2 - Pratt & Whitney Aircraft - Willgoos Facility

I, the undersigned, as engineer or land surveyor for the above designated subdivision, have complied with the requirements of the East Hartford Subdivision Regulations for preliminary layouts, and in particular with the detailed provisions of the following sections and subsections:

1. Section 1.2 Professional Responsibility in Subdivision Work
2. Section 4.5 Key Map and 4.6 Preliminary Layout Requirements
3. Article VIII Required Improvements and Design Standards

Galen Semprebbon, P.E., LEED AP

Registered Professional
Engineer

#16747

License No.

Jonathan Tarbox, L.S.

Licensed Land Surveyor

#70075

License No.

PRELIMINARY SUBDIVISION LAYOUT CHECKLIST

Applicant: Goodwin College, Inc.

Phone: (860) 528-4111

Complete compliance with all application requirements enumerated in the Subdivision Regulations is required. A checklist for the basic items of submission follows: Have you included the following with your application?

(Please mark X if item is complete)

1) **20** copies of the completed application, which includes the following:

- a) Applicant's Signature on Page 1 X
- b) Owner's Signature on Page 1 X
- c) If representative of the Corporation signs, a corporate Resolution.

2) Application fee - \$90.00 per lot, \$200.00 minimum
(Includes \$60.00 State Fee, per PA 92-235) X

3) **20** copies of a key map showing the proposed street system, lot arrangement zoning of the subdivision and the land located within 600 feet of its boundaries. X

4) **20** copies of an accurate, certified site plan showing existing site conditions within 200 feet as required Section 4.61).

5) **20** sets of a preliminary storm water drainage system plan X

6) **20** copies of approval letters from Zoning Board of Appeals or Inland Wetlands agency if required. N/A

7) Supplementary information included
Please specify: N/A

8) **One complete set of application and maps which the applicant must file with the Town Clerk on or before the application close-out date.** X

NOTE: Contact Application Administrator at 291-7300 for further assistance.



ATTACHMENT A

RESUBDIVISION PROPOSED LOTS 2-1 & 2-2 N/F PRATT & WHITNEY AIRCRAFT - WILLGOOS FACILITY

One Pent Road, East Hartford, CT

- The subject parcel is comprised of approximately 54.3 acres.
- The subject parcel is zoned Industrial I-3. A zone change for Lot 2-1 from I-3 (Industrial Zone) to DDD-1 (Design Development District 1) will be requested as part of a Zoning Map Change application that will be submitted concurrently with this Subdivision application.
- The property will be resubdivided into proposed lots 2-1 and 2-2. Lot 2-1 will consist of 8.023 acres. Lot 2-2 will consist of approximately xxxxx acres.
- I-3 Lot Sizes and Areas: 40,000 sf (min); shape to allow 200' x 200' square that will fit on the lot behind and touching the required setback of the front yard. A waiver for 200' x 200' square requirement in the Zoning Regulations was granted on June 8, 2011 by the Planning and Zoning Commission for Lot 1. A waiver is requested for Lot 2-1 for this same waiver as part of the Zoning Map Change application.
- Lot 2-1 has no frontage. Lot 2-1 will be accessed by High Street/Pent Road through an existing easement granted by N/F Goodwin College, Inc. on Two Pent Road.
- Lot 2-2 has frontage on High Street. Lot 2-2 will also be accessed by High Street/Pent Road through a proposed access easement that is coincident with the existing access easement on Lot 2-1 described above.
- Utility easements have been established to allow access to Lot 2-1 to existing sanitary and storm sewer infrastructure. Utility easements will be developed to allow Lot 2-2 to access existing storm sewer infrastructure.
- Portions of Lot 2-2 are subject to Environmental Land Use Restrictions (ELURs).

Site – Requested Waivers

Town of East Hartford Subdivision Regulations

- Section 4.6B(4)(b) – Graphic Scale of 1"=40' or 1"=20'. Due to the size and configuration of the site it is requested that the Preliminary Layout Plans be prepared at a scale of 1"=60'.
- Section 4.6D(7) – Seepage Test and Boring Data. There are no on-site septic systems or underground stormwater detention/retention systems proposed. Therefore, it is requested that the requirement to perform on-site seepage/percolation tests and soil borings be waived.
- Section 4.6D(10) – Valuable Site Resources Mapping. It is requested that the requirement to provide the subject information of subsections a, c and d within 200' of the subdivision boundaries is waived. This information will be provided for the subject property only. For subsections b, e, f, g, h, i and j, it is requested that the requirement to

provide this information for the subject property or surrounding properties be waived. This is due to the former industrial use of the site as well as the proposed use.

- Section 4.6E(3, 4, 5) – Proposed Site Conditions. It is requested that the requirement to provide proposed topography, sewerage disposal system and preliminary stormwater drainage system plan be waived. This information will be provided as part of the Site Plan application which will be submitted separately. A draft plan is included in the Resubdivision Drawing Set for reference but is subject to change prior to the submission of the formal Site Plan application.
- Section 5.4(K) – Conservation Plan. It is requested that the requirement to provide a Conservation Plan be waived. This information will be provided as part of the Site Plan application which will be submitted separately. A draft plan is included in the Resubdivision Drawing Set for reference but is subject to change prior to the submission of the formal Site Plan application.
- Section 5.5 – Public Improvements & Utilities Plan and Profiles. It is requested that the requirement to provide a Public Improvements & Utilities Plan and Profiles be waived. This information will be provided as part of the Site Plan application which will be submitted separately. A draft plan is included in the Resubdivision Drawing Set for reference but is subject to change prior to submission of the formal Site Plan application.
- Section 8 – Required Improvements and Design Standards. With the exception of the proposed lot lines and easements, it is requested that the requirements to show to proposed layout of the subject property be waived. This information will be provided as part of the Site Plan application which will be submitted separately. A draft plan is included in the Resubdivision Drawing Set for reference but is subject to change prior to submission of the formal Site Plan application.
- Section 9 – Open Space, Parks & Playgrounds. It is requested that the requirement to provide open space as part of this subdivision be waived. The proposed subdivision is associated with the Goodwin College River Campus Master Plan. Sufficient open space is provided as part of the requirements of the Master Plan.

Site – Requested Waivers – To be requested as part of the Zoning Map Change Application
Town of East Hartford Zoning Regulations

- Section 503.4 Lot Sizes and Areas. A waiver to the 25' rear yard setback requirement is required to allow the existing building on Lot 2-1 to be located 10' from the proposed property line. This waiver will be requested as part of the Zoning Map Change application that will be submitted concurrently with this Subdivision Application.
- Section 503.4 – 200' X 200' Square. A waiver to allow a 200' X 200' square that does not touch the front property line on lot 2-1. This waiver will be requested as part of the Zoning Map Change application that will be submitted concurrently with this Subdivision Application.



EAST HARTFORD PLANNING AND ZONING COMMISSION

APPLICATION FOR THE SUBDIVISION OF LAND

FINAL LAYOUT

9/25/17
Date

The undersigned hereby applies to the Town Planning and Zoning Commission for final layout approval of the following subdivision.

Resubdivision Proposed Lots 2-1 & 2-2
Map Title: Pratt & Whitney - Willgoos Facility

Address of location of subject parcel: One Pent Road East Hartford, CT

Assessors Map, Lot # Map 9, Lot 1

Total area of proposed subdivision: 54.3± Acres

by Section: _____

Total Number of Lots: 2 Lots Proposed

by section: _____

Zone of subject parcel: I-3

Names of proposed streets: No new streets are proposed as part of the resubdivision

APPLICANT/SUBDIVIDER (If more than one, list on a separate sheet)

Name: Goodwin College, Inc.

Signature: [Signature]

Print or Type

Address: One Riverside Drive East Hartford, CT 06108

Telephone: (Work) (860) 528-4111

(Home) _____

OWNER (S) OF RECORD (If other than applicant) (If more than one, list on a separate sheet)

Name: Pratt & Whitney Aircraft c/o Willgoos Plant

Address: One Pent Road East Hartford, CT 06108

Telephone: (Work) [Signature]

(Home) _____

Signature: [Signature]

(If agent signs, a letter of authorization from the owners) must accompany this application.)

Approved N/A

(If required, application will be provided when
it is submitted to the Town)

Application for Development in a Flood
Hazard Zone. (Attached)

Approved N/A

(If required, application will be provided when
it is submitted to the Town)

Application to conduct a regulated
activity in an Inland Wetlands
(Attached approval letter)

Identify any waiver from Subdivision Regulations granted at preliminary layout submission
The list of requested waivers are included in Attachment A of the Preliminary Layout Application.

Attach copy of Town Planning and Zoning Commission approval of preliminary layout
application.

FORM - F3
PAGE #2

Acknowledgement of Requirements - Final layout

Date: 9/25/17

Subdivision Name: Resubdivision Proposed Lots 2-1 & 2-2 - Pratt & Whitney Aircraft - Willgoos Facility

I, the undersigned, as engineer or land surveyor for the above designated subdivision, have complied with the requirements of the East Hartford Subdivision Regulations for final plats, and in particular with the detailed provisions of the following subsections:

1. Section 5.0 concerning the elements of a complete submission.
2. Section 5.2 concerning final layout requirements.

Galen Semprebon, P.E., LEED AP
Registered Professional Engineer

License No. #16747

Jonathan Tarbox, L.S.
Licensed Land surveyor

License No. #70075

GOODWIN COLLEGE RIVER CAMPUS

PRATT & WHITNEY AIRCRAFT - WILLGOOS FACILITY

RESUBDIVISION

PROPOSED LOTS 2-1 & 2-2

ONE PENT ROAD
EAST HARTFORD, CT

SEPTEMBER 25, 2017

GENERAL NOTES

- 1. SITE ELEVATIONS BASED ON NGVD 29.
- 2. BEARINGS ARE BASED ON THE CONNECTICUT COORDINATE SYSTEM, NAD 83.
- 3. ADJOINING TOPOGRAPHIC AND BUILDING LOCATION BASED ON MDC MAPPING.
- 4. PROPOSED LOTS 2-1 AND 2-2 TO BE SERVED BY MDC SEWER AND WATER.
- 5. PROPOSED LOT 2-1 TO BE PURCHASED BY GOODWIN COLLEGE, INC.
- 6. PROPOSED LOT 2-2 TO REMAIN THE PROPERTY OF N/F PRATT & WHITNEY AIRCRAFT.
- 7. A ZONING MAP CHANGE APPLICATION WILL BE SUBMITTED CONCURRENTLY WITH THIS RESUBDIVISION APPLICATION TO REQUEST A ZONE CHANGE FOR PROPOSED LOT 2-1 FROM I-3 (INDUSTRIAL ZONE) TO DDD-1 (DESIGN DEVELOPMENT DISTRICT 1).
- 8. GOODWIN COLLEGE, INC WILL BE SUBMITTING A SITE PLAN APPLICATION FOR THE APPROVAL OF THE GOODWIN COLLEGE RIVER ACADEMY MANUFACTURING ANNEX ON PROPOSED LOT 2-1. DRAFT PLANS ARE ATTACHED FOR REFERENCE BUT ARE SUBJECT TO CHANGE PRIOR TO FORMAL SUBMISSION OF THE SITE PLAN APPLICATION.

PROPOSED WAIVERS

EAST HARTFORD SUBDIVISION REGULATIONS

- SECTION 4.6B(4)(b) - GRAPHIC SCALE OF 1" = 40' OR 1" = 20'
- SECTION 4.6D(7) - SEEPAGE TEST AND BORING DATA
- SECTION 4.6D(10) - VALUABLE SITE RESOURCES MAPPING
- SECTION 4.6E(3,4,5) - PROPOSED SITE CONDITIONS
- SECTION 5.4(K) - CONSERVATION PLAN
- SECTION 5.5 - PUBLIC IMPROVEMENTS AND UTILITIES PLAN AND PROFILES
- SECTION 8 - REQUIRED IMPROVEMENTS AND DESIGN STANDARDS
- SECTION 9 - OPEN SPACE, PARKS AND PLAYGROUNDS

EAST HARTFORD ZONING REGULATIONS - TO BE REQUESTED AS PART OF ZONING MAP CHANGE APPLICATION (SEE NOTE 7)

SECTION 503.4 - A WAIVER TO THE 25' REAR YARD SETBACK REQUIREMENT TO ALLOW THE EXISTING BUILDING ON PROPOSED LOT 2-1 TO BE LOCATED 10' FROM THE PROPOSED REAR LOT LINE.

SECTION 503.4 - A WAIVER TO ALLOW A 200'X200' SQUARE THAT DOES NOT TOUCH THE REQUIRED SETBACK OF THE FRONT YARD WITHIN LOT 2-1.

TOWN OF EAST HARTFORD
PLANNING & ZONING COMMISSION
FINAL SUBDIVISION APPROVAL

APPROVAL DATE: _____
WORK MUST COMMENCE BY: _____
EXPIRATION DATE: _____

CHAIRMAN

NOTES:

1. THE DEVELOPER SHALL NOTIFY THE TOWN OF EAST HARTFORD ENGINEERING DIVISION 24 HOURS PRIOR TO BEGINNING ANY STORM DRAINAGE, ROADWAY PREPARATION, PAVING, SIDEWALK, CURBING, STREET LINE MONUMENTATION, PROPERTY CORNER PINS, ETC., TO SCHEDULE INSPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:30 A.M. - 4:30 P.M. AT 291-7380.

2. THE TOWN SHALL BE NOTIFIED IN WRITING AT LEAST 2 DAYS IN ADVANCE OF THE PRE-CONSTRUCTION MEETING BETWEEN THE CONTRACTOR AND THE ENGINEER.

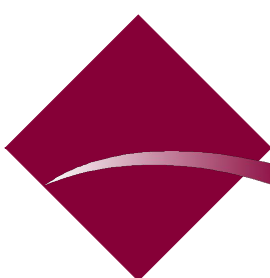
PREPARED FOR:



GOODWIN
COLLEGE

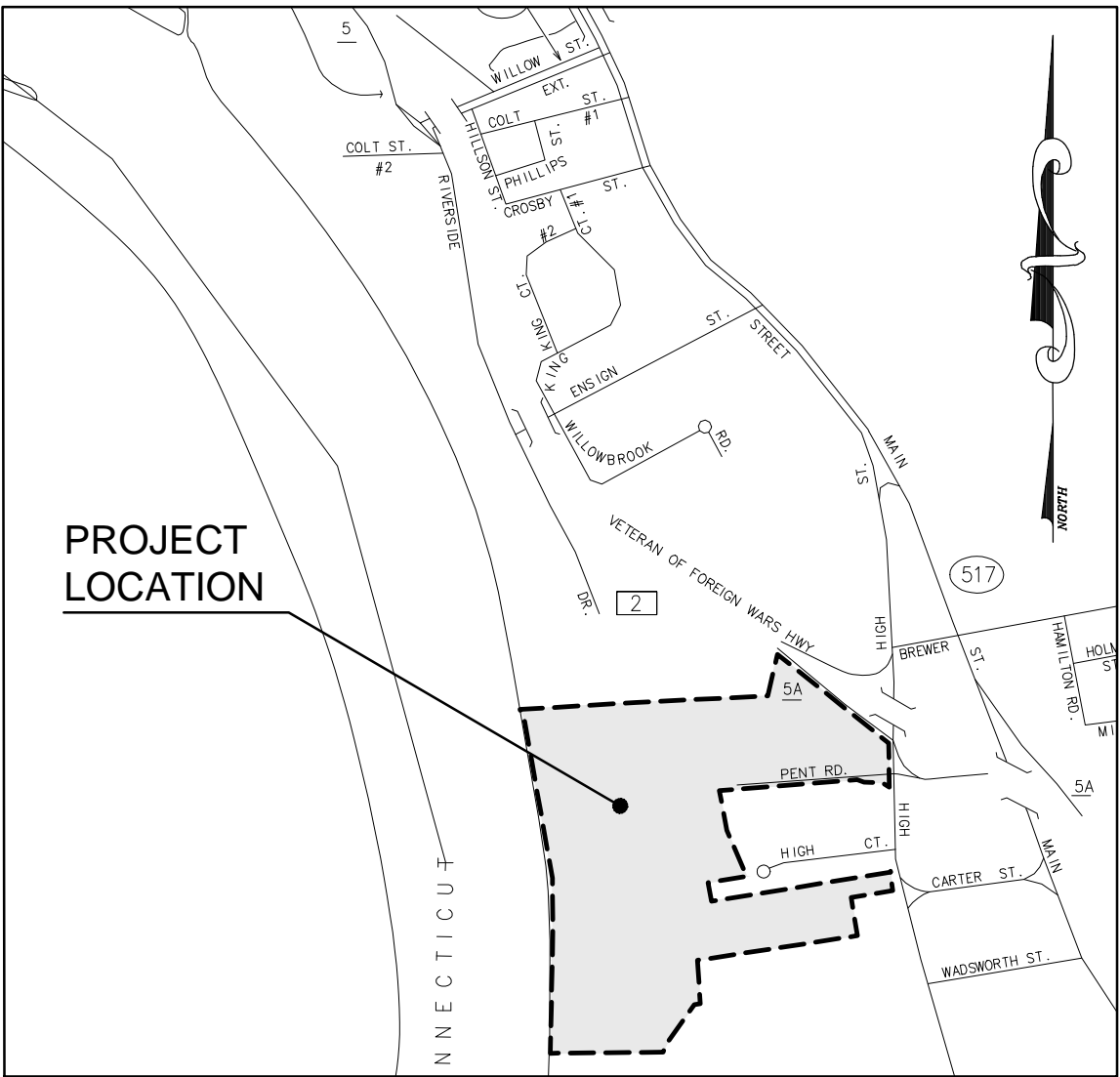
ONE RIVERSIDE DRIVE
EAST HARTFORD, CT
(860) 528-4111

PREPARED BY:



ZUVIC • CARR
AND ASSOCIATES
CONSULTING ENGINEERS

40 Cold Spring Road • Rocky Hill, CT 06067
Phone 860.436.4901 • Fax 860.436.4953

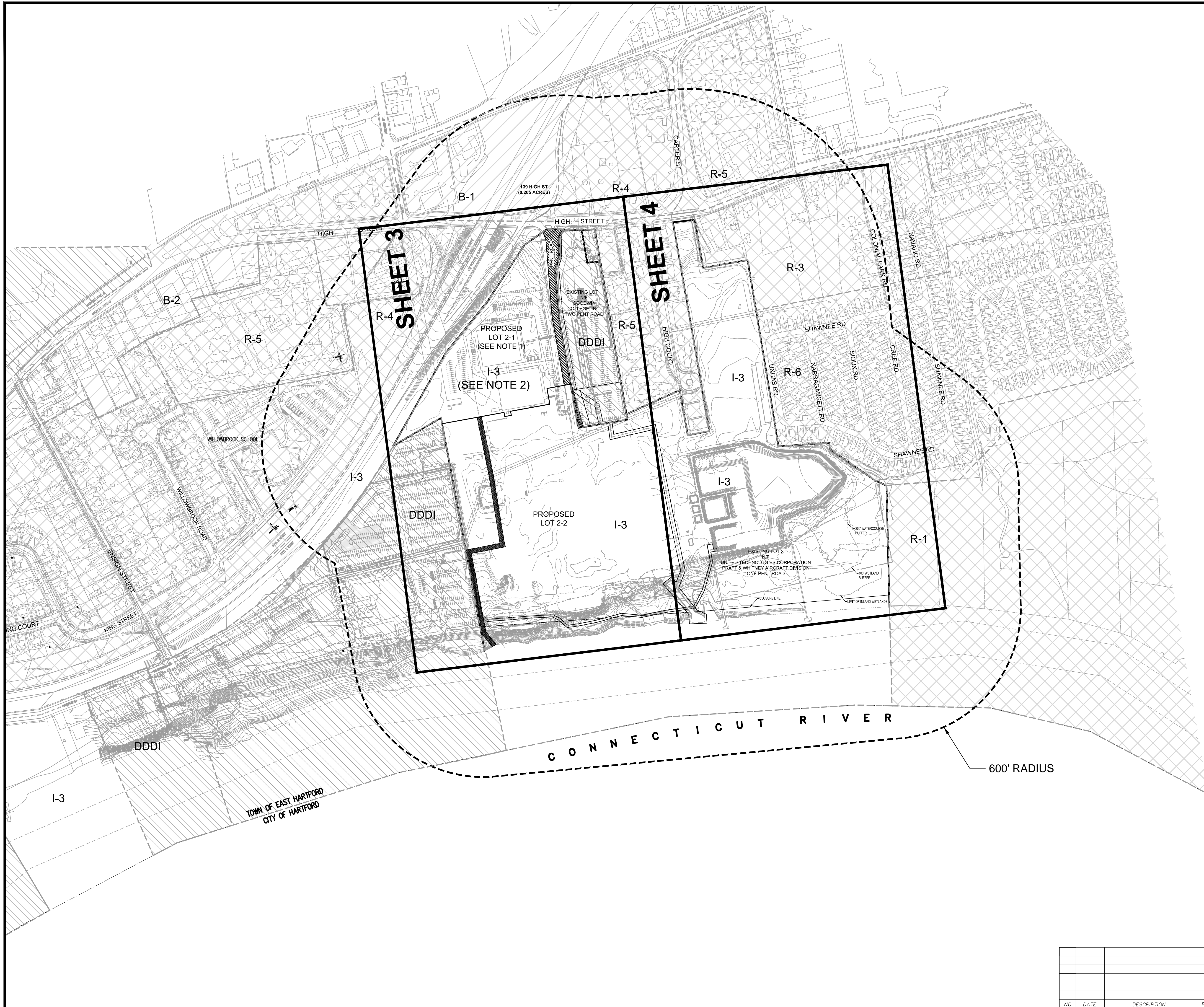


LOCATION PLAN




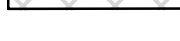

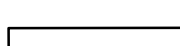
SCALE: 1"=1000'

DRAWING LIST

--	TITLE SHEET
SHEET 1 OF 4	KEY MAP
SHEET 2 OF 4	RECORD SUBDIVISION PLAN
SHEET 3 OF 4	SUBDIVISION LAYOUT PLAN - NORTH
SHEET 4 OF 4	SUBDIVISION LAYOUT PLAN - SOUTH
GOODWIN COLLEGE CONNECTICUT RIVER ACADEMY MANUFACTURING ANNEX (SEE NOTE 8)	
SHEET L-102	LAYOUT PLAN
SHEET L-301	UTILITY PLAN
SHEET L-401	PLANTING PLAN



LEGEND

 ZONE DISTRICT BOUNDARY
 PROPOSED PROPERTY LINES
 EXISTING RESIDENTIAL ZONES (R-1, R-3, R-4, R-5 and R-6)
 EXISTING BUSINESS ZONES (B-2, AND B-4)
 EXISTING INDUSTRIAL ZONE (I-3)
 EXISTING DISTRICT ZONE (DDDI)

EAST HARTFORD ZONING DATA			
EXISTING ZONE - INDUSTRIAL (I-3)			
SITE AREA:		TWO PENT RD. - TOTAL -	54.3± ACRES
		Lot 2-1 -	8,013 ACRES
		Lot 2-2 -	46.3± ACRES
SITE REQUIREMENTS		REQUIRED	PROPOSED
SETBACKS (FEET)	FRONT	25'	25' MIN.
	REAR	25'	SEE NOTE 1
	SIDE	25' with no side yard less than 10'	10'/15'
MINIMUM LOT SIZE		40,000 SF	349,036 SF (Lot 2-1) 2,016,877± SF (Lot 2-2)

NOTE:

1. A 15' WAIVER IS REQUESTED AS PART OF THE ZONING MAP CHANGE APPLICATION TO THE 25' REAR YARD REQUIREMENT TO ALLOW A REAR YARD SETBACK OF 10' TO THE EXISTING BUILDINGS ON PROPOSED LOT 2-1.
2. A ZONING MAP CHANGE APPLICATION WILL BE SUBMITTED CONCURRENTLY WITH THIS SUBDIVISION APPLICATION TO REQUEST A ZONE CHANGE FOR PROPOSED LOT 2-1 FROM I-3 (INDUSTRIAL ZONE) TO DDD-1 (DESIGN DEVELOPMENT DISTRICT 1).

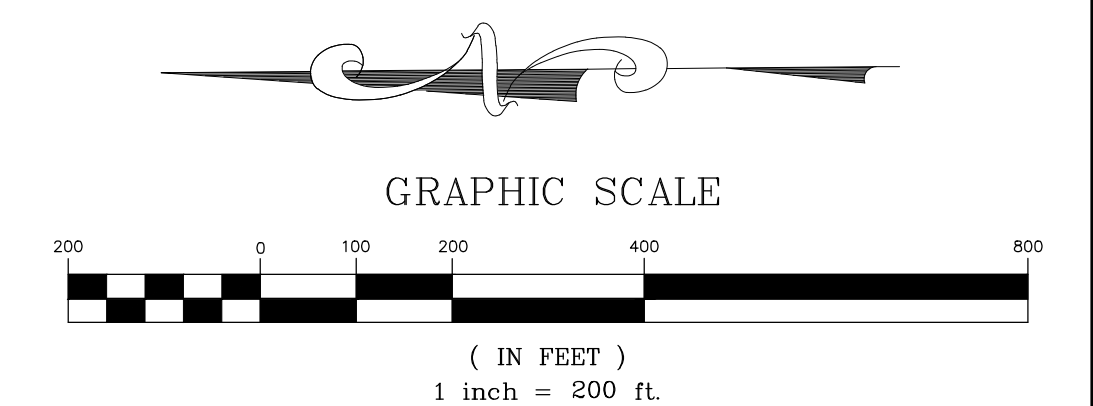
*TOWN OF EAST HARTFORD
PLANNING & ZONING COMMISSION
FINAL SUBDIVISION APPROVAL*

APPROVAL DATE: _____

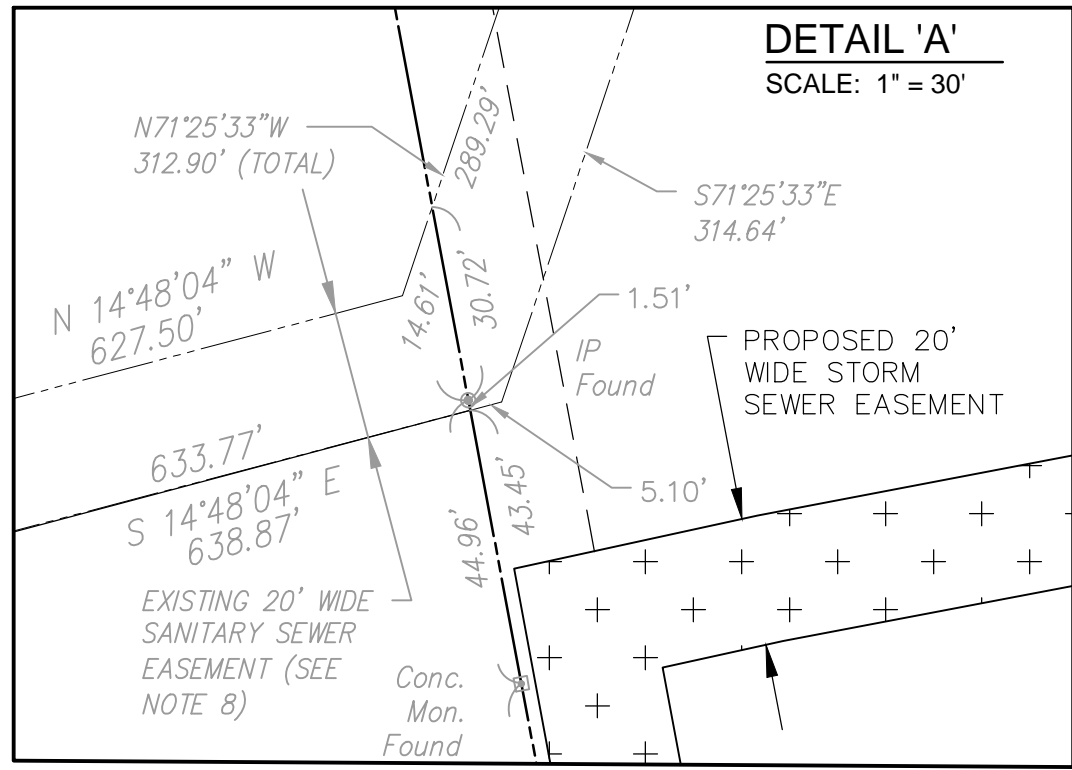
WORK MUST COMMENCE BY: _____

EXPIRATION DATE: _____

_____ CHAIRMAN



<p style="text-align: center;">KEY MAP</p> <p style="text-align: center;">54.3± ACRE PARCEL O'CONNELL SCHOOL DISTRICT RESUBDIVISION - PROPOSED LOTS 2-1, 2-2, 2-3, & 2-4 PRATT & WHITNEY AIRCRAFT-WILLGOOS FACILITY ONE PENT ROAD, EAST HARTFORD, CONNECTICUT</p>		
PREPARED FOR:	GOODWIN COLLEGE INC. ONE RIVERSIDE DRIVE EAST HARTFORD, CT (860) 528-4111	FILE 1562
		DATE SEP. 25, 2017
PREPARED BY:	ZUVIC, CARR AND ASSOCIATES INC. 40 COLD SPRING ROAD, ROCKY HILL, CT OFFICE (860)436-4901 FAX (860)436-4953 GALEN SEMPREBON, P.E., LEED AP #16747 JONATHAN BARBOX L.S. #700705	SCALE 1"=200'
		SHEET 1 of 4



HIGH STREET

LEGEND

- EXISTING IRON PIN/PIPE
- EXISTING MONUMENT
- IRON PIN TO BE SET
- MONUMENT TO BE SET
- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- EXISTING EASEMENT LINE

ABBREVIATIONS

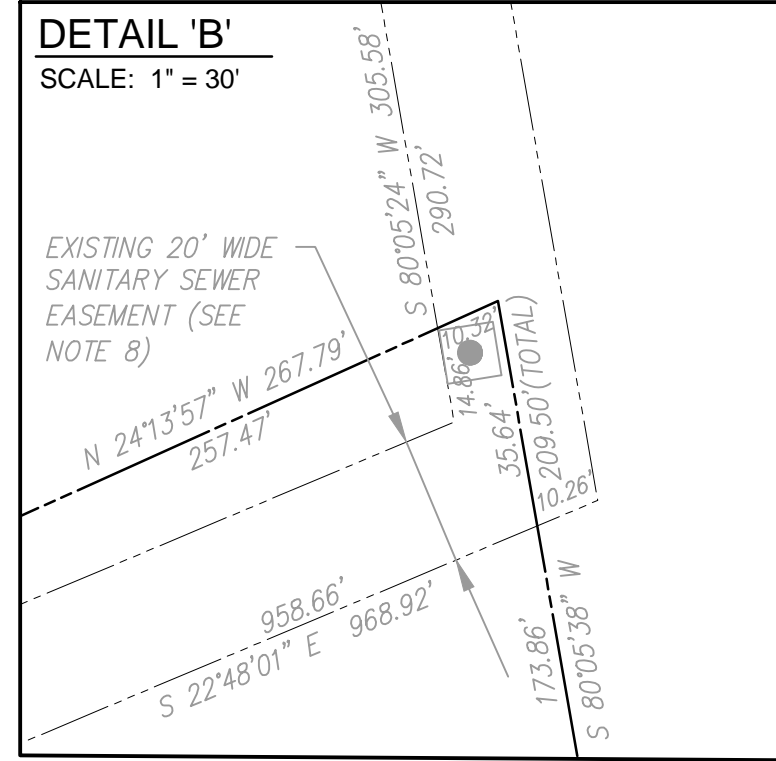
- FY FRONT YARD
- SY SIDE YARD
- RY REAR YARD
- CONC. CONCRETE
- MON. MONUMENT
- CHD CONNECTICUT HIGHWAY DEPARTMENT
- IP IRON PIN/PIPE
- M.H.W. MEAN HIGH WATER
- ELEC. ELECTRIC
- SF SQUARE FEET
- AC ACRES

PROPOSED EASEMENTS

- PROPOSED ACCESS & UTILITY EASEMENT IN FAVOR OF LOT 2-2 TO BE GRANTED BY LOT 2-1 (SEE NOTE 12)
- PROPOSED STORM SEWER EASEMENT IN FAVOR OF LOT 2-1 TO BE GRANTED BY LOT 2-2

NOTES

- THIS SURVEY AND MAP WERE PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996. IT IS A PERIMETER SURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2 AND IS INTENDED TO DEPICT DEED LINES, LINES OF OCCUPATION, EASEMENTS, ENCROACHMENTS AND ENCUMBRANCES AFFECTING THE PROPERTY. THE PROPERTY/BOUNDARY DETERMINATION OPINION PRESENTED HEREON IS BASED ON A RESURVEY.
- REFERENCE IS HEREBY MADE TO THE FOLLOWING MAPS ENTITLED:
 - "PERIMETER SURVEY, LAND NOW OR FORMERLY UNITED TECHNOLOGIES CORPORATION, PRATT & WHITNEY AIRCRAFT DIVISION, 1 PENT ROAD, EAST HARTFORD, CONNECTICUT" PREPARED FOR GOODWIN COLLEGE, PREPARED BY ZUVIC ASSOCIATES INC., SCALE 1"=60', DATED FEBRUARY 14, 2010.
 - "GOODWIN COLLEGE RIVER CAMPUS, PROPOSED 2-LOT SUBDIVISION, PRATT & WHITNEY AIRCRAFT - WILLGOOS FACILITY, ONE PENT ROAD, EAST HARTFORD, CT" PLAN SET DATED JANUARY 20, 2012, PREPARED FOR GOODWIN COLLEGE, PREPARED BY ZUVIC, CARR AND ASSOCIATES.
- BEARINGS ARE BASED ON THE CONNECTICUT COORDINATE SYSTEM, NAD83.
- THE PURPOSE OF THIS PLAN IS TO DEPICT THE RESUBDIVISION OF EXISTING LOT 2 OF N/F PRATT & WHITNEY AIRCRAFT INTO PROPOSED LOTS 2-1 AND 2-2.
- THE SUBDIVISION OF ONE PENT ROAD INTO EXISTING LOT 1 (CURRENTLY KNOWN AS TWO PENT ROAD) AND EXISTING LOT 2 (CURRENTLY KNOWN AS ONE PENT ROAD) WAS APPROVED BY THE EAST HARTFORD PLANNING AND ZONING COMMISSION IN 2012.
- LOTS 2-1 AND 2-2 ARE SUBJECT TO A SANITARY SEWER EASEMENT IN FAVOR OF THE HOCKANUM SEWER DISTRICT, OR THEIR SUCCESSORS AS RECORDED IN VOLUME 54, PAGE 539 OF THE EAST HARTFORD LAND RECORDS.
- EXISTING LOT 2 IS SUBJECT TO A RIGHT TO PASS AND REPASS IN FAVOR OF VINCENT C. BREWER AND VINCENT C. BREWER, JR., OR THEIR SUCCESSORS AS RECORDED IN VOLUME 146, PAGE 577 OF THE EAST HARTFORD LAND RECORDS.
- LOT 2-2 IS SUBJECT TO A 20' WIDE SANITARY SEWER EASEMENT IN FAVOR OF THE METROPOLITAN DISTRICT COMMISSION AS RECORDED IN VOLUME 169, PAGE 252 AND VOLUME 169, PAGE 540 AND AS MODIFIED IN VOLUME 263, PAGE 464 TO ALLOW ENCROACHMENT OF AN ELECTRICAL DUCT LINE AND MANHOLE. ALL ABOVE ARE AS RECORDED IN THE EAST HARTFORD LAND RECORDS.
- LOT 2-1 IS SUBJECT TO STORM SEWER RIGHTS IN FAVOR OF BROOKSIDE COMMONS, LIMITED PARTNERSHIP AS RECORDED IN VOLUME 223, PAGE 458.
- LOT 2-1 IS TOGETHER WITH A UTILITY EASEMENT ACROSS LAND NOW OR FORMERLY OF THE STATE OF CONNECTICUT AS RECORDED IN VOLUME 294, PAGE 513 OF THE EAST HARTFORD LAND RECORDS.
- LOT 2-2 IS SUBJECT TO AN EASEMENT IN FAVOR OF BUCKEYE PIPELINE COMPANY, L.P. AS RECORDED IN VOLUME 334, PAGE 347, VOLUME 380, PAGE 447, VOLUME 419, PAGE 101 AND VOLUME 777, PAGE 339 OF THE EAST HARTFORD LAND RECORDS.
- THE PROPOSED ACCESS AND UTILITY EASEMENT ON PROPOSED LOT 2-1 SHALL BE COINCIDENT WITH THE EXISTING ACCESS EASEMENT IN FAVOR OF EXISTING LOT 1 (27,230.25 SF).
- A WAIVER TO SECTION 503.4 OF THE ZONING REGULATIONS WAS APPROVED BY THE EAST HARTFORD PLANNING AND ZONING COMMISSION ON JUNE 11, 2011 FOR LOT 1 TO ALLOW A 200' BY 200' SQUARE THAT DOES NOT MEET THE REQUIREMENT FOR TOUCHING THE REQUIRED FRONT YARD SETBACK. A WAIVER FOR LOT 2-1 IS REQUESTED AS PART OF THE ZONING MAP CHANGE APPLICATION.
- A WAIVER TO THE 25' REAR YARD SETBACK REQUIREMENT PER SECTION 503.4 OF THE ZONING REGULATIONS IS REQUESTED TO ALLOW FOR THE EXISTING BUILDING ON PROPOSED LOT 2-1 TO BE LOCATED WITHIN 10' OF THE PROPOSED PROPERTY LINE. THE WAIVER IS REQUESTED AS PART OF THE ZONING MAP CHANGE APPLICATION THAT HAS BEEN SUBMITTED CONCURRENTLY WITH THIS SUBDIVISION APPLICATION.



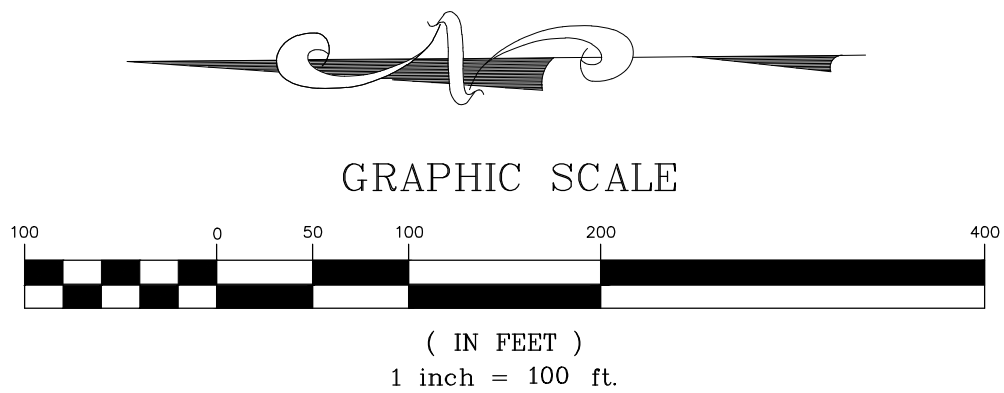
SEE DETAIL 'B'

EXISTING LOT 2
N/F
PRATT & WHITNEY AIRCRAFT
c/o WILLGOOS PLANT
ONE PENT ROAD
TOTAL AREA = 54.3± AC
(SEE NOTES 4 & 5)

TOWN OF EAST HARTFORD
PLANNING & ZONING COMMISSION
FINAL SUBDIVISION APPROVAL

APPROVAL DATE: _____
WORK MUST COMMENCE BY: _____
EXPIRATION DATE: _____

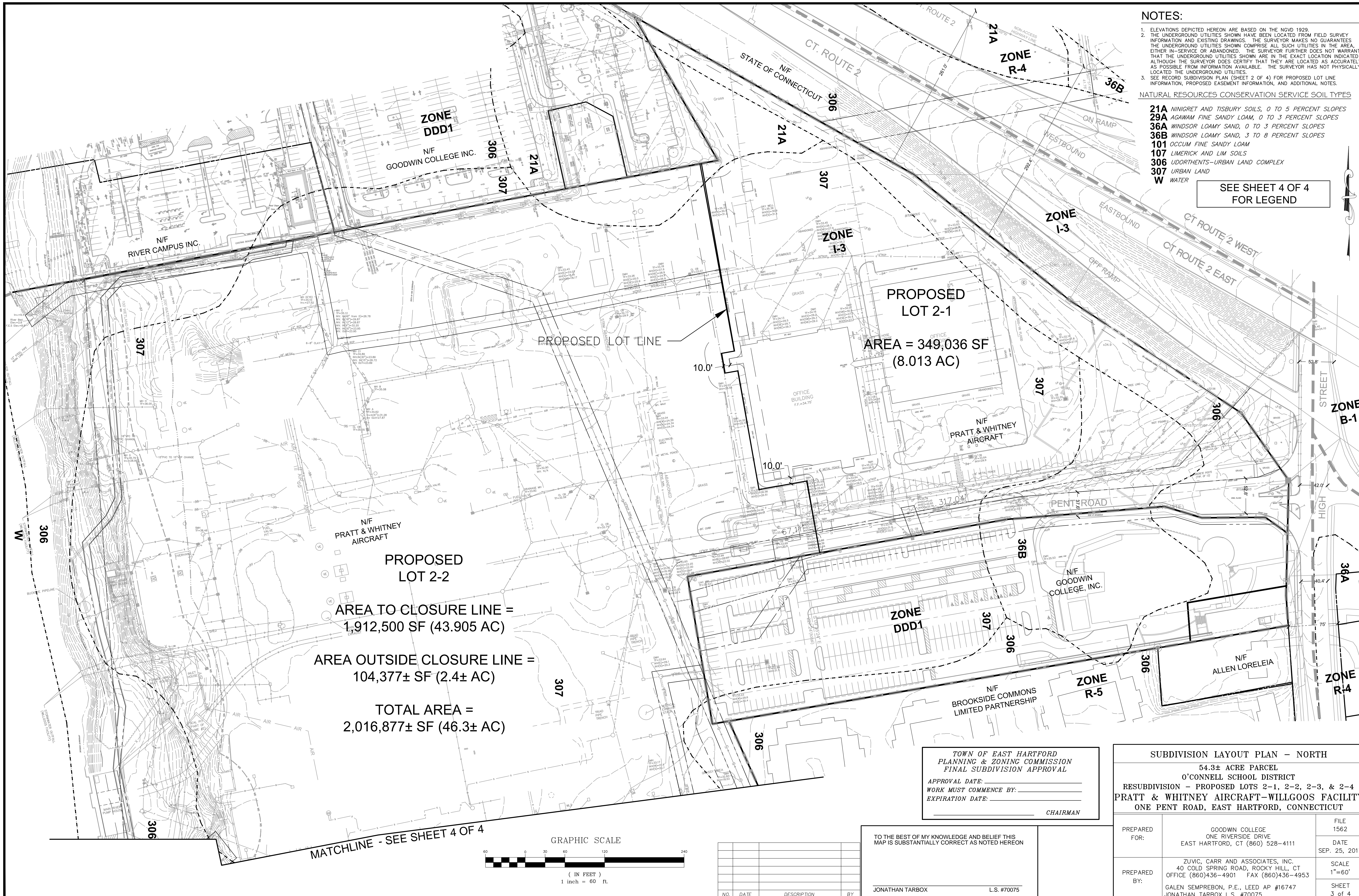
CHAIRMAN



RECORD SUBDIVISION PLAN		
54.3± ACRE PARCEL O'CONNELL SCHOOL DISTRICT RESUBDIVISION - PROPOSED LOTS 2-1 & 2-2 PRATT & WHITNEY AIRCRAFT-WILLGOOS FACILITY ONE PENT ROAD, EAST HARTFORD, CONNECTICUT		
PREPARED FOR:	GOODWIN COLLEGE ONE RIVERSIDE DRIVE EAST HARTFORD, CT (860) 528-4111	FILE 1562
		DATE SEP. 25, 2017
PREPARED BY:	ZUVIC, CARR AND ASSOCIATES, INC. 40 COLD SPRING ROAD, ROCKY HILL, CT OFFICE (860)436-4901 FAX (860)436-4953 GALEN SEMPREBON, P.E., LEED AP #16747 JONATHAN TARBOX L.S. #70075	SCALE 1"=100'
		SHEET 2 of 4

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS
MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON

JONATHAN TARBOX L.S. #70075



- NOTES:
- ELEVATIONS DEPICTED HEREON ARE BASED ON THE NGVD 1929.
 - THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
 - SEE RECORD SUBDIVISION PLAN (SHEET 2 OF 4) FOR PROPOSED LOT LINE INFORMATION, PROPOSED EASEMENT INFORMATION, AND ADDITIONAL NOTES.

- NATURAL RESOURCES CONSERVATION SERVICE SOIL TYPES
- 21A NINGRET AND TISBURY SOILS, 0 TO 5 PERCENT SLOPES
 - 29A AGAWAM FINE SANDY LOAM, 0 TO 3 PERCENT SLOPES
 - 36A WINDSOR LOAMY SAND, 0 TO 3 PERCENT SLOPES
 - 36B WINDSOR LOAMY SAND, 3 TO 8 PERCENT SLOPES
 - 101 OCCUM FINE SANDY LOAM
 - 107 LIMERICK AND LIM SOILS
 - 306 UDORTHENTS-URBAN LAND COMPLEX
 - 307 URBAN LAND
 - W WATER

SEE SHEET 4 OF 4 FOR LEGEND

PROPOSED LOT 2-2

AREA TO CLOSURE LINE = 1,912,500 SF (43.905 AC)

AREA OUTSIDE CLOSURE LINE = 104,377± SF (2.4± AC)

TOTAL AREA = 2,016,877± SF (46.3± AC)

PROPOSED LOT 2-1

AREA = 349,036 SF (8.013 AC)

TOWN OF EAST HARTFORD
PLANNING & ZONING COMMISSION
FINAL SUBDIVISION APPROVAL

APPROVAL DATE: _____

WORK MUST COMMENCE BY: _____

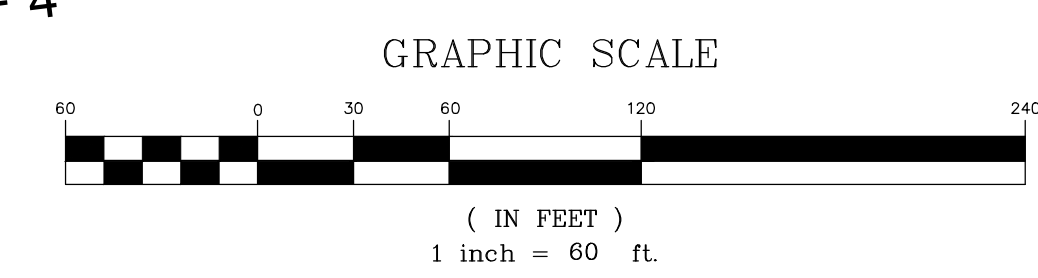
EXPIRATION DATE: _____

CHAIRMAN

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON

JONATHAN TARBOX L.S. #70075

SUBDIVISION LAYOUT PLAN - NORTH		
54.3± ACRE PARCEL O'CONNELL SCHOOL DISTRICT RESUBDIVISION - PROPOSED LOTS 2-1, 2-2, 2-3, & 2-4 PRATT & WHITNEY AIRCRAFT-WILLGOOS FACILITY ONE PENT ROAD, EAST HARTFORD, CONNECTICUT		
PREPARED FOR:	GOODWIN COLLEGE ONE RIVERSIDE DRIVE EAST HARTFORD, CT (860) 528-4111	FILE 1562
PREPARED BY:	ZUVIC, CARR AND ASSOCIATES, INC. 40 COLD SPRING ROAD, ROCKY HILL, CT OFFICE (860)436-4901 FAX (860)436-4953 GALEN SEMPREBON, P.E., LEED AP #16747 JONATHAN TARBOX L.S. #70075	DATE SEP. 25, 2017 SCALE 1"=60' SHEET 3 of 4



NO.	DATE	DESCRIPTION	BY

1 PENT ROAD, EAST HARTFORD, CT 06118

120 HUYSHOPE AVENUE
HARTFORD, CT 06106
860.247.9226

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SITE/CIVIL
Freeman Companies
36 John Street
Hartford, CT 06106
860.251.9550

STRUCTURAL
Michael Horton Associates, Inc.
151 Meadow Street No. 2
Branford, CT 06405
203.481.8600

M/E/P
Innovative Engineering Services, LLC
33 North Plains Industrial Road
Wallingford, CT 06492
203.467.4370

TECHNOLOGY
Guillen Technology Consultants
9 Moody Road Building D Suite 18
Enfield, CT 06082
860.341.1206

P.I.C. _____ L.D. _____

P.M. _____ P.A. _____

ISSUE _____ Issue Date _____

JOB H16050.00

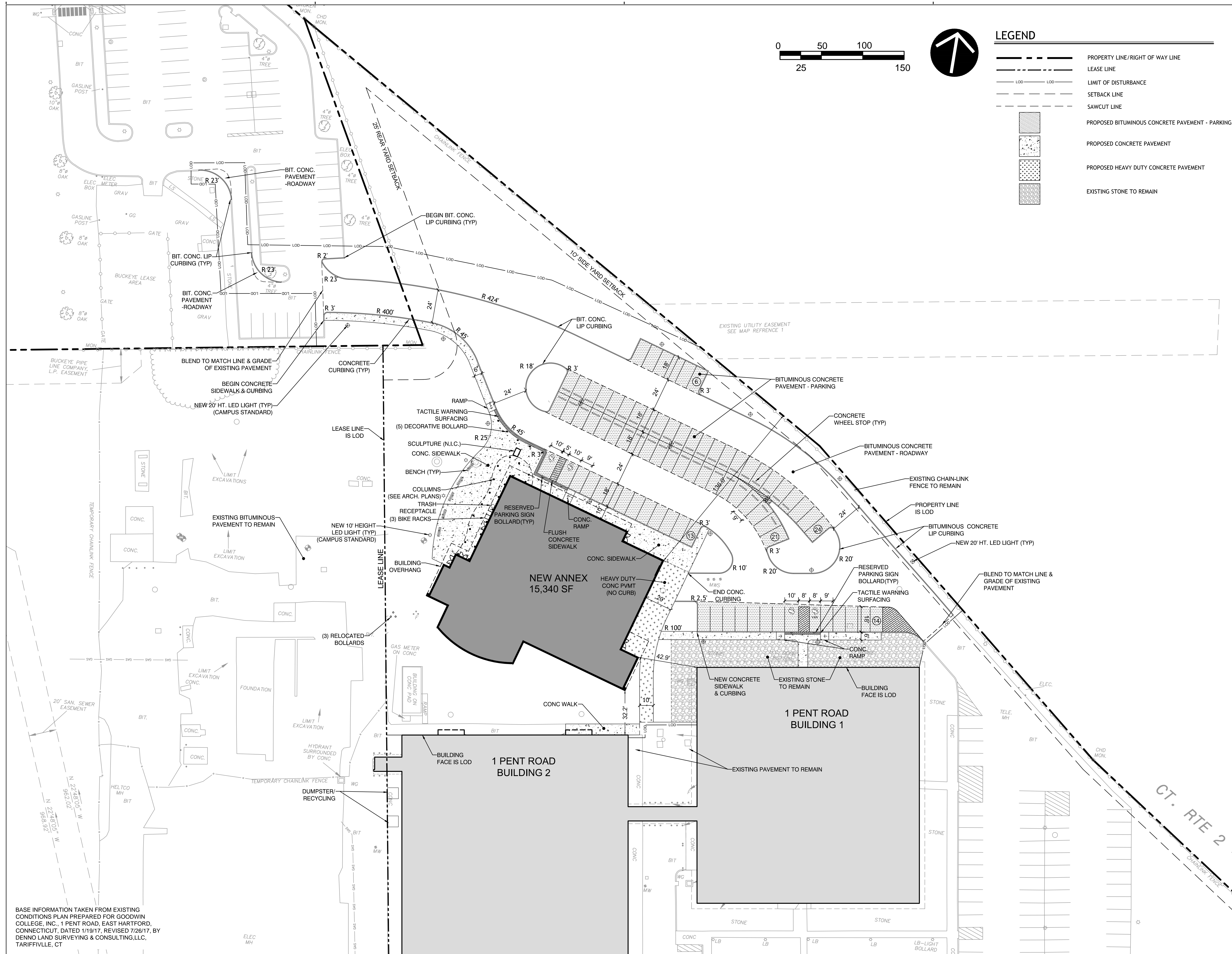
DRAWN BY _____

SCALE 1"=30'

REVISIONS:

LAYOUT PLAN

L-102

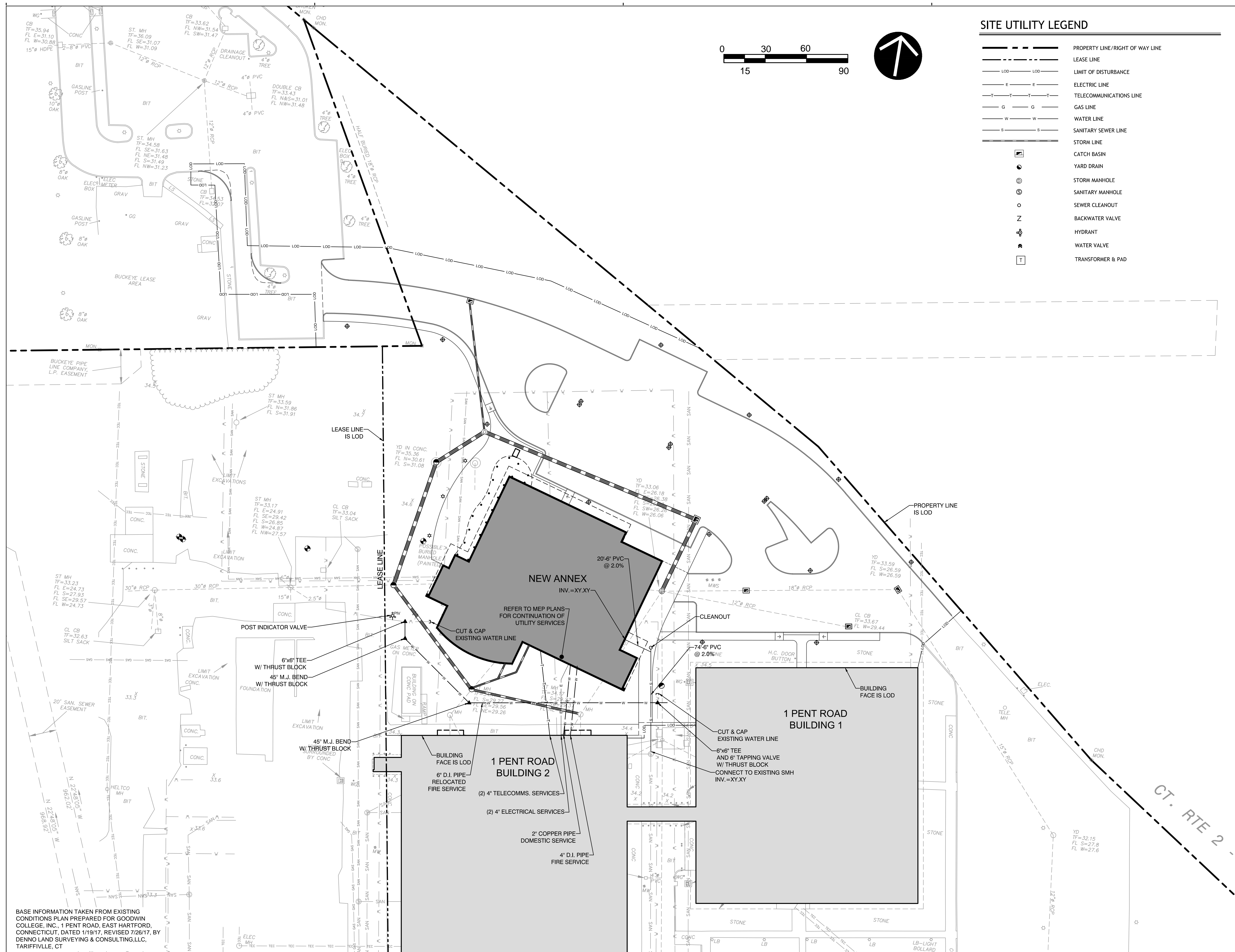


BASE INFORMATION TAKEN FROM EXISTING
CONDITIONS PLAN PREPARED FOR GOODWIN
COLLEGE, INC., 1 PENT ROAD, EAST HARTFORD,
CONNECTICUT, DATED 1/19/17, REVISED 7/26/17, BY
DENRO LAND SURVEYING & CONSULTING, LLC,
TARIFFVILLE, CT

1 PENT ROAD, EAST HARTFORD, CT 06118

120 HUYSHOPE AVENUE
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PLANT LIST							
Qty.	Key	Name-Botanical/Common	Size at Maturity	Planted Size	Light Preference	Comments	Landscape Characteristics
DECIDUOUS TREES							
1	CJ	Cercidiphyllum japonicum Katsuratree	40' ht./20' spd.	3 - 3-1/2'	Full Sun	B&B	Bluish green leaf color, yellow-apricot fall color. Specimen for parks. Disease and insect free. H. shaped leaves.
3	GT	Gleditsia triacanthos 'Halka' Halka Honeylocust	40' ht./spd.	3' cal.	Full Sun	B&B	Native, strong central leader, upright branching forming a pyramidal habit. Urban tolerant, ideal street tree.
ORNAMENTAL TREES							
4	CC	Cercis canadensis Eastern Redbud	20-30' ht. 25-35' spd.	1 1/2-2" cal.	Full Sun Part Shade	B&B	Native, red-purple buds, pink flowers before leaves in April.
5	CF	Cornus florida 'Cherokee Princess' Cherokee Princess Flow. Dogwood	25' ht./spd.	1 1/2-2" cal.	Full Sun Part Shade	B&B	Native, heavily flowering with large white flower bracts. More disease resistant than other cultivars. Four season character: flower, foliage, fruit and winter habit. Deer resistant.
1	CK	Cornus kousa Kousa Dogwood	25' ht./spd.	3' cal.	Full Sun Part Shade	B&B	White flowers June, red fruit summer. Resistant to anthracnose.
EVERGREEN SHRUBS							
10	IC	Ilex crenata 'Green Lustre' Green Lustre Holly	2 1/2 - 3' ht. 4-5' spd.	24-30' spd.	Full Sun/ Shade	B&B or cont.	Dark green foliage, hardy, dependable, foundation borders, mass, loose/open, hedge.
3	IG	Ilex glabra 'Compacta' Compact Inkberry	4-5' ht.	30-36"	Full Sun Part Shade	B&B or cont.	Native, hardy, salt and dry soil tolerant, upright, much branched, erect-rounded form, foundations, hedges.
13	JS	Juniperus chinensis sargentii Sargent Juniper	18-24' ht. 7-9' spd.	18-24' spd.	Full Sun	B&B	Low growing, wide spreading shrub with rich blue gray foliage, resistant to juniper blight. Ground cover or for soil stabilization.
DECIDUOUS SHRUBS							
19	CAH	Celastrus alnif. 'Hummingbird' Hummingbird Summerweet	3-4' ht./spd.	18-24"	Sun/Shade	cont.	Dense, compact with lustrous deep, dark green foliage and profusion of long, extremely fragrant flower spikes. Tolerates moist soil, bright yellow fall foliage.
16	RK	Rosa 'Knockout' Knockout Rose	3' ht. 4' spd.	18-24"	Full Sun Part Shade	cont.	Cherry/red flowers against deep green foliage. Blooms all summer, June-Sept., orange-red hips winter interest. Immune to black spot and diseases. Carefree.
19	SJ	Spiraea japonica 'Neon Flash' Neon Flash Spidee	3' ht./spd.	18-24" Spidee	Full Sun	cont.	Bright pink flowers late spring to early fall, dense mounding habit, rich green foliage with reddish fall growth, turns burgundy in fall.
PERENNIALS							
209	CM	Carex morrowii 'Ice Dance' Ice Dance Japanese Sedge	12" ht. 15" spd.	1 gal.	Part Sun/Part Shade	cont.	Semi-evergreen delicate grass-like foliage, edged pure white. Clumps spread to create a low maintenance groundcover for shady locations.
63	HF	Hemerocallis 'Fairy Tale Pink' Fairy Tale Pink Daylily	18-24" ht./spd.	1 gal.	Full Sun Part Shade	cont.	Semi-evergreen foliage. 5-1/2" mid to late summer pink flower. Rebloomer. Award winner.
66	HH	Hemerocallis 'Happy Returns' Happy Returns Daylily	18" ht./18-24" spd.	1 gal.	Full Sun Part Shade	cont.	3" clear lemon-yellow flowers reappearing May-Sept. Dry infertile soil, deer browse, hummingbird tolerant. Compact foliage.
59	HY	Hemerocallis 'Hyperion' Hyperion Daylily	36" ht.	1 gal.	Part/Full Shade	cont.	Large, 5" lemon yellow flowers in June-July, very fragrant, classic.
51	PA	Pennisetum alopecuroides 'Hamelin' Hamelin Dwarf Fountain Grass	2' ht./spd.	1 gal.	Full Sun	cont.	A slender, arching compact grass with graceful plumes August to October.
21	PV	Penstemon wrightii 'Cheyenne Sky' Cheyenne Sky Switch Grass	3' ht.	1 gal.	Full Sun Part Shade	cont.	Native cut-flower. Deer resistant. Forms a light, vase-shaped clump of blue-green foliage that turns vivid red in early summer. Purple flowers. Proven Winner. Adaptable to low and consistent moisture.
18	SA	Sedum 'Autumn Joy' Autumn Joy Sedum	20-24" ht.	1 gal.	Full Sun	cont.	Rose-pink flowers early Fall, butterflies, tolerates dry soil.

- NOTES:**
1. THE PROPERTY LINE IS THE CONTRACT LIMIT LINE UNLESS NOTED OTHERWISE.
 2. SEE DEMOLITION PLAN FOR LOCATION AND SIZE OF TREES TO BE REMOVED.
 3. SOIL SHALL BE TESTED AND AMENDED TO IMPROVE THE GROWTH OF PLANTS AND LAWNS.
 4. CONTRACTOR TO VERIFY LOCATION OF UTILITIES PRIOR TO TREE PLANTING TO AVOID CONFLICTS

BASE INFORMATION TAKEN FROM EXISTING
CONDITIONS PLAN PREPARED FOR GOODWIN
COLLEGE, INC., 1 PENT ROAD, EAST HARTFORD,
CONNECTICUT, DATED 1/19/17, REVISED 7/26/17, BY
DENRO LAND SURVEYING & CONSULTING, LLC,
TARIFFVILLE, CT

1 PENT ROAD
BUILDING 2

1 PENT ROAD
BUILDING 1

EXISTING STONE-
TO REMAIN (TYP)

FACE IS LOD

PLANTING PLAN

L-401