

**EAST HAVEN
ZONING
COMMISSION**

- COMPLETE ONLY THE SECTIONS THAT APPLY TO YOUR APPLICATION TYPE -

A.	SPECIAL USE PERMIT	(ATTACH ADDITIONAL SHEETS IF NEEDED)
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(ATTACH ADDITIONAL SHEETS IF NEEDED)

- 1) Applicable Section of the Zoning Regulations:** 207.10a

- 2) Describe how the proposed Special Use Permit relates to the Plan of Conservation and Development:**

The project will enhance the Wickham Memorial Library through renovations and an addition. This will create linkages among community facilities, one of the plans goals and objectives.

- 3) Describe how the proposed Special Use Permit will benefit the Town of East Hartford:**

Wickham Memorial Library will be renovated and added on to create a more attractive and appealing appearance. Additionally, more parking will be provided.

B.	FLOOD HAZARD ZONE – MAJOR DEVELOPMENT OR MINOR DEVELOPMENT
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- 1) Name of associated watercourse:**

- 2) Total amount of land (in sq. ft.) to be affected within the:**

- a. Flood Hazard Zone:**

- b. Floodway:** _____

- c. Floodway fringe:**

- 3) Enumerate methods of compliance with Sections 601.10, 601.11, and 601.12 of the Zoning Regulations:**

WICKHAM MEMORIAL LIBRARY

RENOVATIONS & ADDITIONS

656 BURNSIDE AVENUE

EAST HARTFORD, CT

JANUARY 11, 2019

ISSUED FOR SITE PLAN APPROVAL

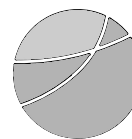
OWNER

Prepared For:



CONSULTANTS

Prepared By:



benesch

120 Hebron Avenue
Glastonbury, CT 06033
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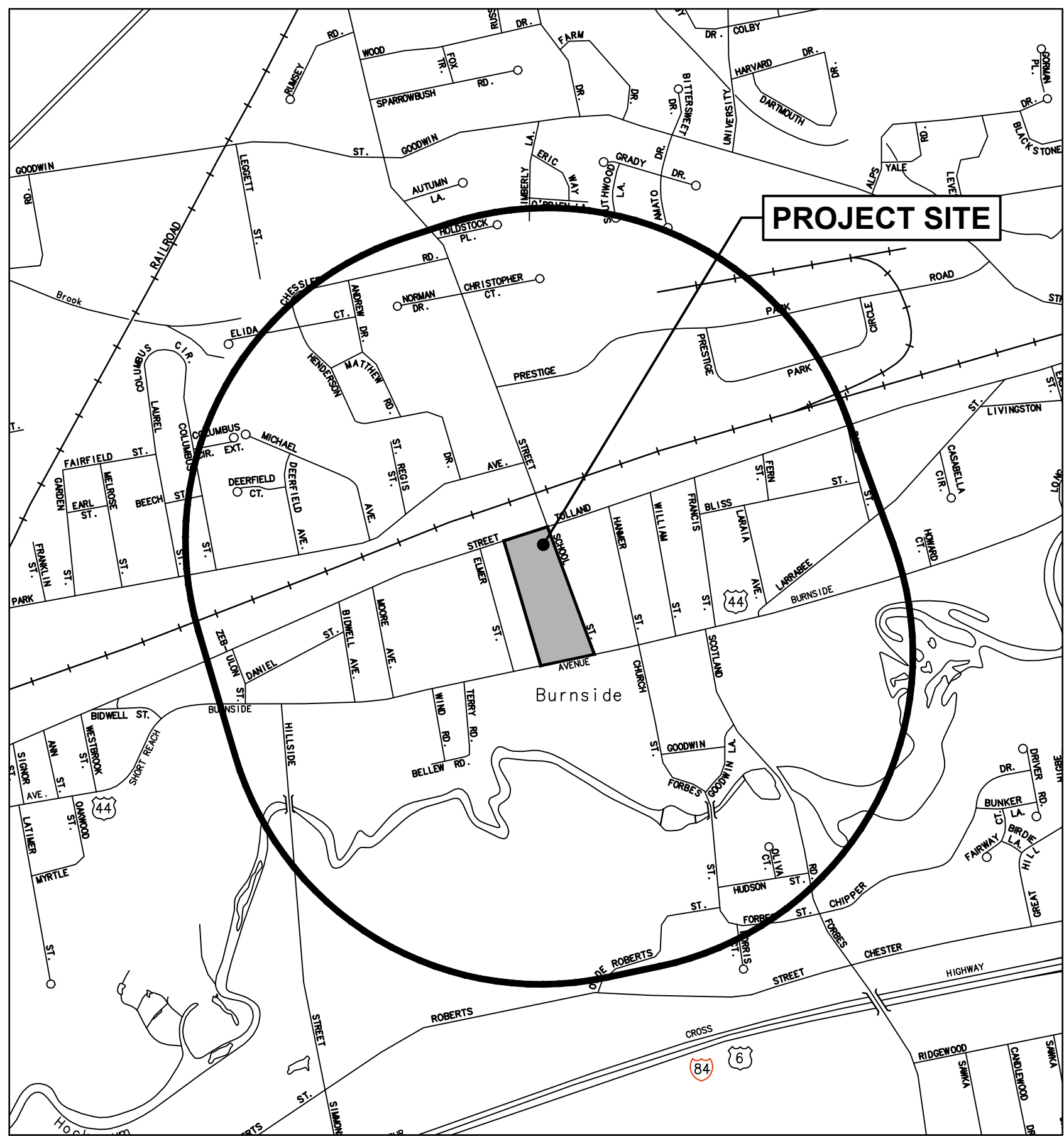
SILVER / PETRUCCELLI + ASSOCIATES
Architects / Engineers / Interior Designers

3190 Whitney Avenue, Hamden, CT 06518-2340
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silverpetrucci.com

LIST OF DRAWINGS

T-100	TITLE SHEET
SV.01	BOUNDARY/TOPOGRAPHIC SURVEY
C-000	200' ABUTTERS MAP & LIST
C-100	SITE PREPARATION & EROSION CONTROL PLAN
C-200	SITE PLAN
C-300	LANDSCAPE PLAN
C-400	SITE DETAILS
C-401	SITE DETAILS
C-500	SITE LIGHTING PLAN
A100	GROUND FLOOR PLAN
A101	FIRST FLOOR PLAN
A102	SECOND FLOOR PLAN
A300	BUILDING ELEVATIONS

HALF-MILE RADIUS MAP

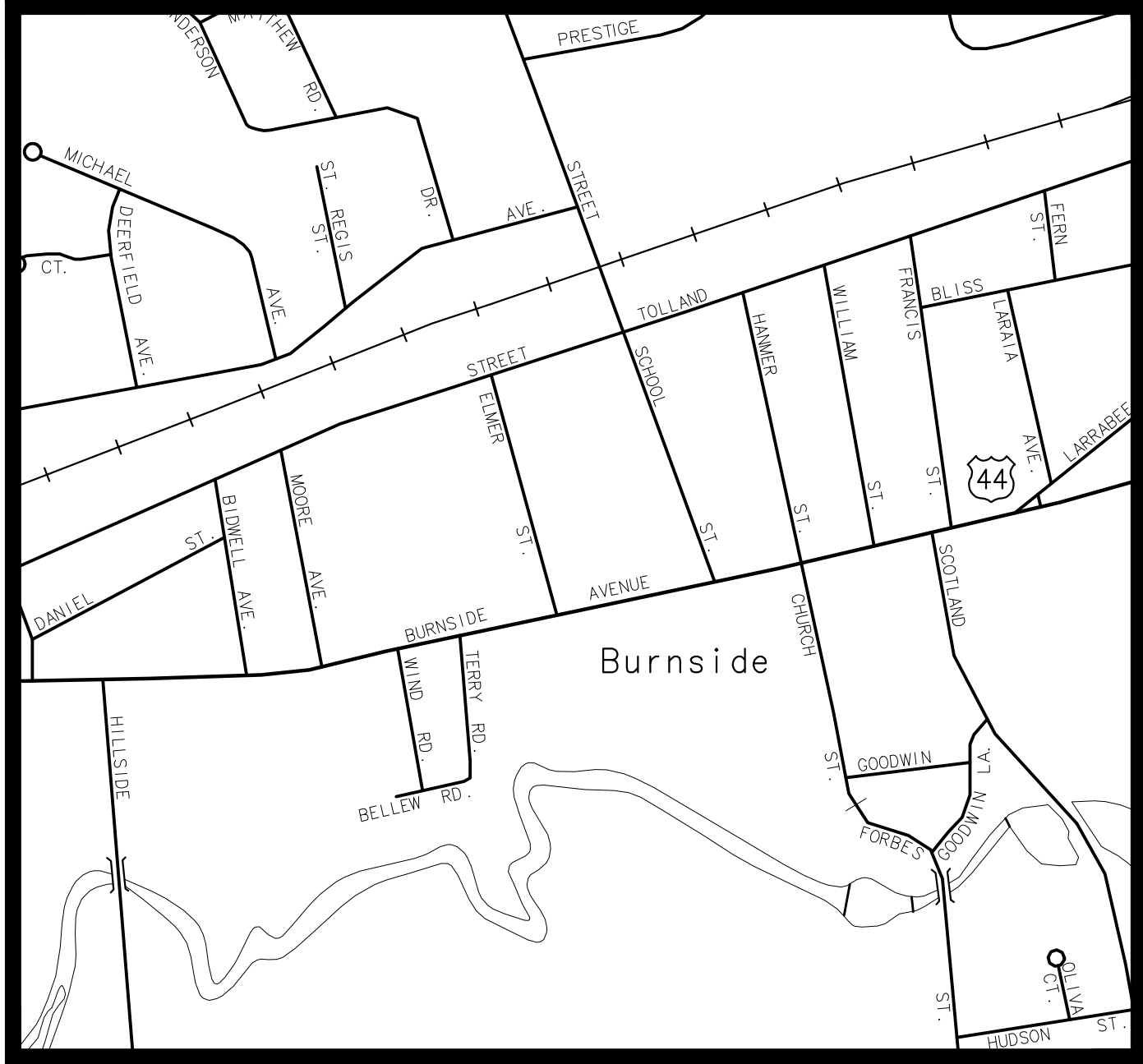
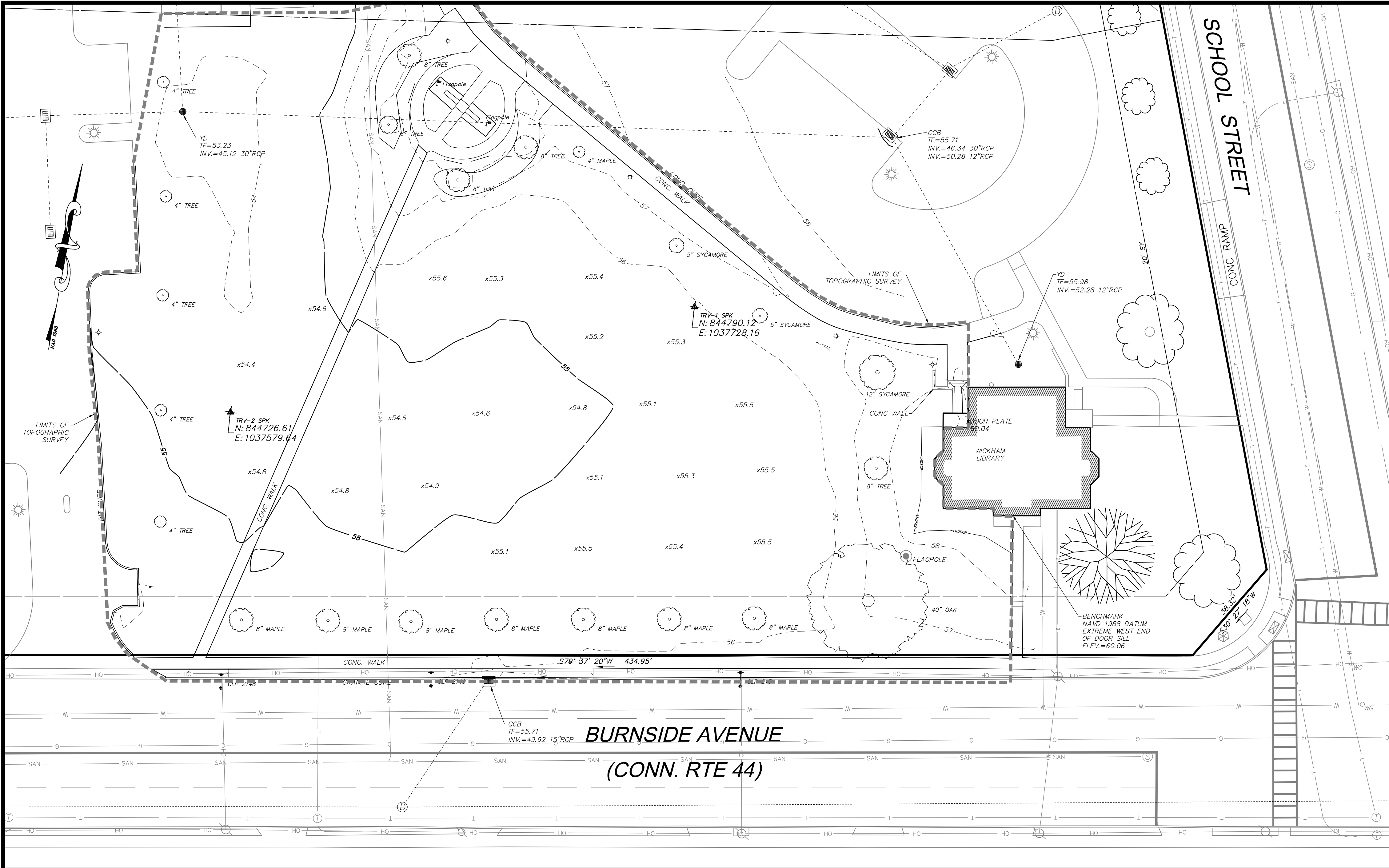


500 0 1,000 2,000 3,000

SCALE: 1" = 1,000'

attached file: blockdwg

PAPER SPACE LAYOUT NAME:
TWISVIEW
VIEWNAME:
USER NAME:
PLOT TABLE: STB



LOCATION PLAN N.T.S.

LEGEND

UTILITY SERVICES (UNDERGROUND OR OVERHEAD)

E	ELECTRIC SERVICE
G	GAS PIPES
SAN	SANITARY SEWER PIPES
-----	STORM WATER PIPES (LESS THAN 12")
-----	STORM WATER PIPES (12" OR LARGER)
-----	STEAM PIPES (SUPPLY & COND.)
STM	TELEPHONE SERVICE
T	WATER PIPES
W	COMMUNICATION/FIBER OPTIC SERVICE
COM	FIRE PROTECTION PIPES
FP	UNKNOWN UTILITY SERVICE
UG	UNKNOWN UTILITY SERVICE
OH	OVERHEAD WIRES

PROPERTY/BOUNDARY LINES

---	PROPERTY/BOUNDARY LINES (CLASS A-2)
---	PROPERTY/BOUNDARY LINES (CLASS D)
---	EASEMENT LINES

FEATURE LINES

---	CURBED ROADWAY
---	EDGE OF PAVED ROAD/DRIVE
---	BUILDING ROOFLINE (AERIAL PHOTOS)
---	RETAINING WALL
---	STOCKADE FENCE
---	CHAIN LINK/WIRE FENCE
---	TREE/VEGETATION LINE
---	STONE WALL
---	SURFACE WATER (WATERCOURSE)
---	WETLANDS LIMIT
---	EDGE OF LANDSCAPING
---	INTERMEDIATE CONTOUR
---	INDEX CONTOUR

SYMBOL LEGEND

■	CATCH BASIN
□	ROUND DRAIN
□	SQUARE DRAIN
□	STORM DRAIN MANHOLE
⊙	ELECTRIC MANHOLE
⊙	SANITARY MANHOLE
⊙	STEAM MANHOLE
⊙	TELEPHONE MANHOLE
⊙	WATER MANHOLE
⊙	MANHOLE (OF UNKNOWN TYPE)
⊙	HAND HOLE (SQ. / REC.)
⊙	WATER VALVE
⊙	GAS VALVE
⊙	HYDRANT
⊙	COMBO STANDPIPE
⊙	GUY WIRE
⊙	SIGN (SINGLE POST)
⊙	SIGN (DOUBLE POST)
⊙	BORING (AS DRILLED)
⊙	BORING (AS STAKED)
⊙	SPOT ELEVATION
⊙	WETLANDS FLAG
⊙	PROPERTY MONUMENT
⊙	UTILITY MONUMENT (SET AS 2' OFFSET)
⊙	IRON PIPE OR REBAR FOUND
⊙	IRRIGATION CONTROL BOX
⊙	EMERGENCY PHONE
⊙	TRAFFIC CONTROLLER CABINET
⊙	UTILITY POLE
⊙	UTILITY POLE W/ LIGHT
⊙	STREET LIGHT
⊙	LIGHT POST
⊙	BOLLARD LIGHT
⊙	BOULDER / ROCK
⊙	CONIFER SHRUB
⊙	DECIDUOUS SHRUB
⊙	DECIDUOUS TREE (SAPLING)
⊙	DECIDUOUS TREE
⊙	CONIFER TREE

ABBREVIATIONS

A/C	AIR CONDITIONER
AT&T	AMERICAN TELEPHONE & TELEGRAPH COMPANY
BIT	BITUMINOUS
BLK	BLACK
CB	CATCH BASIN
COM	COMMUNICATION
CON	CONCRETE
CONC.	CONCRETE
CNG	CONNECTICUT NATURAL GAS
CL	CENTERLINE
CLF	CHAIN LINK FENCE
CL&P	CONNECTICUT LIGHT & POWER COMPANY
CP	CONTROL POINT
DEC.	DECIDUOUS
DMH	DRAINAGE MANHOLE
E	EAST OR ELECTRIC
EL	ELECTRIC
ELEV	ELEVATION
EMH	ELECTRIC MANHOLE
F.L.	FLOW LINE
FND.	FOUND
GRAN.	GRANITE
GSC	GRANITE STONE CURB
HELCO	HARTFORD ELECTRIC COMPANY
HYD.	HYDRANT
HLH	HAND HOLE
L.P.	LIGHT POLE
MH	MANHOLE
M	METER
M.W.	MONITOR WELL
N	NORTH
NAD	NORTH AMERICAN DATUM
NAVD	NATIONAL AMERICAN VERTICAL DATUM
NE	NORTHEAST
N/F	NOW OR FORMERLY
NW	NORTHWEST
PVC	POLYVINYL CHLORIDE
P.L.V.	POST INDICATOR VALVE
RET.	RETAINING
RCP	REINFORCED CONCRETE PIPE
R.L.	RAIN LEADER
S	SOUTH OR SUPPLY
SE	SOUTHEAST
SW	SOUTHWEST
SAN.	SANITARY
SMH	SANITARY MANHOLE
SNET	SOUTHERN NEW ENGLAND TELEPHONE
SQ	SQUARE
STM	STEAM
TMH	TELEPHONE MANHOLE
TEL	TELEPHONE
T.F.	TOP OF FRAME
UNK.	UNKNOWN
W	WEST OR WEST
W.G.	WATER GATE

MAP REFERENCES

1. "PLAN PREPARED FOR THE TOWN OF EAST HARTFORD PUBLIC SAFETY COMPLEX SCHOOL STREET, BURNSIDE AVENUE, TOLLAND STREET EAST HARTFORD, CONN SITE GRADING AND UTILITY PLAN SCALE 1"=400'-01-2002, 08-05-2002, 08-15-2002, & 07-14-2004 SHEET 3 OF 5 PREPARED BY MEEHAN & GOODIN

SURVEY NOTES

1. THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300B-1 THRU 20-300B-20 AND THE "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" ENDORSED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.
 - 1.1. THE TYPE OF SURVEY IS A LIMITED PROPERTY/BOUNDARY, TOPOGRAPHIC AND GENERAL LOCATION SURVEY.
 - 1.2. THE BOUNDARY DETERMINATION CATEGORY IS RESURVEY.
 - 1.3. THE ACCURACIES ARE AS FOLLOWS:

HORIZONTAL CONTROL	CLASS "A-2"
VERTICAL CONTROL	CLASS "V-2"
BOUNDARY	CLASS "D" (COMPILED)
TOPOGRAPHY	CLASS "T-2"
SURFACE UTILITIES	CLASS "T-2"
UNDERGROUND UTILITIES	CLASS "D" (COMPILED)
2. THE COORDINATES AND ELEVATIONS DEPICTED ON THE PLAN REPRESENT THE NAD '83 AND THE NAVD '88 DATUMS. COORDINATES WERE ESTABLISHED ON THE SITE BASED UPON GPS OBSERVATIONS TAKEN ON DECEMBER 4, 2018 USING TRIMBLE GNSS RTK R10 RECEIVERS AND SOLUTIONS PROVIDED THROUGH THE KEYNET NETWORK.
3. UNDERGROUND UTILITIES (IF DEPICTED) HAVE BEEN COMPILED, IN PART, BASED UPON INFORMATION FURNISHED BY OTHERS. THIS INFORMATION IS TO BE CONSIDERED APPROXIMATE AND ALFRED BENESCH & COMPANY DOES NOT TAKE RESPONSIBILITY FOR SUBSEQUENT ERRORS OR OMISSIONS WHICH MAY HAVE BEEN INCORPORATED INTO THIS PLAN AS A RESULT. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCES OF WHICH ARE UNKNOWN TO ALFRED BENESCH & COMPANY. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO ANY CONSTRUCTION. CALL "CALL BEFORE YOU DIG" 1-800-922-4455.

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS DEPICTED AND NOTED HEREON.

DAVID A. CARICCHIO, P.L.S. No. 70036 DATE
ALFRED BENESCH & COMPANY, GLASTONBURY, CONNECTICUT
(not valid without original signature and embossed seal)

REVISIONS		DESCRIPTION
No.	DATE	

SCALE: HORZ.: 1" = 20'
VERT.: 1" = 20'
SURVEY DATUM: HORZ.: NAD 1983
VERT.: NAVD 1988

Prepared By:

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TOPOGRAPHIC SURVEY
PREPARED FOR
THE WICKHAM LIBRARY
BURNSIDE AVENUE
EAST HARTFORD
CONNECTICUT

PROJ. No.: 70518
DATE: DEC 10, 2018

SV.01

200 FOOT ABUTTERS MAP



200 FOOT ABUTTERS LIST

ADDRESS	MAP-LOT	OWNER	OWNER ADDRESS	OWNER TOWN	OWNER STATE	OWNER ZIP	VOL/PAGE
10 SCHOOL ST	47-72	NOVA S REALTY CORP	187 RIVER RD	FLANDERS	NJ	07836	3636/ 215
12 SCHOOL ST	37-267	ROSS OLGA	12 SCHOOL ST	EAST HARTFORD	CT	06108	2048/ 305
14 SCHOOL ST	37-266	DACOSTA MARIA F	234 FARNHAM RD	SOUTH WINDSOR	CT	06074	3291/ 95
30 SCHOOL ST	37-265	TOWN OF EAST HARTFORD	740 MAIN ST	EAST HARTFORD	CT	06108	136/ 149
36 SCHOOL ST	37-264	LOMBARDO KATHRYN N	36 SCHOOL ST	EAST HARTFORD	CT	06108	2965/183
40 SCHOOL ST	37-263	SECRETARY OF HOUSING & URBAN DEVELOPMENT	2401 NW 23RD ST	OKLAHOMA CITY	OK	73107	3795/183
50 SCHOOL ST	37-262	SINCLAIR STEPHNEY & WOODLEY	48 SCHOOL ST	EAST HARTFORD	CT	06108	1769/315
58 SCHOOL ST	37-261	ROSADO RUTH	56-58 SCHOOL ST	EAST HARTFORD	CT	06108	3752/141
64 SCHOOL ST	37-260	PELLETIER GARY M	PO BOX 370642	WEST HARTFORD	CT	06137	3043/77
78-80 SCHOOL ST	37-259	HENRY A DEMING TRUST	22 APPLETREE LN	WILTON	CT	06897	3351/231
525 TOLLAND ST	37-258	URBAN SUBURBAN AFFORDABLES INC	525 TOLLAND ST	EAST HARTFORD	CT	06108	2213/310
531 TOLLAND ST	37-257	ANSARA JAMES & LEONA M	531 TOLLAND ST	EAST HARTFORD	CT	06108	1013/86
524 TOLLAND ST	37-250	AMOUN CONTRACTING COMPANY LLC	22 RUMSEY RD	EAST HARTFORD	CT	06108	3469/284
90-92 SCHOOL ST	37-249	TOWN OF EAST HARTFORD	740 MAIN ST	EAST HARTFORD	CT	06108	2398/203
508-510 TOLLAND ST	37-23	J MARLEY SONS LLC	529 COUNTRY RD	WOODSTOCK	CT	06281	1718/2
490 TOLLAND ST	37-22	TOLLAND MULTIFAMILY LLC	110 HILLSIDE BLVD SUITE 3	LAKEWOOD	NJ	08701	3779/112
484 TOLLAND ST	37-21	GUAY ALAIN	484 TOLLAND ST	EAST HARTFORD	CT	06108	3646/121
470 TOLLAND ST	37-20	MITCHELL DEVELOPMENT LLC	PO BOX 651	SOUTH WINDSOR	CT	06074	2033/108
483-485 TOLLAND ST	37-405	MILLER GIFFORD	483-485 TOLLAND ST	EAST HARTFORD	CT	06108	3066/229
479-481 TOLLAND ST	37-270	GARVEY JOAN	479 TOLLAND ST	EAST HARTFORD	CT	06108	1825/24
475 TOLLAND ST	37-271	ANDERSON PAULINE S	475 TOLLAND ST	EAST HARTFORD	CT	06108	3360/178
62 ELMER ST	37-272	OBRIEN PAUL P	62 ELMER ST	EAST HARTFORD	CT	06108	920/279
58-60 ELMER ST	37-273	ANDERSON RICHARD	PO BOX 6121	HARTFORD	CT	06145	3285/27
56 ELMER ST	37-274	ALBANEZ WILLIAM R	56 ELMER ST	EAST HARTFORD	CT	06108	3628/344
50-52 ELMER ST	37-275	LANGEVIN CHARLES A & LANGEVIN PATRICIA A	50-52 ELMER ST	EAST HARTFORD	CT	06108	1938/142
46-48 ELMER ST	37-276	WILSON LAMETA	46 ELMER ST	EAST HARTFORD	CT	06108	3263/118
42-44 ELMER ST	37-277	RODRIGUEZ ROSEARLINE	42-44 ELMER ST	EAST HARTFORD	CT	06108	1997/264
38-40 ELMER ST	37-278	ROBINSON CYNTHIA	38-40 ELMER ST	EAST HARTFORD	CT	06108	2478/288
34-36 ELMER ST	37-279	EASON MICHAEL W	34-36 ELMER ST	EAST HARTFORD	CT	06108	2162/13
30 ELMER ST	37-280	RIOS WILLIAM	119 BISSELL ST	MANCHESTER	CT	06040	3599/17
26-28 ELMER ST	37-281	PEREZ LUIS L	509 BURNSIDE AVE B13	EAST HARTFORD	CT	06108	2598/155
20-22 ELMER ST	37-282	PADITSONE CHITAKONE & ANOUPHORN	9 JOSEPH FARM RD	BROAD BROOK	CT	06016	2340/300
18 ELMER ST	37-283	FIRST NEW ENGLAND FEDERAL CREDIT UNION	616 BURNSIDE AVE	EAST HARTFORD	CT	06108	2172/ 334
14 ELMER ST	36-125	FIRST NEW ENGLAND FEDERAL CREDIT UNION	616 BURNSIDE AVE	EAST HARTFORD	CT	06108	2172/ 335
612 BURNSIDE AVE	36-126	FIRST NEW ENGLAND FEDERAL CREDIT UNION	612 BURNSIDE AVE	EAST HARTFORD	CT	06108	2509/246
616 BURNSIDE AVE	36-127	FINEX CREDIT UNION	616 BURNSIDE AVE	EAST HARTFORD	CT	06108	3589/ 36
603 BURNSIDE AVE	36-140	SMITH BURNSIDE PROPERTIES LLC	441 HILLS ST	EAST HARTFORD	CT	06108	3528/5
613-615 BURNSIDE AVE	36-138	CHUNG THIEN & HAHN	29 OSAGE RD	WEST HARTFORD	CT	06117	3402/33
617 BURNSIDE AVE	36-137	LE JIM	617 BURNSIDE AVE	EAST HARTFORD	CT	06108	3324/179
621-623 BURNSIDE AVE	36-136	H & S REALTY LLC	2G AMATO DR	SOUTH WINDSOR	CT	06074	3786/ 304
627 BURNSIDE AVE	36-135	HOM & LEE REALTY CORP	185 PARK ROW #15F	NEW YORK	NY	10038	3592/ 134
633 BURNSIDE AVE	36-134	PRIMUS COMPANY LLC	18 BUCKINGHAM ST	MANCHESTER	CT	06040	1877/ 31
645 BURNSIDE AVE	36-132	14 STANDISH PROPERTY LLC	64 ANDOVER ST	MILFORD	CT	06460	3690/ 113
653 BURNSIDE AVE REAR	36-131	MLG LLC	653 BURNSIDE AVE	EAST HARTFORD	CT	06108	3538/ 240
656 BURNSIDE AVE	36-128	TOWN OF EAST HARTFORD	740 MAIN ST	EAST HARTFORD	CT	06108	113/ 572
663-669 BURNSIDE AVE	47-71	MALAPETAS DIONISIOS N	109 CAMBRIDGE DR	SOUTH WINDSOR	CT	06074	1831/ 246
671-673 BURNSIDE AVE	47-70	EAST HARTFORD REDEVELOPMENT AGENCY	740 MAIN ST	EAST HARTFORD	CT	06108	2239/ 56
3-35 CHURCH ST	47-62	THE ST ROSE CHURCH CORPORATION OF BURNSI	33 CHURCH STREET	EAST HARTFORD	CT	06108	3091/ 279

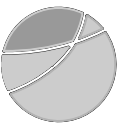
TOWN OF EAST HARTFORD
PLANNING AND ZONING COMMISSION
SITE PLAN CERTIFICATE
OF APPROVAL

APPROVAL DATE _____
EXPIRATION DATE _____

_____ CHAIRMAN

ISSUED FOR SITE PLAN APPROVAL

Project Title:
Town of East Hartford
Wickham Memorial Library:
Renovations & Additions
656 Burnside Ave, East Hartford, CT 06108

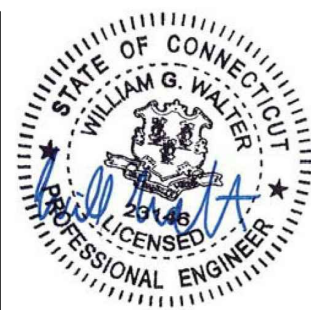
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Architects / Engineers / Interior Designers

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silverpetrucelli.com

Revision:	Description:	Date:	Revised By:



Drawing Title:
200' Abutter's Map and List

Date:
01.11.19
Scale:
AS NOTED
Drawn By:
JCO
Project Number:
17.322
Drawing Number:
C-000

GENERAL NOTES:

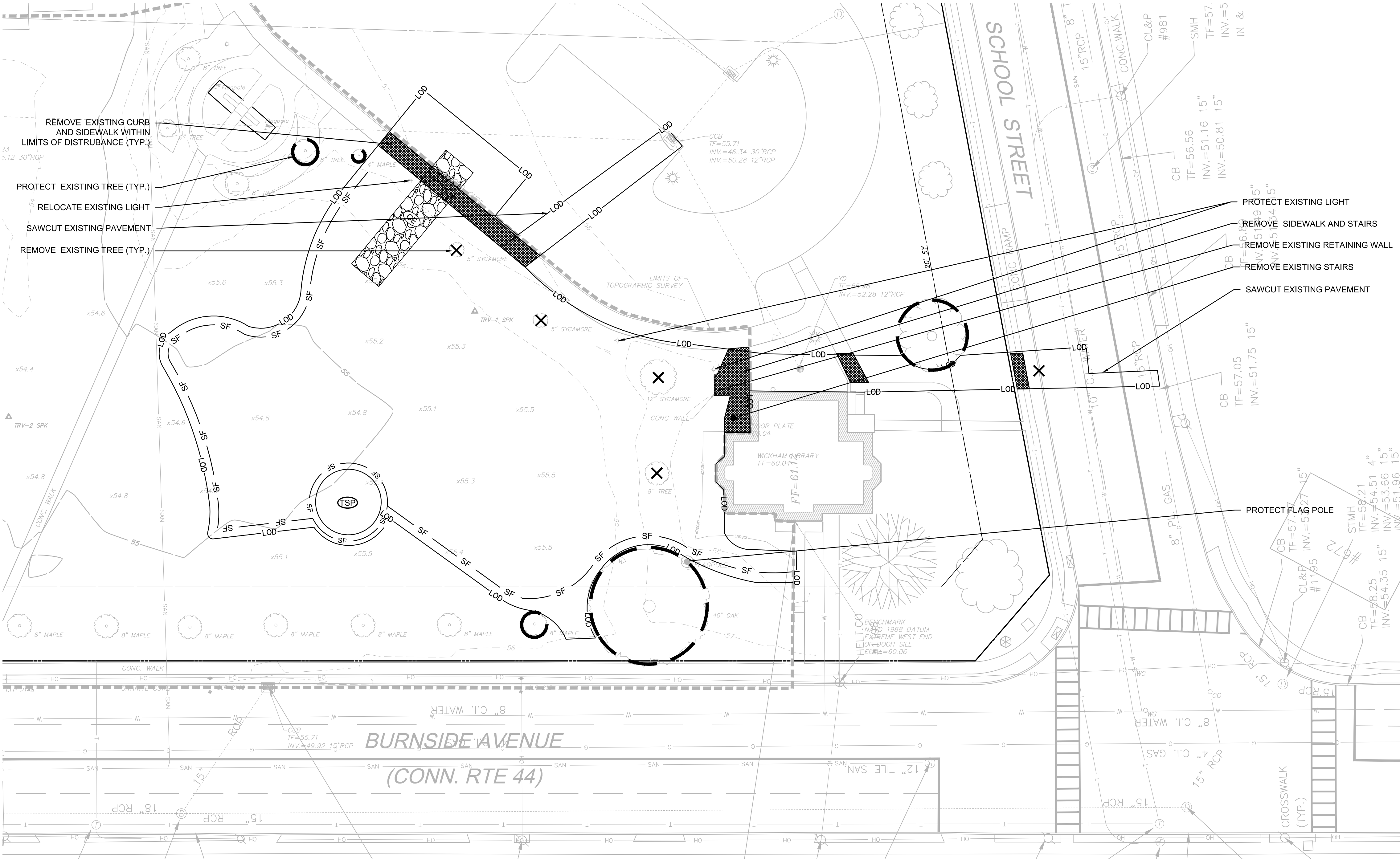
1. THE DEVELOPER SHALL NOTIFY THE TOWN OF EAST HARTFORD ENGINEERING DIVISION 24 HOURS PRIOR TO BEGINNING ANY STORM DRAINAGE, ROADWAY PREPARATION, PAVING, SIDEWALK, CURBING, STREET LINE MONUMENTATION, PROPERTY CORNER PINS, ETC. TO SCHEDULE INSPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:30 A.M. - 4:30 P.M. AT 860-291-7380.
2. THE TOTAL LIMIT OF DISTURBANCE IS 21,293 SQUARE FEET (0.488 ACRES) AND THEREFORE DOES NOT REQUIRE A SOIL-EROSION AND SEDIMENTATION CONTROL PERMIT FROM THE TOWN OF EAST HARTFORD PLANNING AND ZONING COMMISSION.
3. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT PROPER STORM DRAINAGE IS MAINTAINED THROUGHOUT CONSTRUCTION AND SHALL MAINTAIN ALL EXISTING AND NEW UTILITIES IN GOOD WORKING ORDER AND SHALL PROTECT THEM AT ALL TIMES UNTIL THE WORK IS COMPLETED AND ACCEPTED.
4. EXCAVATION REQUIRED WITHIN PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITIES OR STRUCTURES AT NO ADDED COST TO THE OWNER (TYP.).

SITE PREPARATION NOTES:

1. CONTRACTOR SHALL NOTIFY "CALL BEFORE YOU DIG" (1-800-922-4455) AND VERIFY UTILITY MARK-OUT WITH THE OWNER PRIOR TO THE INITIATION OF ANY SITE DISTURBANCE.
2. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR VERIFICATION OF THE LOCATION AND NATURE OF ALL SUBSURFACE UTILITIES AT THE PROJECT WHICH MAY BE AFFECTED BY THE WORK. COORDINATE WITH RESPECTIVE UTILITY OWNERS AND PERFORM VERIFICATION OF TYPE, LOCATION, AND INVERTS AS REQUIRED.
3. EXISTING BUILDING TO REMAIN AND BE PROTECTED.
4. PROTECT ALL IMPROVEMENTS NOT INCLUDED WITHIN THE LIMITS OF DISTURBANCE. ANY IMPROVEMENT WHICH IS DAMAGED SHALL BE REPAIRED OR REPLACED IN-KIND TO THE OWNER'S SATISFACTION.
5. DURING DEMOLITION, PROTECT ALL ADJACENT CURBING, SIDEWALKS, RAMPS, ABOVE-GRADE AND BELOW-GRADE UTILITIES, DRAINAGE STRUCTURES, LIGHT BASES, AND OTHER IMPROVEMENTS POTENTIALLY AFFECTED BY THE WORK. CLEARLY DELINEATE THE LIMITS OF WORK AND MARK, BARRICADE, OR OTHERWISE IDENTIFY THOSE IMPROVEMENTS THAT ARE TO BE PROTECTED AND/OR AVOIDED. ANY IMPROVEMENT WHICH IS DAMAGED SHALL BE REPAIRED OR REPLACED IN-KIND TO THE OWNER'S SATISFACTION.
6. THE LOCATIONS OF EXISTING SITE FEATURES AS SHOWN HAVE BEEN OBTAINED FROM MAPS, SURVEYS, FIELD INSPECTIONS, AND OTHER AVAILABLE INFORMATION. THEY MUST BE CONSIDERED APPROXIMATE BOTH TO LOCATION, SIZE, AND AS-BUILT CONDITION AND ARE PROVIDED FOR INFORMATIONAL PURPOSES ONLY. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL FIELD CONDITIONS.
7. IMPLEMENTING WORKER SAFETY AND/OR HEALTH PROTOCOLS THAT ADDRESS COMPLIANCE WITH RULES, LAWS, AND REGULATIONS PERTAINING TO CONSTRUCTION SAFETY AND/OR THE POTENTIAL AND/OR ACTUAL RISK OF EXPOSURE TO SITE-SPECIFIC PHYSICAL OR CHEMICAL HAZARDS IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR.
8. PROVIDE PAVEMENT SAWCUT AT THE EDGE OF EACH PAVEMENT REMOVAL AREA TO ESTABLISH A CLEAN EDGE WHERE NEW WORK WILL MEET EXISTING PAVEMENT. SAWCUT SHALL BE A MINIMUM OF 12 INCHES FROM EDGE OF PAVEMENT REMOVAL.
9. UNLESS OTHERWISE INDICATED, ALL DISTURBED AREAS SHALL BE RESTORED WITH SIX (6) INCHES OF LOESS, SEEDED, AND FERTILIZED. PROVIDE ADDITIONAL EROSION CONTROLS AS REQUIRED.

EROSION AND SEDIMENT CONTROL NOTES:

1. THIS PLAN IS FOR EROSION AND SEDIMENTATION (E&S) CONTROL ONLY. SEE OTHER PLANS FOR THE SCOPE OF CONSTRUCTION WORK.
2. IT IS ANTICIPATED THAT CONSTRUCTION WILL OCCUR BETWEEN SPRING OF 2019 AND SUMMER OF 2019 AND FINAL STABILIZATION WILL BE COMPLETE BY FALL 2019.
3. THE MEASURES SPECIFIED HEREON ARE THE MINIMUM REQUIREMENTS FOR E&S CONTROL AND ARE SHOWN IN GENERAL SIZE AND LOCATION ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL E&S CONTROL MEASURES ARE CONFIGURED AND CONSTRUCTED IN A MANNER THAT WILL MINIMIZE EROSION OF SOILS AND PREVENT THE TRANSPORT OF SEDIMENTS AND OTHER POLLUTANTS TO ANY RESOURCE AREAS. PROVIDE ADDITIONAL E&S MEASURES AS REQUIRED BY THE ENGINEER.
4. MONITOR AND INSPECT ALL E&S MEASURES IN AN ONGOING MANNER THROUGHOUT THE WORK AND TAKE CORRECTIVE MEASURES, AS REQUIRED, TO MINIMIZE EROSION OF SOILS AND PREVENT THE TRANSPORT OF SEDIMENTS AND OTHER POLLUTANTS TO ANY RESOURCE AREAS.
5. ANY EROSION AND SEDIMENTATION MEASURE IMPLEMENTED BEYOND THAT SHOWN HEREON SHALL CONFORM TO APPLICABLE SECTIONS OF THE STATE OF CONNECTICUT'S 2002 "CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL."
6. ANY STOCKPILED MATERIAL SHALL BE SUBJECT TO EROSION CONTROL MEASURES THAT INCLUDE A MINIMUM OF SILT FENCE OR HAY BALE BARRIER COVER STOCKPILES IF SIGNIFICANT RAINFALL IS PREDICTED.
7. PROVIDE TEMPORARY SEEDING WITH MULCH ON ALL EXPOSED SOIL AREAS WHERE WORK WILL BE SUSPENDED FOR LONGER THAN 30 DAYS. APPLY SEED AND MULCH WITHIN THE FIRST 7 DAYS OF SUSPENDING WORK. WHEN SEEDING IS NOT POSSIBLE DUE TO SEASONAL WEATHER CONDITIONS OR OTHER FACTORS, PROVIDE TEMPORARY STRUCTURAL SOIL PROTECTION SUCH AS MULCH, WOODCHIPS, EROSION CONTROL MATTING, OR COMPOST.
8. ALL TEMPORARY SLOPES IN EXCESS OF 3 (HORIZONTAL) TO 1 (VERTICAL) SHALL BE STABILIZED WITH EROSION CONTROL MATTING OR APPROVED EQUIVALENT.
9. NO RUNOFF SHALL BE ALLOWED TO ENTER ANY STORMWATER SYSTEM OR EXIT THE SITE PRIOR TO TREATMENT FOR SEDIMENT REMOVAL.
10. THE CONTRACTOR SHALL MAINTAIN A CLEAN CONSTRUCTION SITE AND SHALL NOT ALLOW THE ACCUMULATION OF RUBBISH OR CONSTRUCTION DEBRIS. ALL TRASH SHALL BE CLEANED ON A DAILY BASIS AND THE SITE SHALL BE LEFT IN A NEAT CONDITION AT THE END OF EACH WORK DAY.
11. FOR DUST CONTROL, PERIODICALLY MOISTEN EXPOSED SOIL SURFACES WITH WATER AND MAINTAIN ADEQUATE MOISTURE LEVELS.
12. SWEEP ADJACENT ROADWAYS IF MUD OR SOIL IS TRACKED ON TO THEM, OR AS DIRECTED BY THE ENGINEER. SHOULD THE CONSTRUCTION ENTRANCE FAIL TO PREVENT THE TRACKING OF SOILS OR SEDIMENT OFF OF THE PROJECT SITE, A WASHING RACK SHALL BE INSTALLED ALONG WITH APPROPRIATE MEASURES TO COLLECT RESULTING WASTEWATER.



TEMPORARY E&S MEASURES MAINTENANCE SCHEDULE

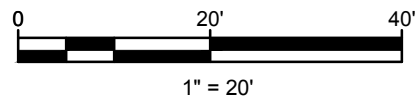
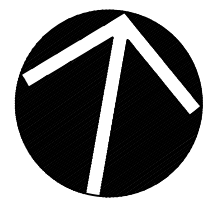
E&S MEASURE	MAINTENANCE MEASURES	SCHEDULE
FILTER INSERTS IN DRAINAGE SYSTEM	CLEAN CATCH BASIN GRATE, REMOVE SEDIMENT/DEBRIS FROM FILTER INSERTS	WEEKLY & WITHIN 24 HOURS AFTER STORM GENERATING A DISCHARGE
HAY BALES/ SILT FENCE BARRIER	REPAIR/REPLACE WHEN FAILURE OBSERVED, REMOVE SILT WHEN ACCUMULATION REACHES APPROX. HALF HEIGHT OF BARRIER	WEEKLY & WITHIN 24 HOURS AFTER STORM GENERATING A DISCHARGE
TARP TEMPORARY STOCKPILES	ENSURE TARP IS SECURED OVER STOCKPILE AT THE END OF EACH DAY	DAILY
CONSTRUCTION ENTRANCE	SWEEP PAVED ROADWAY ADJACENT TO SITE ENTRANCE AS NECESSARY, REFRESH STONE AS NECESSARY, REMOVE SILTED GRAVEL	WEEKLY
MOISTEN EXPOSED SOILS	PERIODICALLY MOISTEN EXPOSED SOIL SURFACES WITH WATER ON UNPAVED TRAVELWAYS AND KEEP TRAVELWAYS DAMP	DAILY

SUGGESTED CONSTRUCTION SEQUENCE:

1. CONDUCT A PRE-CONSTRUCTION MEETING WITH THE OWNER AND ENGINEER PRIOR TO ANY CONSTRUCTION ACTIVITY.
2. INSTALL CONSTRUCTION ENTRANCE(S)
3. INSTALL PERIMETER E&S CONTROLS
4. STRIP TOPSOIL AND PLACE EROSION CONTROLS AS NECESSARY.
5. PERFORM BULK EARTHWORK OPERATIONS.
6. CONSTRUCTION OF BUILDING ADDITION.
7. CONSTRUCT NEW WATER AND GAS SERVICES.
8. BOX OUT PARKING LOT WITH IMPORTED BASE MATERIALS AND INSTALL PRECAST CONCRETE CURB.
9. CONSTRUCT BOTTOM COURSE OF BITUMINOUS PAVEMENT.
10. CONSTRUCT LANDSCAPING AND OTHER SITE AMENITIES.
11. CONSTRUCT TOP COURSE OF BITUMINOUS PAVEMENT.
12. AT THE CONCLUSION OF CONSTRUCTION, COMPLETE THE INSTALLATION OF POST-CONSTRUCTION SITE STABILIZATION MEASURES AS SHOWN ON THE DRAWINGS.

SITE PREP, EROSION, AND SEDIMENT CONTROL LEGEND

- PROPERTY LINE
- LIMIT OF DISTURBANCE
- SILT FENCE
- CONSTRUCTION ENTRANCE
- TEMPORARY STOCKPILE LOCATION
- REMOVE EXISTING SIDEWALK
- REMOVE ITEM
- PROTECT EXISTING TREE



TOWN OF EAST HARTFORD
PLANNING AND ZONING COMMISSION
SITE PLAN CERTIFICATE
OF APPROVAL

APPROVAL DATE _____
EXPIRATION DATE _____
CHAIRMAN

ISSUED FOR SITE PLAN APPROVAL

Project Title:
Town of East Hartford
Wickham Memorial Library:
Renovations & Additions
656 Burnside Ave, East Hartford, CT 06108



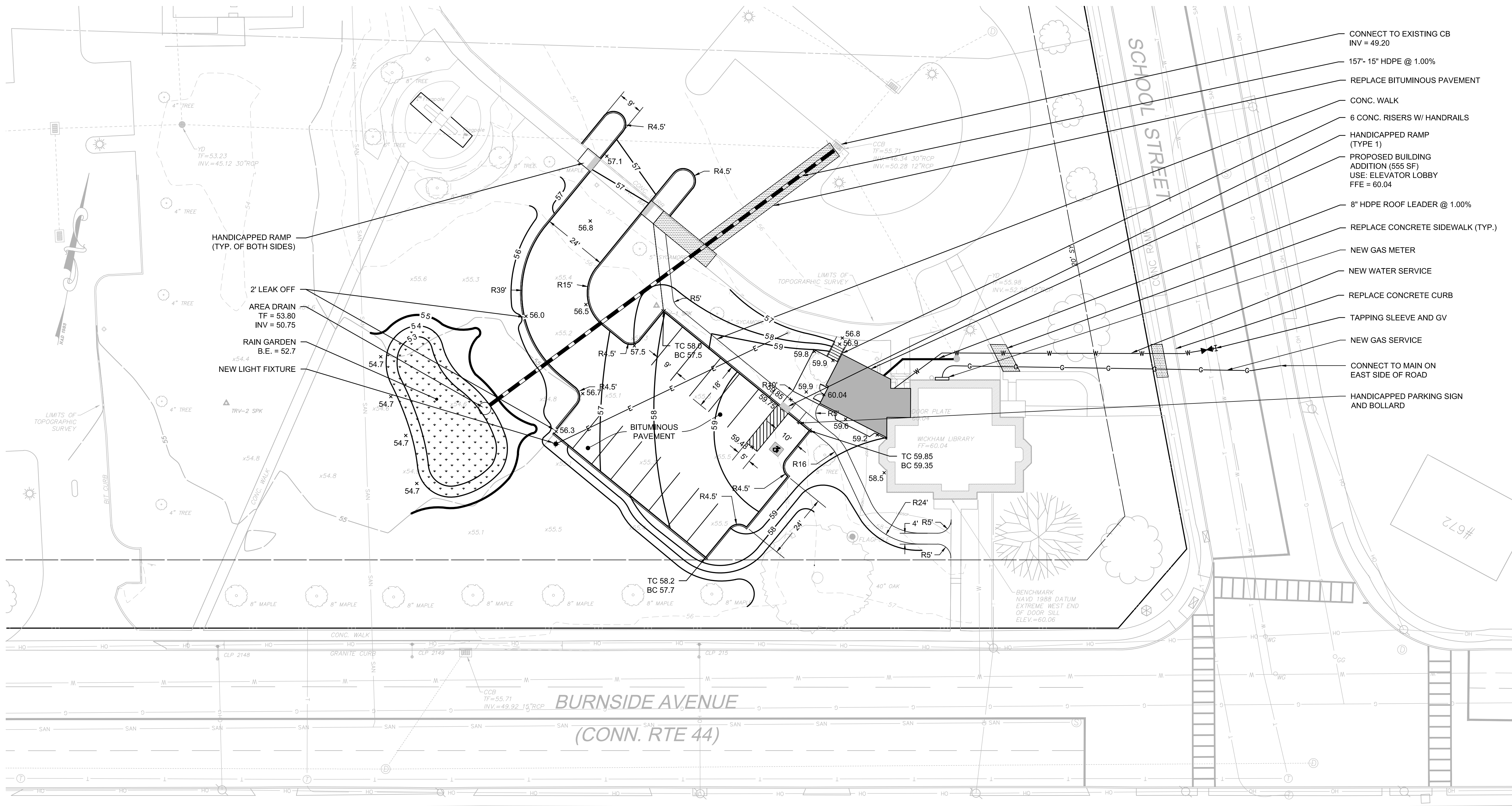
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Revision:	Description:	Date:	Revised By:



Drawing Title:
Site Preparation and
Erosion Control Plan

Date: 01.11.19
Scale: AS NOTED
Drawn By: JCO
Project Number: 17.322
Drawing Number: C-100



LAYOUT NOTES

1. THE CONTRACTOR SHALL COMPLY WITH ALL STATE, LOCAL AND FEDERAL REGULATIONS.
2. MATERIALS AND CONSTRUCTION PROCEDURES SHALL COMPLY WITH CT DOT FORM 817 AND THE TOWN OF ROCKY HILL SPECIFICATIONS.
3. CONTRACTOR TO SECURE ALL NECESSARY TRADE PERMITS.
4. NEW PAVEMENT TO MEET LINE & GRADE OF EXISTING PAVEMENTS.
5. LOAM AND SEED ALL DISTURBED AREAS NOT COVERED BY OTHER IMPROVEMENTS.
6. ALL LOCATIONS WHERE EXISTING CURBING, BITUMINOUS CONCRETE ROADWAY OR CONCRETE ROADWAY OR CONCRETE SIDEWALK ABUT NEW CONSTRUCTION, THE EDGE OF THE EXISTING CURB OR PAVEMENT SHALL BE SAW CUT TO PROVIDE A CLEAN, SMOOTH EDGE. JACK COAT EXPOSED EDGES OF EXISTING CONCRETE PRIOR TO PLACEMENT OF NEW BITUMINOUS CONCRETE PAVEMENT.
7. FIELD ADJUSTMENTS MUST BE APPROVED BY APPROPRIATE MUNICIPAL OFFICIALS PRIOR TO CONSTRUCTION.
8. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE VERTICAL AND HORIZONTAL POSITION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
9. MANUFACTURED ITEMS SHALL BE INSTALLED, CONNECTED AND CLEANED ACCORDING TO THE MANUFACTURERS DIRECTIONS.
10. PRIOR TO PROJECT CLOSE-OUT, CONTRACTOR SHALL REMOVE ALL DEBRIS AND EXCESS MATERIALS FROM SITE. ALSO, ANY DAMAGE TO FIELD OR FACTORY APPLIED FINISHES SHALL BE REPAIRED.

DRAINAGE NOTES

1. FUNCTIONAL COMPLETION OF STORM WATER DETENTION SYSTEMS AND STRUCTURES SHALL PRECEDE SITE DEVELOPMENT OF AREAS, ROADS, OR LOTS CONTRIBUTING TO THESE SYSTEMS.

UTILITY NOTES

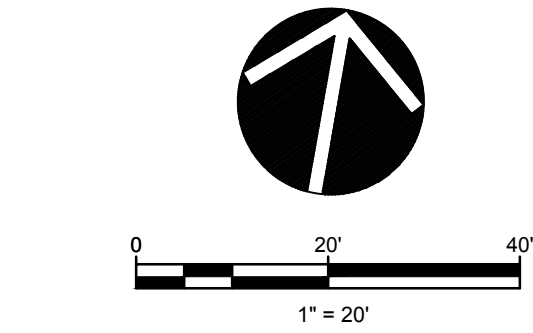
- WATER SERVICE
1. ALL WATER SERVICE WORK TO COMPLY WITH MDC STANDARDS.
- ALL FIRE SERVICES ARE TO BE 6" D.I. WITH 5 FT OF COVER UNLESS OTHERWISE NOTED.
- ALL WATER MAINS AND SERVICES ARE TO BE A MIN. 10 FT FROM ANY SANITARY SERVICE (UNLESS SHELVED IN THE SAME TRENCH) AND A MINIMUM OF 24" OF VERTICAL CLEARANCE FROM ANY OTHER UTILITY LINE.
- LOCATION OF WATER SERVICES AT BUILDINGS TO BE COORDINATED WITH MECHANICAL DRAWINGS.
- GAS SERVICE (CONNECTICUT NATURAL GAS)
1. ALL GAS SERVICES ARE TO CONFORM TO THE MOST CURRENT GAS COMPANY STANDARDS AND REGULATIONS.
 2. FINAL DESIGN TO BE COORDINATED WITH APPROPRIATE UTILITY COMPANY
 3. METER LOCATIONS TO BE COORDINATED WITH MECHANICAL DRAWINGS.

ZONING BULK/DIMENSIONAL TABLE

ZONE: RESIDENTIAL (R4)	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	7,600 SF	403,291 SF	403,291 SF
MINIMUM STREET FRONTAGE	50 FT	435 FT	435 FT
MINIMUM FRONT YARD ¹	25 FT	47 FT	47 FT
MINIMUM SIDE YARD ²	20 FT	49 FT	49 FT
MINIMUM REAR YARD	25 FT	416 FT	416 FT
MAXIMUM LOT COVERAGE ³	35%	9.8%	10.0%
MAXIMUM BUILDING HEIGHT	35 FT	33 FT- 6 IN	33 FT- 6 IN
TOTAL PARKING SPACES ⁴	NOT SPECIFIED	50	60

1. FRONT YARD IS BURNSIDE AVENUE (SMALLER FRONTAGE)
2. SIDE YARD IS SCHOOL STREET (LARGER FRONTAGE) TWO SIDE YARDS TO HAVE A TOTAL WIDTH OF 20 FEET, HOWEVER ONE CANNOT BE LESS THAN 8 FEET
3. 37,666 SF (POLICE COMPLEX) + 1,916 SF (EX WICKHAM LIBRARY) + 555 (PROPOSED ADDITION) = 40,137 BLDG COVERAGE / 403,291 TOTAL SF = 10.0%
4. TOTAL PARKING SPACES INCLUDES ELLIPTICAL POLICE COURT COMPLEX

- SITE LEGEND
- PROPERTY LINE
 - EXISTING CONTOUR
 - 57 --- PROPOSED CONTOUR
 - PRECAST CONCRETE CURB
 - W --- WATER LINE
 - G --- GAS LINE
 - E --- ELECTRIC LINE
 - PROPOSED DRAINAGE PIPE
 - EXISTING BUILDING
 - PROPOSED BUILDING ADDITION
 - REPLACE EXISTING SURFACE
 - DRAINAGE STRUCTURE
 - ★ LIGHT FIXTURE



TOWN OF EAST HARTFORD
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_____ CHAIRMAN

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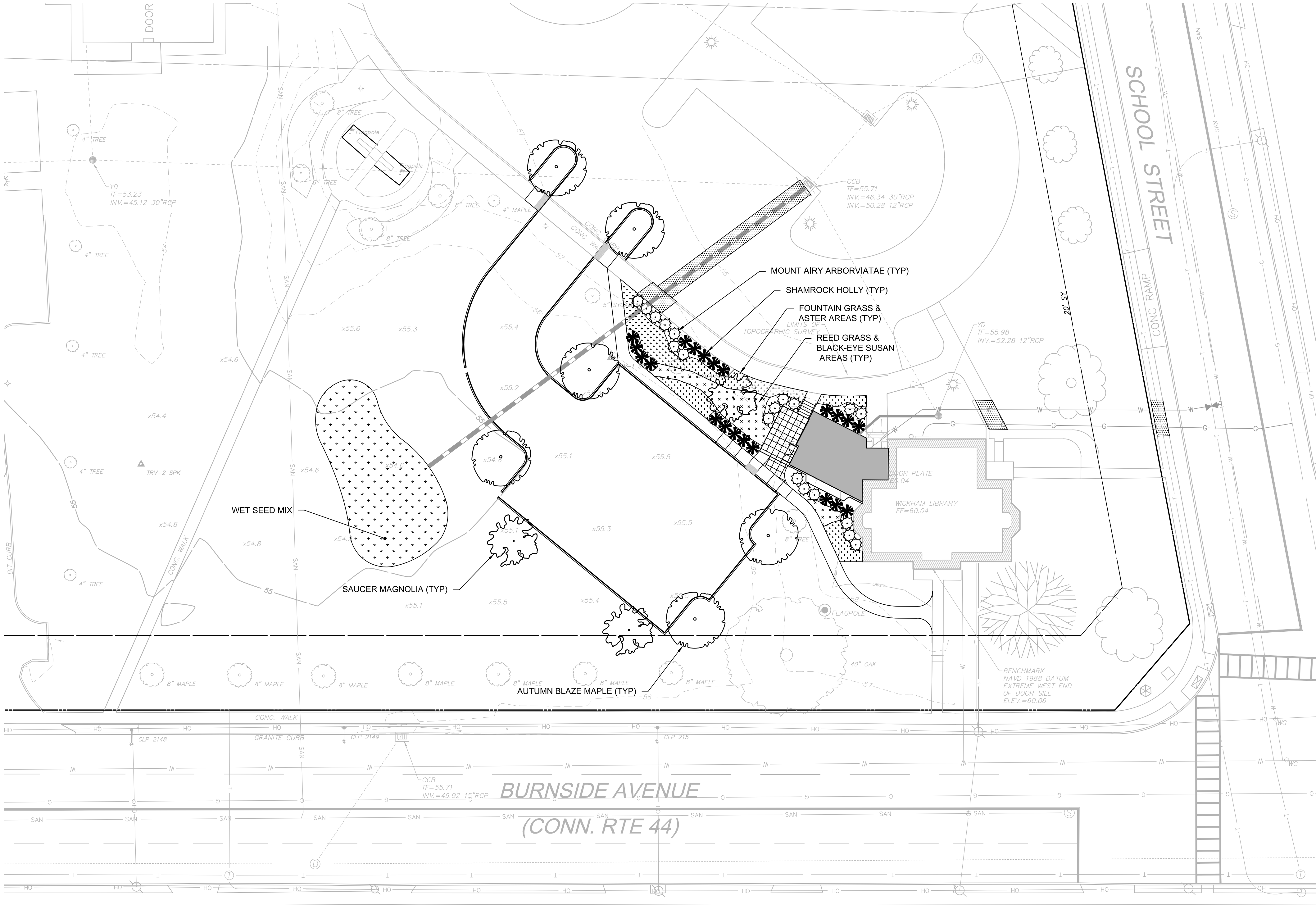
Revision:	Description:	Date:	Revised By:



Drawing Title:

Site Plan

Date: 01.11.19
Scale: AS NOTED
Drawn By: JCO
Project Number: 17.322
Drawing Number: C-200



SEED MIX NOTES

- A. LAWN SEED MIX - LOFTS SEED COMPANY OR APPROVED EQUAL
70 % TALL FESCUE - FESTUCA ARUNDINACEA
30 % CREEPING RED FESCUE - FESTUCA RUBRA
- SEEDING RATE: 5 LBS PER 1,000 S.F. (ADD 10% TO QUANTITY IF HYDROSEEDDED.)
SEEDING DATES: AUGUST 15 - OCTOBER 1 AND APRIL 15 - JUNE 30 UNLESS OTHERWISE APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT.
LOCATIONS: ALL DISTURBED AREAS NOT OTHERWISE IDENTIFIED WITH OTHER SEED MIX, MULCH, OR PAVEMENT
- B. WET SEED MIX -
NEW ENGLAND WETMIX (WETLAND SEED MIX)
NEW ENGLAND WETLAND PLANTS INC. OR APPROVED EQUAL
LOCATIONS: AS SHOWN ON PLAN

SPECIES: FOX SEDGE (CAREX VULPINOIDEA), LURID SEDGE, (CAREX LURIDA), BLUNT BROOM SEDGE, (CAREX SCOPARIA), SENSITIVE FERN (ONOCLEA SENSIBILIS), BLUE VERVAIN, (VERBENA HASTATA), HOP SEDGE, (CAREX LUPULINA), GREEN BULRUSH, (SCIRPUS ATROVIRENS), NODDING BUR MARIGOLD, (BIDENS CER-NUA), BRISTLY SEDGE, (CAREX COMOSA), FRINGED SEDGE, (CAREX CRINITA), AMERICAN MANNAGRASS, (GLYCERIA GRANDIS), WOOL GRASS, (SCIRPUS CYPERINUS), SOFT RUSH, (JUNCUS EFFUSUS), SPOTTED JOE PYE WEEED, (EUPATORIUM MACULATUM), BONESET, (EUPATORIUM PERFOLIATUM), MUD PLANTAIN, (ALISMA SUBCORDATUM), NEW ENGLAND ASTER, (ASTER NOVAE-ANGLIAE), RATTLESNAKE GRASS, (GLYCERIA CANADENSIS), PURPLESTEM ASTER (ASTER PUNICEUS), SOFT STEM BULRUSH, (SCIRPUS VALIDUS), BLUEFLAG (IRIS VERSICOLOR), SWAMP MILKWEED, (ASCLEPIAS INCARNATA), MONKEY FLOWER, (MIMULUS RINGENS).

APPLICATION RATE: 20 LBS/ACRE AT STORMWATER PONDS
SEEDING DATES: AUGUST 15 - OCTOBER 1 AND APRIL 15 - JUNE 30 UNLESS OTHERWISE APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT.

LANDSCAPE SCHEDULE

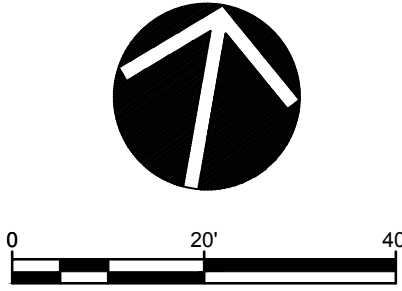
NO	SYM	BOTANICAL NAME	COMMON NAME	INSTALLED SIZE	ROOT	COMMENT	LOCATIONS
		PLANT SPECIES					
6	AF	Acer x Freemanii 'Autumn Blaze'	Autumn Blaze Maple	3" Cal	B&B	Uniform, Single Stem, First Branch at 6'	AS CALLED OUT ON PLAN
160	AN	Aster novae-angliae	New England Aster	18" HT	Cont.	Space 18" O.C.	AS HATCHED ON PLAN, REFER TO LEGEND
95	CA	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster reed grass	18" HT	Cont.	Space 18" O.C.	AS HATCHED ON PLAN, REFER TO LEGEND
19	FG	Fothergilla gardenii 'Mt. Airy'	Mount Airy Arborvitae	30" HT.	Cont.	Uniform, Well-developed	AS CALLED OUT ON PLAN
21	IG	Ilex glabra 'Shamrock'	Shamrock Holly	30" HT.	Cont.	Uniform, Well-developed	AS CALLED OUT ON PLAN
3	MS	Magnolia x soulangiana 'Alexandrina'	Saucer Magnolia	8'-10' HT.	B&B or Cont.	Uniform, Well-developed, Multi-Stem	AS CALLED OUT ON PLAN
500	NS	Narcissus spp.	Daffodil	Bulb	bulb	(3) different colors, groups of 5, mix	ALL PLANT BEDS ADJACENT TO BUILDING
160	PA	Pennisetum alopecuroides 'Hameln'	Dwarf Fountain Grass	18" HT.	Cont.	Space 18" O.C.	AS HATCHED ON PLAN, REFER TO LEGEND
95	RF	Rudbeckia fulgida	Black-eye Susan	18" HT.	Cont.	Space 18" O.C.	AS HATCHED ON PLAN, REFER TO LEGEND

SCHEDULE NOTES:

- CULTIVARS FOR PLANTS IDENTIFIED ABOVE AS STRAIGHT SPECIES MAY BE PROPOSED IF THE CULTIVAR EXHIBITS THE VISUAL AND CULTURAL CHARACTERISTICS TYPICAL OR SUPERIOR TO THE STRAIGHT SPECIES. BEFORE CHANGES OR SUBSTITUTIONS CAN BE MADE DUE TO UNAVAILABILITY OF PLANT MATERIAL, SUBMIT SATISFACTORY EVIDENCE THAT THE CONTRACTOR HAS ADVISED FOR A ONE MONTH PERIOD IN A TRADE JOURNAL SUCH AS THE "AMERICAN NURSERYMAN". (TEL. 312-427-7339 AND FAX: 312-427-7346), WITH NO RESPONSE, OR HAS UNDERTAKEN OTHER METHODS OF LOCATING PLANT MATERIAL ACCEPTABLE TO THE LANDSCAPE ARCHITECT OR ENGINEER. ALL SUBSTITUTIONS MUST RECEIVE APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO DELIVERY TO SITE.
- PROVIDE AND INSTALL ALL PLANTS SHOWN ON THE PLANTING PLAN DRAWINGS; THE QUANTITIES IN THE PLANT LIST ARE PROVIDED FOR THE CONTRACTOR'S CONVENIENCE ONLY. IF DISCREPANCIES OCCUR, THE LARGER QUANTITY SHALL APPLY.
- IF THERE IS A DISCREPANCY BETWEEN BOTANICAL AND COMMON NAME, BOTANICAL NAME PREVAILS.
- PROPOSED TREE CALIPER IS MEASURE 3" ABOVE ROOT BALL.

LANDSCAPE LEGEND

- PROPOSED REED GRASS (CA), AND BLACK-EYE SUSAN AREAS (RF), SPACE AT 18" O.C.
- PROPOSED FOUNTAIN GRASS (PA) AND ASTER (AN) AREAS, SPACE AT 18" O.C.
- PROPOSED WET SEED MIX
- AUTUMN BLAZE MAPLE (AF)
- SAUCER MAGNOLIA (MS)
- MOUNT AIRY ARBORVIATAE (FG)
- SHAMROCK HOLLY (IG)



TOWN OF EAST HARTFORD
PLANNING AND ZONING COMMISSION
SITE PLAN CERTIFICATE
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EXPIRATION DATE _____
CHAIRMAN

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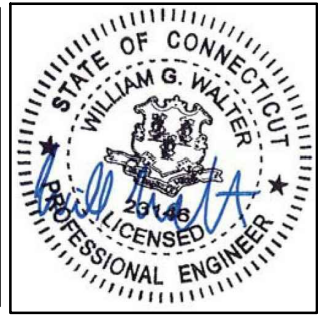
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Wickham Memorial Library:
Renovations & Additions
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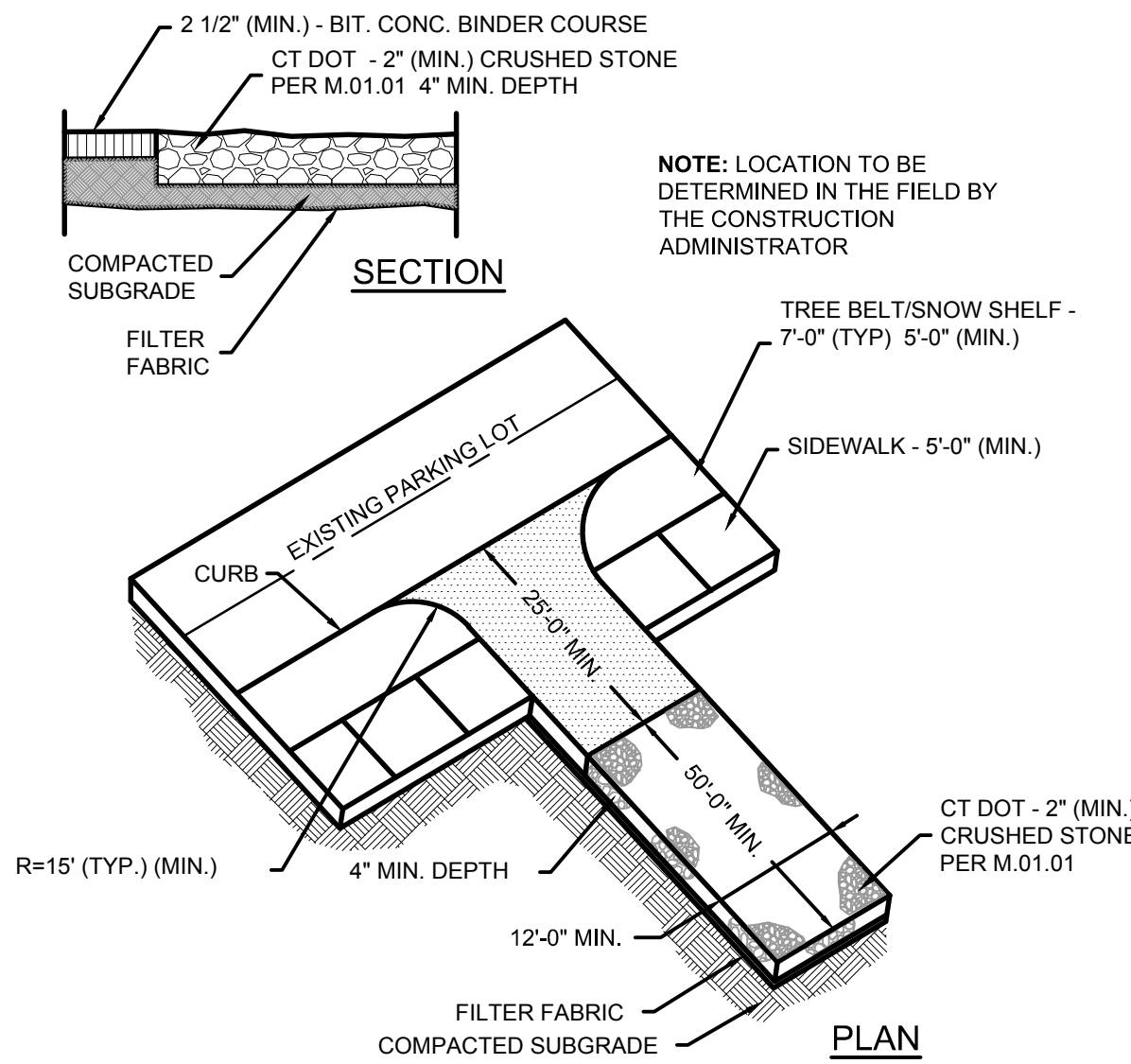
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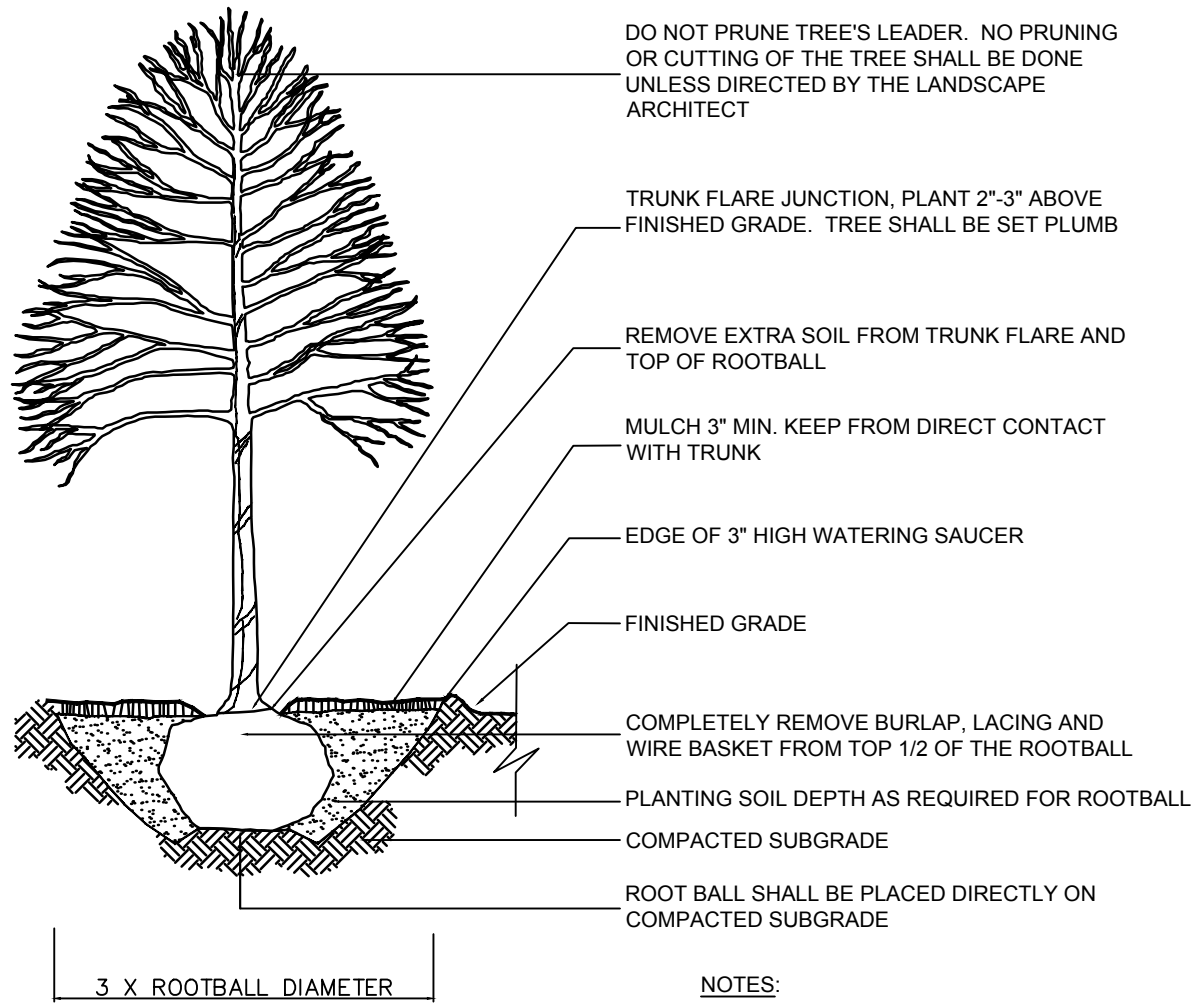
Drawing Title:
Landscape Plan

Date: 01.11.19
Scale: AS NOTED
Drawn By: JCO
Project Number: 17.322
Drawing Number: C-300



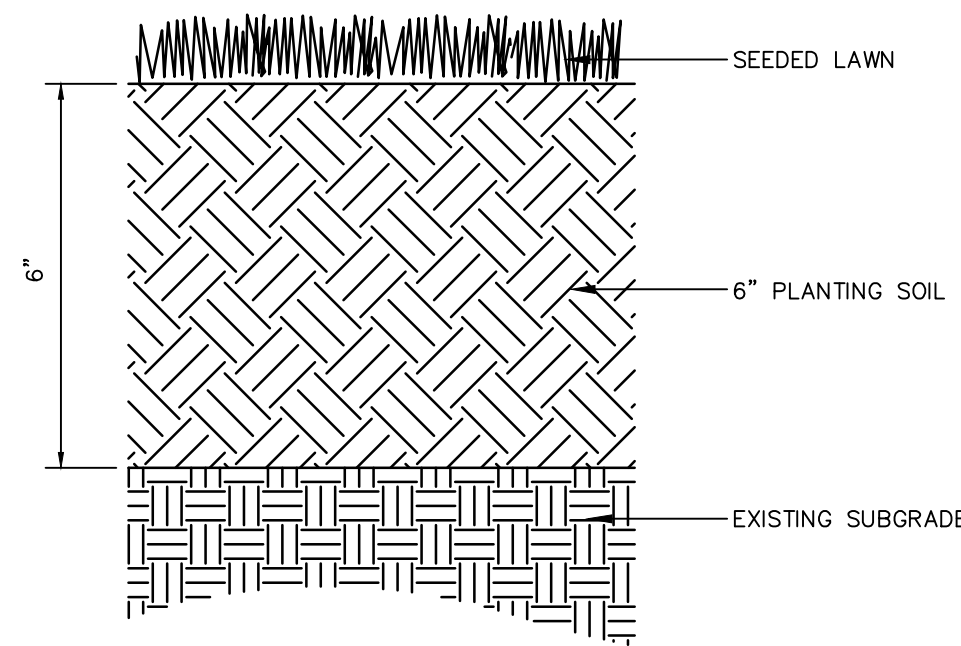
CONSTRUCTION ENTRANCE

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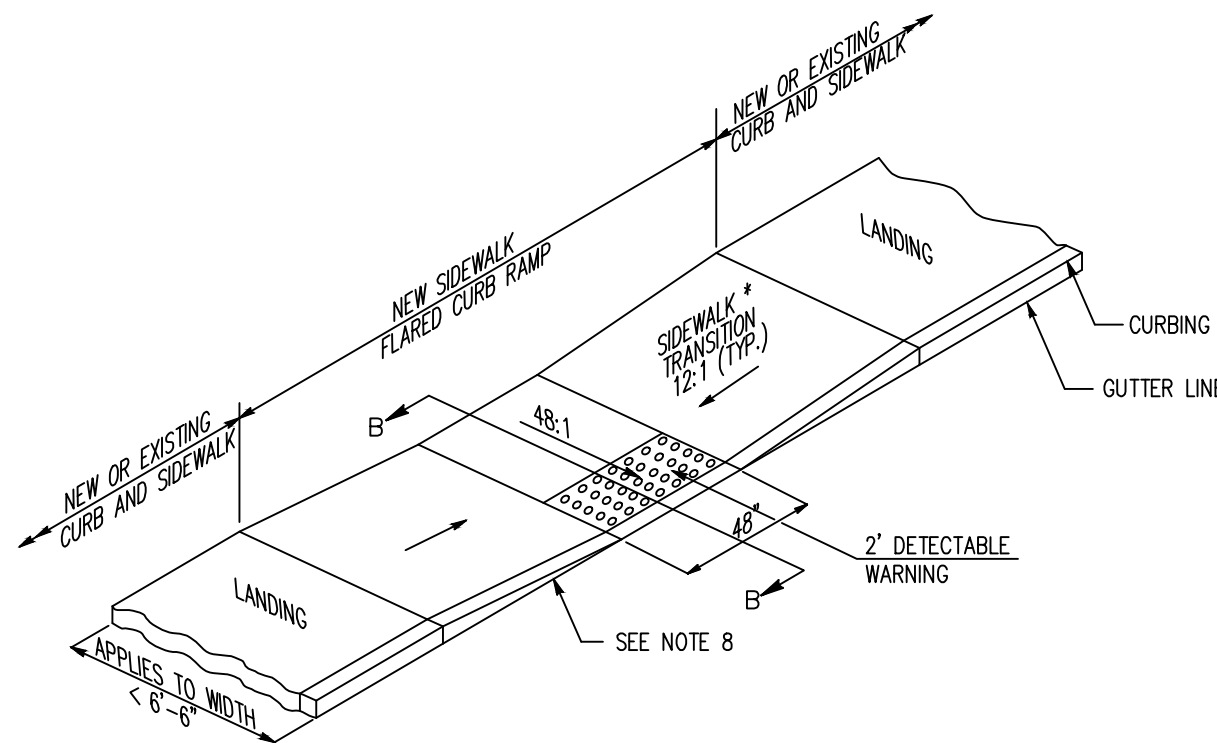
TREE PLANTING

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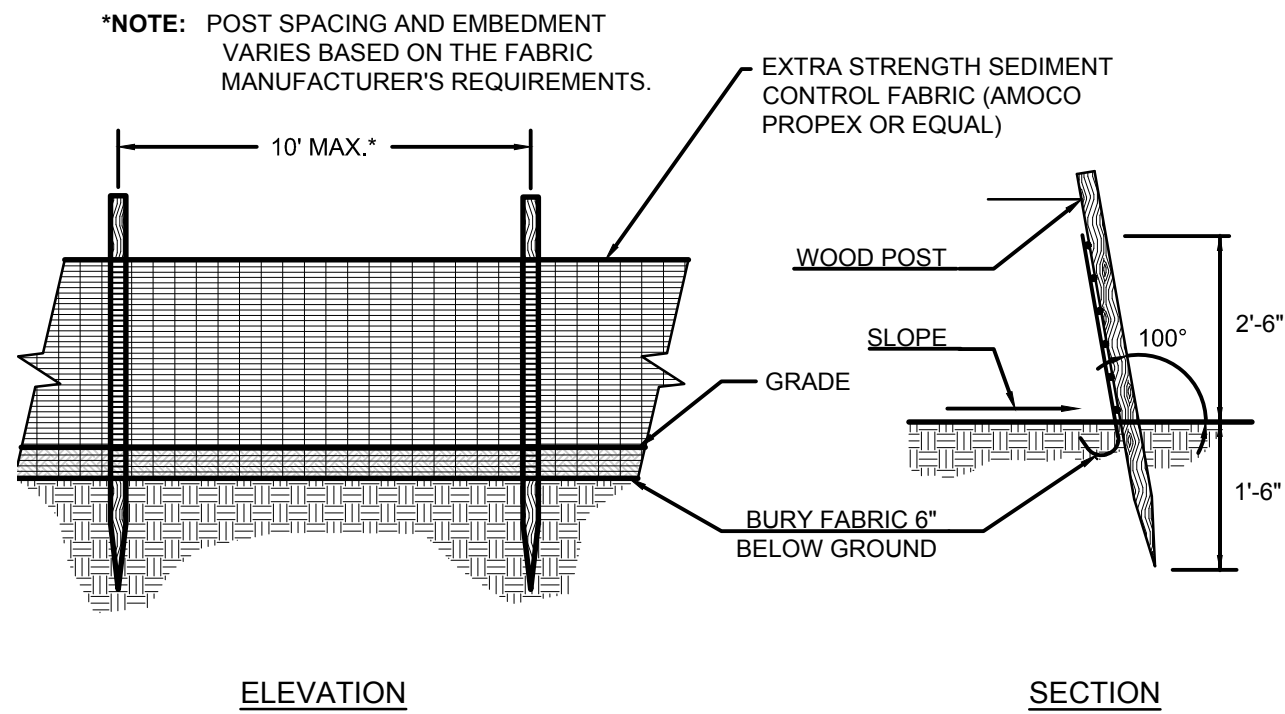
LAWN SECTION

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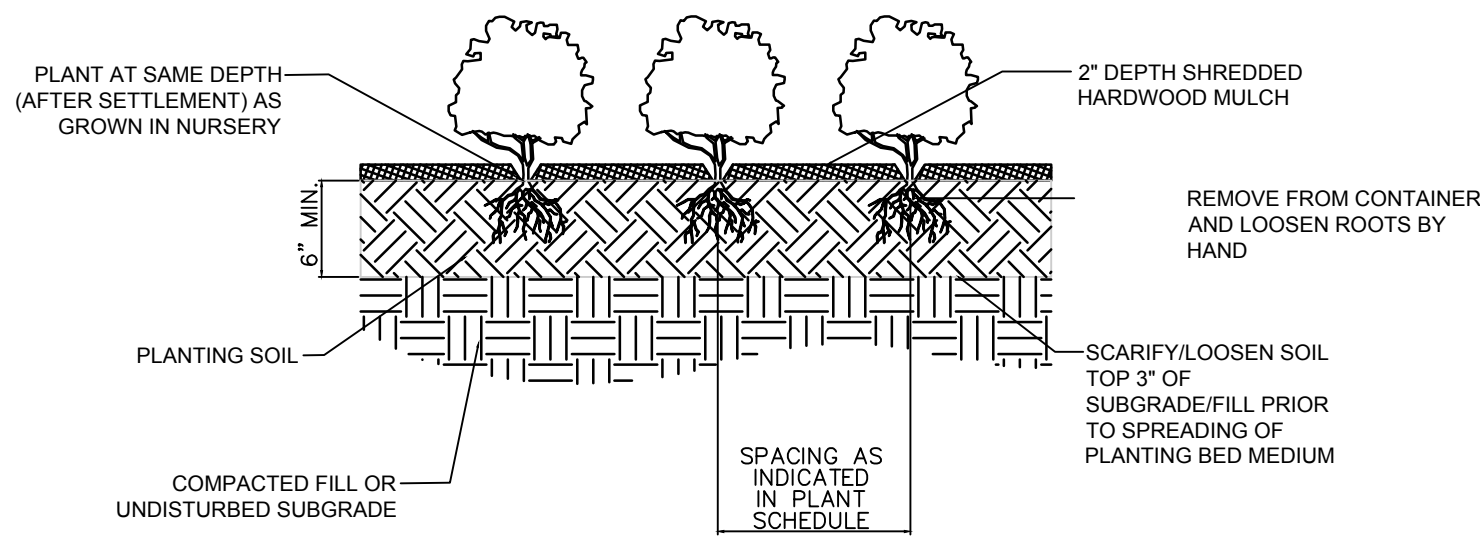
PARALLEL SIDEWALK RAMP (CONNDOT TYPE 1)

SCALE : NONE



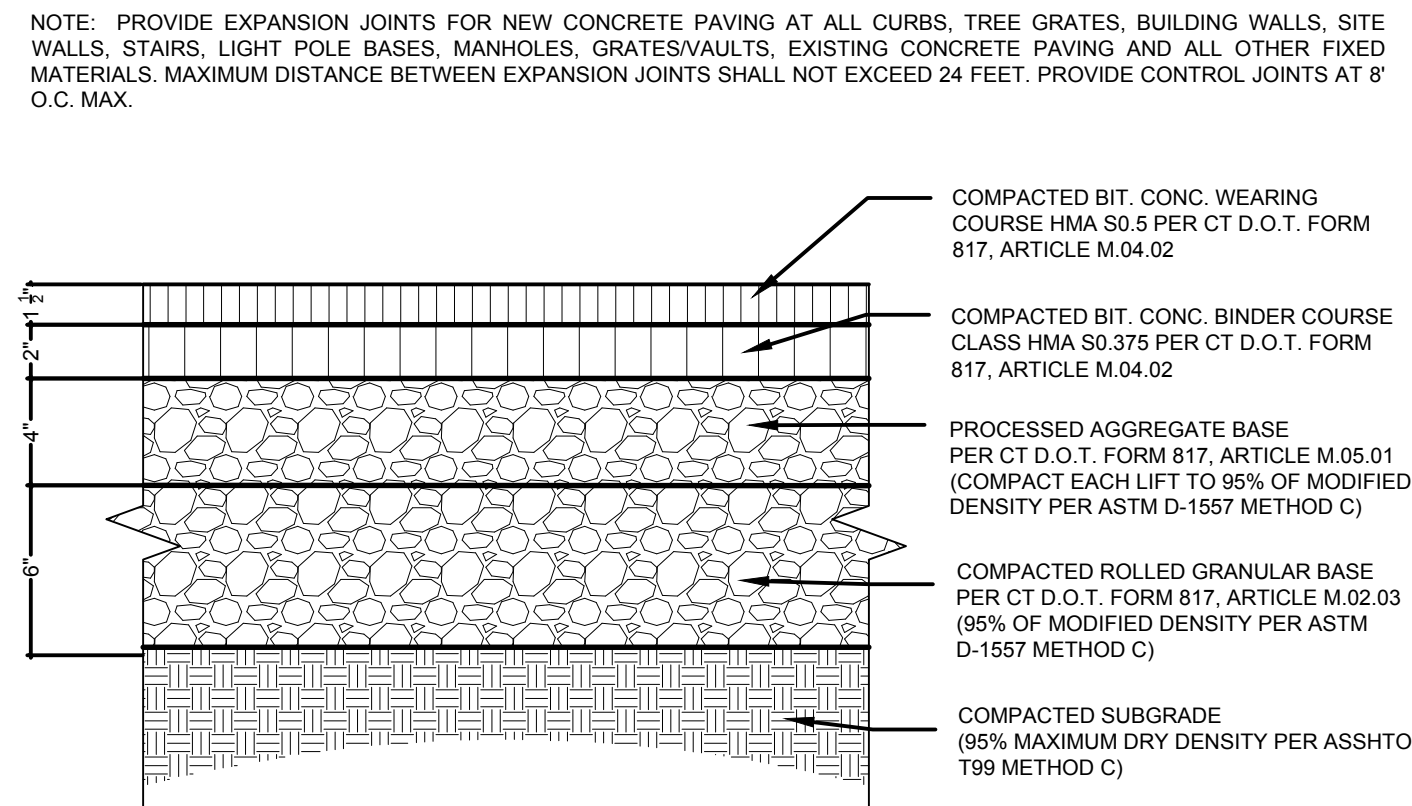
SILT FENCE BARRIER

SCALE : NONE



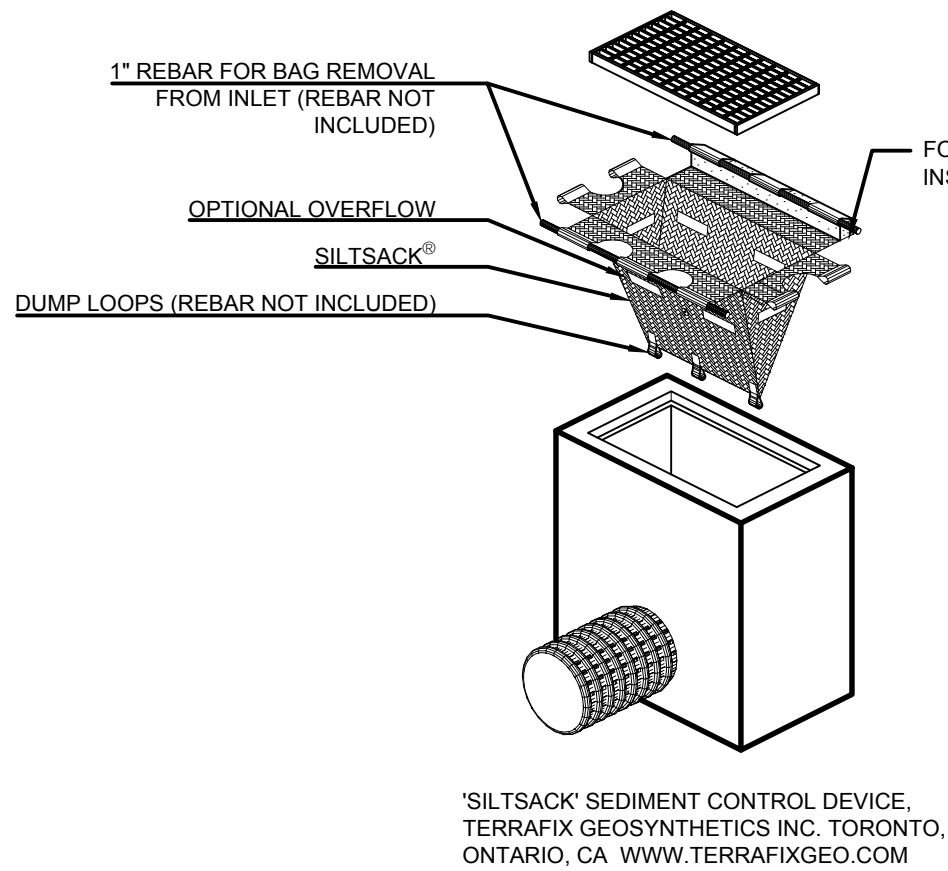
GROUNDCOVER PLANTING (TYP.)

SCALE : NONE



BITUMINOUS CONCRETE PAVEMENT

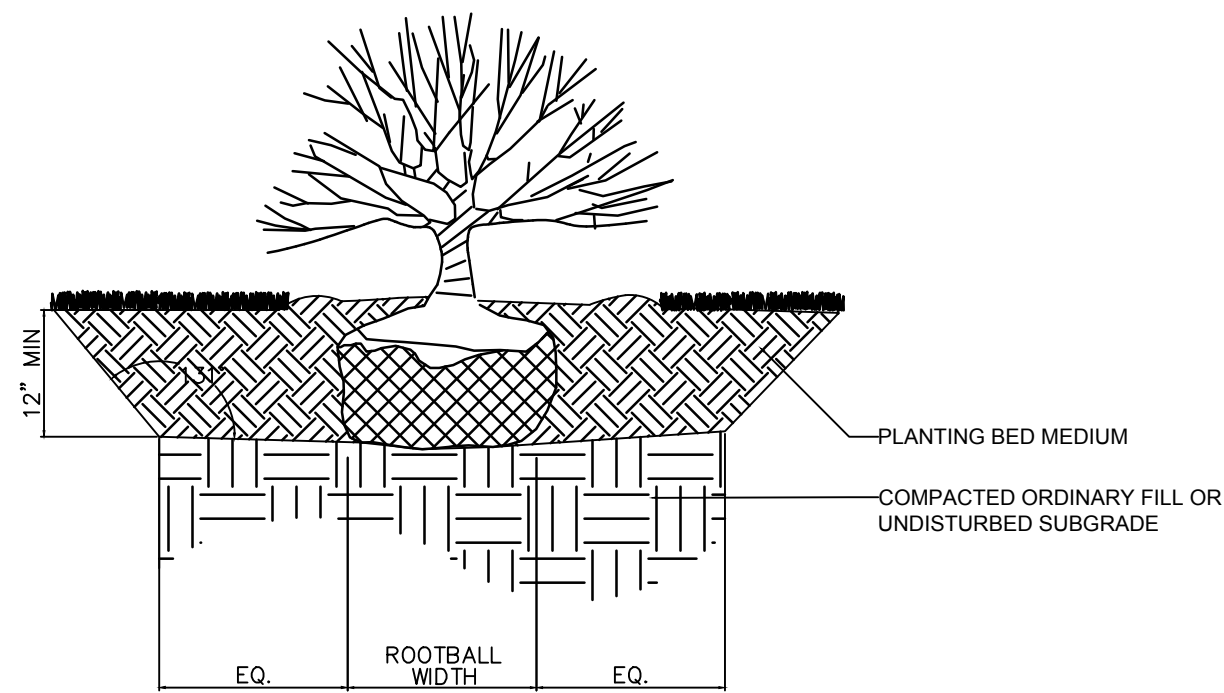
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SILT SACK

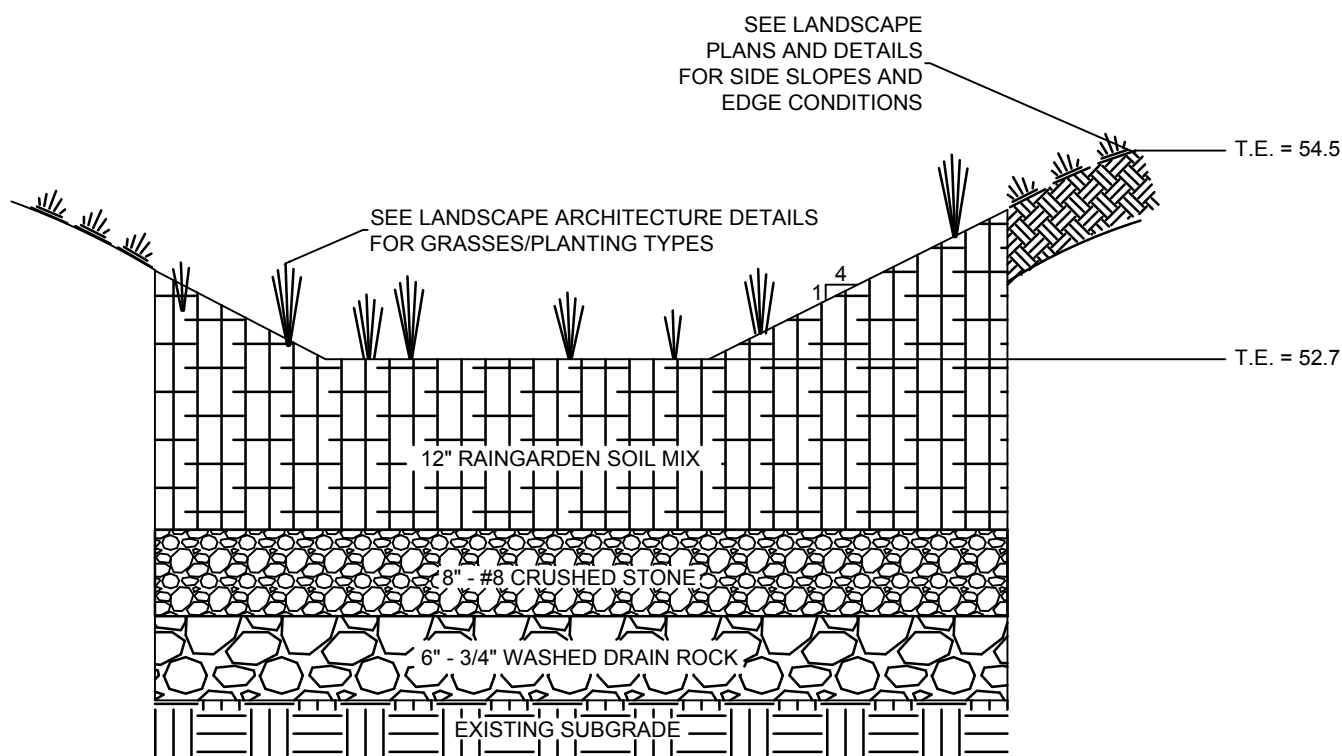
SCALE : NONE

- NOTES:
1. LOOSE OR CRACKED ROOT BALLS ARE UNACCEPTABLE.
 2. EXCAVATE TO REQUIRED DEPTH AND DO NOT EXCAVATE BELOW ROOT BALL DEPTH.
 3. SET SHRUBS PLUMB WITH ROOT FLARE 1" ABOVE FINISHED GRADE, BACKFILL WITH PLANTING MIX.
 4. FLOOD WATERING SAUCER TWICE IN FIRST 24 HOURS AFTER PLANTING.
 5. RAISE AND REPLANT ANY SHRUBS THAT SETTLE AFTER PLANTING & WATERING.
 6. REMOVE 1/3 BURLAP PRIOR TO BACKFILL. SYNTHETIC BURLAP UNACCEPTABLE.
 7. 2" DEPTH MULCH (KEEP MULCH 1" AWAY FROM SHRUB BASE) 3" HIGH EARTH WATERING SAUCER 1'-0" BEYOND ROOT BALL PLANTING MIXTURE.
 8. FOR CONTAINERIZED PLANTS: REMOVE CONTAINER PRIOR TO PLANTING, SCARIFY ROOT BALL BELOW EDGE 1/2" DEEP IN FOUR LOCATIONS.



SHRUB PLANTING (TYP.)

SCALE : NONE



- NOTES:
1. RAIN GARDEN SOIL MIX SHALL CONSIST OF 67% SANDY LOAM TOPSOIL, AND 33% COMPOST MATERIAL BY VOLUME. TOPSOIL SHALL BE SANDY LOAM BY USDA SOIL TEXTURE CLASSIFICATION. COMPOST MATERIAL SHALL COMPLY WITH SPECIFICATIONS.
 2. INSTALL TOPSOIL IN A MANNER THAT ENSURES ADEQUATE INFILTRATION. PLACE IN TWO EQUAL LIFTS.
 3. LIFTS SHOULD NOT BE COMPACTED, BUT RATHER PLACED IN A MANNER TO REDUCE EXCESSIVE EROSION OR SETTLEMENT. LIFTS MAY BE LIGHTLY WATERED TO ENCOURAGE NATURAL COMPACTION OR, IF NECESSARY, ROLLED WITH WATER-FILLED LANDSCAPE ROLLER. SLIGHTLY OVERFILL THE FACILITY ABOVE PROPOSED FINISHED GRADE TO ACCOMMODATE NATURAL SETTLEMENT.

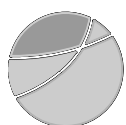
RAIN GARDEN

SCALE : NONE

TOWN OF EAST HARTFORD PLANNING AND ZONING COMMISSION SITE PLAN CERTIFICATE OF APPROVAL	
APPROVAL DATE _____	
EXPIRATION DATE _____	
CHAIRMAN	

ISSUED FOR SITE PLAN APPROVAL

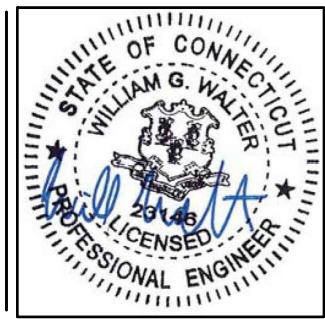
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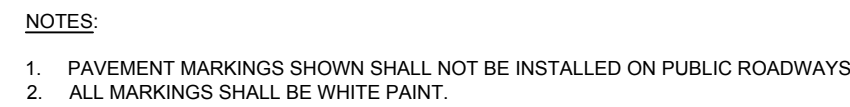
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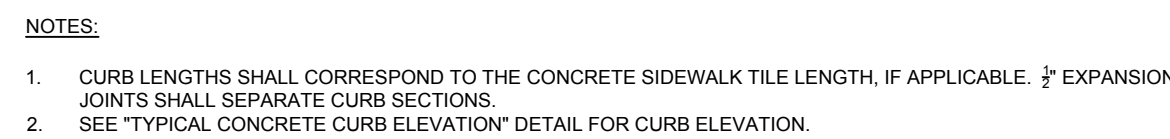
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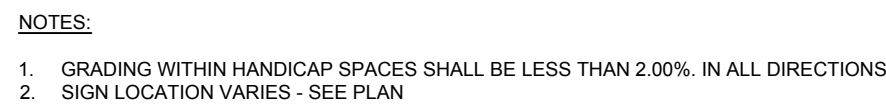
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Project Number: 17.322
Drawing Number: C-400



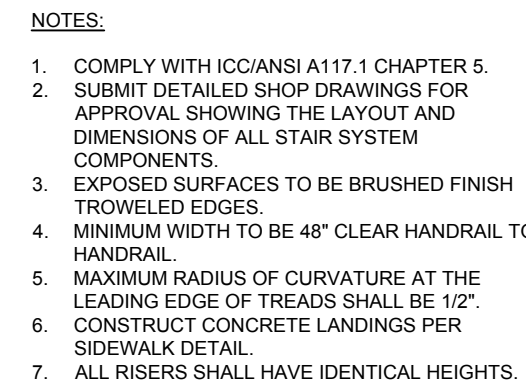
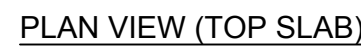
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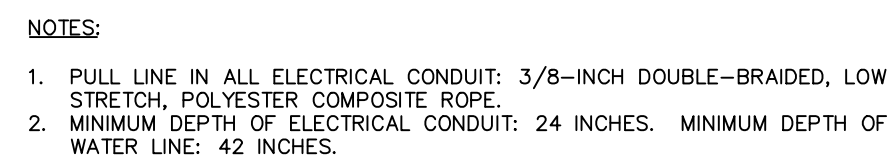
CONCRETE AREA DRAIN
SCALE: NONE



SCALE: NONE



SCALE: NONE

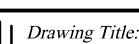


SCALE: NONE



Drawing Title:

51



Date: 01.11.19

Scale: AS NOTED

Drawn By: JCO

Project Number: 17.322

Drawing Number: **C-401**

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SILVER / PETRUCELLI + ASSOCIATES
Architects / Engineers / Interior Designers

3190 Whitney Avenue, Hamden, CT 06518-2340
Tel. 203 230 9007 Fax. 203 230 8247
silverpetrucelli.com

<i>Revision:</i>	<i>Description:</i>	<i>Date:</i>	<i>Revised By:</i>

NOTES:

1. PULL LINE IN ALL ELECTRICAL CONDUIT: 3/8-INCH DOUBLE-BRAIDED, LOW STRETCH, POLYESTER COMPOSITE ROPE.
2. MINIMUM DEPTH OF ELECTRICAL CONDUIT: 24 INCHES. MINIMUM DEPTH OF WATER LINE: 42 INCHES.

CONDUIT OR WATER TRENCH

SCALE: NONE

Drawing Title:

Site Details

Date: 01.11.19

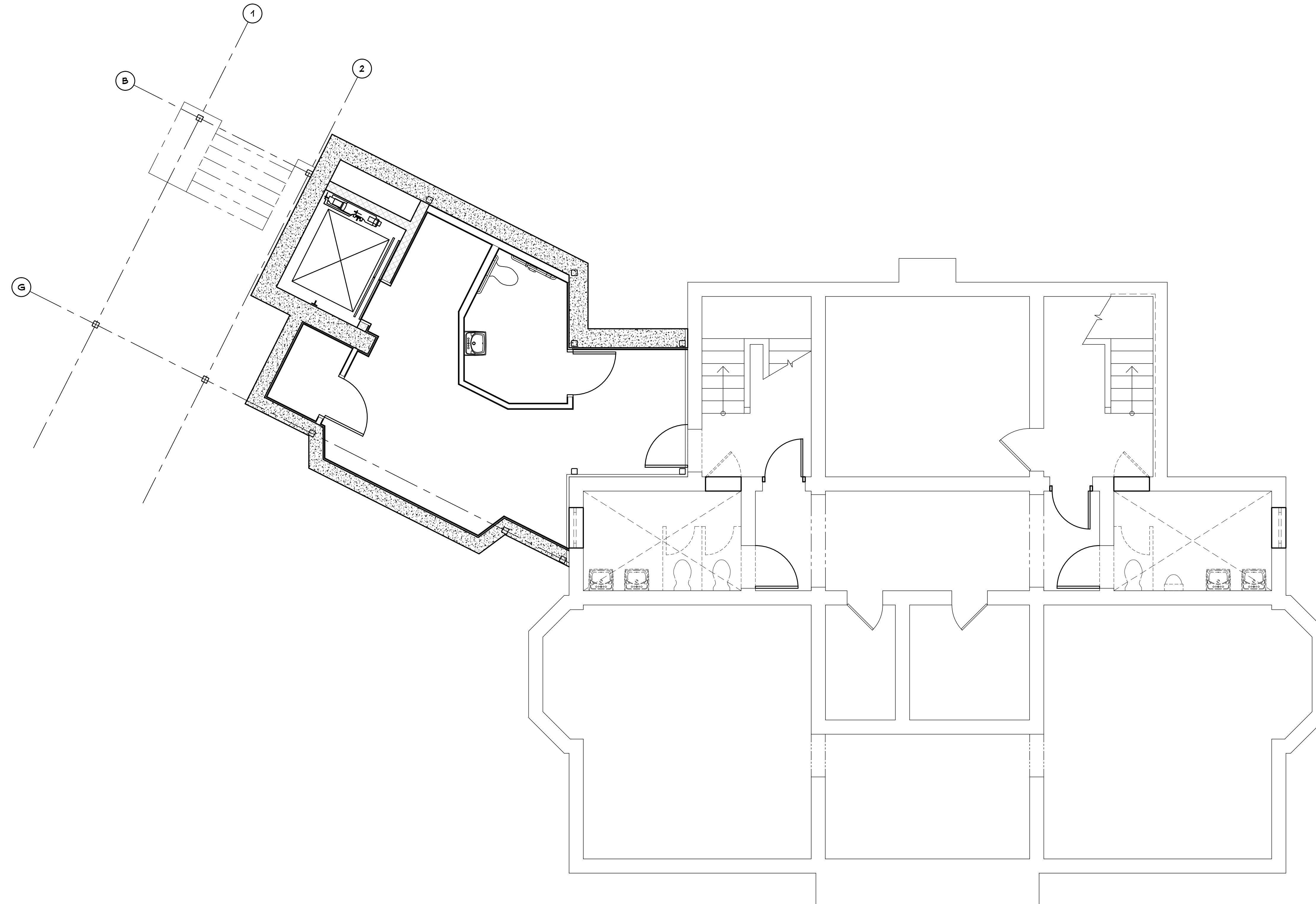
Scale: AS NOTED

Drawn By: JCO

Project Number: 17.322

Drawing Number: **C-401**

	- EXISTING WALLS TO REMAIN.		- NEW 2X2 METAL CEILING PLATE W/NEW MECHANICAL CEILING GRILL (SEE MECHANICAL DWGS. FOR GRILL SIZES)
	- EXISTING TO BE REMOVED.		- DEMO EXISTING ACOUSTICAL CEILING TILE AND EXISTING LIGHT FIXTURES (SEE ELECTRICAL DWGS. FOR MORE INFO)
	- NEW WALL TOOTHED INTO EXISTING ADJACENT WALL (SEE PARTITION TYPE)		- DEMO EXISTING GYPSUM CEILING AND EXISTING LIGHT FIXTURES (SEE ELECTRICAL DWGS. FOR MORE INFO)
	- INDICATES CONSTRUCTION NOTE. - SEE NOTES BELOW		- DEMO EXISTING ACOUSTICAL CEILING TILES, HARD CEILING AND EXISTING LIGHT FIXTURES (WOOD FRAMING ABOVE HARD CEILING TO REMAIN) (SEE ELECTRICAL DWGS. FOR MORE INFO)
	- INDICATES DOOR NUMBER.		- NEW 2X2 ACOUSTICAL CEILING TILE (SEE ROOM FINISH SCHEDULE FOR TYPE) (SEE PROJ. MAN.)
	- ELEVATION OR SECTION NUMBER.		- NEW PAINTED GYPSUM WALL BOARD (SEE ROOM FINISH SCHEDULE) (SEE PROJ. MAN.)
	- DRAWING NUMBER.		- AREA OF REFUGE (SEE ELECTRICAL DWGS.) (SEE SIGNAGE DWGS.)
	- PLAN, SECTION, DETAIL OR ELEV. NUMBER.		
	- INDICATES DEMOLITION NOTE.		
	- INDICATES WINDOW TYPE.		
	- INDICATES WALL TYPE. (SEE DETAIL 1/AOO1)		
	- NEW LIGHT FIXTURE (SEE ELECTRICAL DWGS.)		



Town of East Hartford
Wickham Memorial Library:
Renovations & Addition
656 Burnside Ave, East Hartford, CT 06108

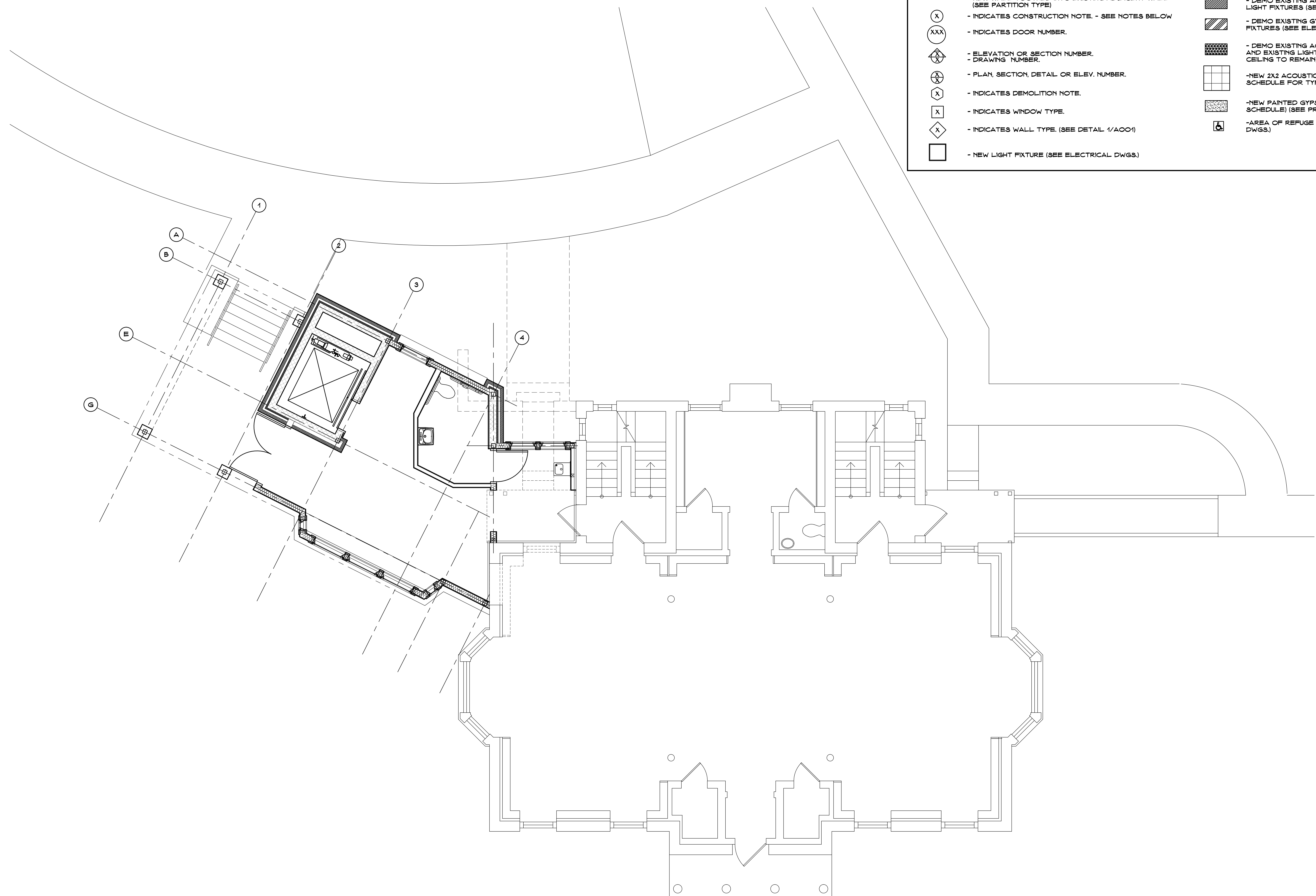


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12.14.18
Scale:
AS NOTED
Drawn By:
DW
Project Number:
17.322

A 100

	- EXISTING WALLS TO REMAIN.		- NEW 2X2 METAL CEILING PLATE W/NEW MECHANICAL CEILING GRILL. (SEE MECHANICAL DWGS. FOR GRILL SIZES)
	- EXISTING TO BE REMOVED.		- DEMO EXISTING ACOUSTICAL CEILING TILE AND EXISTING LIGHT FIXTURES (SEE ELECTRICAL DWGS. FOR MORE INFO)
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	- DRAWING NUMBER.		-AREA OF REFUGE (SEE ELECTRICAL DWGS.) (SEE SIGNAGE DWGS.)
	- PLAN, SECTION, DETAIL OR ELEV. NUMBER.		
	- INDICATES DEMOLITION NOTE.		
	- INDICATES WINDOW TYPE.		
	- INDICATES WALL TYPE. (SEE DETAIL 1/A001)		
	- NEW LIGHT FIXTURE (SEE ELECTRICAL DWGS.)		



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

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First Floor Plan

Date: 12.14.18

Drawing Number: _____

Scale: _____

AS NOTED

Drawn By: _____

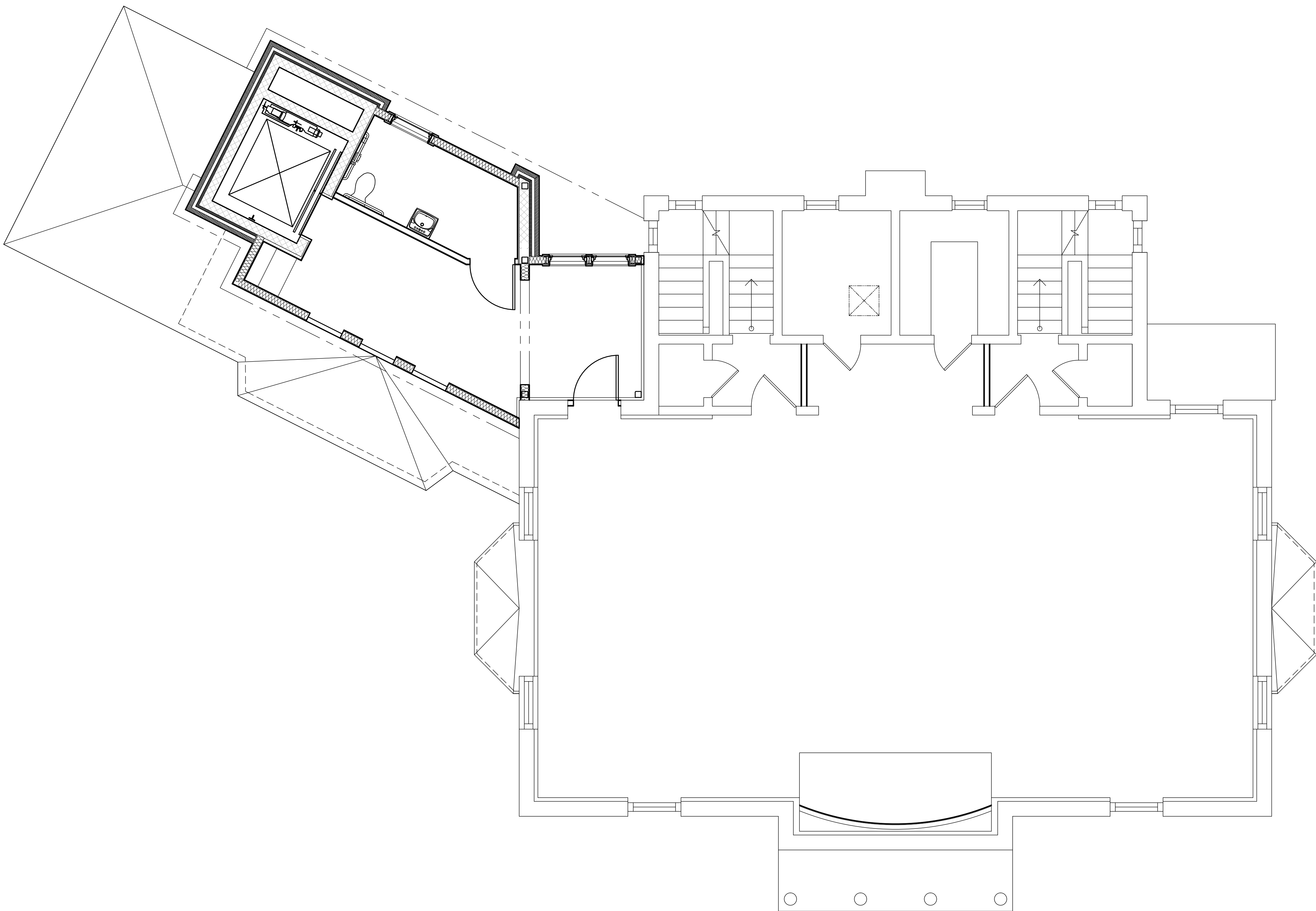
DW _____

Project Number: 17.322

A101

SYMBOL LEGEND

	- EXISTING WALLS TO REMAIN.		- NEW 2X2 METAL CEILING PLATE W/NEW MECHANICAL CEILING GRILL (SEE MECHANICAL DWGS. FOR GRILL SIZES)
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	- PLAN, SECTION, DETAIL OR ELEV. NUMBER.		- AREA OF REFUGE (SEE ELECTRICAL DWGS.) (SEE SIGNAGE DWGS.)
	- INDICATES DEMOLITION NOTE.		
	- INDICATES WINDOW TYPE.		
	- INDICATES WALL TYPE. (SEE DETAIL 1/A001)		
	- NEW LIGHT FIXTURE (SEE ELECTRICAL DWGS.)		



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"
1
A102

Project Title:
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Revised:	Description:	Date:	Revised By:

Drawing Title:
Second Floor Plan

Date:
12.14.18
Scale:
AS NOTED
Drawn By:
DW
Project Number:
17.322

Drawing Number:

A102



NORTH ELEVATION 1
SCALE: 1/4" = 1'-0" A300

SYMBOL LEGEND

- | | | | |
|--|---|--|---|
| | - EXISTING WALLS TO REMAIN. | | - NEW 2X2 METAL CEILING PLATE W/NEW MECHANICAL CEILING GRILL (SEE MECHANICAL DWGS. FOR GRILL SIZES) |
| | - EXISTING TO BE REMOVED. | | - DEMO EXISTING ACOUSTICAL CEILING TILE AND EXISTING LIGHT FIXTURES (SEE ELECTRICAL DWGS. FOR MORE INFO) |
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| | - INDICATES CONSTRUCTION NOTE. - SEE NOTES BELOW | | - DEMO EXISTING ACOUSTICAL CEILING TILES, HARD CEILING AND EXISTING LIGHT FIXTURES (WOOD FRAMING ABOVE HARD CEILING TO REMAIN) (SEE ELECTRICAL DWGS. FOR MORE INFO) |
| | - INDICATES DOOR NUMBER. | | - NEW 2X2 ACOUSTICAL CEILING TILE (SEE ROOM FINISH SCHEDULE FOR TYPE) (SEE PROJ. MAN.) |
| | - ELEVATION OR SECTION NUMBER. - DRAWING NUMBER. | | - NEW PAINTED GYPSUM WALL BOARD (SEE ROOM FINISH SCHEDULE) (SEE PROJ. MAN.) |
| | - PLAN, SECTION, DETAIL OR ELEV. NUMBER. | | - AREA OF REFUGE (SEE ELECTRICAL DWGS.) (SEE SIGNAGE DWGS.) |
| | - INDICATES DEMOLITION NOTE. | | |
| | - INDICATES WINDOW TYPE. | | |
| | - INDICATES WALL TYPE. (SEE DETAIL 1/A001) | | |
| | - NEW LIGHT FIXTURE (SEE ELECTRICAL DWGS.) | | |



WEST ELEVATION 1
SCALE: 1/4" = 1'-0" A300



SOUTH ELEVATION 1
SCALE: 1/4" = 1'-0" A300

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Revised:	Description:	Date:	Revised By:

Drawing Title:
Building Elevations

Date:
12.14.18
Scale:
AS NOTED
Drawn By:
DW
Project Number:
17.322

Drawing Number:

A300