

**TOWN OF EAST HARTFORD
PLANNING & ZONING COMMISSION
APPLICATION FORM**

DATE: 7/30/19

Official Receipt Date:

7/30/19

1. APPLICATION TYPE: (CHECK ALL THAT APPLY)

***COMPLETE SECTION ON PAGE 2 OR 3**

- | | |
|--|--|
| <input type="checkbox"/> SITE PLAN APPLICATION | <input type="checkbox"/> NATURAL RESOURCES REMOVAL AND FILLING |
| <input checked="" type="checkbox"/> SITE PLAN MODIFICATION | <input type="checkbox"/> SPECIAL USE PERMIT* |
| <input type="checkbox"/> FLOOD HAZARD – MAJOR* | <input type="checkbox"/> ZONING MAP CHANGE* |
| <input type="checkbox"/> FLOOD HAZARD – MINOR* | <input type="checkbox"/> TEXT AMENDMENT* |
| <input type="checkbox"/> SOIL EROSION AND SEDIMENTATION - Cumulative disturbed area (sq. ft.): _____ | |

2. SITE AND PROJECT INFORMATION

PROPERTY ADDRESS: 361, 365 Main ST., 9, 13-15, 21, 27-29, 33 Ensign St. ZONE: DDD3

ASSESSORS MAP AND LOT: 21-9, 10-40 through 10-45 PARCEL SIZE (ACRES OR SQ. FT.): 3.15 Ac. total

PROJECT NAME: Ensign/Main Site Design

PROJECT DESCRIPTION (ATTACH ADDITIONAL SHEETS IF NEEDED):

Site plan modifications for building include all curtain wall replaced with storefront, brick replaced with EIFS, Exterior FRP wrapped columns replaced with 12" galvanized steel columns, Pergola and Clerestory removed. Changes to site plan include changes to on-site signage to confirm to CT DOT requirements, drainage pipe changes to HDPE, and concrete walks changed to plain concrete with no pattern.

3. PROPERTY OWNER INFORMATION

☐ CHECK IF PRIMARY CONTACT

OWNER OF RECORD: Goodwin College, Inc.

OWNER ADDRESS: One Riverside Drive, East Hartford, CT 06118

OWNER PHONE: 860-727-6756

OWNER EMAIL: AMatta@goodwin.edu

OWNER SIGNATURE: _____

PRINT NAME: Antonio J. Matta

The undersigned owner hereby authorizes: (1) this application, and (2) the Planning and Zoning Commission and Town of East Hartford staff the right to enter upon the property for the purposes of inspection associated with this application.

4. APPLICANT INFORMATION

☐ CHECK IF PRIMARY CONTACT

☒ CHECK IF APPLICANT IS SAME AS PROPERTY OWNER

APPLICANT: _____

APPLICANT ADDRESS: _____

APPLICANT PHONE: _____ APPLICANT EMAIL: _____

APPLICANT SIGNATURE: _____ PRINT NAME: _____

5. DESIGN PROFESSIONAL INFORMATION

☐ CHECK IF PRIMARY CONTACT

FIRM: Zuvic Carr and Associates

PHONE: 860-436-4901

CONTACT PERSON: Galen Semprebon, P.E., LEED AP

EMAIL: galen@zuvic.com



GOODWIN COLLEGE
ONE RIVERSIDE DRIVE EAST HARTFORD, CT
ENSIGN AND MAIN SITE DESIGN
EAST HARTFORD, CT
PROJECT NUMBER
1850

APRIL, 2019

REVISED MAY 7, 2019

REVISED MAY 9, 2019

REVISED MAY 20, 2019

REVISED MAY 31, 2019

REVISED JUNE 4, 2019

REVISED JUNE 18, 2019

REVISED JULY 19, 2019

PROJECT SITE - PROPERTY OF GOODWIN COLLEGE		
NO.	MAP-LOT	PROPERTY ADDRESS
41	10-45	33 ENSIGN STREET
42	10-44	27-29 ENSIGN STREET
43	10-43	21 ENSIGN STREET
44	10-42	13-15 ENSIGN STREET
45	10-41	9 ENSIGN STREET
46	10-40	365 MAIN STREET
47	21-9	361 MAIN STREET

PARKING TABLE				
	BUILDING AREA	PARKING REQUIREMENT	REQUIRED # OF PARKING SPACES	# SPACE PROVIDED
FINANCIAL INSTITUTION	6,064 S.F.	1 SPACE/250 S.F.	24	
RESTAURANT (353 OCCUPANTS)	6,208 S.F.	1 SPACE/3 LEGAL OCCUPANTS	118	
OFFICE/RETAIL	10,949 S.F.	1 SPACE/250 S.F.	44	
TOTAL AREA	23,221 S.F.			
SINGLE-FAMILY RESIDENTIAL		2 SPACE/1 UNIT	2	
		TOTAL PARKING SPACES	188	123

ZONING TABLE				
		PROVIDED	REQUIRED	
ZONING REQUIREMENTS			B-2/R-4 ZONE	DDD3 OVERLAY ZONE
PERMITTED USES	OFFICES & FINANCIAL INSTITUTIONS		PERMITTED	PERMITTED
	RESTAURANT		PERMITTED	PERMITTED
	MULTI-FAMILY		SPECIAL PERMIT REQUIRES 30' F.Y. SETBACK	PERMITTED
SET BACKS	FRONT YARD	22' ±	AVERAGE OF BLOCK=30.2' ± VARIANCE REQUIRED	TO REQUEST MODIFICATION TO REGULATIONS WITH MASTER PLAN APPROVAL
	SIDE YARD	FROM ENSIGN STREET	17' ±	20' ON ENSIGN STREET (211.1) VARIANCE REQUIRED
		SOUTH SIDE	72' ±	10' (211.1)
	REAR YARD	435' ±	25' (402.4 C)	MEETS REGULATIONS
COMMERCIAL USES AND PARKING IN			VARIANCE OR ZONE CHANGE REQUIRED	PER DDD3 REGULATIONS SECTION 603.13.2, USE IS ALLOWED IN ANY ZONE
15" BUFFER STRIP REQUIRED BETWEEN B-2 AND R-4 ZONE (203.2)		NO BUFFER STRIP PROVIDED	VARIANCE REQUIRED	PER DDD3 REGULATIONS SECTION 603.6.7, BUFFER STRIPS MAY BE ALTERED WITH MASTER PLAN APPROVAL
DRIVE-THROUGH FACILITIES	(228.2) DRIVE-THROUGH FACILITIES SHALL NOT BE LOCATED WITHIN FRONT YARD	DRIVE-THROUGH LOCATED WITHIN F.Y.	VARIANCE REQUIRED	TO REQUEST MODIFICATION TO REGULATIONS WITH MASTER PLAN APPROVAL
	(228.2 F) ACCESS WIDTH AT STREET CANNOT EXCEED 30'	GREATER THAN 30'	NEEDS TO BE APPROVED BY P&Z COMMISSION	NEEDS TO BE APPROVED BY P&Z COMMISSION
	(228.2 J) # OF QUEUING SPACES	42	24± (NEED P&Z COMMISSION APPROVAL FOR REDUCTION)	24± (NEED P&Z COMMISSION APPROVAL FOR REDUCTION)
PARKING	209.7 PARKING STALL SIZE	9' X 18' IN CENTER ROWS	9' X 20' REQUIRED VARIANCE REQUIRED	PER DDD3 REGULATIONS SECTION 603.6.7, PARKING REGULATIONS MAY BE ALTERED WITH MASTER PLAN APPROVAL

INSPECTION NOTES

1. THE DEVELOPER SHALL NOTIFY THE TOWN OF EAST HARTFORD ENGINEERING DIVISION 24 HOURS PRIOR TO BEGINNING ANY STORM DRAINAGE, ROADWAY PREPARATION, PAVING, SIDEWALK, CURBING, STREET LINE MONUMENTATION, PROPERTY CORNER PINS, ETC., TO SCHEDULE INSPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:30 A.M. - 4:30 P.M. AT 291-7380.
2. THE TOWN SHALL BE NOTIFIED IN WRITING AT LEAST 2 DAYS IN ADVANCE OF THE PRE-CONSTRUCTION MEETING BETWEEN THE CONTRACTOR AND THE ENGINEER.

LIST OF DRAWINGS

--	COVER SHEET
RM-1	500-FOOT RADIUS MAP
EC-1	EXISTING CONDITIONS PLAN
ZC-1	ZONE CHANGE MASTER PLAN
ZC-2	ZONE CHANGE PLAN
GN-1	GENERAL NOTES AND LEGENDS
DP-1	DEMOLITION AND E&S PLAN
SP-1	SITE LAYOUT PLAN
LP-1	LANDSCAPING PLAN
SLP-1	SITE LIGHTING PLAN
GP-1	GRADING AND UTILITY PLAN
GP-2	GRADING AND UTILITY PLAN
CD-1	CIVIL DETAILS
CD-2	CIVIL DETAILS
CD-3	CIVIL DETAILS
CD-4	CIVIL DETAILS
A201	EXTERIOR ELEVATIONS
A202	EXTERIOR ELEVATIONS
A301	EXHIBIT PLAN
A302	EXHIBIT PLAN
A303	EXHIBIT PLAN
A304	EXHIBIT PLAN
A305	EXHIBIT PLAN
TR-1208-01	SIGN PLACEMENT AND RETROREFLECTIVE STRIP DETAILS
TR-1208-02	METAL SIGN POSTS AND SIGN MOUNTING DETAILS

✉ SITE PLAN MODIFICATION

PREPARED FOR



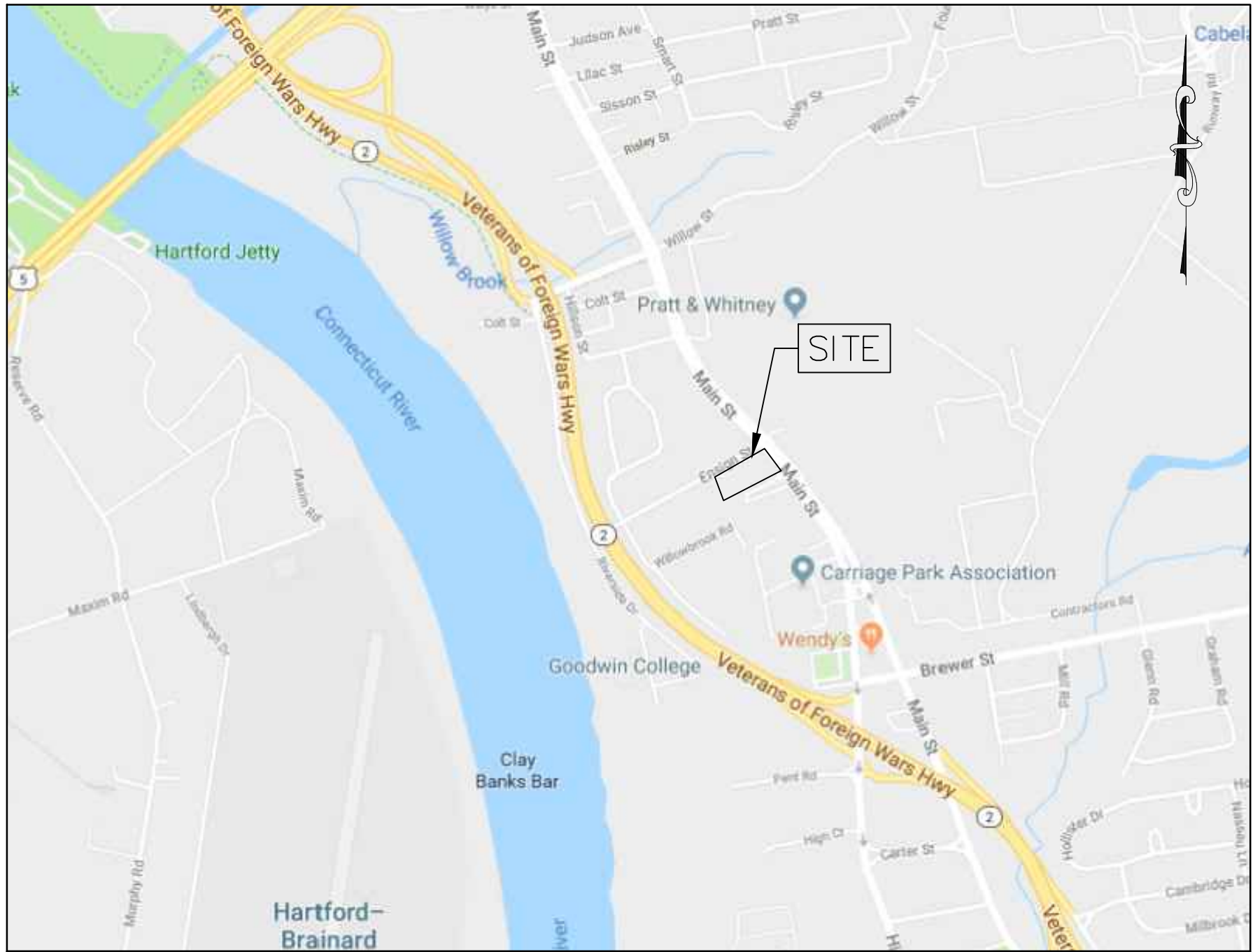
PREPARED BY



TOWN OF EAST HARTFORD
PLANNING & ZONING COMMISSION
SITE PLAN CERTIFICATE
OF APPROVAL

APPROVAL DATE _____
EXPIRATION DATE _____

CHAIRMAN

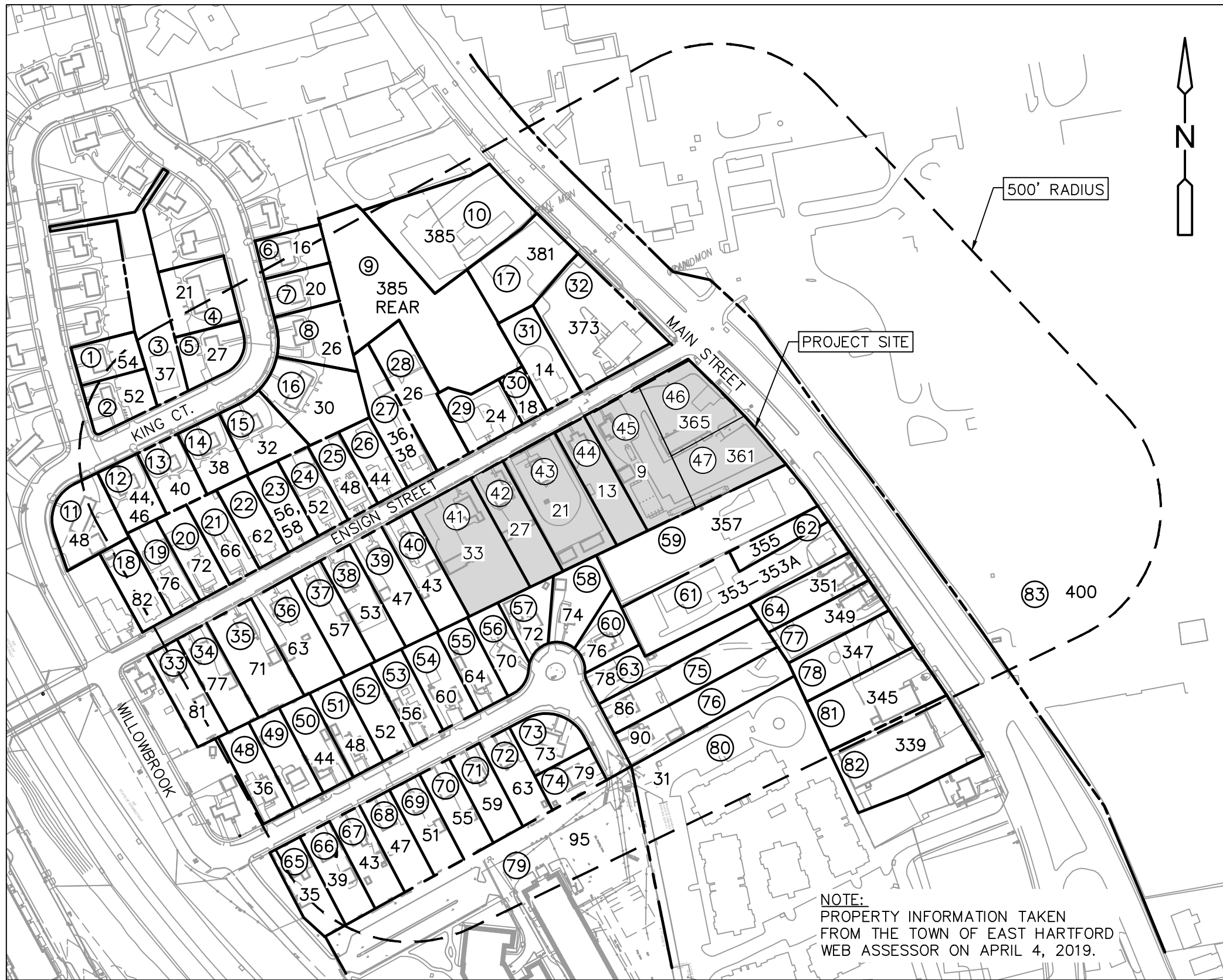


LOCATION MAP

APPROX. SCALE 1"= 1000'

GALEN B. SEMPREBON, P.E. #16747

FILE PATH: H:\Projects\Goodwin College\1850 - Main & Ensign Preliminary Site Design\AutoCAD\CT\1850 - Cover.dwg PLOT DATE: 7/19/2019 PLOT TIME: 11:22:49 AM



NOTE:
PROPERTY INFORMATION TAKEN
FROM THE TOWN OF EAST HARTFORD
WEB ASSESSOR ON APRIL 4, 2019.

NAMES & ADDRESSES OF ABUTTING PROPERTY OWNERS WITHIN 500'

NO.	MAP-LOT	PROPERTY ADDRESS	OWNER NAME	OWNER'S ADDRESS
1	10-163	54-56 KING COURT	GOODWIN COLLEGE KING COURT LLC	ONE RIVERSIDE DRIVE, EAST HARTFORD, CT 06118
2	10-164	50-52 KING COURT	GOODWIN COLLEGE KING COURT LLC	ONE RIVERSIDE DRIVE, EAST HARTFORD, CT 06118
3	10-152	37 KING COURT	GOODWIN COLLEGE KING COURT LLC	ONE RIVERSIDE DRIVE, EAST HARTFORD, CT 06118
4	10-154	21 KING COURT	GOODWIN COLLEGE KING COURT LLC	ONE RIVERSIDE DRIVE, EAST HARTFORD, CT 06118
5	10-153	25-27 KING COURT	GOODWIN COLLEGE KING COURT LLC	ONE RIVERSIDE DRIVE, EAST HARTFORD, CT 06118
6	10-143	16-18 KING COURT	GOODWIN COLLEGE KING COURT LLC	ONE RIVERSIDE DRIVE, EAST HARTFORD, CT 06118
7	10-144	20-22 KING COURT	GOODWIN COLLEGE KING COURT LLC	ONE RIVERSIDE DRIVE, EAST HARTFORD, CT 06118
8	10-145	24-26 KING COURT	GOODWIN COLLEGE KING COURT LLC	ONE RIVERSIDE DRIVE, EAST HARTFORD, CT 06118
9	10-94	385 MAIN STREET REAR	GOODWIN COLLEGE INC	ONE RIVERSIDE DRIVE, EAST HARTFORD, CT 06118
10	10-101	385 MAIN STREET	ENO PAUL N, MAGNOTTA LINDA A	3849 PLANTATION BLVD, LEESBURG, FL 34748
11	10-151	48 KING COURT	GOODWIN COLLEGE KING COURT LLC	ONE RIVERSIDE DRIVE, EAST HARTFORD, CT 06118
12	10-150	44-46 KING COURT	GOODWIN COLLEGE KING COURT LLC	ONE RIVERSIDE DRIVE, EAST HARTFORD, CT 06118
13	10-149	40-42 KING COURT	GOODWIN COLLEGE KING COURT LLC	ONE RIVERSIDE DRIVE, EAST HARTFORD, CT 06118
14	10-148	36-38 KING COURT	GOODWIN COLLEGE KING COURT LLC	ONE RIVERSIDE DRIVE, EAST HARTFORD, CT 06118
15	10-147	32-34 KING COURT	GOODWIN COLLEGE KING COURT LLC	ONE RIVERSIDE DRIVE, EAST HARTFORD, CT 06118
16	10-146	30 KING COURT	GOODWIN COLLEGE KING COURT LLC	ONE RIVERSIDE DRIVE, EAST HARTFORD, CT 06118
17	10-100	381 MAIN STREET	GOODWIN COLLEGE INC	ONE RIVERSIDE DRIVE, EAST HARTFORD, CT 06118
18	10-80	82 ENSIGN STREET	CAMPUS REALITY LLC	ONE RIVERSIDE DRIVE, EAST HARTFORD, CT 06118
19	10-81	76 ENSIGN STREET	CAMPUS REALITY LLC	ONE RIVERSIDE DRIVE, EAST HARTFORD, CT 06118
20	10-82	72-74 ENSIGN STREET	CAMPUS REALITY LLC	ONE RIVERSIDE DRIVE, EAST HARTFORD, CT 06118
21	10-83	66 ENSIGN STREET	CAMPUS REALITY LLC	ONE RIVERSIDE DRIVE, EAST HARTFORD, CT 06118
22	10-84	62 ENSIGN STREET	TOMBARI G. & CATHERINE B. MCFINI	62 ENSIGN STREET, EAST HARTFORD, CT 06118
23	10-85	56-58 ENSIGN STREET	CAMPUS REALITY LLC	ONE RIVERSIDE DRIVE, EAST HARTFORD, CT 06118
24	10-86	52-54 ENSIGN STREET	CAMPUS REALITY LLC	ONE RIVERSIDE DRIVE, EAST HARTFORD, CT 06118
25	10-87	48-50 ENSIGN STREET	CAMPUS REALITY LLC	ONE RIVERSIDE DRIVE, EAST HARTFORD, CT 06118
26	10-88	44 ENSIGN STREET	JOHNSON PSALM DAVID	44 ENSIGN STREET, EAST HARTFORD, CT 06118
27	10-89	36-38 ENSIGN STREET	CAMPUS REALITY LLC	ONE RIVERSIDE DRIVE, EAST HARTFORD, CT 06118
28	10-91	26 ENSIGN STREET	CAMPUS REALITY LLC	ONE RIVERSIDE DRIVE, EAST HARTFORD, CT 06118
29	10-92	24 ENSIGN STREET	CAMPUS REALITY LLC	ONE RIVERSIDE DRIVE, EAST HARTFORD, CT 06118
30	10-96	14 ENSIGN STREET	RONALDO L. VEGARIO	14 ENSIGN STREET, EAST HARTFORD, CT 06118
31	10-93	18 ENSIGN STREET	RONALDO L. VEGARIO	18 ENSIGN STREET, EAST HARTFORD, CT 06118
32	10-98	373 MAIN STREET	GOODWIN COLLEGE INC	ONE RIVERSIDE DRIVE, EAST HARTFORD, CT 06118
33	10-53	81 ENSIGN STREET	CAMPUS REALITY LLC	ONE RIVERSIDE DRIVE, EAST HARTFORD, CT 06118
34	10-52	77 ENSIGN STREET	CAMPUS REALITY LLC	ONE RIVERSIDE DRIVE, EAST HARTFORD, CT 06118
35	10-51	71 ENSIGN STREET	CAMPUS REALITY LLC	ONE RIVERSIDE DRIVE, EAST HARTFORD, CT 06118
36	10-50	63 ENSIGN STREET	CAMPUS REALITY LLC	ONE RIVERSIDE DRIVE, EAST HARTFORD, CT 06118
37	10-49	57 ENSIGN STREET	CAMPUS REALITY LLC	ONE RIVERSIDE DRIVE, EAST HARTFORD, CT 06118
38	10-48	53-55 ENSIGN STREET	CAMPUS REALITY LLC	ONE RIVERSIDE DRIVE, EAST HARTFORD, CT 06118
39	10-47	47 ENSIGN STREET	CAMPUS REALITY LLC	ONE RIVERSIDE DRIVE, EAST HARTFORD, CT 06118

NO.	MAP-LOT	PROPERTY ADDRESS	OWNER NAME	OWNER'S ADDRESS
40	10-46	43 ENSIGN STREET	CAMPUS REALITY LLC	ONE RIVERSIDE DRIVE, EAST HARTFORD, CT 06118
48	10-57	36 WILLOWBROOK ROAD	CAMPUS REALITY LLC	ONE RIVERSIDE DRIVE, EAST HARTFORD, CT 06118
49	10-58	40 WILLOWBROOK ROAD	CAMPUS REALITY LLC	ONE RIVERSIDE DRIVE, EAST HARTFORD, CT 06118
50	10-59	44 WILLOWBROOK ROAD	CAMPUS REALITY LLC	ONE RIVERSIDE DRIVE, EAST HARTFORD, CT 06118
51	10-60	48 WILLOWBROOK ROAD	CAMPUS REALITY LLC	ONE RIVERSIDE DRIVE, EAST HARTFORD, CT 06118
52	10-61	52 WILLOWBROOK ROAD	DRUZOLOWSKI HELEN	52 WILLOWBROOK RD, EAST HARTFORD, CT 06118
53	10-62	56 WILLOWBROOK ROAD	CAMPUS REALITY LLC	ONE RIVERSIDE DRIVE, EAST HARTFORD, CT 06118
54	10-63	60 WILLOWBROOK ROAD	CAMPUS REALITY LLC	ONE RIVERSIDE DRIVE, EAST HARTFORD, CT 06118
55	10-64	64 WILLOWBROOK ROAD	CAMPUS REALITY LLC	ONE RIVERSIDE DRIVE, EAST HARTFORD, CT 06118
56	10-65	70 WILLOWBROOK ROAD	CAMPUS REALITY LLC	ONE RIVERSIDE DRIVE, EAST HARTFORD, CT 06118
57	10-66	72 WILLOWBROOK ROAD	CAMPUS REALITY LLC	ONE RIVERSIDE DRIVE, EAST HARTFORD, CT 06118
58	10-67	74 WILLOWBROOK ROAD	CAMPUS REALITY LLC	ONE RIVERSIDE DRIVE, EAST HARTFORD, CT 06118
59	21-8	357 MAIN STREET	I A M BUILDING ASSOCIATION INC/ INDUSTRIAL AIRCRAFT LODGE 1746	357 MAIN STREET, EAST HARTFORD, CT 06118
60	10-68	76 WILLOWBROOK ROAD	CAMPUS REALITY LLC	ONE RIVERSIDE DRIVE, EAST HARTFORD, CT 06118
61	21-6	353-353A MAIN STREET	WILLOWBROOK ASSOC.	P.O.BOX 270556, WEST HARTFORD, CT 06127
62	21-7	355 MAIN STREET	WILLOWBROOK ASSOC.	P.O.BOX 270556, WEST HARTFORD, CT 06127
63	10-69	78 WILLOWBROOK ROAD	CAMPUS REALITY LLC	ONE RIVERSIDE DRIVE, EAST HARTFORD, CT 06118
64	21-5	351 MAIN STREET	GOODWIN COLLEGE INC	ONE RIVERSIDE DRIVE, EAST HARTFORD, CT 06118
65	9-11	35 WILLOWBROOK ROAD	CAMPUS REALITY LLC	ONE RIVERSIDE DRIVE, EAST HARTFORD, CT 06118
66	9-10	39 WILLOWBROOK ROAD	CAMPUS REALITY LLC	ONE RIVERSIDE DRIVE, EAST HARTFORD, CT 06118
67	9-9	43 WILLOWBROOK ROAD	CAMPUS REALITY LLC	ONE RIVERSIDE DRIVE, EAST HARTFORD, CT 06118
68	9-8	47 WILLOWBROOK ROAD	CAMPUS REALITY LLC	ONE RIVERSIDE DRIVE, EAST HARTFORD, CT 06118
69	9-7	51 WILLOWBROOK ROAD	CAMPUS REALITY LLC	ONE RIVERSIDE DRIVE, EAST HARTFORD, CT 06118
70	9-6	55 WILLOWBROOK ROAD	CAMPUS REALITY LLC	ONE RIVERSIDE DRIVE, EAST HARTFORD, CT 06118
71	10-78	59 WILLOWBROOK ROAD	HORTON DARLENE M	59 WILLOWBROOK RD, EAST HARTFORD, CT 06118
72	10-77	63 WILLOWBROOK ROAD	CAMPUS REALITY LLC	ONE RIVERSIDE DRIVE, EAST HARTFORD, CT 06118
73	10-76	73 WILLOWBROOK ROAD	CAMPUS REALITY LLC	ONE RIVERSIDE DRIVE, EAST HARTFORD, CT 06118
74	70-75	79 WILLOWBROOK ROAD	CAMPUS REALITY LLC	ONE RIVERSIDE DRIVE, EAST HARTFORD, CT 06118
75	10-72	86 WILLOWBROOK ROAD	CAMPUS REALITY LLC	ONE RIVERSIDE DRIVE, EAST HARTFORD, CT 06118
76	10-73	90 WILLOWBROOK ROAD	CAMPUS REALITY LLC	ONE RIVERSIDE DRIVE, EAST HARTFORD, CT 06118
77	21-4	349 MAIN STREET	GOODWIN COLLEGE INC	ONE RIVERSIDE DRIVE, EAST HARTFORD, CT 06118
78	21-3	347 MAIN STREET	GOODWIN COLLEGE INC	ONE RIVERSIDE DRIVE, EAST HARTFORD, CT 06118
79	9-5	95 WILLOWBROOK ROAD	GOODWIN COLLEGE INC	ONE RIVERSIDE DRIVE, EAST HARTFORD, CT 06118
80	20-13	31 HIGH STREET	SEE ATTACHED APPLICATION	
81	21-2	345 MAIN STREET	GOODWIN COLLEGE INC	ONE RIVERSIDE DRIVE, EAST HARTFORD, CT 06118
82	21-1	339 MAIN STREET	RIVER CAMPUS INC	ONE RIVERSIDE DRIVE, EAST HARTFORD, CT 06118
83	20-45	400 MAIN STREET	PRATT AND WHITNEY AIRCRAFT C/O UNITED TECHNOLOGY CORP	8 FARM SPRINGS RD, FARMINGTON, CT 06032

NOT FOR CONSTRUCTION



1	05/2019	MK	GBS	ISSUED FOR PERMIT.	
REV. NO.	DATE	DRWN	CHKD	REMARKS	

PROJECT NO.:	1850
DESIGNED BY:	MK
DRAWN BY:	MK/NJM
SHEET CHK'D BY:	SJH
CROSS CHK'D BY:	GBS
APPROVED BY:	
DATE:	APRIL, 2019

PREPARED FOR:



ONE RIVERSIDE DRIVE
EAST HARTFORD, CONNECTICUT

PREPARED BY:



40 Cold Spring Road • Rocky Hill, CT 06067
Phone 860.436.4901 • Fax 860.436.4953

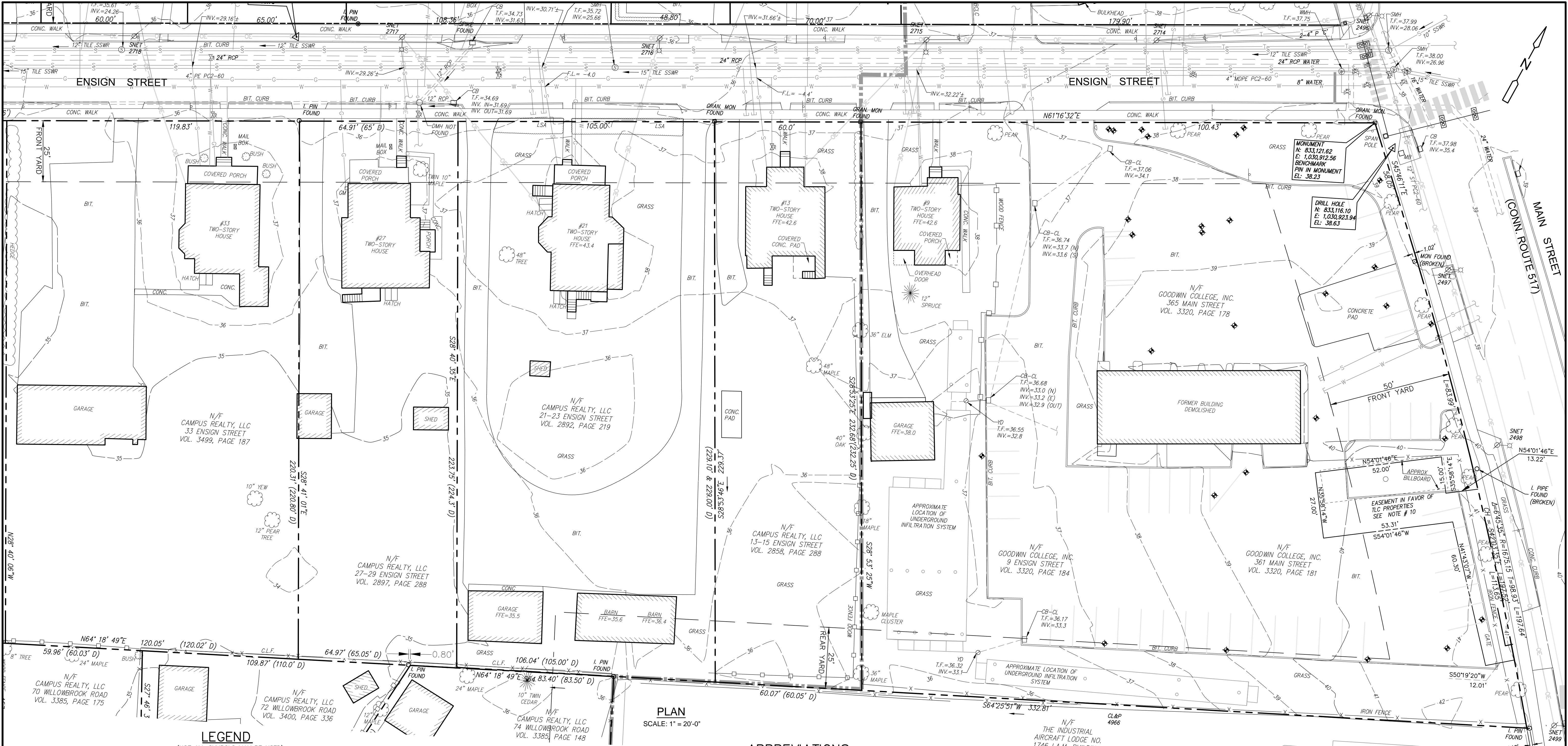
ENSIGN AND MAIN
SITE DESIGN
ENSIGN STREET & MAIN STREET
EAST HARTFORD, CONNECTICUT

500-FOOT RADIUS MAP

SHEET NO.

RM-1

FILE PATH: H:\Projects\Goodwin College\1850 - Main & Ensign Preliminary Site Design\AutoCAD\1850_EC.dwg PLOT DATE: 7/18/2019 PLOT TIME: 11:23:17 AM



NOT FOR CONSTRUCTION

---	PROPERTY LINE
- - -	EASEMENT LINE
- - -	SETBACK LINE
- - -	CURB
- - -	EDGE OF PAVEMENT (EOP)
- - -	STOCKADE FENCE
- - -	CHAIN LINK FENCE
- - -	TREE/VEGETATION LINE
- - -	MAJOR CONTOUR
- - -	MINOR CONTOUR
- - -	PIPES ≥ 12" (SIZE, MATERIAL, AND FLOW DIRECTION)

LEGEND

(NOT ALL SYMBOLS MAY BE USED)

G	GAS
D	STORM DRAINAGE
E	UNDERGROUND ELECTRIC
OE	OVERHEAD ELECTRIC
S	SANITARY SEWER
T	TELECOMMUNICATIONS
W	WATER
Δ	CONTROL POINT
□	MONUMENT
□	TYPE 'C' CATCH BASIN
□	TYPE 'CL' CATCH BASIN
⊙	SANITARY SEWER MANHOLE
⊕	HANDHOLE
⊕	WATER MANHOLE
⊕	GAS VALVE
⊕	HYDRANT
⊕	WATER VALVE
⊕	UTILITY POLE W/ GUY WIRE
⊕	LUMINAIRE
⊕	SIGN
⊕	TREES/SHRUBS
⊕	SPAN POLE
⊕	MONITORING WELL

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON

SCALE: 1"=20'

JOHN F. SCHEARER, JR. L.S. #10370

PLAN

SCALE: 1"=20'-0"

ABBREVIATIONS

(NOT ALL ABBREVIATIONS MAY BE USED)

APPROX	APPROXIMATE	LSA	LANDSCAPED AREA
BIT.	BITUMINOUS	MB	MAILBOX
CB	CATCH BASIN	MDPE	MEDIUM DENSITY POLYETHYLENE
C-CB	CURBED CATCH BASIN	MH	MANHOLE
CL-CB	CURBLESS CATCH BASIN	MON	MONUMENT
C.L.F.	CHAIN LINK FENCE	NTS	NOT TO SCALE
CONC.	CONCRETE	OE	OVERHEAD ELECTRIC
D.I.	DUCTILE IRON	PE	POLYETHYLENE
D.I.P.	DUCTILE IRON PIPE	PVMT	PAVEMENT
DMH	DRAINAGE MANHOLE	PCV	POLYVINYL CHLORIDE
ELEC.	ELECTRICAL	RCP	REINFORCED CONCRETE PIPE
ELEV.	ELEVATION	SAN	SANITARY
EOP	EDGE OF PAVEMENT	SD	SANITARY DRAIN
EX.	EXISTING	SMH	SANITARY MANHOLE
F.F.	FINISHED FLOOR	SSWR	SANITARY SEWER
FFE	FINISHED FLOOR ELEVATION	SW	SERVICE WATER
F.L.	FLOW LINE	TEMP.	TEMPORARY
FND.	FOUNDATION	T.F.	TOP OF FRAME
G	GAS	W	WATER
GRAN	GRANITE	WMH	WATER MANHOLE
GV	GAS VALVE	WV	WATER VALVE
HDPE	HIGH DENSITY POLYETHYLENE	YD	YARD DRAIN
I.PIN	IRON PIN		
INV.	INVERT		

SURVEY NOTES:

- SURVEY PROVIDED BY: ZUVIC, CARR AND ASSOCIATES, INC.
40 COLD SPRING ROAD, ROCKY HILL, CT 06067
TEL. 860-436-4901
- THIS SURVEY AND MAP WERE PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THRU 20-300b-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996. IT IS A PROPERTY AND TOPOGRAPHIC SURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2 AND TOPOGRAPHIC ACCURACY CLASS T-2. IT IS INTENDED TO DEPICT DEED LINES, LINES OF OCCUPATION, EASEMENTS, ENCROACHMENTS AND ENCUMBRANCES AFFECTING THE PROPERTY. THE PROPERTY ELEVATIONS DEPICTED HEREON CONFORM TO VERTICAL ACCURACY CLASS V-2.
- ELEVATIONS DEPICTED HEREON ARE BASED ON THE NAVD 88.
- BEARINGS ARE BASED ON THE CONNECTICUT COORDINATE SYSTEM, NAD83.
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES. THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN-SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE.
- SOME ABANDONED PIPES ARE NOT SHOWN.
- LOCATION OF UNDERGROUND SEWER, WATER AND GAS LATERALS AND CONNECTIONS TAKEN FROM RECORD DRAWINGS WHEREVER INFORMATION IS AVAILABLE.
- LOCATION OF UNDERGROUND COMMUNICATIONS AND ELECTRICAL FACILITIES TAKEN FROM RECORD DRAWINGS WHEREVER INFORMATION IS AVAILABLE.
- SIDE YARD AND REAR YARD SET-BACK LINES FOR INDIVIDUAL LOTS ARE NOT SHOWN.

					PROJECT NO.: 1850		PREPARED FOR:	PREPARED BY:	ENSIGN AND MAIN SITE DESIGN		SHEET NO.
					DESIGNED BY:		 GOODWIN COLLEGE ONE RIVERSIDE DRIVE EAST HARTFORD, CONNECTICUT	 ZUVIC • CARR AND ASSOCIATES CONSULTING ENGINEERS 40 Cold Spring Road • Rocky Hill, CT 06067 Phone 860.436.4901 • Fax 860.436.4953	ENSIGN STREET & MAIN STREET EAST HARTFORD, CONNECTICUT	EXISTING CONDITIONS	EC-1
					DRAWN BY: NJM/MK						
					SHEET CHK'D BY: SJH						
					CROSS CHK'D BY: GBS						
					APPROVED BY: TG						
					DATE: APRIL, 2019						

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PLAN
SCALE: 1" = 50'-0"

ZONE CHANGE MASTER TABLE							
PHASE	BUILDING NAME	PROPERTIES INCLUDED	USE	BUILDING AREA	PARKING REQUIREMENT	REQUIRED # OF PARKING SPACES	# SPACE PROVIDED
1	ENSIGN & MAIN	9 ENSIGN STREET 13-15 ENSIGN STREET 21 ENSIGN STREET 27-29 ENSIGN STREET 33 ENSIGN STREET 361 MAIN STREET 365 MAIN STREET	FINANCIAL INSTITUTION	6,064 S.F.	1 SPACE/250 S.F.	24	
			RESTAURANT (353 OCCUPANTS)	6,208 S.F.	1 SPACE/3 LEGAL OCCUPANTS	118	
			OFFICE/RETAIL	10,949 S.F.	1 SPACE/250 S.F.	44	
			TOTAL AREA	23,221 S.F.			
			SINGLE-FAMILY RESIDENTIAL		2 SPACE/1 UNIT	2	
			TOTAL PARKING SPACES			188	123

NOT FOR CONSTRUCTION

REV. NO.	DATE	DRWN	CHKD	REMARKS
1	06/2019	MK	GBS	ISSUED FOR PERMIT.

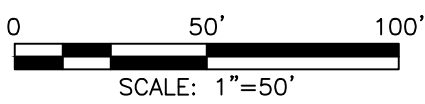
PROJECT NO.: 1850
DESIGNED BY: GBS
DRAWN BY: MK
SHEET CHK'D BY: GBS
CROSS CHK'D BY: TG
APPROVED BY: _____
DATE: MAY, 2019



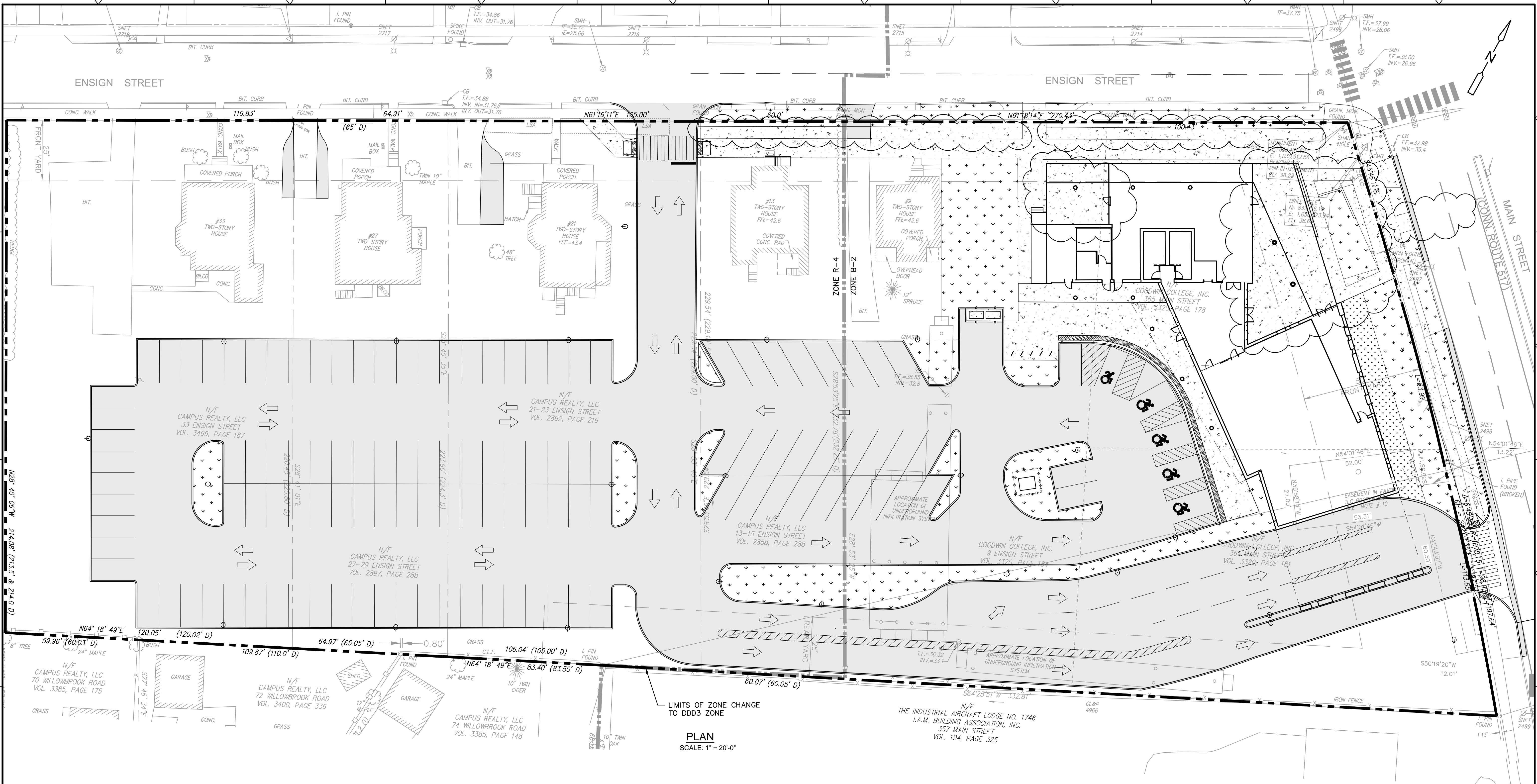
ENSIGN AND MAIN
SITE DESIGN
ENSIGN STREET & MAIN STREET
EAST HARTFORD, CONNECTICUT

ZONE CHANGE MASTER PLAN

SHEET NO.
ZC-1



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NOT FOR CONSTRUCTION

REV. NO.	DATE	DRWN	CHKD	REMARKS
6	07/2019	MK	GBS	BULLETIN 1
5	06/2019	MK	GBS	ISSUED FOR PERMIT.
4	05/2019	MK	GBS	PER TOWN COMMENTS/ADDENDUM #1
3	05/2019	MK	FW	PER DOT COMMENTS.
2	05/2019	MK	GBS	PER TOWN COMMENTS.
1	05/2019	MK	GBS	PER TOWN COMMENTS.

PROJECT NO.:	1850
DESIGNED BY:	GBS
DRAWN BY:	MK
SHEET CHK'D BY:	GBS
CROSS CHK'D BY:	TG
APPROVED BY:	
DATE:	APRIL, 2019

PREPARED FOR:



ONE RIVERSIDE DRIVE
EAST HARTFORD, CONNECTICUT

PREPARED BY:

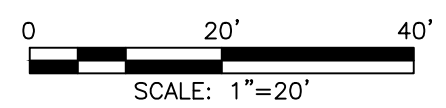


40 Cold Spring Road • Rocky Hill, CT 06067
Phone 860.436.4901 • Fax 860.436.4953

ENSIGN AND MAIN
SITE DESIGN
ENSIGN STREET & MAIN STREET
EAST HARTFORD, CONNECTICUT

ZONE CHANGE PLAN

SHEET NO.
ZC-2



FILE PATH: H:\Projects\Goodwin College\1850 - Main & Ensign Preliminary Site Design\AutoCAD\1850 - GN-1.dwg PLOT DATE: 7/19/2019 PLOT TIME: 11:24:13 AM

GENERAL NOTES

1. ALL CONSTRUCTION ACTIVITIES SHALL BE COMPLETED AS INDICATED IN THE CONTRACT DOCUMENTS AND SHALL COMPLY WITH ALL APPLICABLE BUILDING CODES, THE REQUIREMENTS OF GOODWIN COLLEGE AND THE TOWN OF EAST HARTFORD.
2. THE CONTRACTOR SHALL NOTIFY ALL LOCAL UTILITY COMPANIES PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL ARRANGE FOR AND COORDINATE WITH THE RESPECTIVE UTILITY COMPANIES AND THE TOWN OF EAST HARTFORD FOR SERVICE INSTALLATIONS AND CONNECTIONS.
3. THE CONTRACTOR SHALL MAINTAIN ONE SET OF CONTRACT DOCUMENTS ON THE PREMISES IN GOOD CONDITION AT ALL TIMES. THE SET SHALL INCLUDE ALL ADDENDA AND CHANGE ORDERS.
4. THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT THE CONSTRUCTION MANAGER OR OWNER'S REPRESENTATIVE IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONTRACT DOCUMENTS AND/OR FIELD CONDITIONS SO THAT APPROPRIATE REVISIONS CAN BE MADE PRIOR TO BIDDING. ANY CONFLICT BETWEEN THE DRAWINGS AND THE SPECIFICATIONS SHALL BE CONFIRMED WITH THE CONSTRUCTION MANAGER OR THE OWNER'S REPRESENTATIVE PRIOR TO BIDDING.
5. STATED DIMENSIONS TAKE PRECEDENCE OVER GRAPHICS. DO NOT SCALE DRAWINGS TO DETERMINE LOCATION AND/OR DIMENSIONS.
6. ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY GOODWIN COLLEGE, THE ENGINEER, AND THE APPROPRIATE REGULATORY AGENCIES PRIOR TO INSTALLATION.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES, STRUCTURES AND OTHER SITE FEATURES NOT BEING REMOVED AND/OR ALTERED DURING CONSTRUCTION. THE CONTRACTOR SHALL BEAR THE EXPENSE OF REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH EXECUTION OF THE WORK.
8. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL REQUIRED SUBMITTALS TO THE OWNER, CONSTRUCTION MANAGER AND SITE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 15 WORKING DAYS FOR REVIEW.
9. THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UTILITIES) TO THE OWNER AT THE END OF CONSTRUCTION.
10. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN MAINTENANCE OF TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES AND UNIFORMED TRAFFIC MEN AS REQUIRED OR ORDERED BY THE CONSTRUCTION MANAGER, OWNER'S REPRESENTATIVE OR AS REQUIRED BY THE LOCAL GOVERNING AUTHORITIES. THE CONTRACTOR SHALL MAINTAIN ALL TRAFFIC LANES AND PEDESTRIAN WALKWAYS AT ALL TIMES UNLESS APPROVED OTHERWISE IN WRITING BY THE GOVERNING JURISDICTION.
11. INFORMATION ON EXISTING UTILITIES HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL RECORD MAPS AND FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. THE LOCATIONS ARE APPROXIMATED. ALL UTILITIES MAY NOT BE SHOWN. PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL NOTIFY "CALL BEFORE YOU DIG" AT 1-800-922-4455.
12. THE CONTRACTOR SHALL PROVIDE ADEQUATE MEANS OF SUPPORT FOR PROTECTION OF PERSONNEL DURING ALL EXCAVATION AND BACKFILLING OPERATIONS.
13. THE CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO ANY WORK AND SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIALS INCLUDING THOSE FURNISHED BY THE SUBCONTRACTORS.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE SECURITY OF THE CONSTRUCTION AREA UNTIL THE PROJECT IS COMPLETED AND ACCEPTED BY THE OWNER.
15. SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED EXISTING PIPE OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE ENGINEER AND RESPECTIVE UTILITY COMPANY IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH THE WORK IN THIS AREA.
16. DO NOT INTERRUPT EXISTING UTILITIES SERVICING ADJACENT PROPERTIES EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE TOWN.
17. OSHA REGULATIONS MAKE IT UNLAWFUL TO OPERATE CRANES, BOOMS, HOISTS, ETC. WITHIN TEN (10) FEET OF ANY ELECTRIC LINE UNDER 50 KV. IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINES, CONTACT POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS.
18. ALL NEW UTILITIES SHALL BE UNDERGROUND, AS PER TOWN SPECIFICATIONS UNLESS OTHERWISE NOTED.
19. NO DEMOLITION OR CONSTRUCTION ACTIVITIES SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL LOCAL AND STATE GOVERNING AND REGULATORY AGENCIES.
20. ALL DEBRIS SHALL BE PROMPTLY REMOVED FROM THE PREMISES AND SHALL BE PROPERLY DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS. ALL AREAS SHALL BE KEPT IN A NEAT AND ORDERLY MANNER AT ALL TIMES.
21. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE OCCUPANTS AND WORKERS AT ALL TIMES.
22. CONTRACTOR SHALL PROVIDE TEMPORARY WATER, POWER AND TOILET FACILITIES AS REQUIRED.
23. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION.
24. ALL EXISTING STRUCTURES AND UTILITIES WITHIN THE LIMITS OF CONSTRUCTION, UNLESS OTHERWISE NOTED TO REMAIN OR TO BE SALVAGED, SHALL BE REMOVED & DISPOSED OF OFF-SITE.
25. UTILITY CONNECTION LOCATIONS AS DEPICTED ON THESE DRAWINGS MAY CHANGE SUBJECT TO REVIEW BY THE APPLICABLE UTILITY COMPANY.
26. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE TOWN OF EAST HARTFORD AND THE APPLICABLE UTILITY COMPANY AS SPECIFIED ON THE DRAWINGS.
27. ALL UTILITY CONSTRUCTION IS SUBJECT TO INSPECTION PRIOR TO BACKFILLING IN ACCORDANCE WITH THE APPLICABLE UTILITY COMPANY AND/OR THE REQUIREMENTS OF THE TOWN OF EAST HARTFORD.
28. ALL DISTURBANCE INCURRED WITHIN THE TOWN OF EAST HARTFORD'S RIGHT-OF-WAY DUE TO CONSTRUCTION SHALL BE RESTORED TO ITS PREVIOUS CONDITION OR BETTER, TO THE SATISFACTION OF THE PUBLIC WORKS REPRESENTATIVE.
29. THE CONTRACTOR SHALL VERIFY THE ELEVATION AND LOCATION OF ALL UTILITIES PRIOR TO BEGINNING ANY EXCAVATION. THE CONTRACTOR SHALL CONTACT THE CONSTRUCTION MANAGER OR OWNER'S REPRESENTATIVE IN THE EVENT OF ANY UNFORESEEN CONFLICTS BETWEEN EXISTING AND PROPOSED UTILITIES SO THAT APPROPRIATE MODIFICATIONS MAY BE MADE.

30. THE SITE CONTRACTOR SHALL COORDINATE INSTALLATION OF CONDUIT AND CABLES FOR SITE LIGHTING WITH THE BUILDING ELECTRICIAN.
31. PROPER CONSTRUCTION PROCEDURES SHALL BE FOLLOWED ON ALL IMPROVEMENTS WITHIN THIS PARCEL SO AS TO PREVENT THE SILTING OF ANY WATERCOURSE OR WETLAND IN ACCORDANCE WITH THE REGULATIONS OF THE DEPARTMENT OF ENVIRONMENTAL PROTECTION GUIDELINES FOR SOIL EROSION AND SEDIMENT POLLUTION CONTROL. IN ADDITION, THE CONTRACTOR SHALL STRICTLY ADHERE TO THE "EROSION CONTROL PLAN" CONTAINED HEREIN.
32. ALL PIPES SHALL BE LAID ON STRAIGHT ALIGNMENTS AND EVEN GRADES USING A PIPE LASER OR OTHER ACCURATE METHODS.
33. RELOCATION OF UTILITY COMPANY FACILITIES SUCH AS POLES, SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY OWNER.
34. THE CONTRACTOR SHALL COMPACT FILL IN 10" MAXIMUM LIFTS UNDER ALL PARKING AND DRIVE AREAS OR AS DIRECTED.
35. THE CONTRACTOR SHALL COMPACT THE PIPE BACKFILL IN LIFTS ACCORDING TO THE PIPE BEDDING DETAILS. THE TRENCH BOTTOM SHALL BE STABLE IN HIGH GROUNDWATER AREAS.
36. ALL UTILITIES AND PIPES SCHEDULED FOR DEMOLITION SHALL BE REMOVED UNLESS NOTED OTHERWISE.
37. CONTRACTOR SHALL BE PREPARED AT ALL TIMES TO SWEEP THE SURROUNDING ROADWAYS AS REQUIRED BY THE TOWN AND/OR THE OWNER'S REPRESENTATIVE.
38. ANY MODIFICATIONS OR DEVIATIONS TO THE PLANS APPROVED BY THE EAST HARTFORD PLANNING AND ZONING COMMISSION ARE SUBJECT TO REVIEW AND APPROVAL BY THE COMMISSION OR THE DESIGN REVIEW COMMITTEE.
39. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS PRIOR TO THE START OF CONSTRUCTION.
40. ANY WORK WITHIN THE TOWN OF EAST HARTFORD RIGHT OF WAY WILL REQUIRE A STREET EXCAVATION PERMIT FROM THE TOWN.

ABBREVIATIONS

(NOT ALL ABBREVIATIONS MAY BE USED)

APPROX.	APPROXIMATE	IPIN	IRON PIN
BOLC	BITUMINOUS CONCRETE LIP CURB	INV.	INVERT
BOT.	BOTTOM	LPV	LOW POINT
BIT.	BITUMINOUS	LSA	LANDSCAPED AREA
G	CENTER LINE	MB	MAILBOX
CB	CATCH BASIN	MDPE	MEDIUM DENSITY POLYETHYLENE
C-OB	CURBED CATCH BASIN	MH	MANHOLE
CL-CB	CURBLESS CATCH BASIN	MON	MONUMENT
C.I.P.	CAST IRON PIPE	NTS	NOT TO SCALE
C.L.F.	CHAIN LINK FENCE	O.C.	ON CENTER
C.O.	CLEAN OUT	O.D.	OUTSIDE DIAMETER
CONC.	CONCRETE	OE	OVERHEAD ELECTRIC
COMM.	COMMUNICATIONS	PE	POLYETHYLENE
D.I.	DUCTILE IRON	PL	PLATE
D.I.P.	DUCTILE IRON PIPE	PVMT	PAVEMENT
DMH	DRAINAGE MANHOLE	S	POLYVINYL CHLORIDE
ELEC.	ELECTRICAL	R	RADIUS
EL.	ELEVATION	RCP	REINFORCED CONCRETE PIPE
EL.	ELECTRICAL MANHOLE	S	SANITARY
EOP	EDGE OF PAVEMENT	SAN	SANITARY
EX.	EXISTING	SMH	SANITARY MANHOLE
F.F.	FINISHED FLOOR	SSWR	SANITARY SEWER
F.FE	FINISHED FLOOR ELEVATION	STM	STORM
F.L	FLOW LINE	SW	SANITARY MANHOLE
G	GAS	TEMP.	TEMPORARY
GM	GAS METER	TEL.	TELEPHONE
GRAN	GRANITE	T.F.	TOP OF FRAME
GTD	GRADE TO DRAIN	T.P.	TOP OF PIPE
GV	GAS VALVE	TYP.	TYPICAL
HH	HANDHOLE	UKWN	UNKNOWN
HDPE	HIGH DENSITY POLYETHYLENE	VF	VERIFY IN FIELD
HP	HIGH POINT	W	WATER
HYD	HYDRANT	WMH	WATER MANHOLE
I.D.	INSIDE DIAMETER	WV	WATER VALVE
		YD	YARD DRAIN

LEGEND

(NOT ALL SYMBOLS MAY BE USED)

	PROPERTY LINE		CONTROL POINT
	EASEMENT LINE		MONUMENT
	CURB		IRON PIPE
	EDGE OF PAVEMENT (EOP)		IRON PIN
	STOCKADE FENCE		TYPE 'C' CATCH BASIN
	CHAIN LINK FENCE		TYPE 'CL' CATCH BASIN
	TREE/VEGETATION LINE		STORM DRAINAGE MANHOLE
	MAJOR CONTOUR		SANITARY SEWER MANHOLE
	MINOR CONTOUR		WATER MANHOLE
	SPOT ELEVATION		GAS VALVE
	TOP/BOTTOM OF CURB EL.		WATER VALVE
	PIPES ≥ 12" (SIZE, MATERIAL, AND FLOW DIRECTION)		HYDRANT
	GAS		ELECTRICAL BOX
	STORM DRAINAGE		HANDHOLE
	UNDERGROUND ELECTRIC		UTILITY POLE W/ GUY WIRE
	OVERHEAD ELECTRIC		LUMINAIRE
	SANITARY SEWER		LUMINAIRE ON STANDARD
	TELECOMMUNICATIONS		SIGNS
	WATER		MONITORING WELL
	TEMPORARY SEDIMENTATION CONTROL		BOLLARD
	FLUSH CONDITION		
	POST		TREES/SHRUBS

NOT FOR CONSTRUCTION

SOIL EROSION AND SEDIMENT CONTROL NOTES

NARRATIVE

THE SUBJECT SITE IS COMPRISED OF SEVEN PARCELS OF LAND CONTAINING 3.15 ACRES KNOWN AS 361, 365 MAIN STREET, 9, 13-15, 21, 27-29 AND 33 ENSIGN STREET. THE EXISTING BUILDINGS AND ASSOCIATED WALKWAYS AND DRIVEWAYS WILL BE DEMOLISHED AND A NEW APPROXIMATELY 23,221 S.F., THREE (3) STORIES MIXED USE BUILDING WILL BE CONSTRUCTED. ADDITIONAL IMPROVEMENTS INCLUDE A NEW PARKING LOT AND SIDEWALKS.

EXISTING UTILITY CONNECTIONS WILL BE DEMOLISHED AND NEW UTILITY SERVICE CONNECTIONS WILL BE INSTALLED TO THE NEW BUILDING.

CONSTRUCTION SCHEDULE

CONSTRUCTION START DATE IS FALL 2019. CONSTRUCTION COMPLETION DATE IS FALL 2020. ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN ALL CONTROLS DURING CONSTRUCTION.

RESPONSIBLE CONTACT

THE RESPONSIBLE CONTACT PERSON FOR ASSURING THAT ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES ARE PROPERLY INSTALLED AND MAINTAINED WILL BE THE SITE CONTRACTOR. GOODWIN COLLEGE MAINTENANCE DEPARTMENT WILL BE RESPONSIBLE FOR MAINTAINING THE PERMANENT MEASURES WHEN THE PROJECT IS COMPLETED.

GENERAL CONSTRUCTION SEQUENCE

1. INSTALL SOIL AND EROSION CONTROL MEASURES INCLUDING BUT NOT LIMITED TO: SILT FENCE, HAY BALES, AND SILT SACKS.
2. COMMENCE DEMOLITION OF BITUMINOUS PAVEMENT, CURBING, BUILDINGS, WALKS, DRIVES, ETC.
3. COMMENCE INSTALLATION OF SITE UTILITIES.
4. PERFORM EARTHWORK IN EXPEDITIOUS MANNER, AND STABILIZE. EXCESS MATERIAL SHALL BE TAKEN DIRECTLY OFF-SITE AND PROPERLY DISPOSED OF BY THE CONTRACTOR. INSTALL ADDITIONAL EROSION CONTROLS AS DIRECTED BY THE OWNER'S REPRESENTATIVE AND/OR THE TOWN OF EAST HARTFORD.
5. COMMENCE CONSTRUCTION OF BUILDING FOUNDATION.
6. COMPLETE INSTALLATION OF STORMWATER COLLECTION SYSTEM AND SITE UTILITIES.
7. COMPLETE CONSTRUCTION OF BUILDING, PAVEMENT, AND CONCRETE WALKS. INSTALL STRIPING, AND CURBING.
8. PREPARE LANDSCAPE AREA. PLACE 6" TOPSOIL WITHIN LANDSCAPED. FERTILIZE, SEED AND MULCH WHERE SHOWN. INSTALL LANDSCAPE PLANTINGS.
9. REMOVE EROSION CONTROLS AFTER AREAS ARE STABILIZED.

SEQUENCE OF OPERATIONS – EARTHWORK OPERATIONS

PHASE I – INSTALLATION OF SOIL EROSION AND SEDIMENT CONTROL MEASURES

1. ALL SEDIMENTATION AND EROSION CONTROL MEASURES, INCLUDING BUT NOT LIMITED TO SILT FENCE, HAYBALES, AND SILT SACKS SHALL BE INSTALLED PRIOR TO START OF CONSTRUCTION.
2. THE CONTRACTOR SHALL NOT PROCEED WITH CONSTRUCTION ACTIVITIES UNTIL THE ENGINEER HAS INSPECTED AND APPROVED THE INSTALLATION OF ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES.
3. THE CONTRACTOR SHALL TAKE EXTREME CARE DURING CONSTRUCTION SO AS NOT TO DISTURB SEDIMENTATION AND EROSION CONTROL STRUCTURES.
4. ALL DISTURBED AREAS SHALL BE STABILIZED AS SOON AS PRACTICAL.

PHASE II – INSTALLATION OF INITIAL STORM DRAINAGE

1. REMOVE EXISTING CATCH BASINS, YARD DRAIN, AND ASSOCIATED PIPE. CAP PIPES AS SHOWN.
2. PERFORM DEMOLITION OF GARAGE IN REAR YARD OF 9 ENSIGN STREET PROPERTY.
3. INSTALL 4' DIA. MANHOLE, 6' DIA. SPLITTER MANHOLE, HYDRODYNAMIC SEPARATOR #2 AND ASSOCIATED PIPES IN 9 ENSIGN STREET PROPERTY. CONNECT 4' DIA. MANHOLE TO EXISTING UNDERGROUND INFILTRATION SYSTEM.
4. INSTALL RISER PIPE AND SILT FENCE. CONSTRUCT EMBANKMENT.

PHASE III – DEMOLITION

1. PERFORM SITE DEMOLITION FOR REMAINING WORK AREA.
2. ESTABLISH THE SUBGRADE FOR AREAS TO BE PAVED AND SEEDDED.

PHASE IV – FINAL GRADING

1. PAVEMENT BASE COURSES SHALL BE INSTALLED OVER AREAS TO BE PAVED AS SOON AS FINAL SUB-GRADES ARE ESTABLISHED AND UNDERGROUND UTILITIES HAVE BEEN INSTALLED. INSPECT THE DRAINAGE SYSTEM AND CLEAN AS NEEDED.
2. CONSTRUCT PAVEMENT, SIDEWALKS, AND CURBS. PLACE TOPSOIL, FINAL SEED AND MULCH.
3. REMOVE ALL TEMPORARY EROSION CONTROL DEVICES ONLY AFTER ALL AREAS HAVE BEEN PAVED AND/OR GRASS HAS BEEN WELL ESTABLISHED AND THE SITE HAS BEEN INSPECTED AND APPROVED BY THE TOWN.

EROSION AND SEDIMENT CONTROL PLAN

1. SILT FENCE SHALL BE INSTALLED ALONG THE BASE OF THE SLOPE AS SHOWN OR AS REQUIRED BY THE ENGINEER.
2. SILT SACKS AND/OR HAYBALES SHALL BE INSTALLED AT ALL CATCH BASINS AS SHOWN ON PLANS.
3. CONTRACTOR SHALL PERFORM PERIODIC SWEEPING OF PAVEMENT IN CONSTRUCTION WORK AREA AS A DUST CONTROL MEASURE.

4. SOIL EROSION AND SEDIMENT CONTROLS SHALL BE MAINTAINED BY THE CONTRACTOR THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS ARE THOROUGHLY STABILIZED.
5. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL HANDBOOK.
6. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION WHENEVER POSSIBLE.
7. ADDITIONAL CONTROL MEASURES SHALL BE INSTALLED DURING THE CONSTRUCTION PERIOD AS NECESSARY OR REQUIRED.
8. SEDIMENT REMOVED FROM CONTROL STRUCTURES SHALL BE DISPOSED OF IN A MANNER WHICH IS CONSISTENT WITH THE INTENT OF THE PLAN.

INSTALLATION OF SEDIMENTATION AND EROSION CONTROL MEASURES

SILT FENCE

- A. DIG A SIX INCH TRENCH ON THE UPHILL SIDE OF THE DESIGNATED FENCELINE LOCATION.
 - B. POSITION THE POST AT THE BACK OF THE TRENCH (DOWNHILL SIDE), AND HAMMER THE POST AT LEAST 1.5 FEET INTO THE GROUND.
 - C. LAY THE BOTTOM SIX INCHES OF THE FABRIC INTO THE TRENCH TO PREVENT UNDERMINING BY STORM WATER RUN-OFF.
 - D. BACKFILL THE TRENCH AND COMPACT.
- HAYBALES
- A. HAYBALES SHALL BE PLACED AROUND ALL CATCH BASINS IN GRASSED AREAS.
 - B. SIDES OF ADJACENT BALES SHALL TIGHTLY ABUT ONE ANOTHER.
 - C. BALES SHALL BE ENTRENCHED AND BACKFILLED. A TRENCH SHALL BE EXCAVATED THE WIDTH OF A BALE AND THE LENGTH OF THE PROPOSED BARRIER TO A MINIMUM DEPTH OF FOUR INCHES. AFTER THE BALES ARE STAKED, THE EXCAVATED SOIL SHALL BE BACKFILLED AGAINST THE BARRIER.
 - D. EACH BALE SHALL BE SECURELY ANCHORED BY AT LEAST TWO (2) STAKES.
 - E. THE GAPS BETWEEN BALES SHALL BE WEDGED WITH STRAW TO PREVENT WATER LEAKAGE.

SILT SACKS

- A. PROVIDE SILT SACKS IN ALL CATCH BASINS IN PAVED AREAS AS SHOWN ON PLANS.

OPERATION AND MAINTENANCE OF TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL MEASURES

SILT FENCE

- A. ALL SILT FENCES SHALL BE INSPECTED AFTER EACH RAINFALL. ALL DETERIORATED FABRIC AND DAMAGED POSTS SHALL BE REPLACED AND PROPERLY REPOSITIONED IN ACCORDANCE WITH THIS PLAN.
- B. SEDIMENT DEPOSITS SHALL BE REMOVED FROM BEHIND THE FENCE WHEN THEY EXCEED A HEIGHT OF ONE FOOT.

HAYBALES

- A. ALL HAYBALES SHALL BE INSPECTED FOLLOWING EACH RAINFALL. REPAIR OR REPLACEMENT SHALL BE PROMPTLY MADE AS NEEDED.
- B. DEPOSITS SHALL BE REMOVED AND CLEANED-OUT WHEN ONE HALF OF THE ORIGINAL HEIGHT OF THE BALES BECOMES FILLED WITH SEDIMENT.

SILT SACKS

- A. CLEAN/REPLACE SILT SACKS AFTER EACH RAINFALL OR AS REQUIRED.

OPERATIONS AND MAINTENANCE POST CONSTRUCTION

THE FOLLOWING OPERATION AND MAINTENANCE SCHEDULE WOULD BE REQUIRED TO ENSURE THE PROPER AND EFFICIENT OPERATION OF THE STORMWATER MANAGEMENT SYSTEM POST CONSTRUCTION. THE SCHEDULE IS INTENDED TO BE A MINIMUM GUIDE. EVENTS THAT COULD CAUSE DEPOSITION OF EXCESS DEBRIS IN THE SYSTEM, SUCH AS A LARGE STORM EVENT, MAY REQUIRE ADDITIONAL INSPECTIONS AND MAINTENANCE MEASURES.

CATCH BASINS: THE CATCH BASINS SHALL BE INSPECTED ANNUALLY. THE SUMPS SHALL BE CLEANED WHEN THE DEPTH OF MATERIAL WITHIN THE SUMPS REACHES ONE FOOT.

PAVEMENT SWEEPING: THE PAVEMENT AREAS SHALL BE SWEEPED AT A MINIMUM OF TWICE PER YEAR – ONCE IN SPRING SHORTLY AFTER THE END OF THE SNOW SEASON AND ONCE IN THE FALL AFTER THE LEAVES HAVE FALLEN.

HYDRODYNAMIC SEPARATORS: THE HYDRODYNAMIC SEPARATORS SHOULD BE INSPECTED AT REGULAR INTERVALS AND MAINTAINED WHEN NECESSARY TO ENSURE OPTIMUM PERFORMANCE. AT A MINIMUM, INSPECTIONS SHOULD BE PERFORMED TWICE PER YEAR HOWEVER MORE FREQUENT INSPECTIONS MAY BE NECESSARY. THE UNIT SHOULD BE CLEANED WHEN THE LEVEL OF SEDIMENT HAS REACHED 75% OF CAPACITY IN THE ISOLATED SUMP OR WHEN AN APPRECIABLE LEVEL OF HYDROCARBONS AND TRASH HAS ACCUMULATED.

INFILTRATION SYSTEM: THE FREQUENCY OF INSPECTION AND MAINTENANCE VARIES BY LOCATION. AT A MINIMUM, ANNUAL INSPECTIONS ARE RECOMMENDED. INITIALLY, THE INFILTRATION SYSTEM SHOULD BE INSPECTED EVERY 6 MONTHS FOR THE FIRST YEAR OF OPERATION AND FOR SUBSEQUENT YEARS, THE INSPECTION SHOULD BE ADJUSTED BASED ON PREVIOUS OBSERVATION OF SEDIMENT. INSPECT SPLITTER MANHOLES PERIODICALLY TO INSURE INFILTRATION SYSTEM IS FUNCTIONING ADEQUATELY.

CONTINGENCY EROSION PLAN

SHOULD UNFORESEEN EROSION OR SEDIMENTATION PROBLEMS ARISE, THE DESIGN ENGINEER OF RECORD (ZUVIC, CARR AND ASSOCIATES) AND LOCAL ENFORCEMENT AGENT SHALL BE NOTIFIED IMMEDIATELY. AN INSPECTION OF THE AFFECTED AREA(S) SHALL BE PROMPTLY PERFORMED. A REMEDIAL ACTION PLAN SHALL BE FORMULATED WITH THE LOCAL ENFORCEMENT AGENT'S APPROVAL. THE SITE CONTRACTOR SHALL THEN IMPLEMENT THE RECOMMENDED COURSE OF ACTION WHICH HAS BEEN DETERMINED BY BOTH THE ENGINEER AND LOCAL ENFORCEMENT AGENT.

REV. NO.	DATE	DRWN	CHKD	REMARKS
4	06/2019	MK	GBS	PER TOWN COMMENTS.
3	06/2019	MK	GBS	ISSUED FOR PERMIT.
2	05/2019	MK	GBS	PER TOWN COMMENTS/ADDENDUM #
1	05/2019	MK	GBS	PER TOWN COMMENTS.

PROJECT NO.:	1850
DESIGNED BY:	MK
DRAWN BY:	MK
SHEET CHK'D BY:	SJH
CROSS CHK'D BY:	GBS
APPROVED BY:	
DATE:	APRIL, 2019



ONE RIVERSIDE DRIVE
EAST HARTFORD, CONNECTICUT



40 Cold Spring Road • Rocky Hill, CT 06067
Phone 860.436.4901 • Fax 860.436.4953

ENSIGN AND MAIN
SITE DESIGN

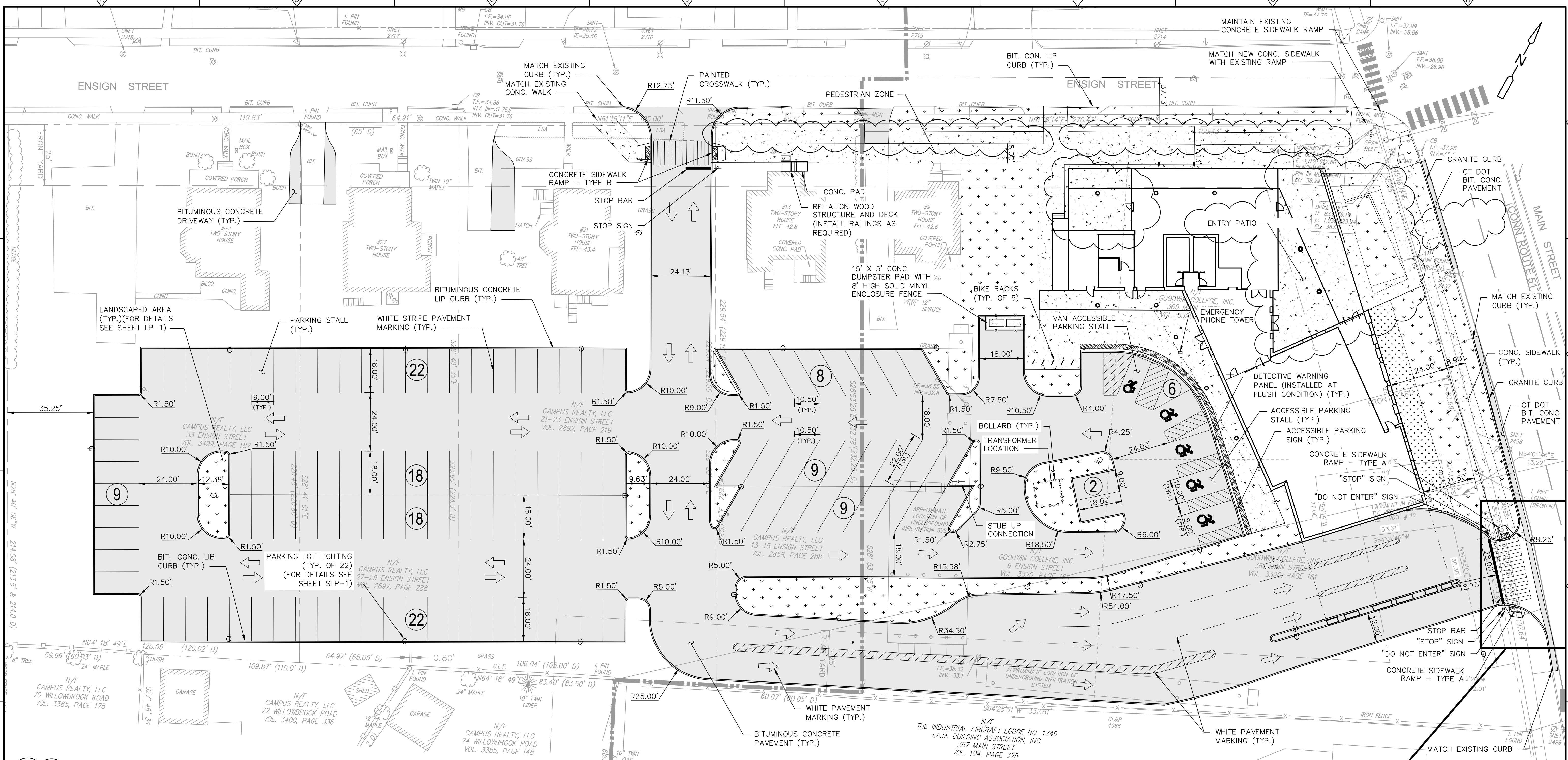
ENSIGN STREET & MAIN STREET
EAST HARTFORD, CONNECTICUT

GENERAL NOTES AND LEGEND

GN-1

SHEET NO.

FILE PATH: H:\Projects\Goodwin College\1850 - Main & Ensign Preliminary Site Design\AutoCAD\1850 - SP.dwg PLOT DATE: 7/19/2019 PLOT TIME: 11:37:46 AM



LEGEND

BITUMINOUS CONCRETE PAVEMENT

LANDSCAPED AREA

CONCRETE SIDEWALK

NOT FOR CONSTRUCTION

- NOTES:**
- EMERGENCY PHONE TOWER TO BE INSTALLED ON-SITE. EXACT LOCATION TO BE DETERMINED BY THE ARCHITECT.
 - GRADING AND INSTALLATION OF GRAVEL BASE COURSE FOR THE PARKING LOT SHALL NOT OCCUR UNTIL AFTER THE ENSIGN STREET STORM DRAINAGE IMPROVEMENTS ARE COMPLETED (BY OTHERS).

REV. NO.	DATE	DRWN	CHKD	REMARKS
6	07/2019	MK	GBS	BULLETIN 1
5	06/2019	MK	GBS	ISSUED FOR PERMIT.
4	05/2019	MK	GBS	PER TOWN COMMENTS/ADDENDUM #1
3	05/2019	MK	FW	PER DOT COMMENTS.
2	05/2019	MK	GBS	PER TOWN COMMENTS.
1	05/2019	MK	GBS	PER TOWN COMMENTS.

PROJECT NO.:	1850
DESIGNED BY:	GBS
DRAWN BY:	MK
SHEET CHK'D BY:	SJH
CROSS CHK'D BY:	GBS
APPROVED BY:	
DATE:	APRIL, 2019

PREPARED FOR:

ONE RIVERSIDE DRIVE
EAST HARTFORD, CONNECTICUT

PREPARED BY:

40 Cold Spring Road • Rocky Hill, CT 06067
Phone 860.436.4901 • Fax 860.436.4953

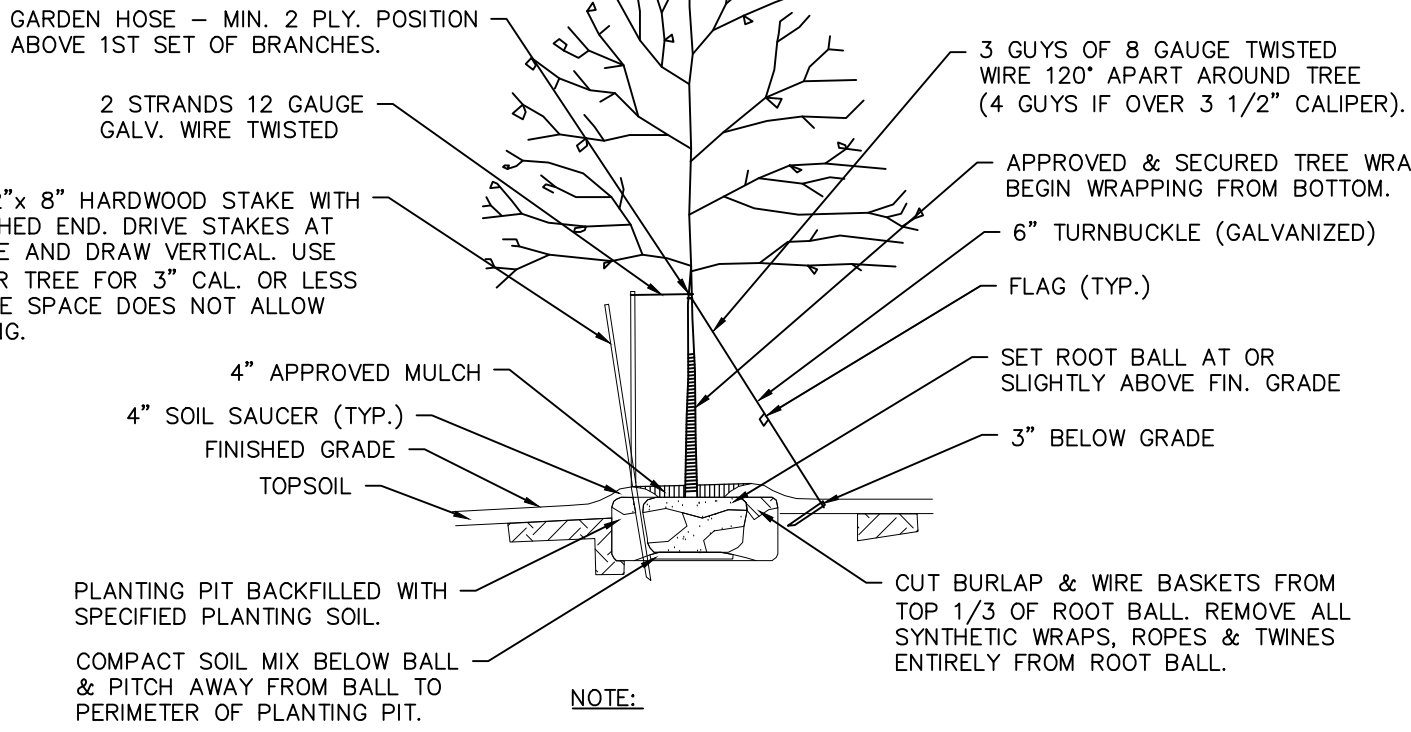
ENSIGN AND MAIN
SITE DESIGN
ENSIGN STREET & MAIN STREET
EAST HARTFORD, CONNECTICUT

SITE LAYOUT PLAN

SHEET NO.
SP-1

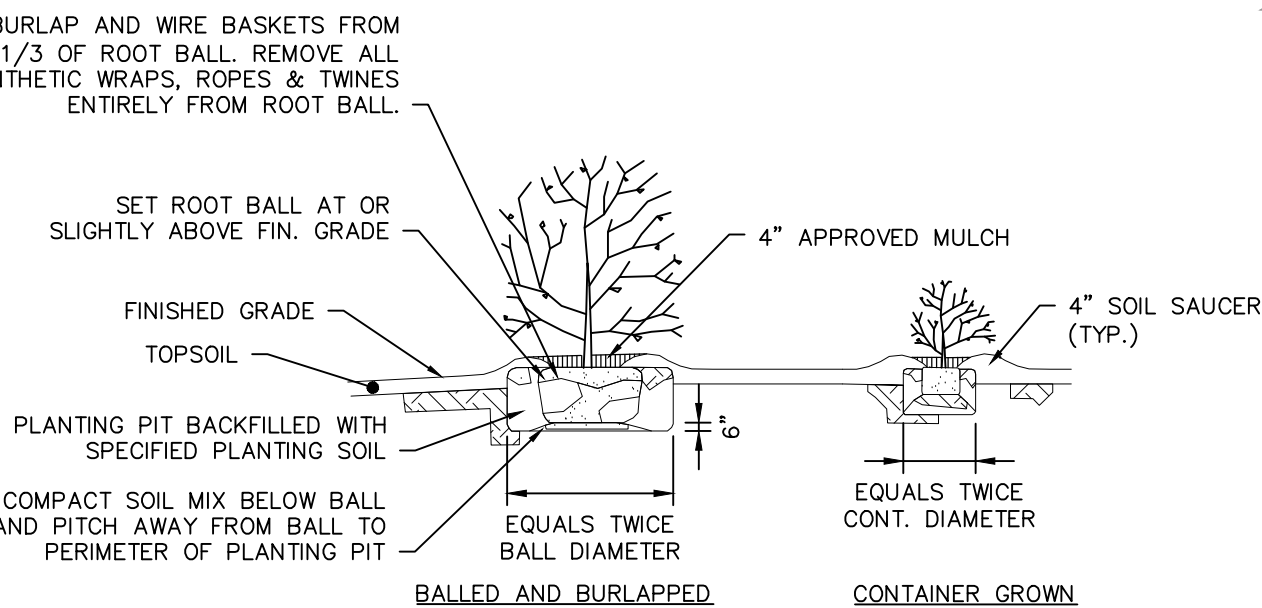
FILE PATH: H:\Projects\Goodwin College\1850 - Main & Ensign Preliminary Site Design\AutoCAD\1850 - LP-1.dwg PLOT DATE: 7/19/2019 PLOT TIME: 11:25:22 AM

PRUNING SHALL BE IN ACCORDANCE WITH APPROVED HORTICULTURAL STANDARDS IN ORDER TO PRESERVE THE NATURAL FORM OF THE SPECIFIC PLANT. IF APPLICABLE & APPROVED BY THE LANDSCAPE CONSULTANT, ONE FOURTH TO ONE THIRD OF THE WOOD SHALL BE REMOVED BY THINNING OUT TO BALANCE ROOT LOSS DUE TO TRANSPLANTING.



TREE PLANTING

NOT TO SCALE



SHRUB PLANTING

NOT TO SCALE

NOT FOR CONSTRUCTION

REV. NO.	DATE	DRWN	CHKD	REMARKS
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5	06/2019	MK	GBS	ISSUED FOR PERMIT.
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3	05/2019	MK	FW	PER DOT COMMENTS.
2	05/2019	MK	GBS	PER TOWN COMMENTS.
1	05/2019	MK	GBS	PER TOWN COMMENTS.

PROJECT NO.:	1850
DESIGNED BY:	CR/GBS
DRAWN BY:	MK/NUM
SHEET CHK'D BY:	GBS
CROSS CHK'D BY:	
APPROVED BY:	
DATE:	APRIL, 2019



PREPARED FOR:

PREPARED BY:

ENSIGN AND MAIN
SITE DESIGN

ENSIGN STREET & MAIN STREET
EAST HARTFORD, CONNECTICUT

LANDSCAPING PLAN

SHEET NO.

LP-1

PLANTING SCHEDULE					
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY	SPACING
SIS	SYRINGA RETICULATA 'IVORY SILK'	IVORY SILK LILAC TREE	2" CAL	4	
AAB	AMELANCHIER 'AUTUMN BRILLIANCE'	SHADBLOW SERVICEBERRY	5'-6"	2	
ARR	ACER RUBRUM 'REDPOINTE'	AUTUMN BRILLIANCE - CLUMP	2" CAL	5	
PHM	PANICUM VIRGATUM 'HEAVY METAL'	HEAVY METAL SWITCH GRASS	#2	85	3' SP
HA	HAKONECHLOA MACRA 'ALL GOLD'	ALL GOLD FOREST GRASS	#1	41	2.5' SP
MG	MISCANTHUS GRACILLIMUS	MISCANTHUS GRACILLIMUS	#2	15	4.5' SP
JB	JUNIPERUS SINESIS 'BLUEPOINT'	BLUE POINT JUNIPER	3'-4'	3	
HM	HEMEROCALLIS MIX 50/50 PASSIONATE RETURNS AND HAPPY RETURNS	PASSIONATE RETURNS AND HAPPY RETURNS DAYLILY 50/50 MIX	#1	209	2' SP
RA	RHUS AROMATICA 'GRO LOW'	FRAGRANT GRO LOW SUMAC	#3	32	4' SP
SP	SPIREA BETULIFOLIA 'PINK SPARKLER'	PINK SPARKLER SPIREA	#3	7	
NP	NEPETA 'PURSIAN BLUE'	PURSIAN BLUE CATMINT	#1	60	2' SP
PH	PENNISTEUM 'HAMELI'	HAMELI FOUNTAIN GRASS	#2	27	3' SP
PK	PENNISTEUM 'KARLEY ROSE'	KARLEY ROSE FOUNTAIN GRASS	#2	25	3' SP

PLAN
SCALE: 1" = 20'-0"

0 20' 40'
SCALE: 1"=20'

FILE PATH: H:\Projects\Goodwin College\1850 - Main & Ensign Preliminary Site Design\AuscCAD\Civil\850 - SLP-1.dwg PLOT DATE: 7/19/2019 PLOT TIME: 11:25:57 AM



Luminaire Schedule						
Qty	Label	Arrangement	Lumens	Input Watts	LLF	BUG Rating
2	SL3B	SINGLE	5645	54.4	0.765	B1-U0-G1
1	SL3B-HS	SINGLE	4617	54.4	0.765	B1-U0-G1
5	SL4B	SINGLE	5667	54.4	0.765	B1-U0-G2
9	SL4B-HS	SINGLE	4653	54.4	0.765	B1-U0-G1
1	SL4D-HS	BACK-BACK	4653	54.4	0.765	B1-U0-G1
4	SL5B	SINGLE	5609	53.2	0.765	B3-U0-G1

Calculation Summary						
Label	Grid Z	Avg	Max	Min	Avg/Min	Max/Min
SITE	0	0.54	3.1	0.0	N.A.	N.A.
PARKING LOT		1.13	2.8	0.3	3.77	9.33
PARKING LOT ROADWAYS		0.97	3.1	0.0	N.A.	N.A.

REV. NO.	DATE	DRWN	CHKD	REMARKS
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3	05/2019	MK	GBS	PER TOWN COMMENTS/ADDENDUM #1
2	05/2019	MK	FW	PER DOT COMMENTS.
1	05/2019	MK	GBS	PER TOWN COMMENTS.

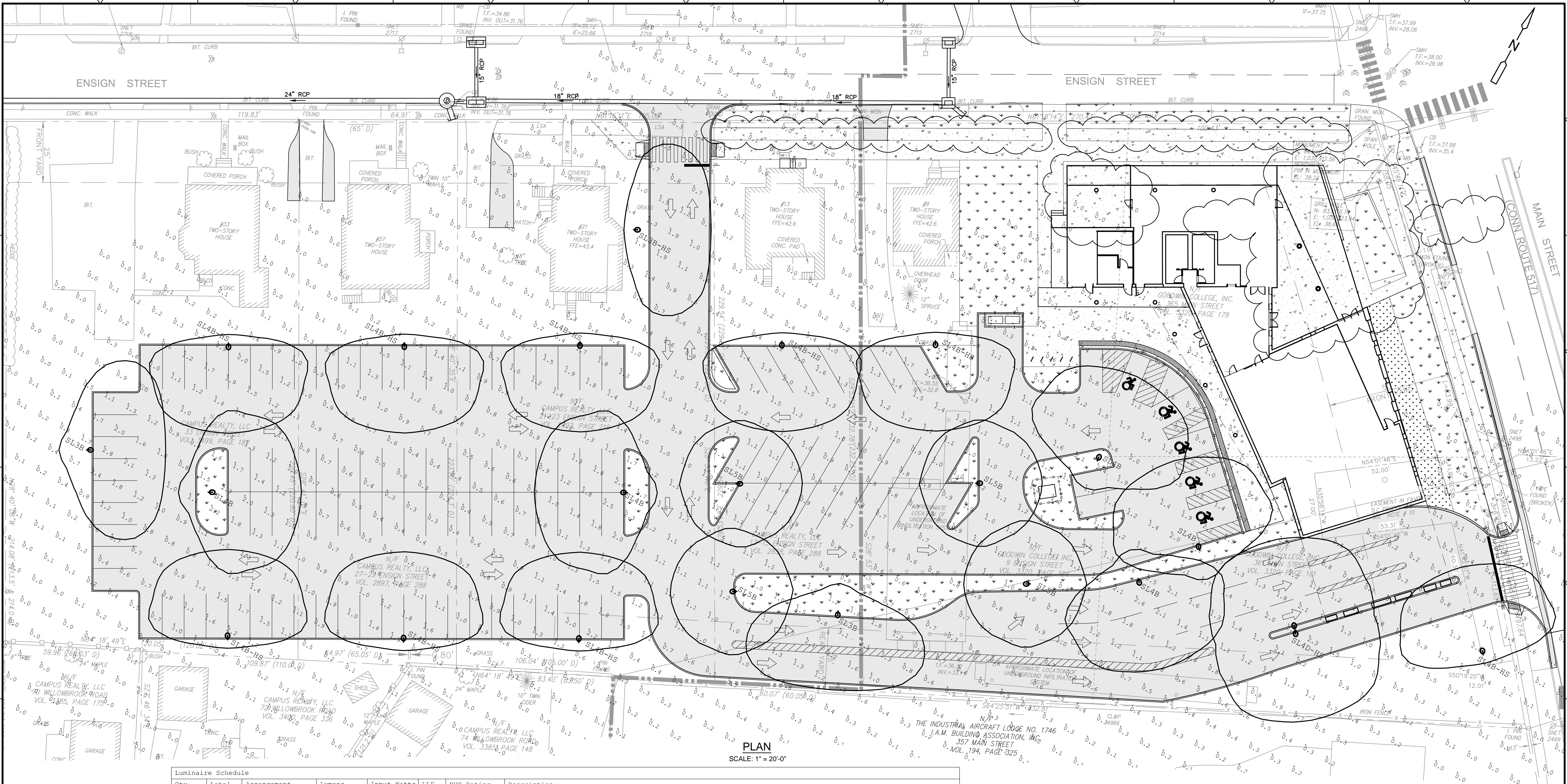
PROJECT NO.: 1850
DESIGNED BY: GBS/CR
DRAWN BY: CR/MK
SHEET CHK'D BY: GBS
CROSS CHK'D BY:
APPROVED BY:
DATE: MAY, 2019



ENSIGN AND MAIN
SITE DESIGN
ENSIGN STREET & MAIN STREET
EAST HARTFORD, CONNECTICUT

SITE LIGHTING PLAN

SLP-1



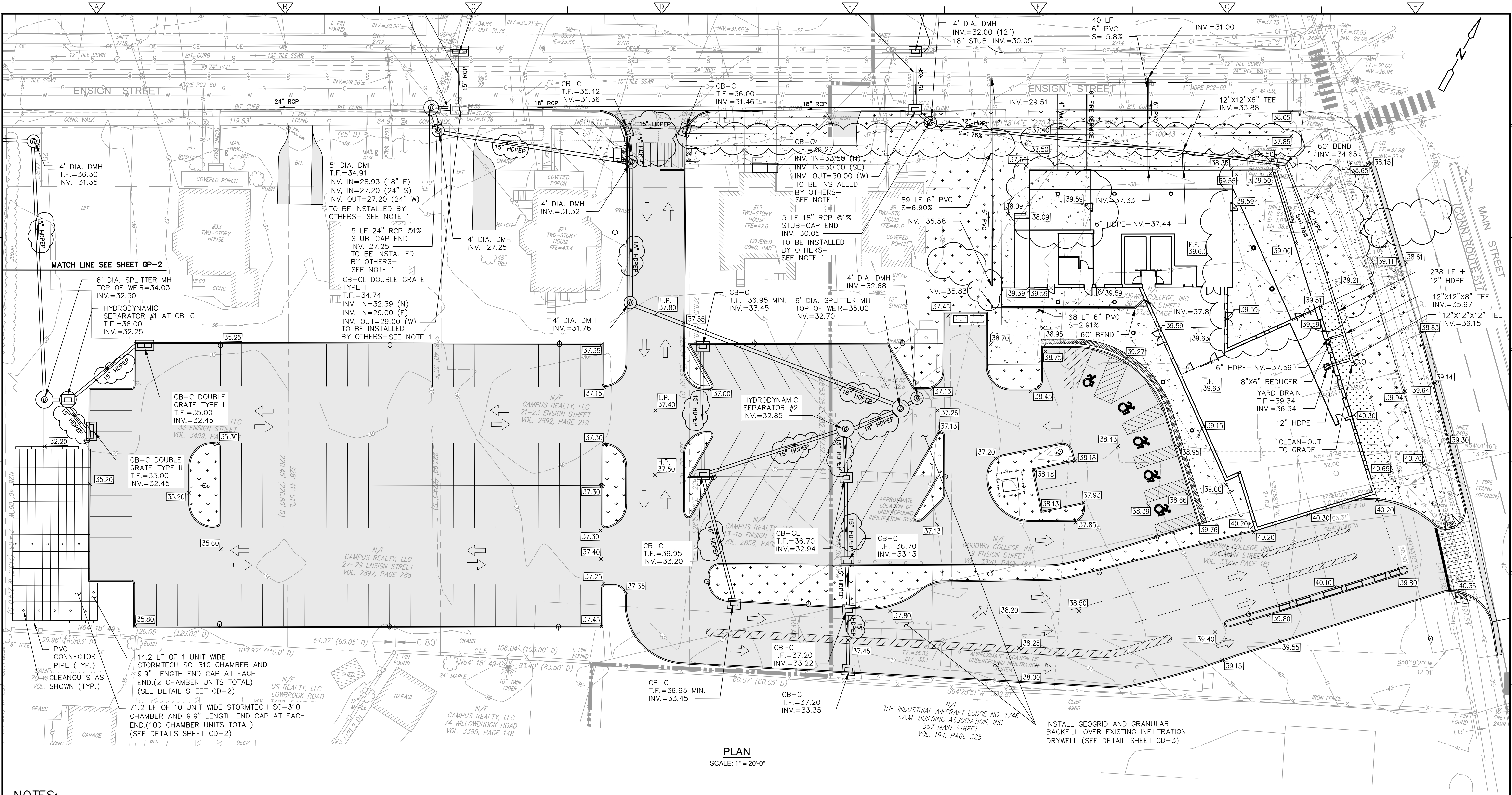
PLAN
SCALE: 1" = 20'-0"

NOT FOR CONSTRUCTION

0 20' 40'
SCALE: 1"=20'

SHEET NO.

FILE PATH: H:\Projects\Goodwin College\1850 - Main & Ensign Preliminary Site Design\AutoCAD\1850 - GP-1.dwg PLOT DATE: 7/19/2019 PLOT TIME: 11:26:28 AM



- NOTES:
1. PROPOSED STORM DRAINAGE IMPROVEMENTS WITHIN ENSIGN STREET TO BE INSTALLED BY OTHERS AND IS NOT PART OF THIS CONTRACT.
 2. CIVIL ELEV. 39.63 = ARCHITECTURAL ELEV. 0'-0"
 3. INFILTRATION SYSTEM TO BE INSPECTED BY ENGINEER DURING CONSTRUCTION TO INSURE INSTALLATION IS IN ACCORDANCE WITH APPROVED PLANS.

NOT FOR CONSTRUCTION

REV. NO.	DATE	DRWN	CHKD	REMARKS
6	07/2019	MK	GBS	BULLETIN 1
5	06/2019	MK	GBS	ISSUED FOR PERMIT.
4	05/2019	MK	GBS	PER TOWN COMMENTS/ADDENDUM #A
3	05/2019	MK	FW	PER DOT COMMENTS.
2	05/2019	MK	GBS	PER TOWN COMMENTS.
1	05/2019	MK	GBS	PER TOWN COMMENTS.

PROJECT NO.:	1850
DESIGNED BY:	GBS
DRAWN BY:	MK
SHEET CHK'D BY:	SJH
CROSS CHK'D BY:	GBS
APPROVED BY:	
DATE:	APRIL, 2019

PREPARED FOR:

 **GOODWIN COLLEGE**

ONE RIVERSIDE DRIVE
EAST HARTFORD, CONNECTICUT

PREPARED BY:

 **ZUVIC-CARR AND ASSOCIATES**
CONSULTING ENGINEERS

40 Cold Spring Road • Rocky Hill, CT 06067
Phone 860.436.4901 • Fax 860.436.4953

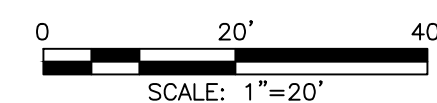
ENSIGN AND MAIN
SITE DESIGN

ENSIGN STREET & MAIN STREET
EAST HARTFORD, CONNECTICUT

GRADING AND UTILITY PLAN

SHEET NO.

GP-1



FILE PATH: H:\Projects\Goodwin College\1850 - Main & Ensign Preliminary Site Design\AutoCAD\1850 - GP-1.dwg PLOT DATE: 7/19/2019 PLOT TIME: 11:26:49 AM

NOT FOR CONSTRUCTION

REV. NO.	DATE	DRWN	CHKD	REMARKS
4	07/2019	MK	GBS	BULLETIN 1
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2	05/2019	MK	GBS	PER TOWN COMMENTS/ADDENDUM #
1	05/2019	MK	GBS	PER TOWN COMMENTS.

PROJECT NO.:	1850
DESIGNED BY:	GBS
DRAWN BY:	MK
SHEET CHK'D BY:	SJH
CROSS CHK'D BY:	GBS
APPROVED BY:	
DATE:	APRIL, 2019

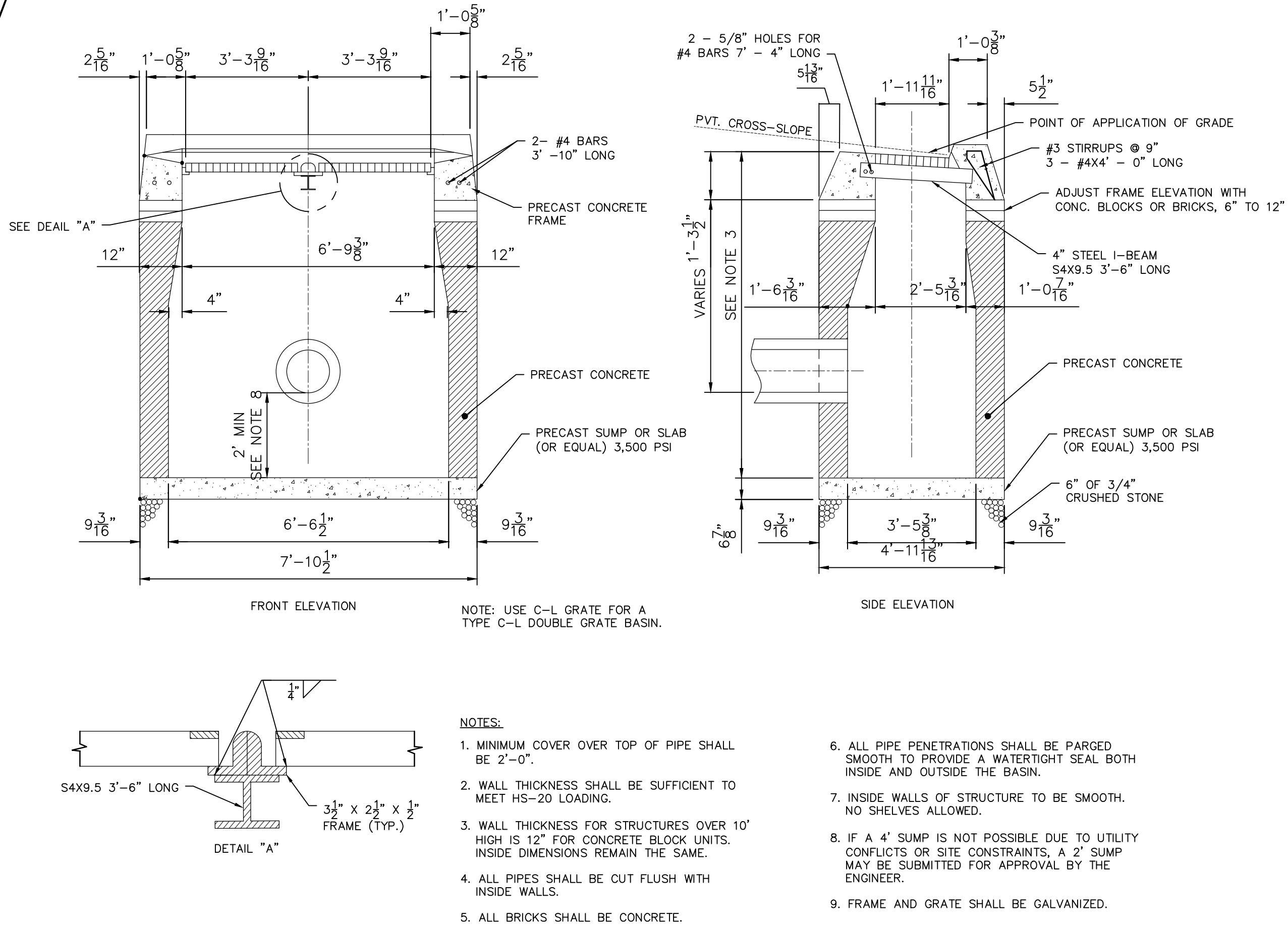
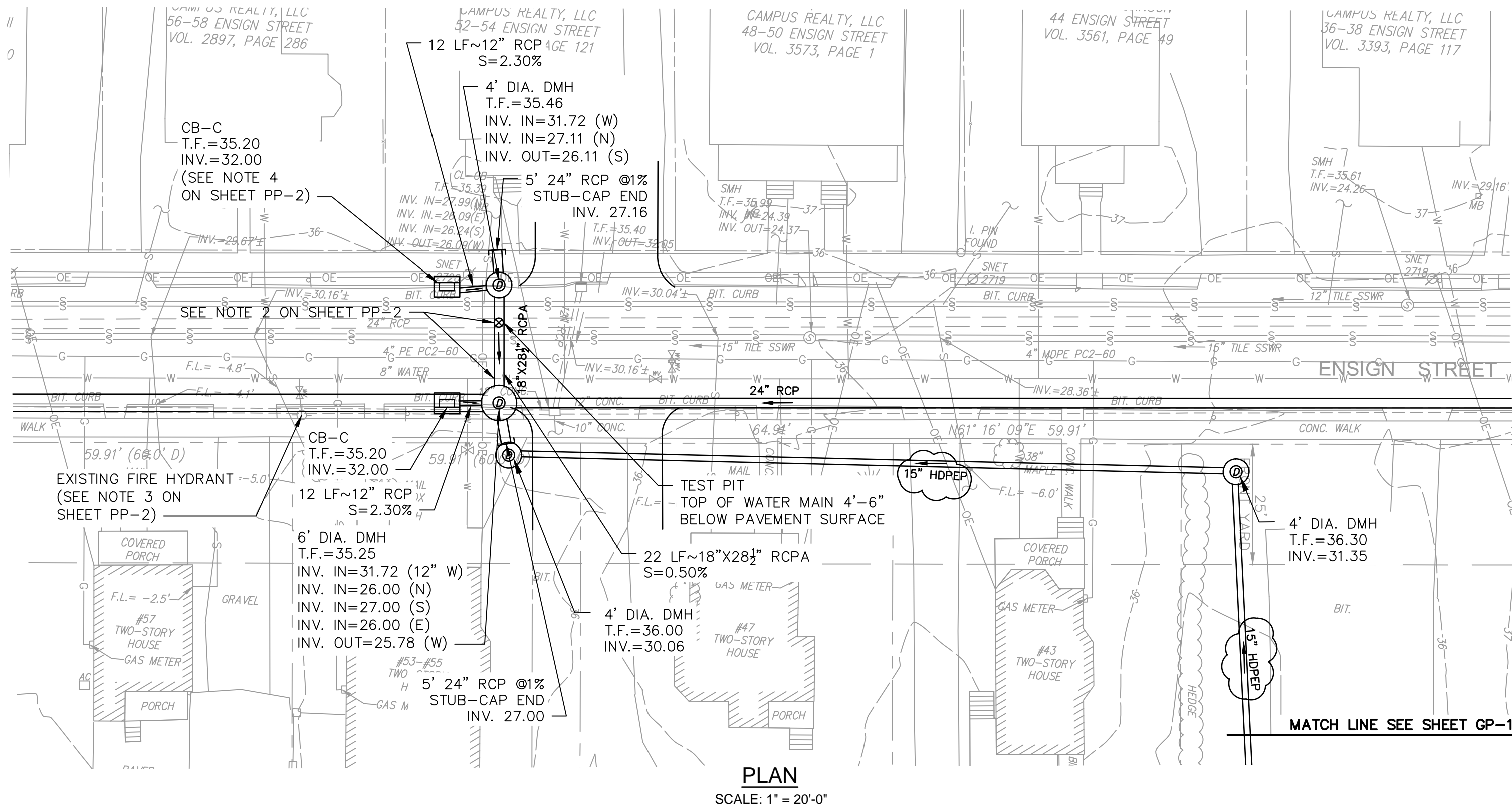
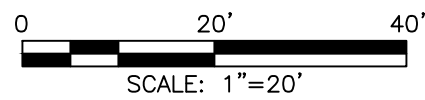


ENSIGN AND MAIN
SITE DESIGN
ENSIGN STREET & MAIN STREET
EAST HARTFORD, CONNECTICUT

GRADING AND UTILITY PLAN

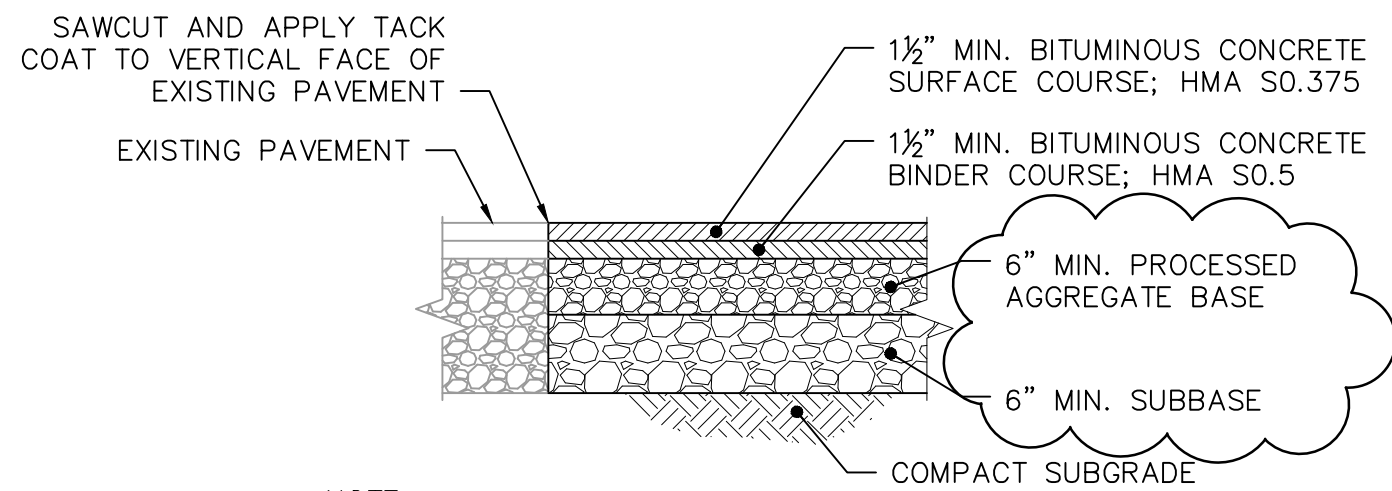
SHEET NO.

GP-2



TYPE 'C' CATCH BASIN DOUBLE GRATE TYPE II
NOT TO SCALE

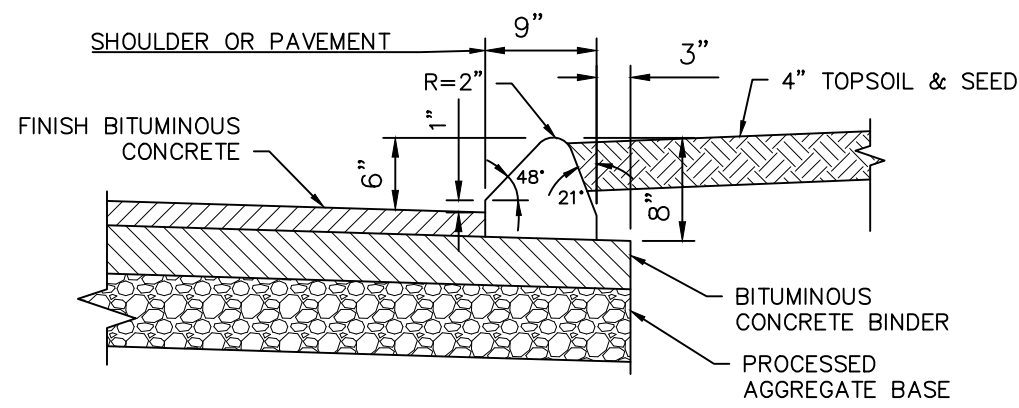
FILE PATH: H:\Projects\Goodwin College\1850 - CD.dwg PLOT DATE: 7/19/2019 PLOT TIME: 11:35:30 AM



NOTE:

1. HMA BITUMINOUS CONCRETE MIXTURES SHALL COMPLY WITH CT DOT FORM 817 MATERIAL SPECIFICATIONS.

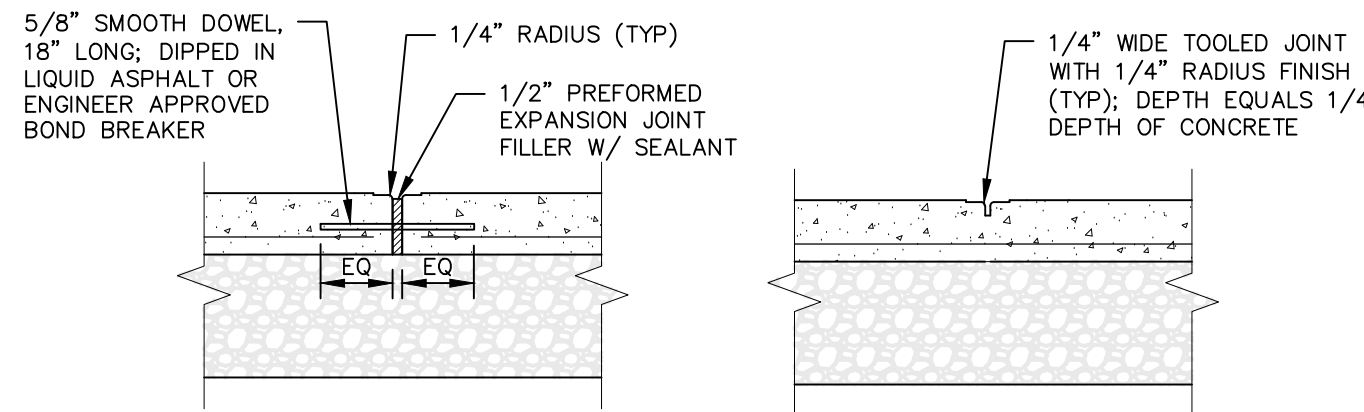
BITUMINOUS CONCRETE PAVEMENT
NOT TO SCALE



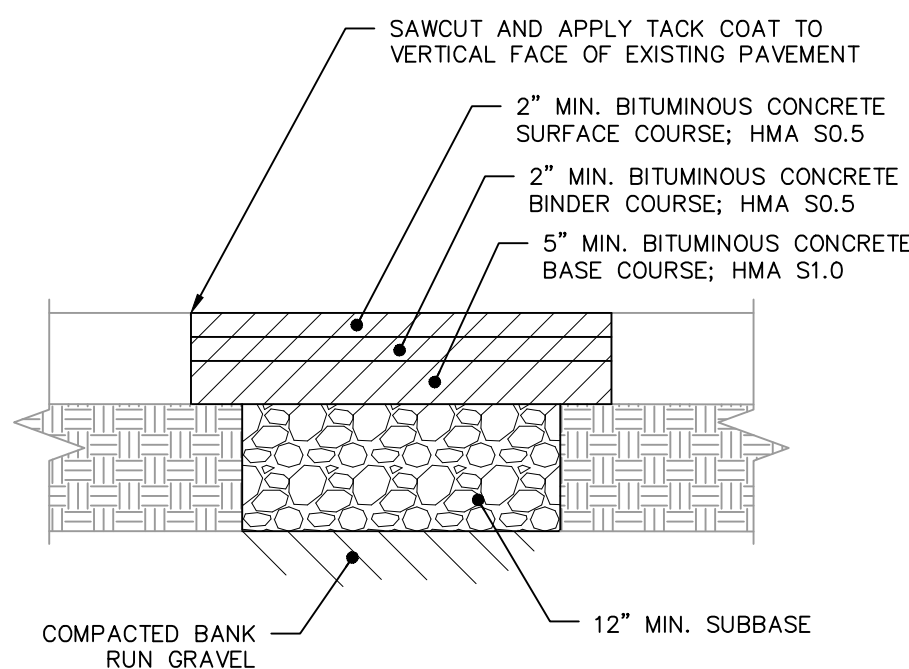
NOTES:

1. CURBING MATERIAL TO BE CURB MIX BITUMINOUS CONCRETE PER CT D.O.T. FORM 817 SECTION M.04.02-1.
2. CURBING TO BE LAID ON TOP OF BINDER COURSE.
3. TACK COAT TO BE APPLIED PRIOR TO CURB PLACEMENT AS REQUIRED. COATING TO BE APPLIED PER CT D.O.T. FORM 817 SECTION M.04.06.03-6.

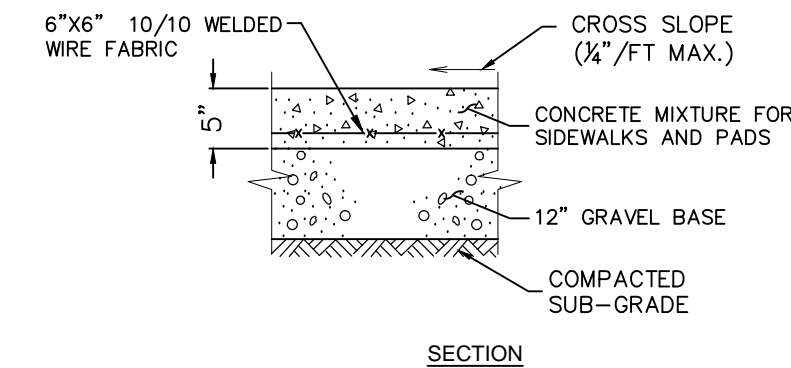
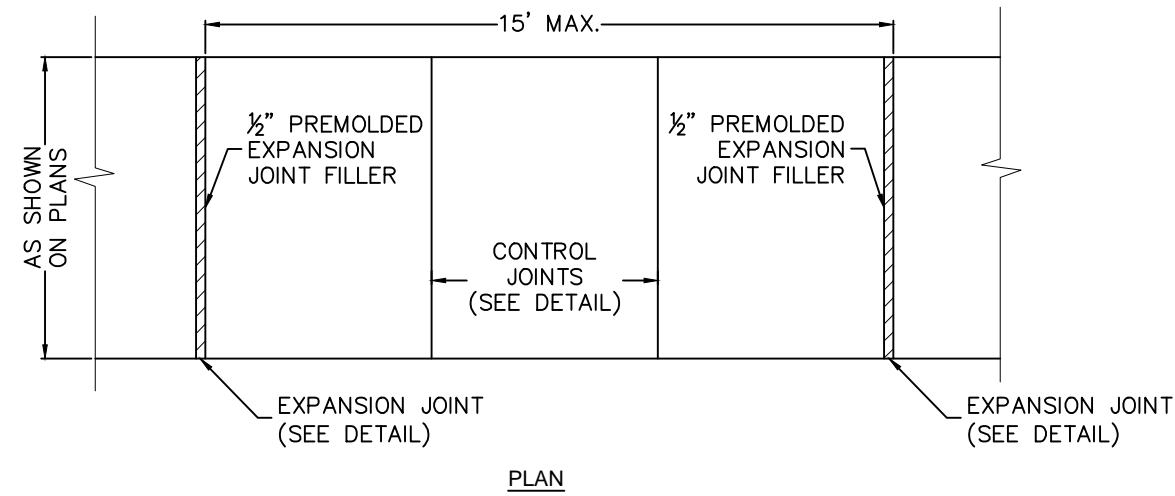
BITUMINOUS CONCRETE LIP CURBING
NOT TO SCALE



TYPICAL CONCRETE SIDEWALK JOINTS
NOT TO SCALE



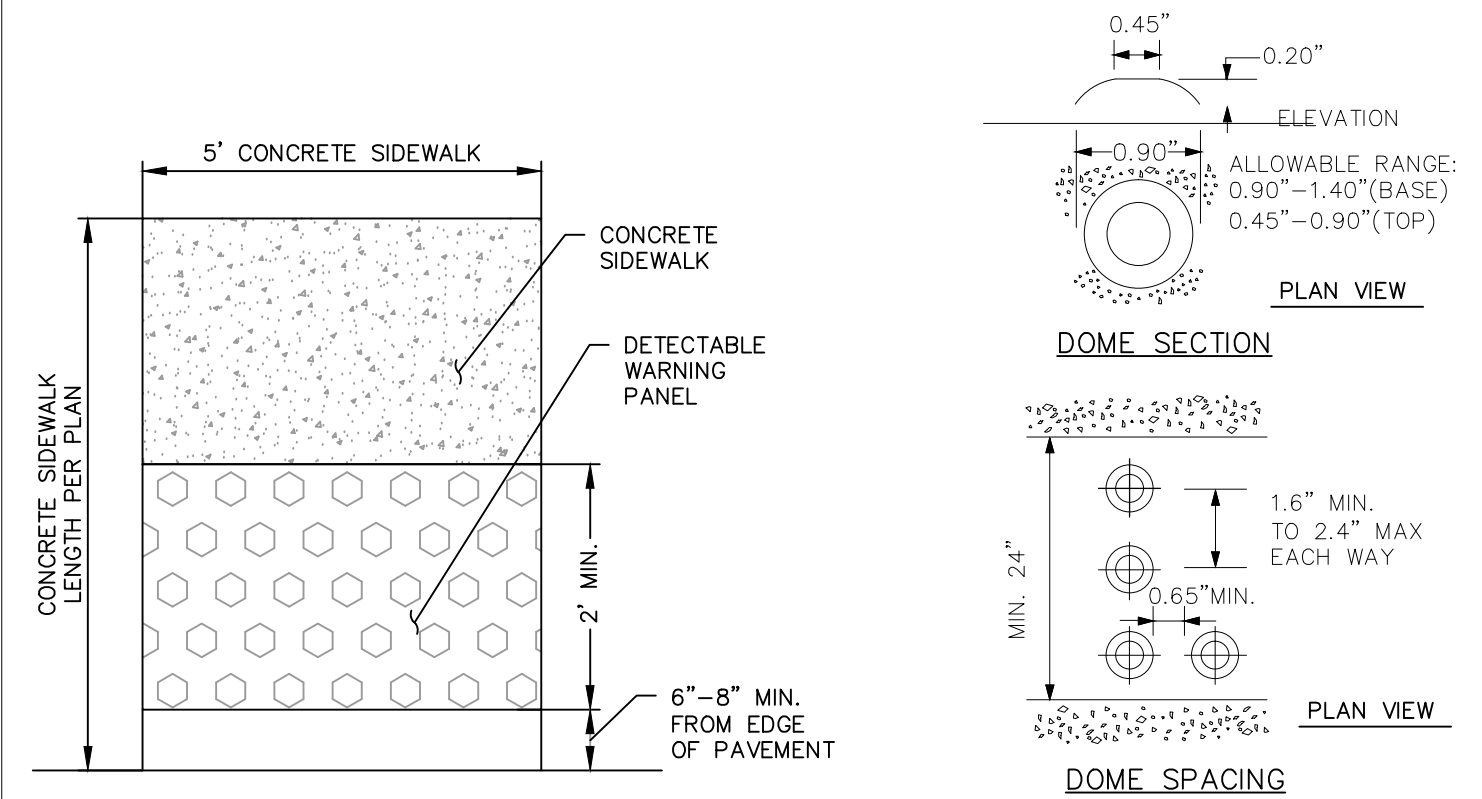
CT DOT BITUMINOUS CONCRETE PAVEMENT
NOT TO SCALE



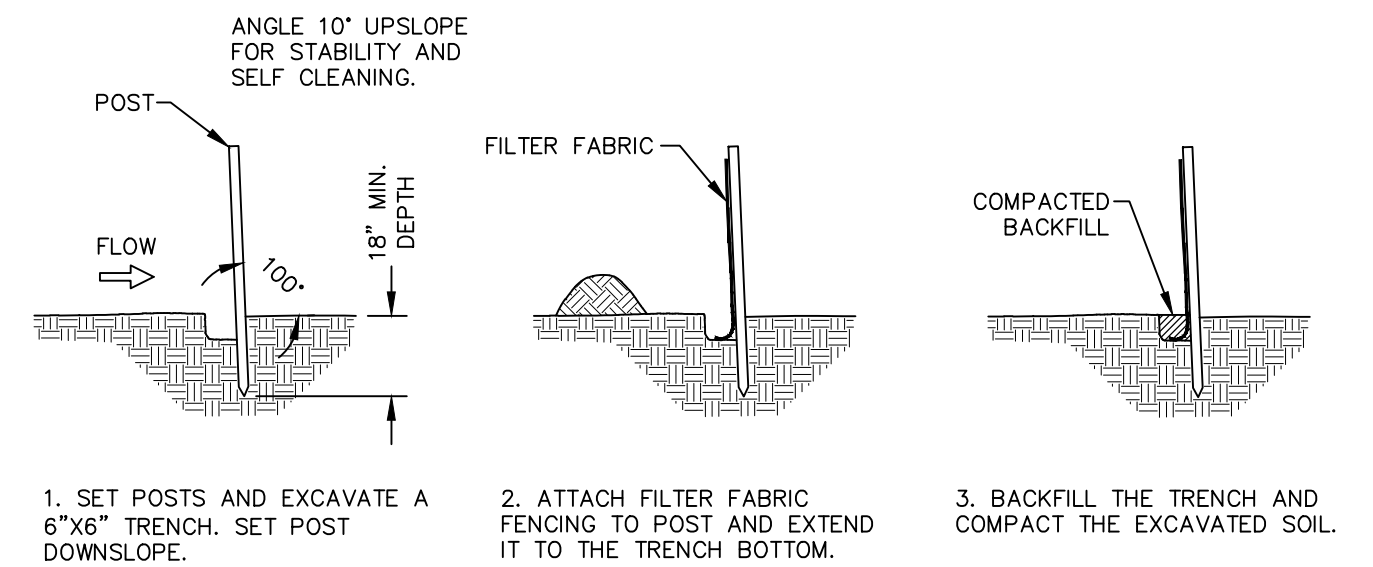
NOTES:

1. INCREASE SLAB THICKNESS TO 8" OVER 9" GRAVEL BASE FOR SIDEWALKS CROSSING DRIVEWAYS AND OTHER VEHICULAR TRAFFIC LOADED AREAS.
2. REMOVE CONCRETE WALKS TO THE NEAREST EXPANSION JOINT AT THE LOCATIONS NOTED ON THE PLANS.
3. MATCH WIDTH AND PROVIDE FLUSH TRANSITION BETWEEN NEW AND EXISTING CONCRETE SIDEWALK.

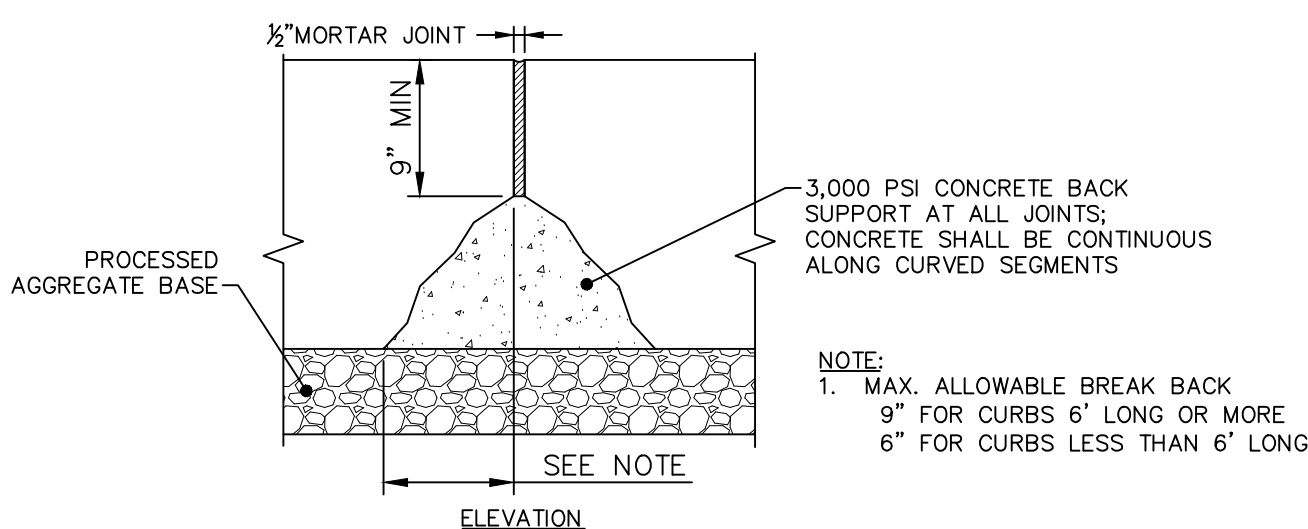
CONCRETE SIDEWALK
NOT TO SCALE



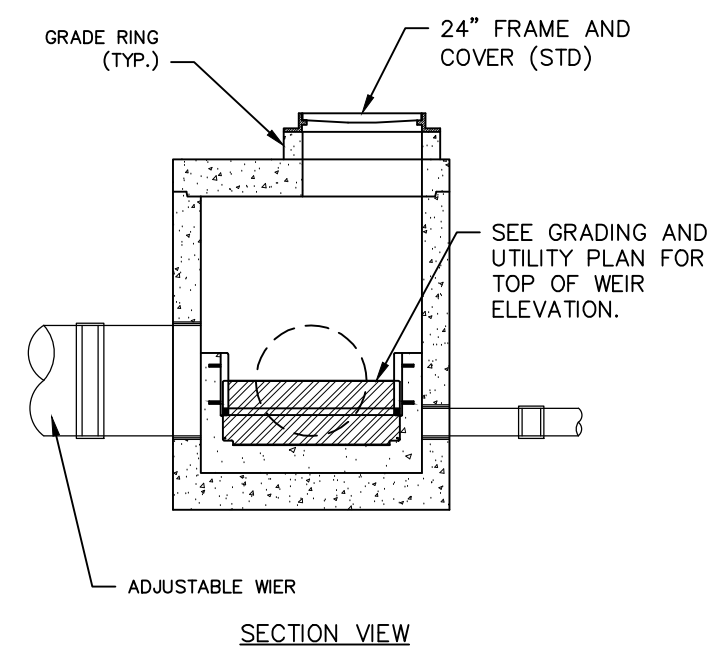
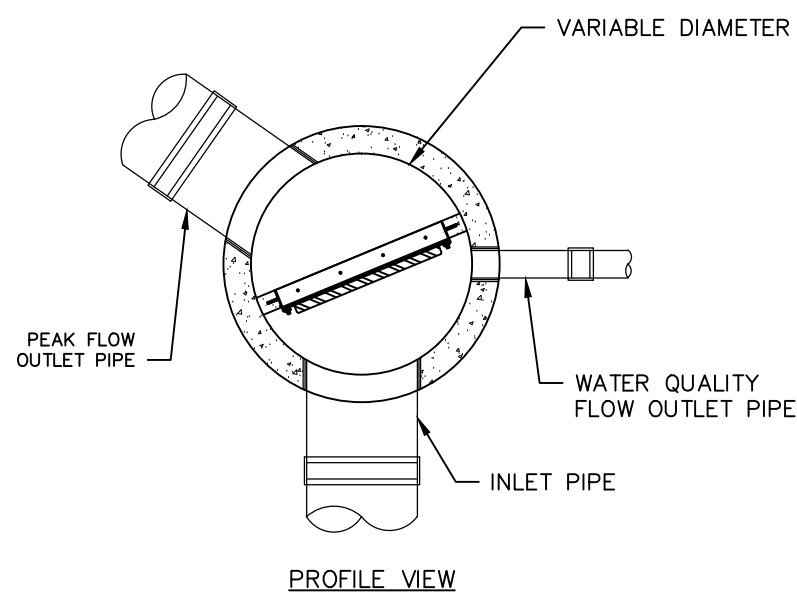
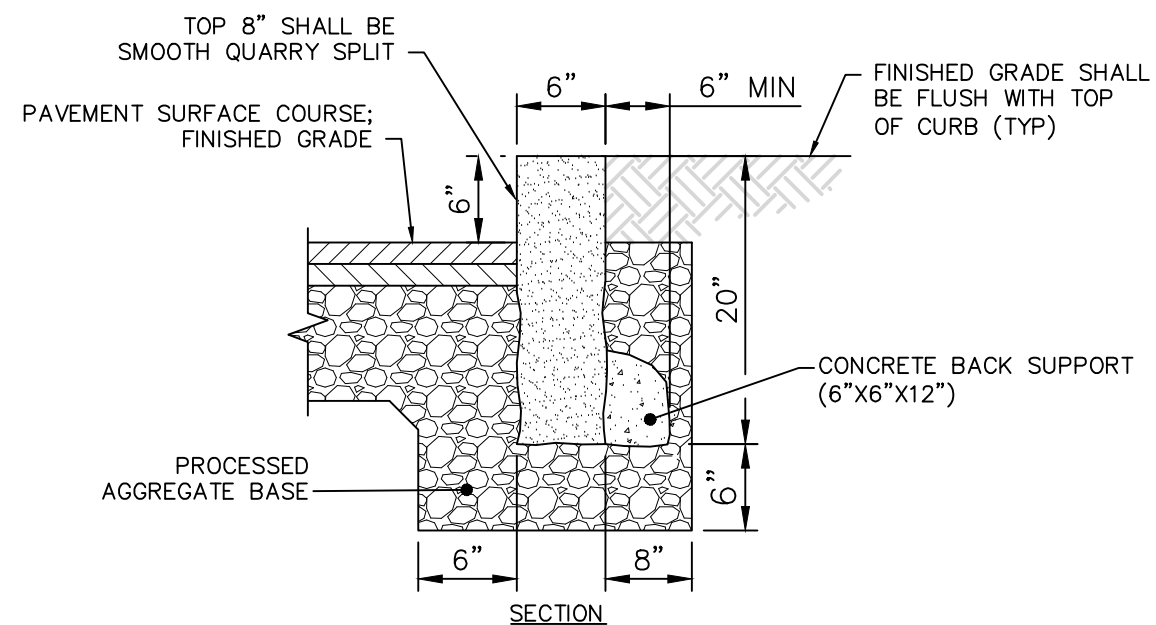
DETECTABLE WARNING PANEL
NOT TO SCALE



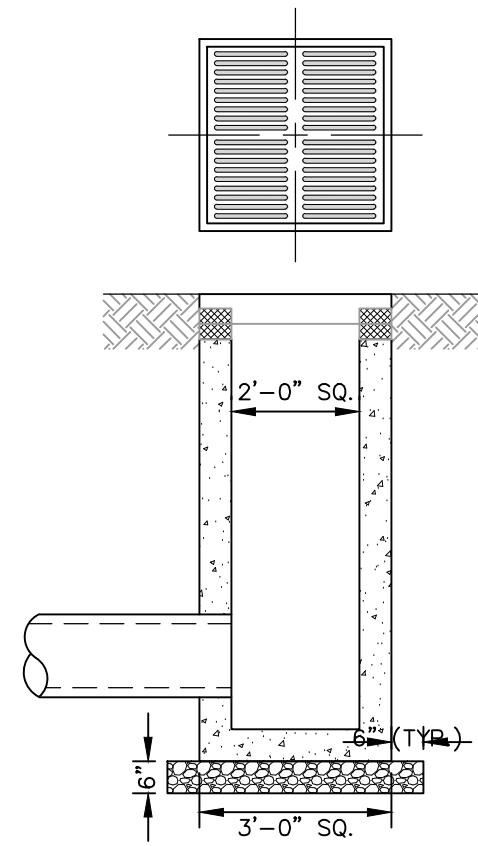
TYPICAL SILT FENCE INSTALLATION
NOT TO SCALE



TYPICAL GRANITE CURB
NOT TO SCALE



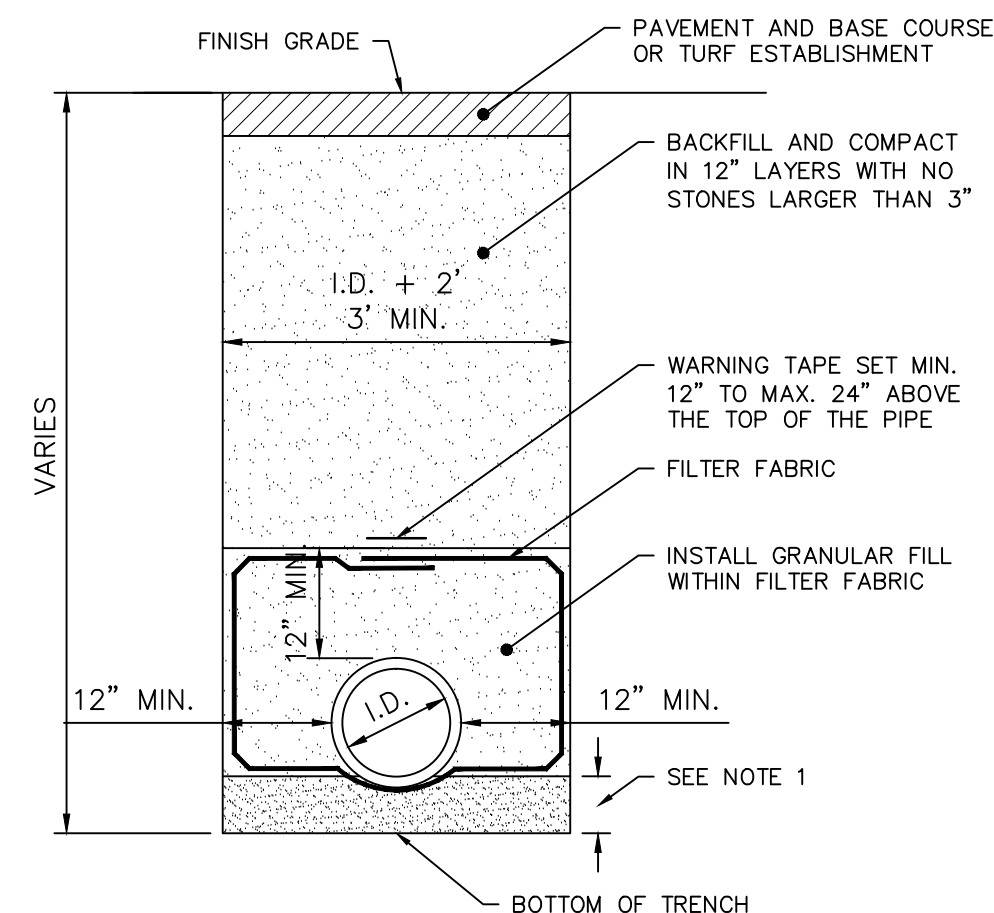
SPLITTER MANHOLE
NOT TO SCALE



NOTES:

1. REINFORCING SHALL BE DETERMINED BY THE PRECAST MANUFACTURER.
2. REFER TO SHEET GP-1 FOR OUTLET PIPE SIZE, MATERIAL, AND CONFIGURATION.

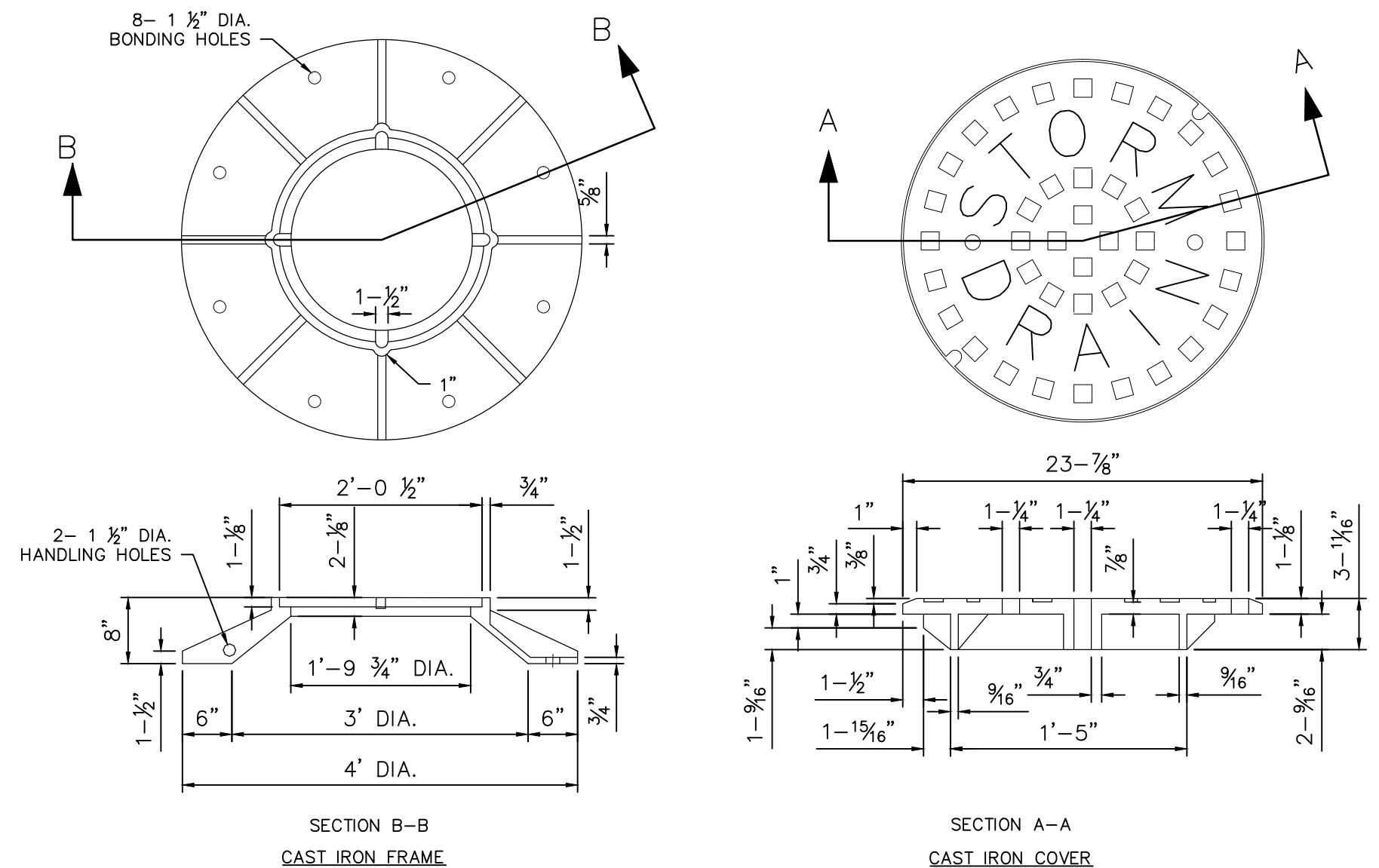
YARD DRAIN
NOT TO SCALE



NOTES:

1. INSTALL 3" GRANULAR FILL WHEN IN ROCK OR UNSUITABLE MATERIAL.
2. OVERLAP FILTER FABRIC MIN. 12".

TYPICAL STORM TRENCH
NOT TO SCALE



NOTES:

1. THE LOWER SURFACE OF THE COVER AND THE CORRESPONDING UPPER SURFACE OF THE FRAME SHALL BE MACHINE FINISHED TO PROVIDE A SMOOTH FLAT CONTACT FOR FIT, WITHOUT ANY TENDENCY FOR THE COVER TO ROCK OR RATLIE.

CAST IRON MANHOLE COVER
NOT TO SCALE

NOT FOR CONSTRUCTION

REV. NO.	DATE	DRWN	CHKD	REMARKS
3	07/2019	MK	GBS	BULLETIN 1
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1	05/2019	MK	GBS	PER TOWN COMMENT/ADDENDUM #1

PROJECT NO.:	1850
DESIGNED BY:	GBS
DRAWN BY:	MK
SHEET CHK'D BY:	SJH
CROSS CHK'D BY:	GBS
APPROVED BY:	
DATE:	APRIL, 2019



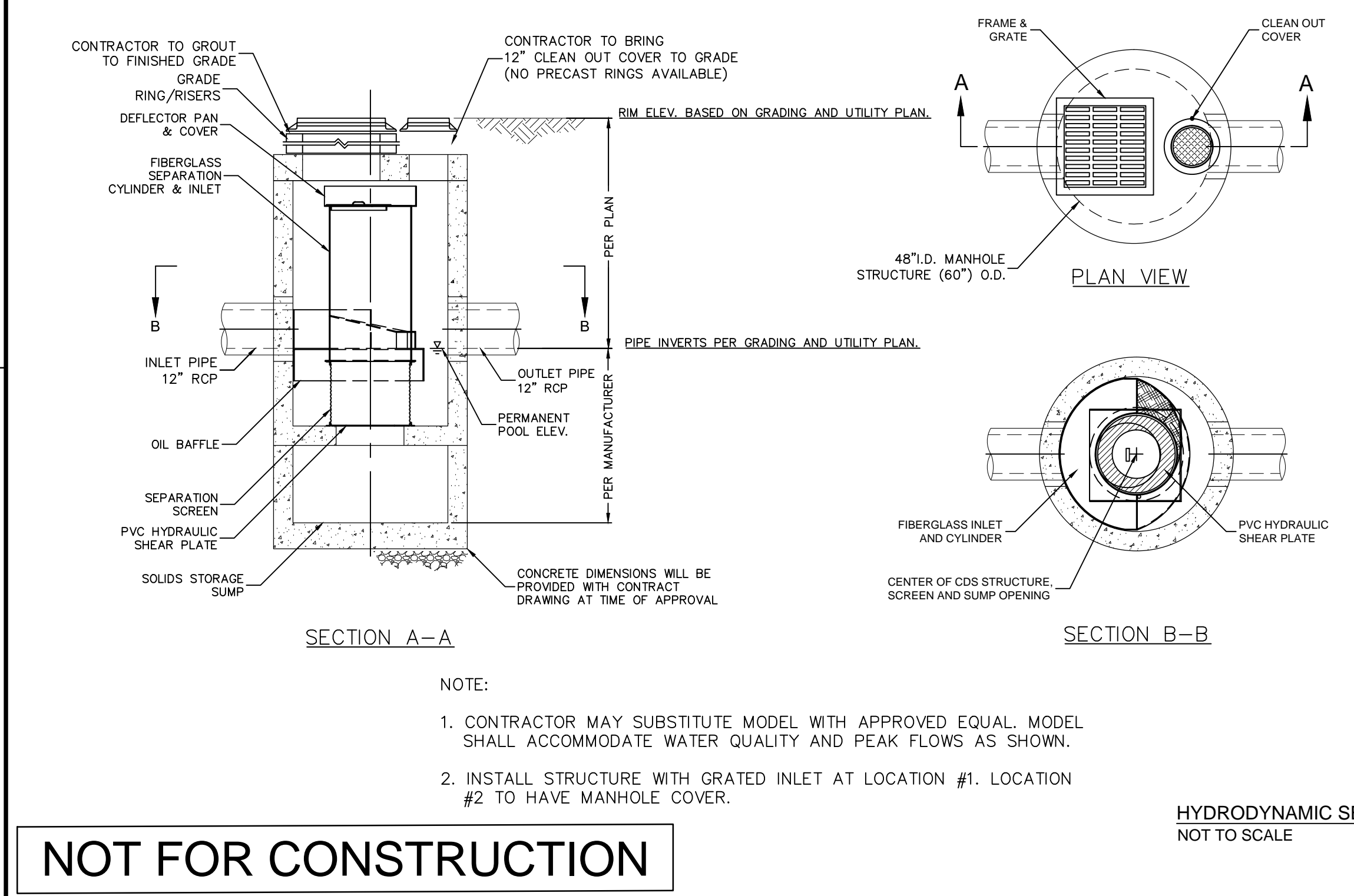
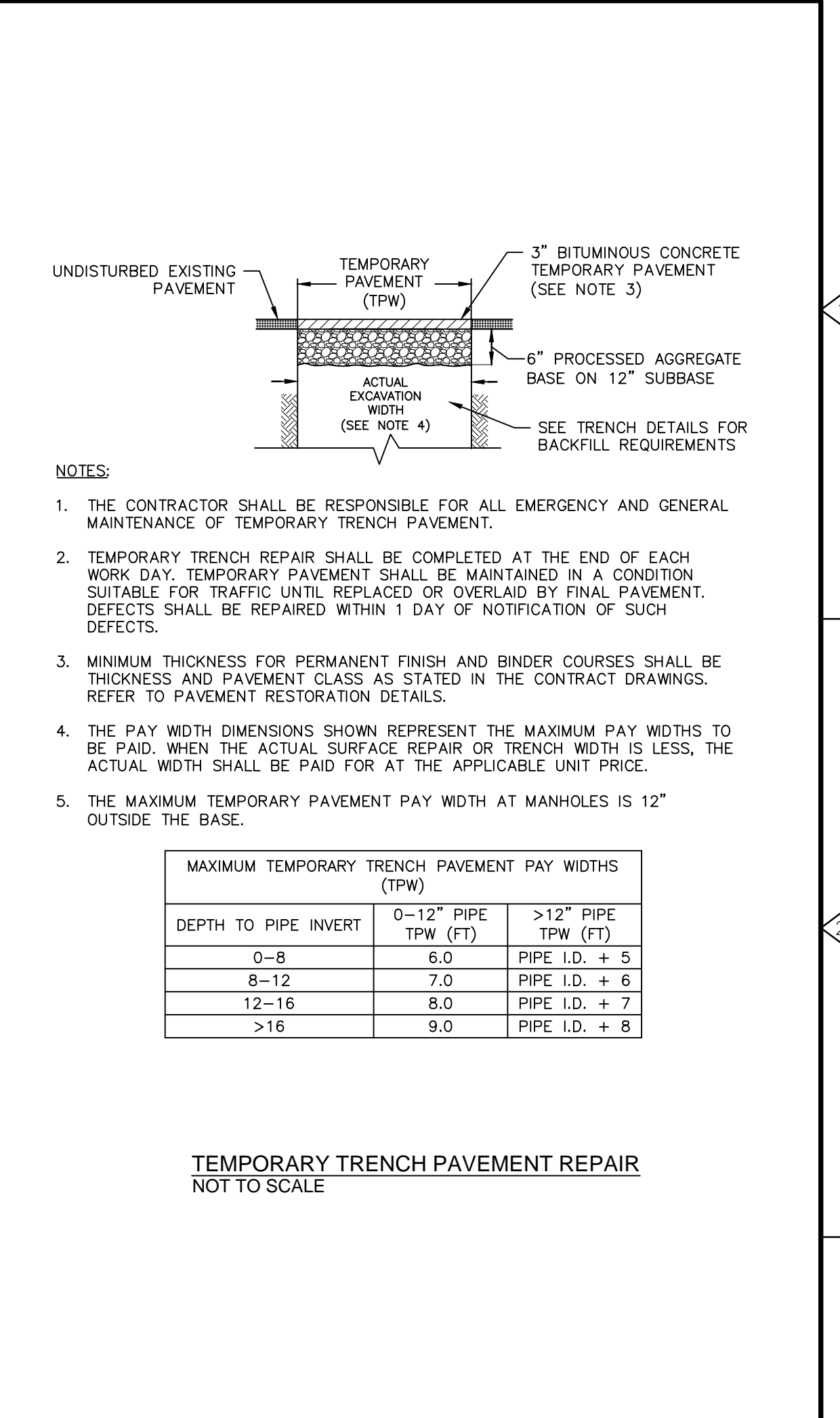
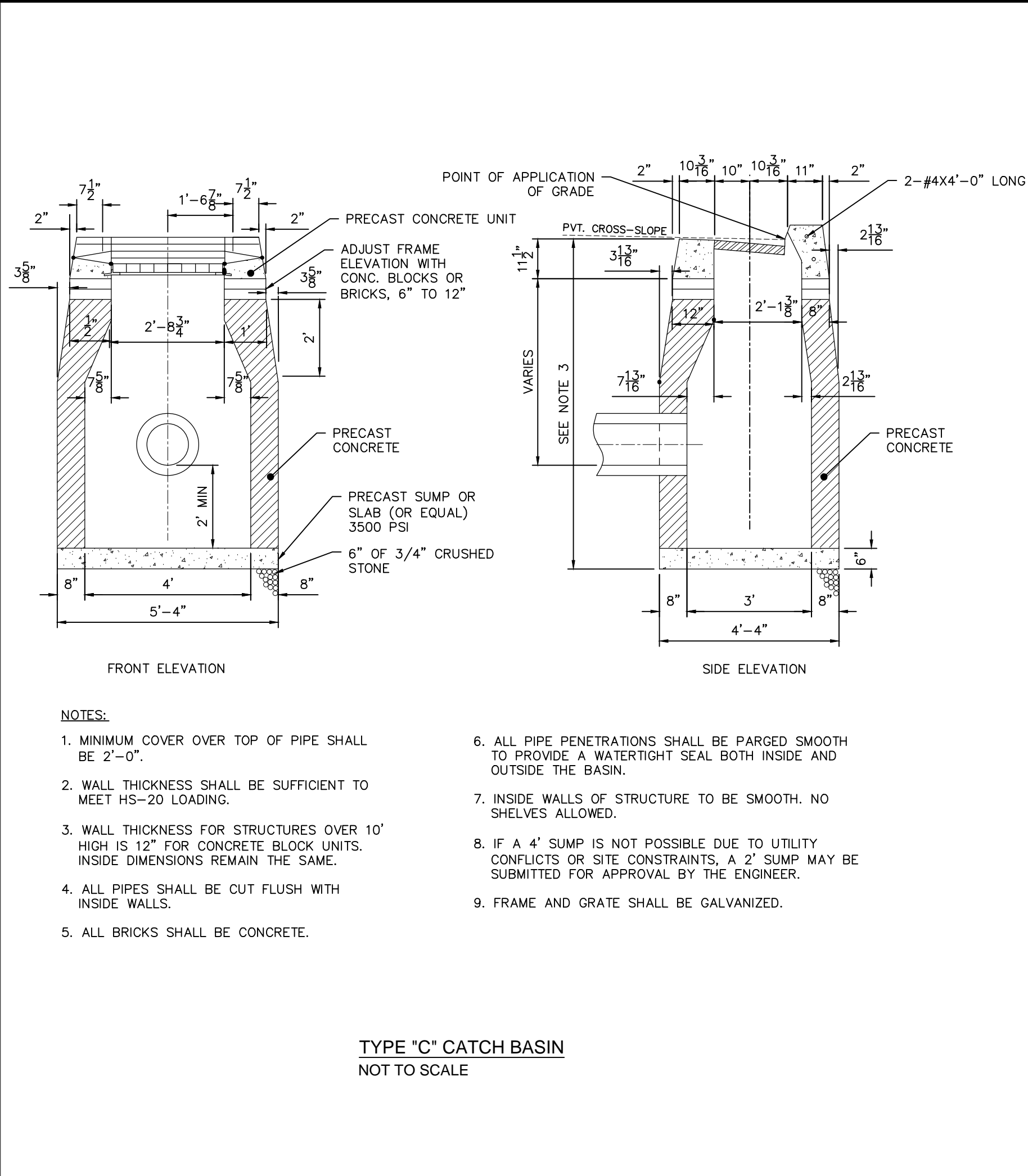
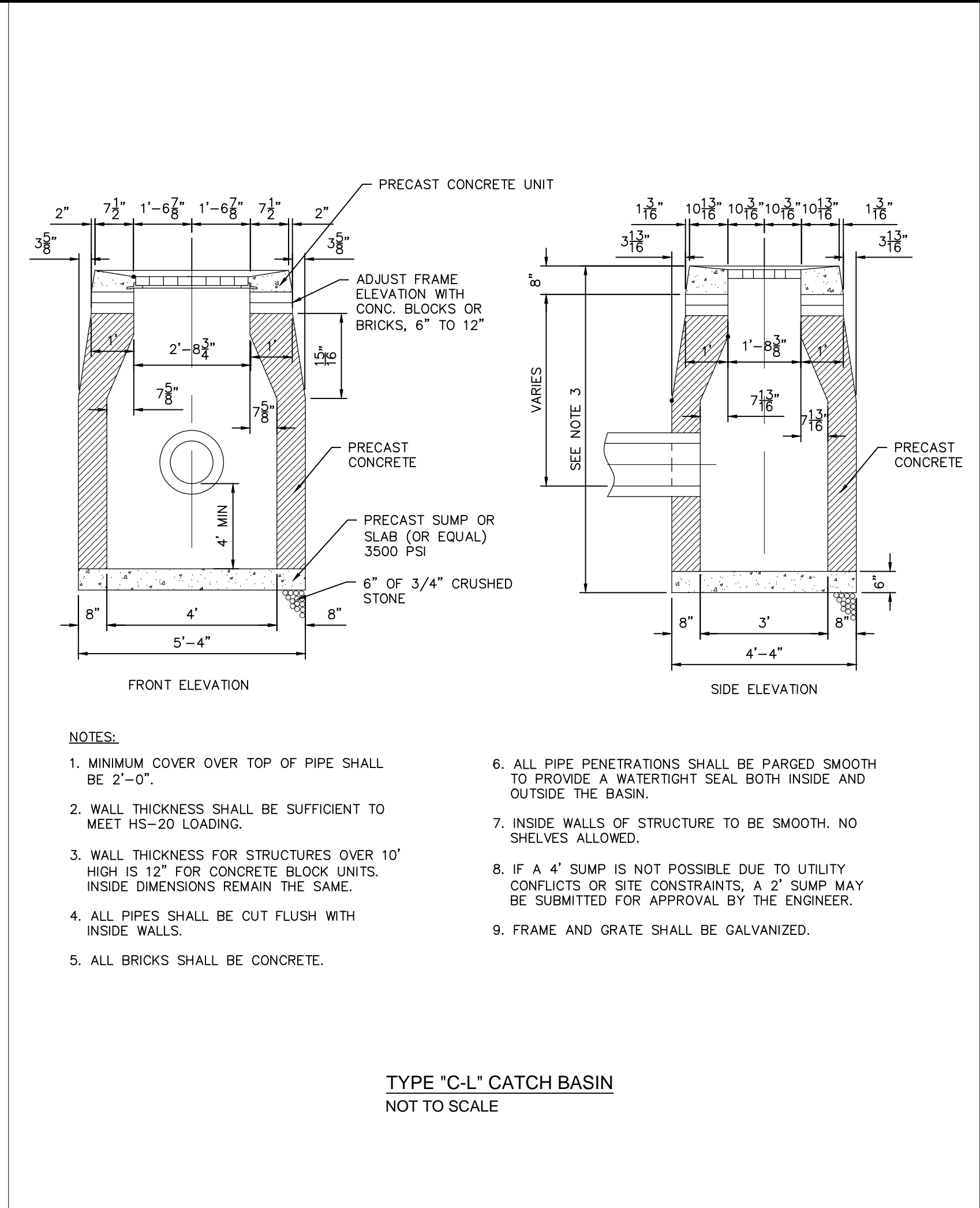
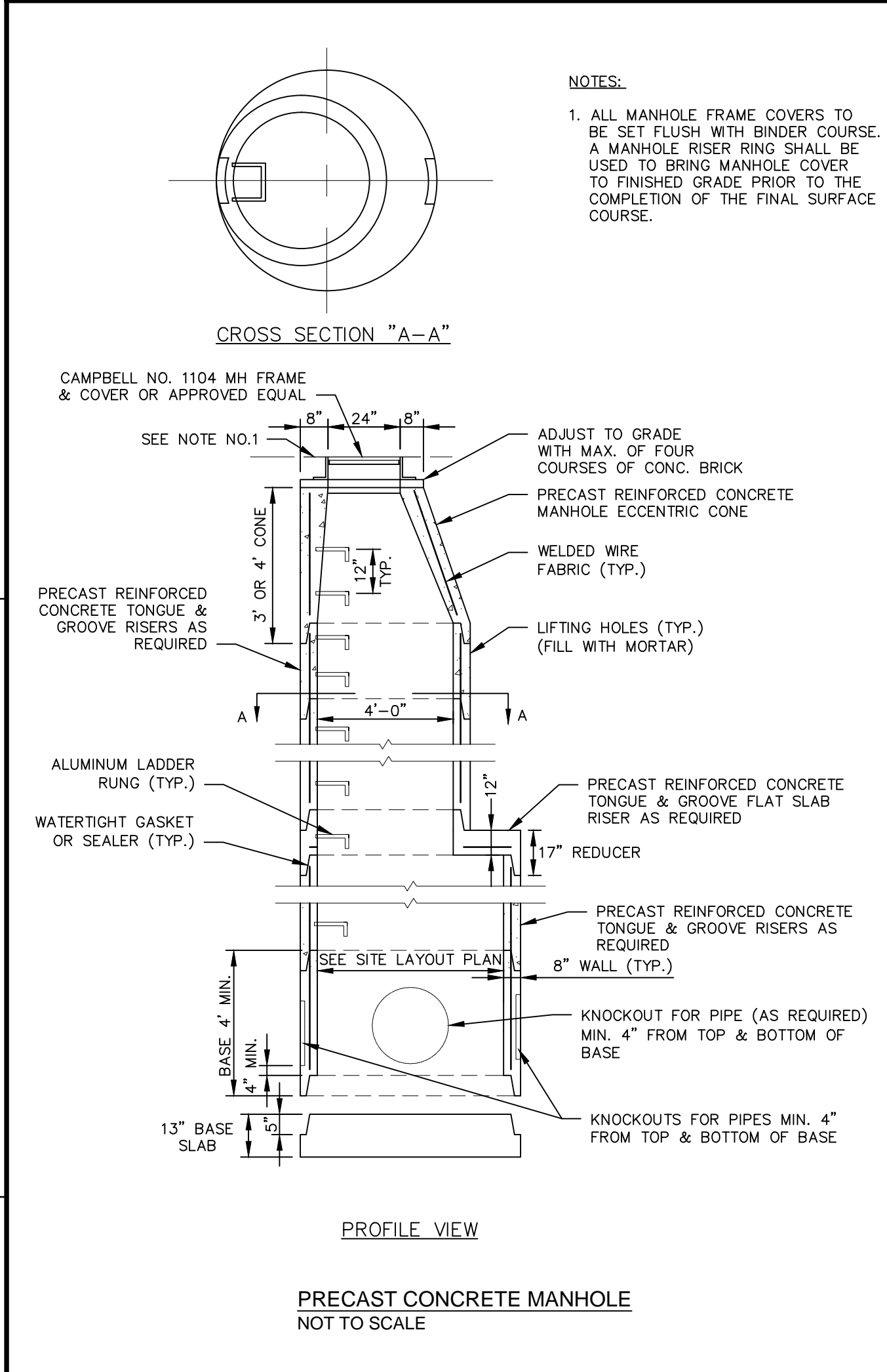
**ENSIGN AND MAIN
SITE DESIGN**
ENSIGN STREET & MAIN STREET
EAST HARTFORD, CONNECTICUT

CIVIL DETAILS

SHEET NO.

CD-1

FILE PATH: H:\Projects\Goodwin College\1850 - CD.dwg PLOT DATE: 7/19/2019 PLOT TIME: 11:28:37 AM



MATERIALS LIST - PROVIDED BY CONTECH

COUNT	DESCRIPTION	INSTALLED BY
1	FIBERGLASS INLET & CYLINDER	CONTECH
1	28"x28" DEFLECTOR PAN & COVER	CONTECH
1	4700 MICRON SEP. SCREEN	CONTECH
1	SEALANT FOR JOINTS	CONTRACTOR
1	GRADE RINGS/ RISERS	CONTRACTOR
1	Ø12"x4" CLEAN OUT COVER	CONTRACTOR
1	24"x24" FRAME AND GRATE	CONTRACTOR

GENERAL NOTES

1. CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.

2. DIMENSIONS MARKED WITH () ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.

3. FOR SITE SPECIFIC DRAWINGS WITH DETAILED DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH CONSTRUCTION PRODUCTS REPRESENTATIVE. www.contech-cpi.com

4. CDS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.

5. STRUCTURE SHALL MEET AASHTO HS20 AND CASTINGS SHALL MEET AASHTO M306 LOAD RATING, ASSUMING GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION.

6. PVC HYDRAULIC SHEAR PLATE IS PLACED ON SHELF AT BOTTOM OF SCREEN CYLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.

INSTALLATION NOTES

1. ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.

2. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE (LIFTING CLUTCHES PROVIDED).

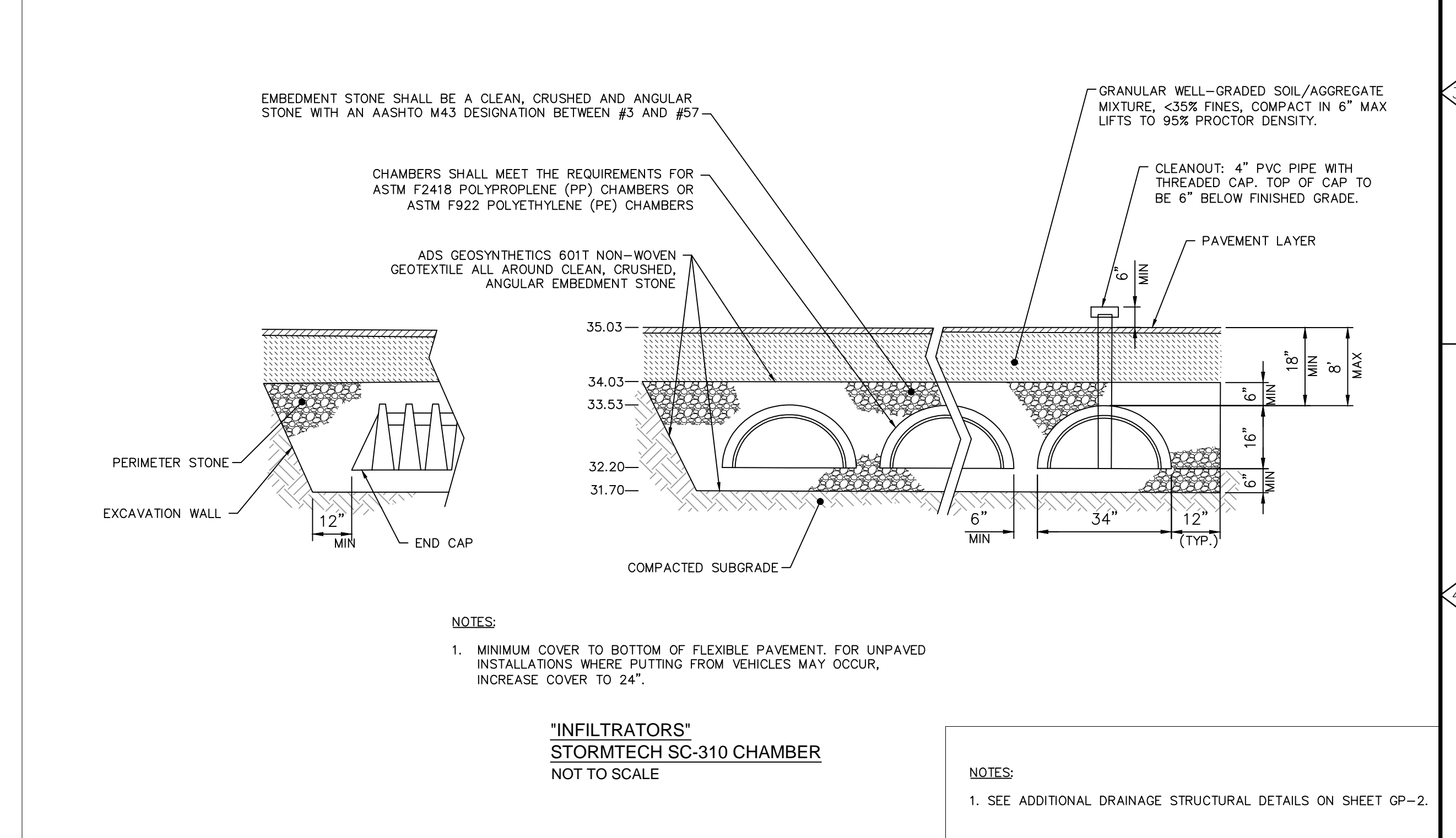
3. CONTRACTOR TO ADD JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS, AND ASSEMBLE STRUCTURE.

4. CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN.

5. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

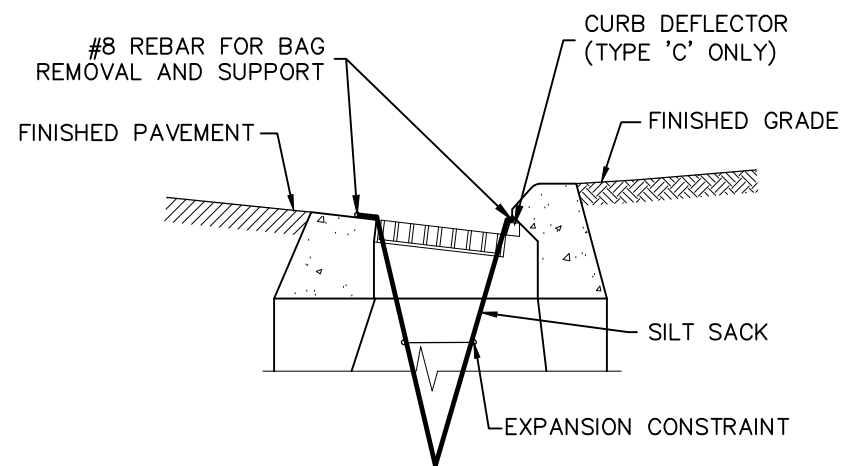
SITE DESIGN DATA

	#1	#2
WATER QUALITY FLOW RATE	1.04 CFS	0.83 CFS
PEAK FLOW RATE	4.92 CFS	6.05 CFS
RETURN PERIOD OF PEAK FLOW	25 YRS	25 YRS



					PROJECT NO.: 1850	<div><div>GOODWIN COLLEGE</div><div>ONE RIVERSIDE DRIVE EAST HARTFORD, CONNECTICUT</div></div>	<div><div>ZUVIC • CARR AND ASSOCIATES CONSULTING ENGINEERS</div><div>40 Cold Spring Road • Rocky Hill, CT 06067 Phone 860.436.4901 • Fax 860.436.4953</div></div>	<div>ENSIGN AND MAIN SITE DESIGN</div> <div>ENSIGN STREET & MAIN STREET EAST HARTFORD, CONNECTICUT</div>	<div>CIVIL DETAILS</div>	<div>SHEET NO. CD-2</div>				
					DESIGNED BY: GBS									
					DRAWN BY: MK									
					SHEET CHK'D BY: SJH									
					CROSS CHK'D BY: GBS									
REV. NO.	DATE	DRWN	CHKD	REMARKS	APPROVED BY:	DATE: APRIL, 2019								
3	06/2019	MK	GBS	ISSUED FOR PERMIT.										
2	05/2019	MK	GBS	PER TOWN COMMENTS/ADDENDUM # 										
1	05/2019	MK	GBS	PER TOWN COMMENTS.										

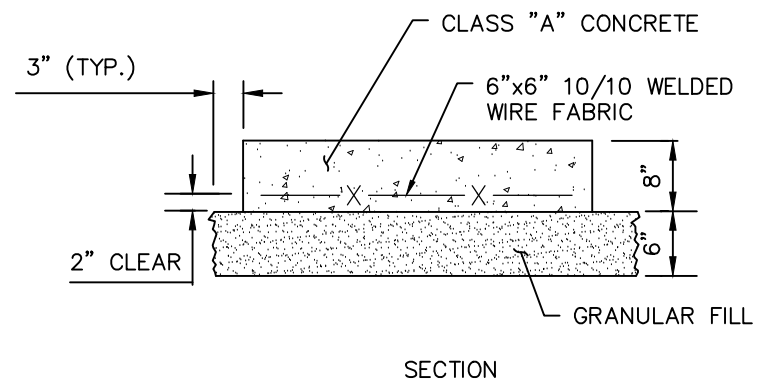
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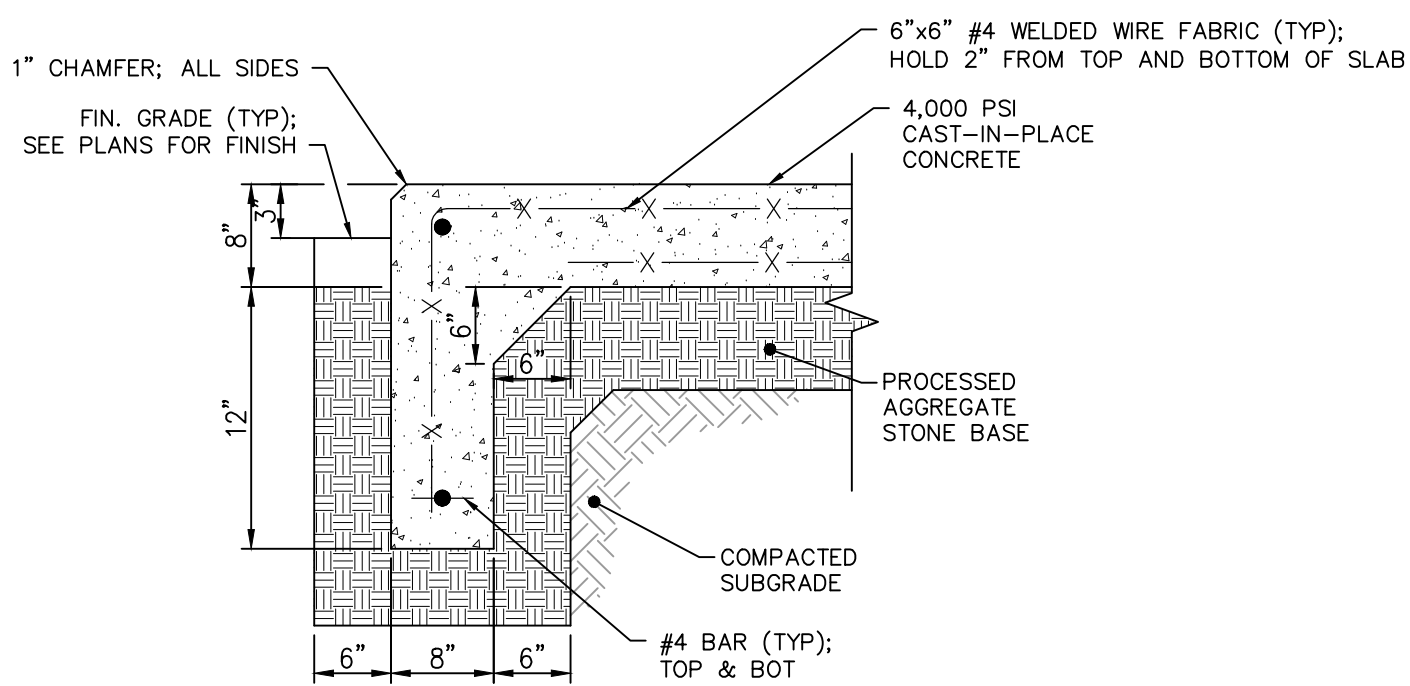
NOTES:

1. SILT SACKS MAY BE USED IN OTHER TYPES OF STORM DRAINAGE INLETS. TYPE 'C' CATCH BASIN SHOWN FOR CLARITY.

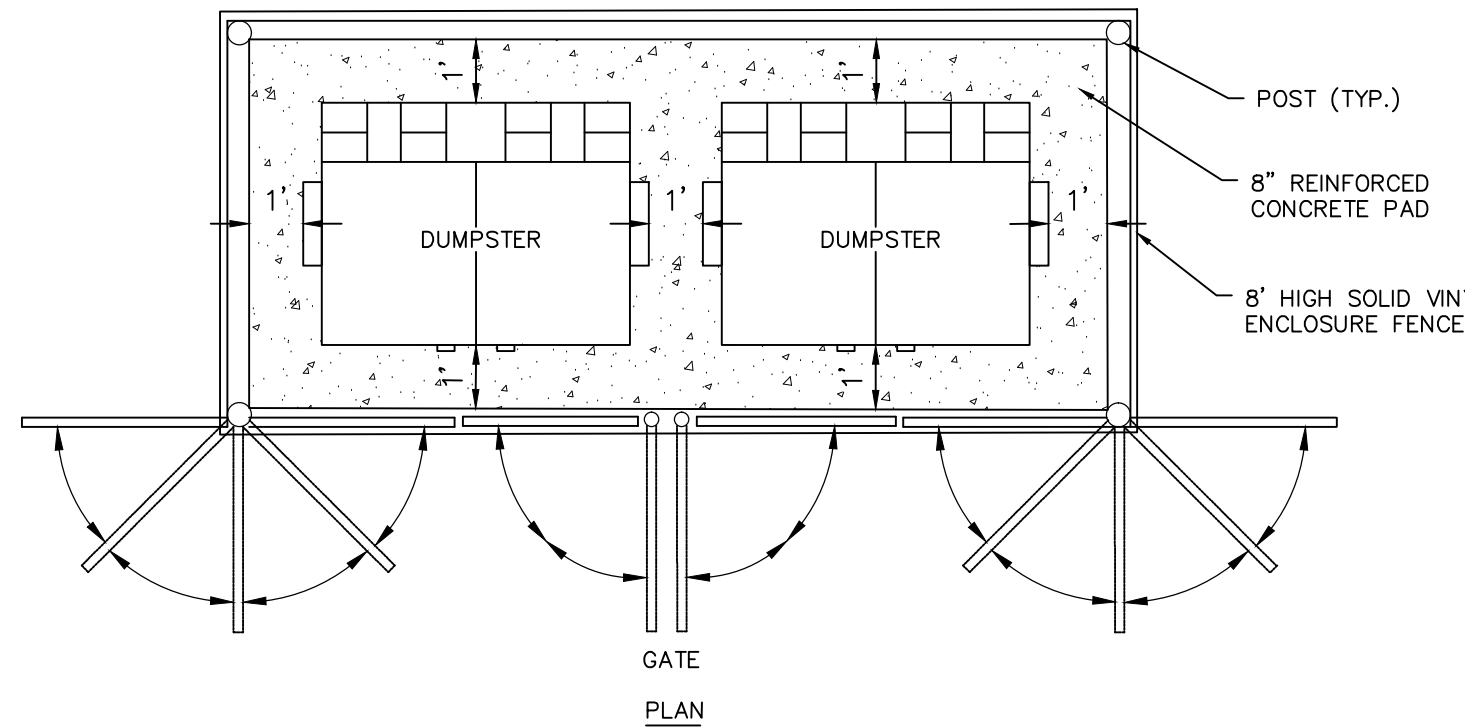
SEDIMENT CONTROL AT CATCH BASIN
NOT TO SCALE



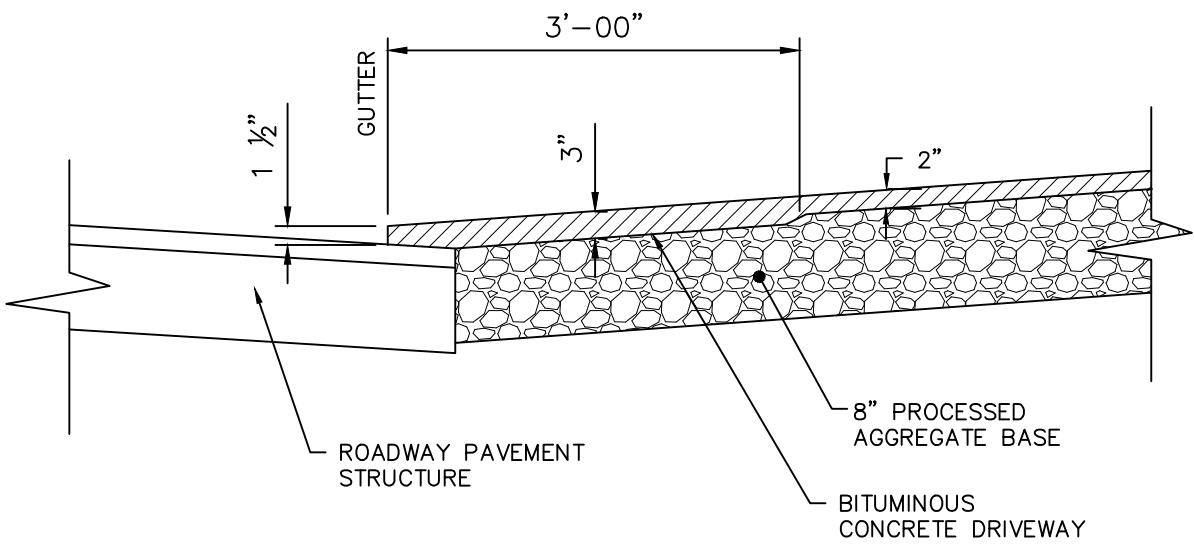
DUMPSTER CONCRETE PAD
NOT TO SCALE



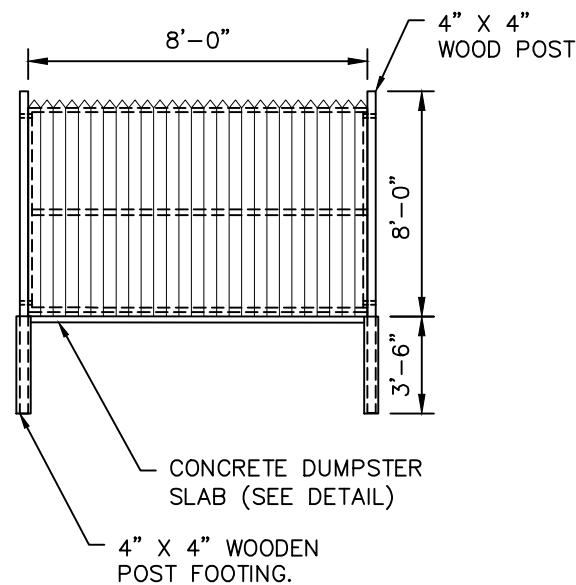
CONCRETE DUMPSTER PAD SECTION
NOT TO SCALE



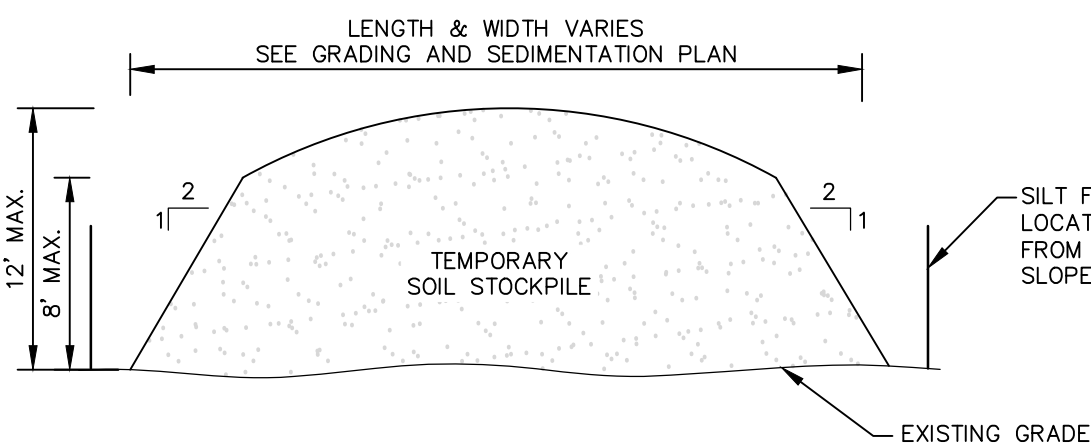
DUMPSTER ENCLOSURE
NOT TO SCALE



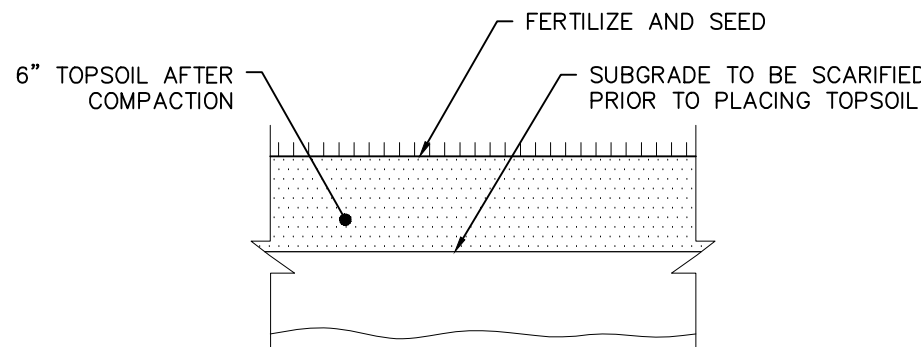
BITUMINOUS CONCRETE DRIVEWAY
NOT TO SCALE



DUMPSTER ENCLOSURE
NOT TO SCALE



TEMPORARY SOIL STOCKPILE
NOT TO SCALE



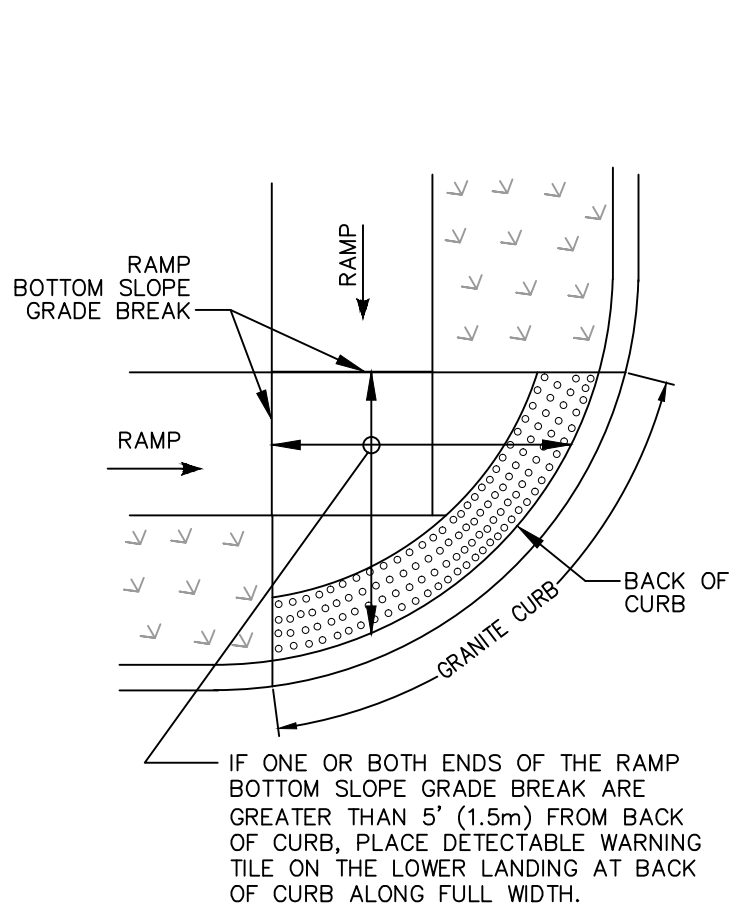
NOTES:

1. THE PERMANENT SEED MIX FOR TURF ESTABLISHMENT IS AS FOLLOWS:

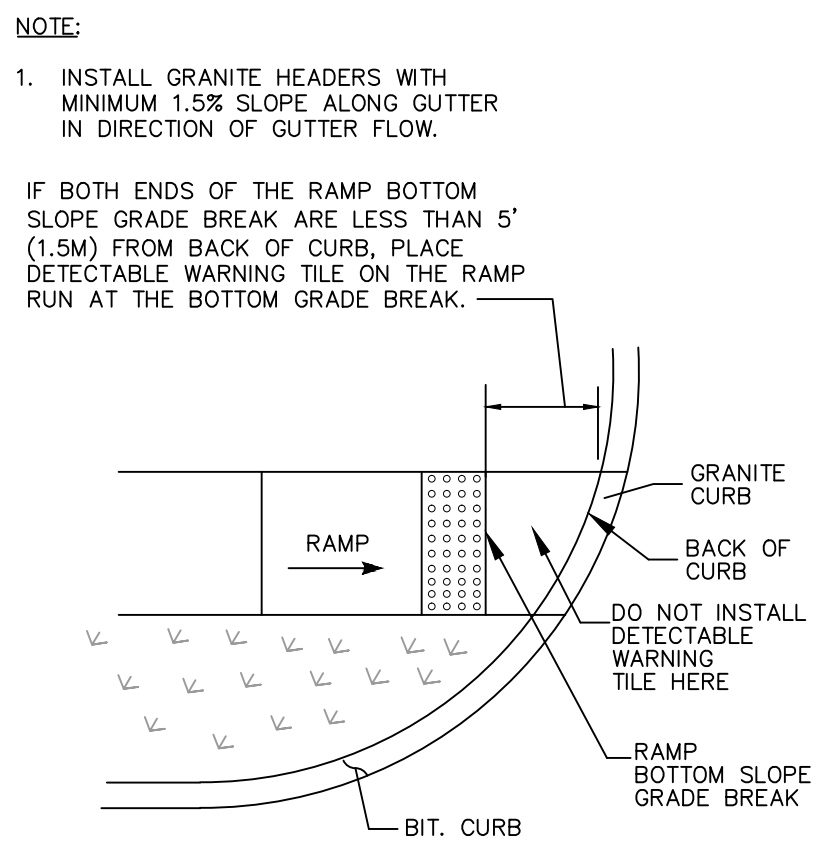
NAME	MINIMUM PROPORTION BY WEIGHT
KENTUCKY BLUEGRASS	45%
CREeping RED FESCUE	10%
PERENNIAL RYE GRASS	45%

2. SEED SHALL BE APPLIED AT A RATE OF 2 POUNDS PER 1000 SQUARE FEET. THE SEEDED AREA SHALL BE MULCHED WITH A LAYER OF GRASS, HAY OR STRAW AT A RATE OF 10 POUNDS PER 100 SQUARE FEET. THE SEEDED AREAS SHALL BE THOROUGHLY WATERED UNTIL SATISFACTORY STAND OF GRASS HAS BEEN ESTABLISHED.

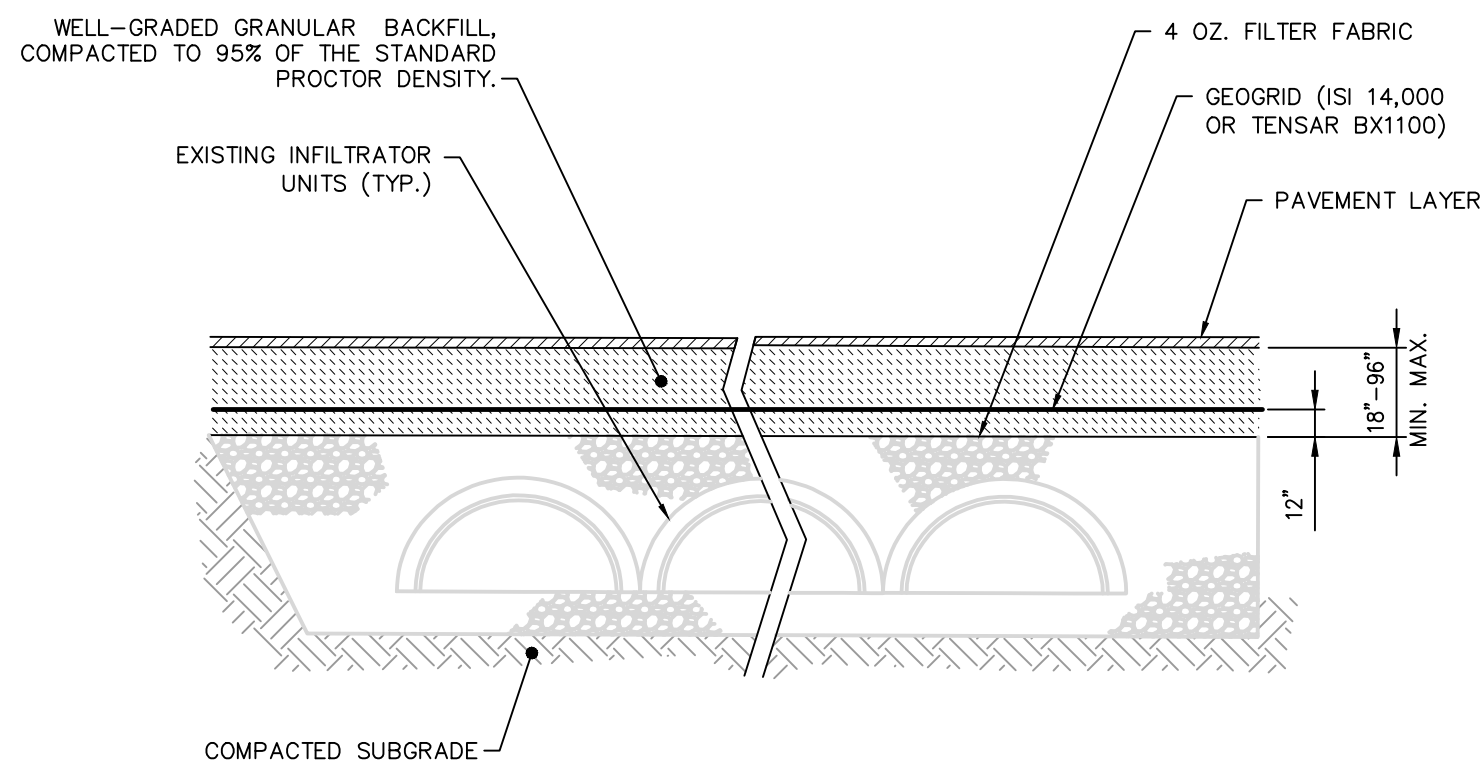
TURF ESTABLISHMENT
NOT TO SCALE



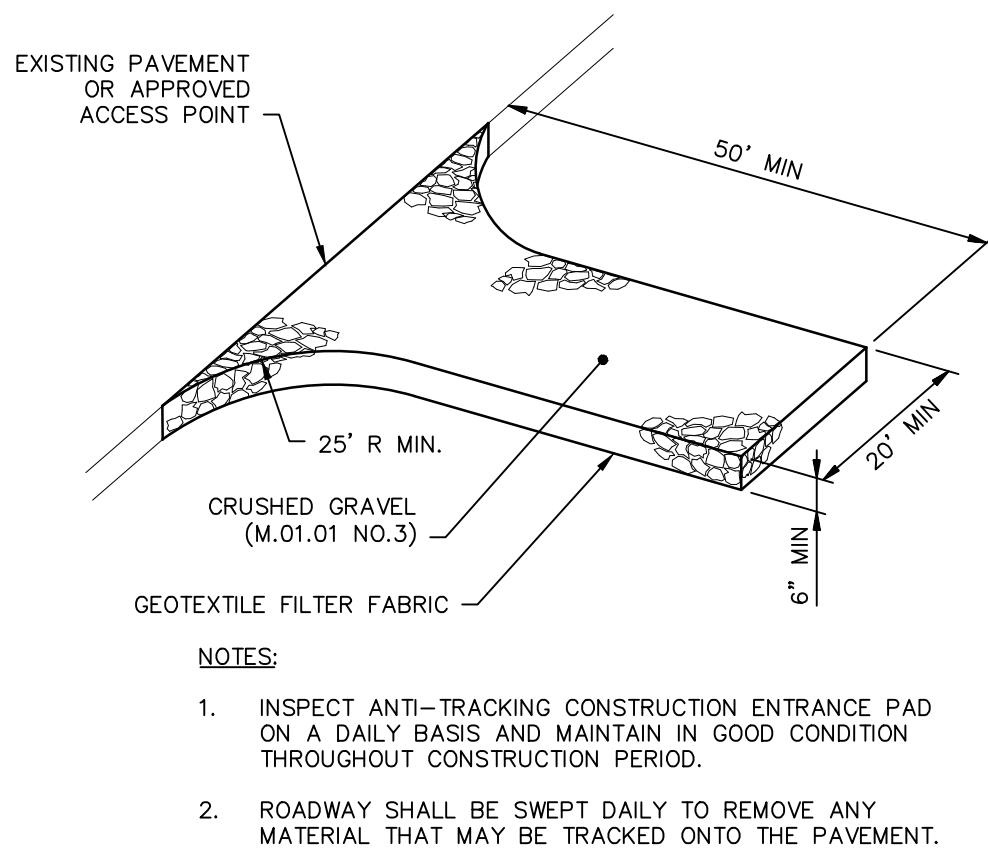
DETECTABLE WARNING
PLACEMENT DETAIL 1
NOT TO SCALE



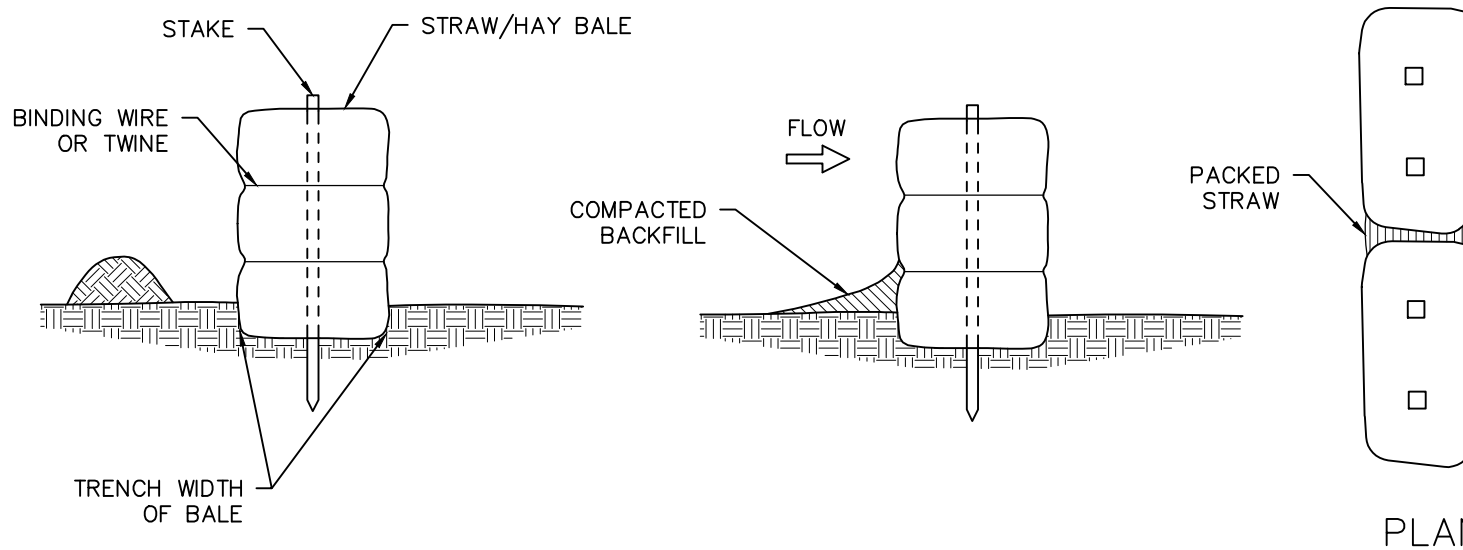
DETECTABLE WARNING
PLACEMENT DETAIL 2
NOT TO SCALE



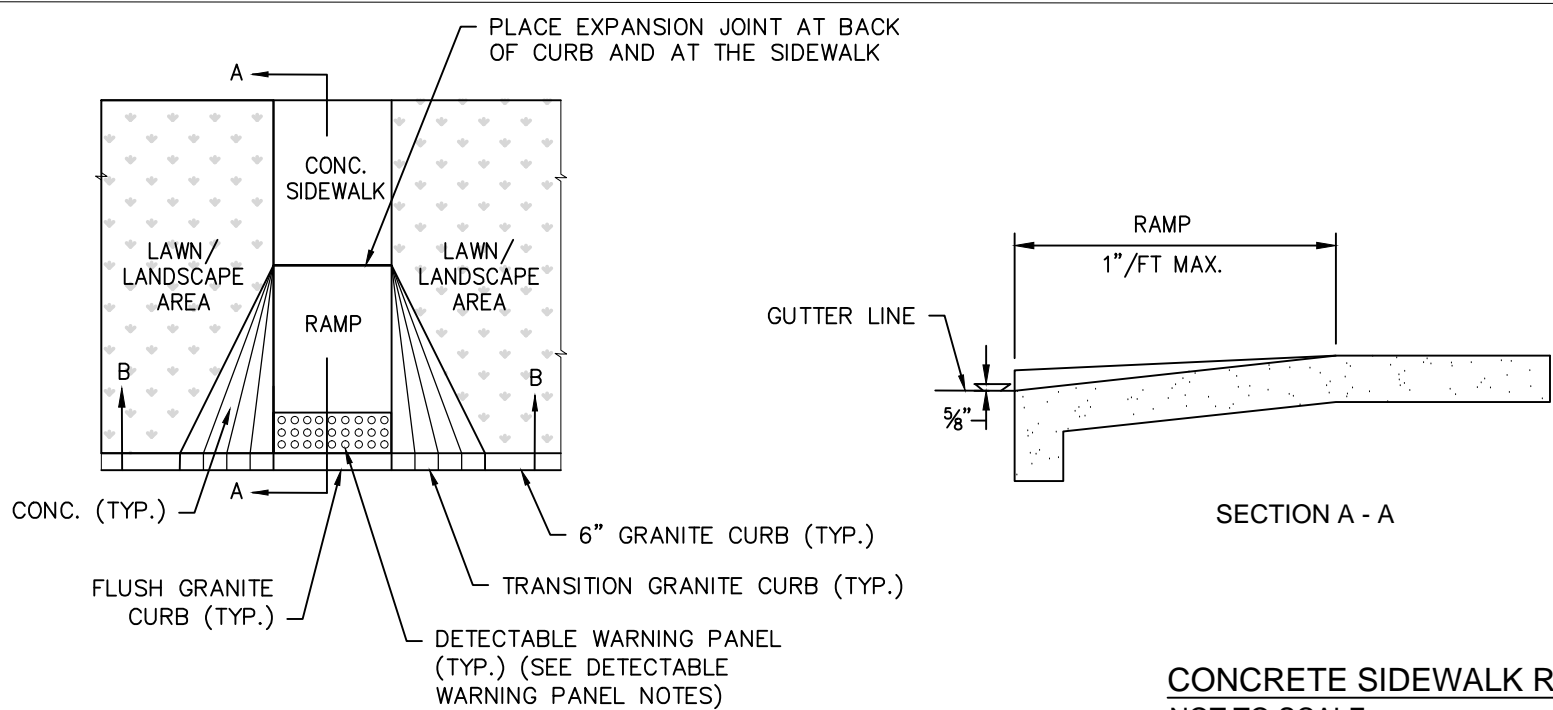
EXISTING INFILTRATOR DRYWELL
NOT TO SCALE



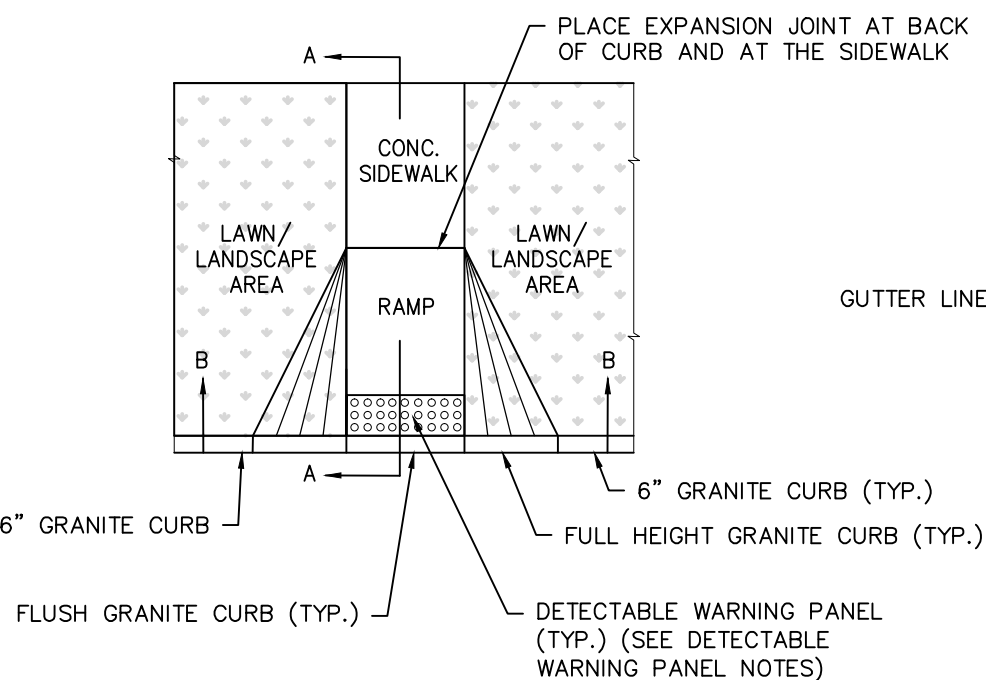
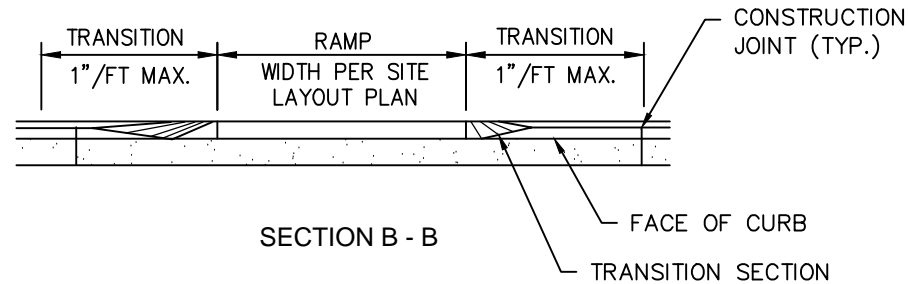
ANTI-TRACKING PAD
NOT TO SCALE



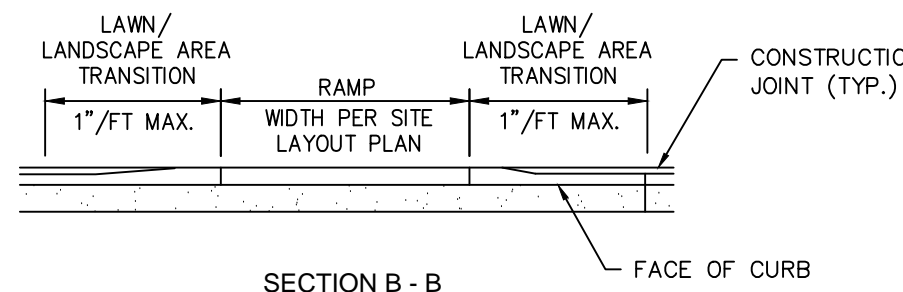
HAYBALE SEDIMENTATION BARRIER
NOT TO SCALE



CONCRETE SIDEWALK RAMP - TYPE A
NOT TO SCALE



CONCRETE SIDEWALK RAMP - TYPE B
NOT TO SCALE



NOT FOR CONSTRUCTION

REV. NO.	DATE	DRWN	CHKD	REMARKS
2	06/2019	MK	GBS	ISSUED FOR PERMIT.
1	05/2019	MK	GBS	PER TOWN COMMENTS/ADDENDUM # 1

PROJECT NO.:	1850
DESIGNED BY:	GBS
DRAWN BY:	MK
SHEET CHK'D BY:	SJH
CROSS CHK'D BY:	GBS
APPROVED BY:	
DATE:	APRIL, 2019



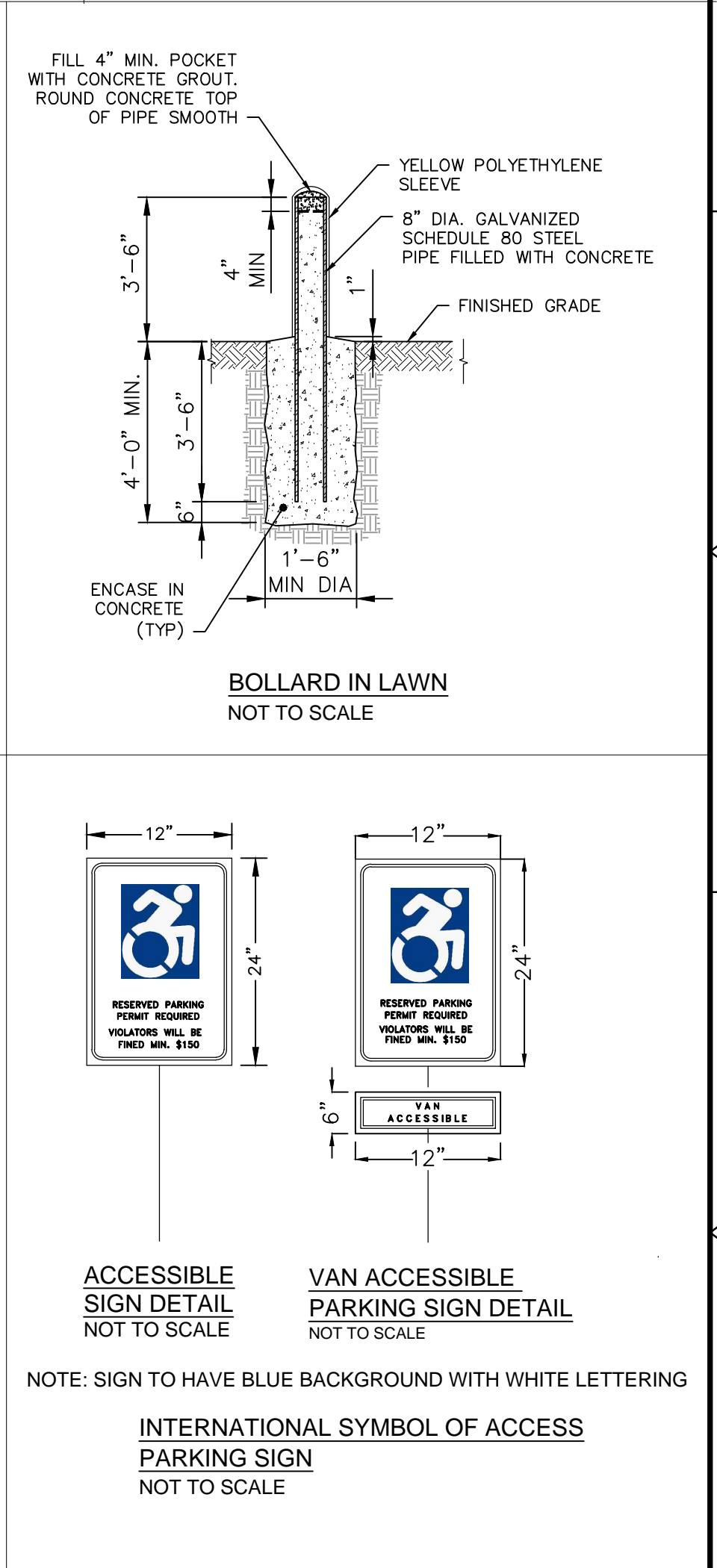
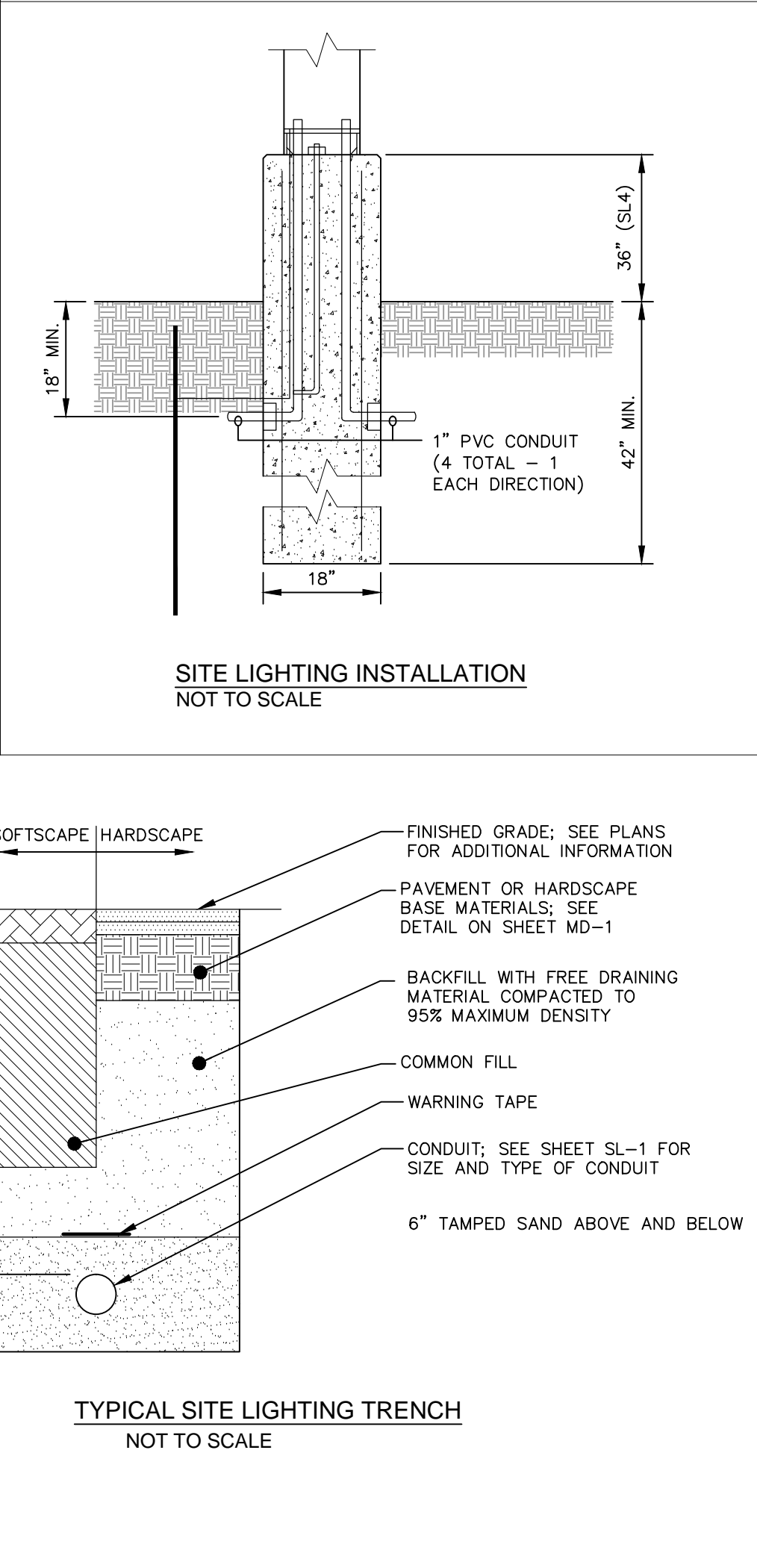
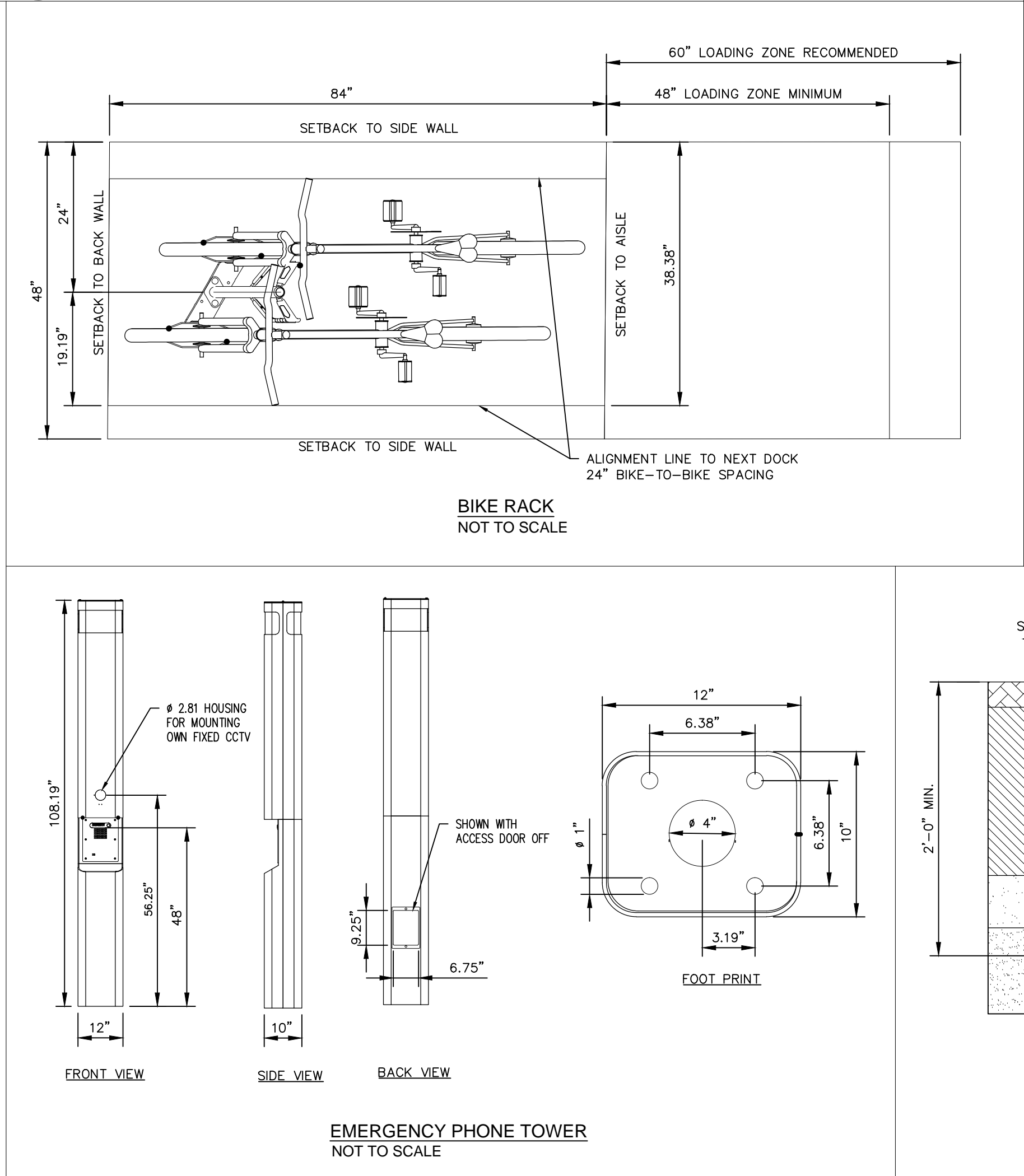
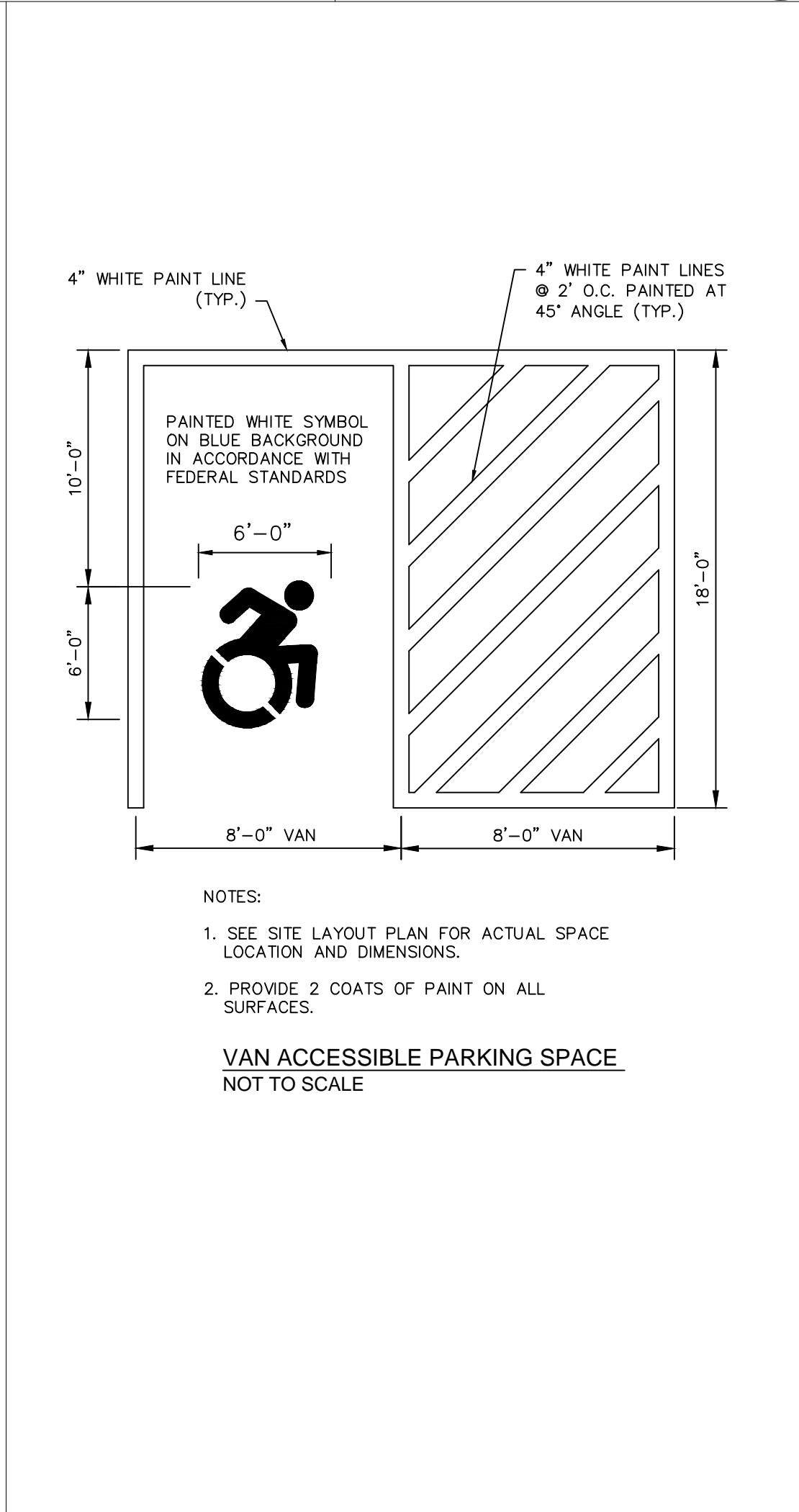
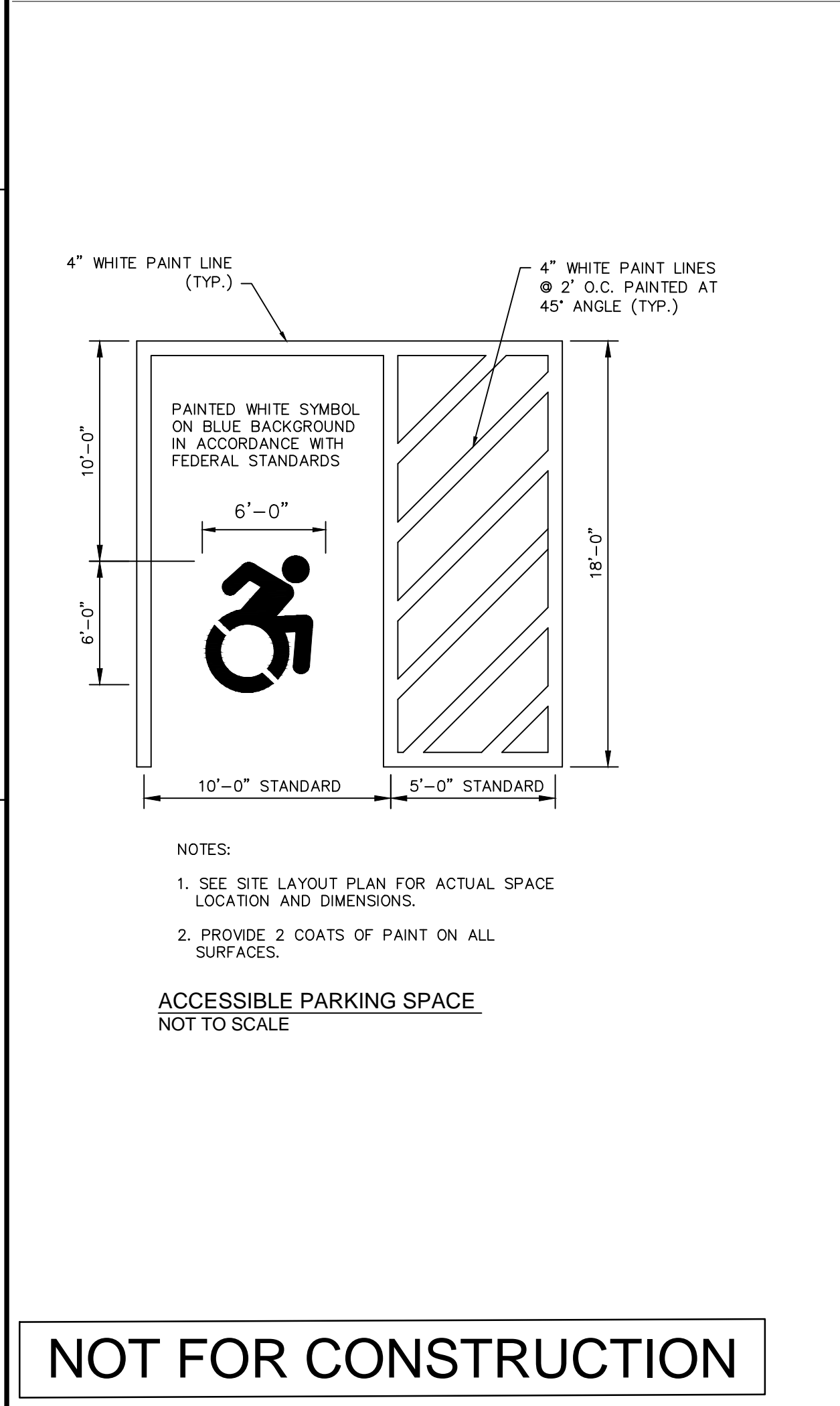
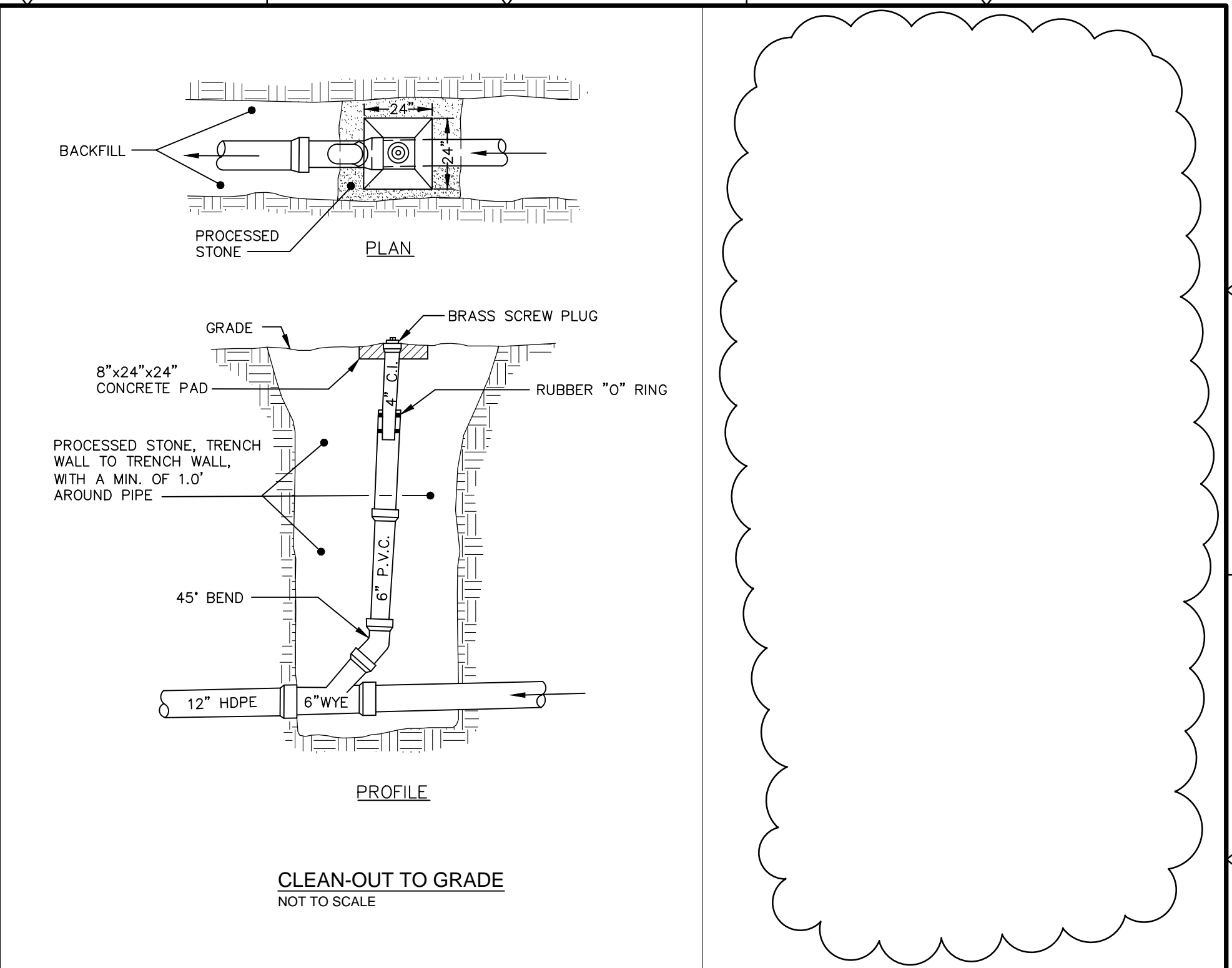
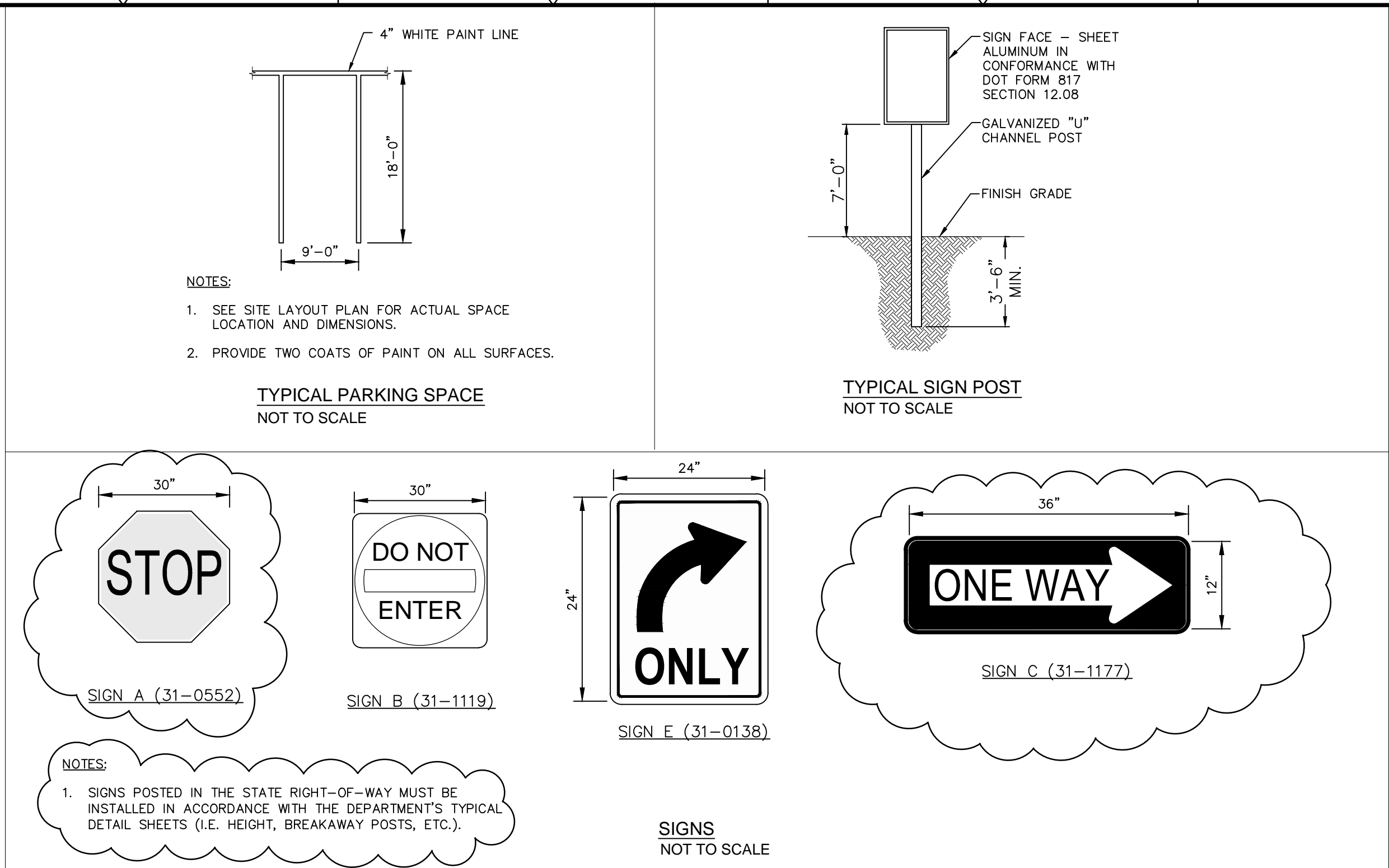
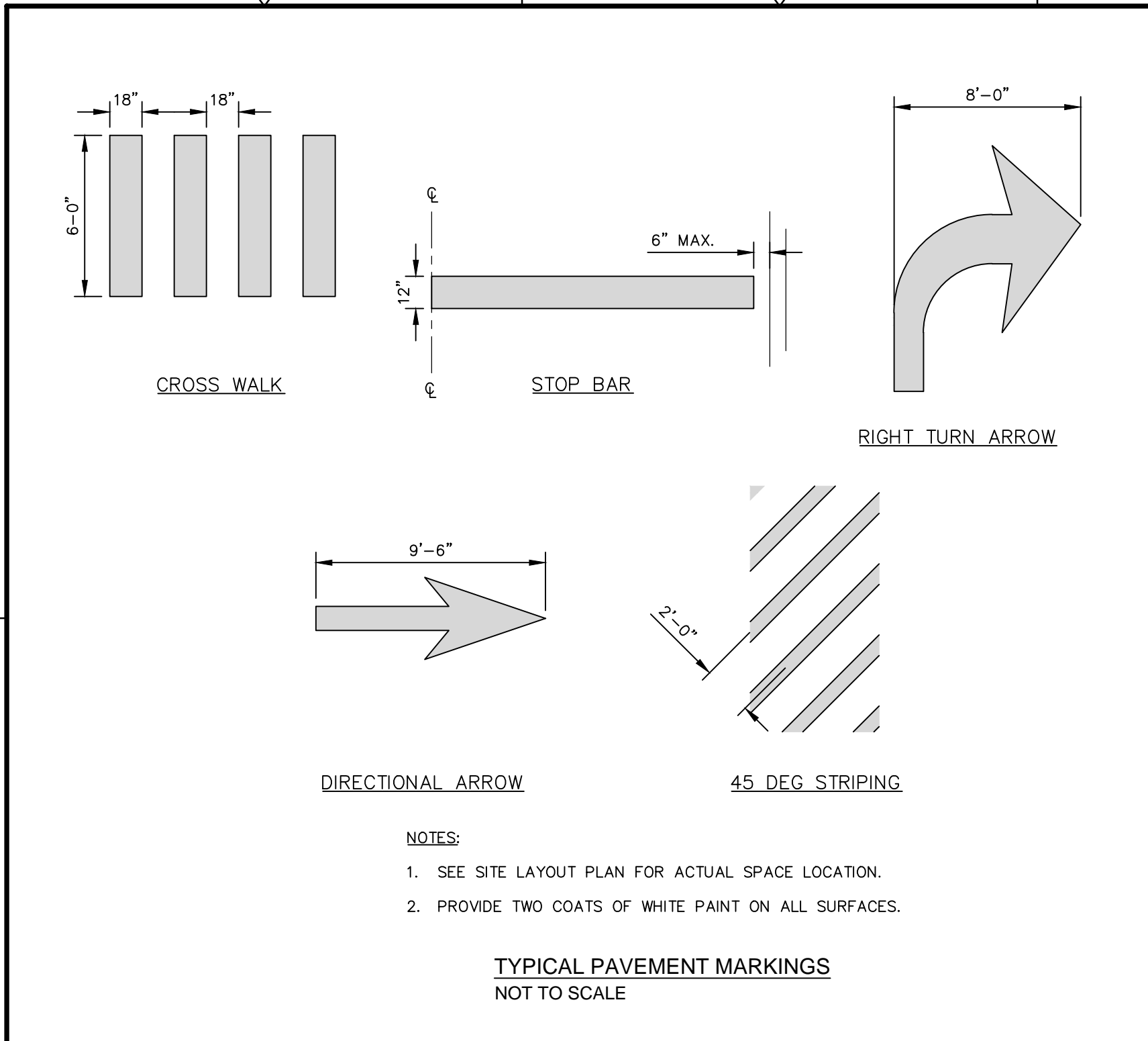
ENSIGN AND MAIN
SITE DESIGN
ENSIGN STREET & MAIN STREET
EAST HARTFORD, CONNECTICUT

CIVIL DETAILS

SHEET NO.

CD-3

FILE PATH: H:\Projects\Goodwin College\1850 - Main & Ensign Preliminary Site Design\AutoCAD\CD\1850 - CD.dwg PLOT DATE: 7/19/2019 PLOT TIME: 11:36:11 AM



NOT FOR CONSTRUCTION

REV. NO.	DATE	DRWN	CHKD	REMARKS
3	07/2019	MK	GBS	BULLETIN 1
2	06/2019	MK	GBS	ISSUED FOR PERMIT.
1	05/2019	MK	GBS	PER TOWN COMMENTS/ADDENDUM # 1

PROJECT NO.: 1850
DESIGNED BY: GBS
DRAWN BY: MK
SHEET CHK'D BY: SJH
CROSS CHK'D BY: GBS
APPROVED BY:
DATE: APRIL, 2019

PREPARED FOR:

GOODWIN COLLEGE

ONE RIVERSIDE DRIVE
EAST HARTFORD, CONNECTICUT

PREPARED BY:

ZUVIC • CARR AND ASSOCIATES
CONSULTING ENGINEERS

40 Cold Spring Road • Rocky Hill, CT 06067
Phone 860.436.4901 • Fax 860.436.4953

ENSIGN AND MAIN SITE DESIGN

ENSIGN STREET & MAIN STREET
EAST HARTFORD, CONNECTICUT

CIVIL DETAILS

CD-4

SHEET NO.

**GOODWIN
COLLEGE
MAIN STREET
BUILDINGSt 06118**

JCJ ARCHITECTURE

120 HUYSHOPE AVENUE
SUITE 400
HARTFORD, CT 06106
860.247.9226

© 2019 JCJ Architecture

CONSULTANTS:

SITE/CIVIL/LANDSCAPE
Zuvic Carr and Associates
40 Cold Spring Road
Rocky Hill, CT 06067
860-436-4901

STRUCTURAL
Michael Horton Associates, Inc.
151 Meadow Street
Branford, CT 06405
203-481-8600

M/E/P
Innovative Engineering Services, LLC
33 North Plains Industrial Road
Wallingford, CT 06492
203-467-4370

HARDWARE
P.H. Hawley Associates, LLC
239 Scenic Drive
Berlin, CT 06037
860-438-7636

**PLANNING AND ZONING
SUBMISSION
APRIL 5, 2019**

NOT FOR
CONSTRUCTION

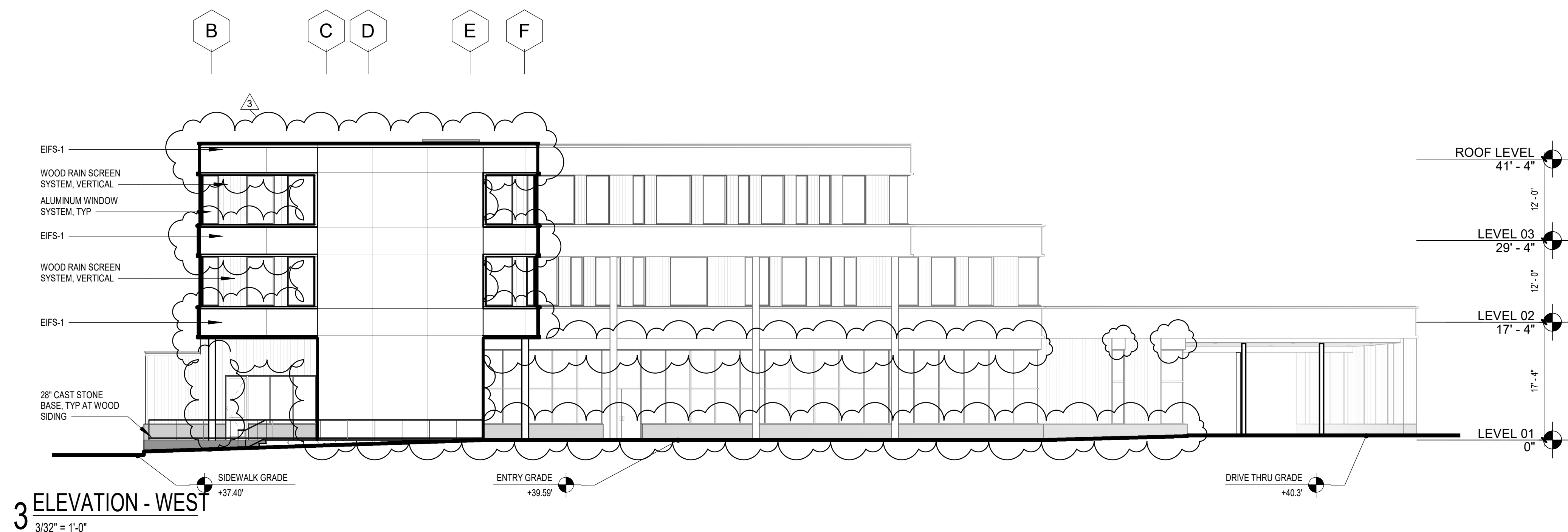
P.I.C. _____ L.D. _____
P.M. _____ P.A. _____

ISSUE 05-10-2019
JOB H17062.00
DRAWN Author
SCALE 3/32" = 1'-0"

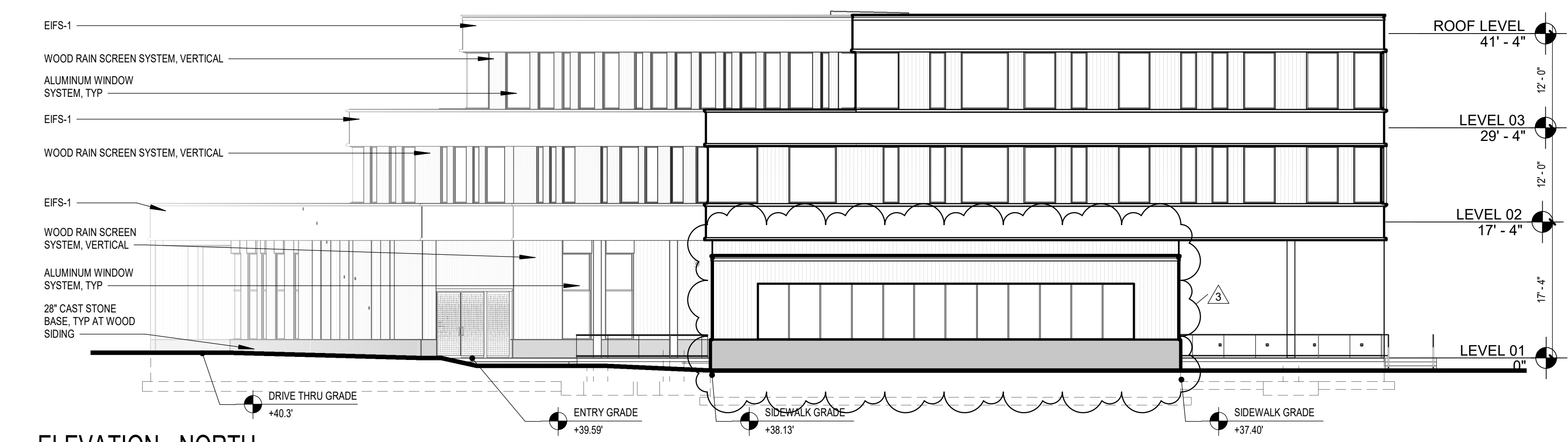
REVISIONS:	
3	BULLETIN 1 07/22/2019

**EXTERIOR
ELEVATIONS**

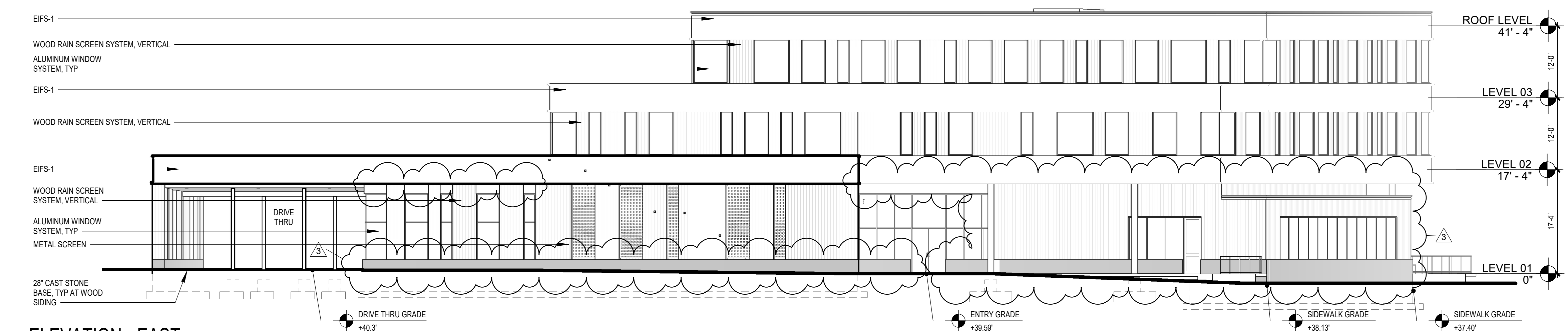
A201



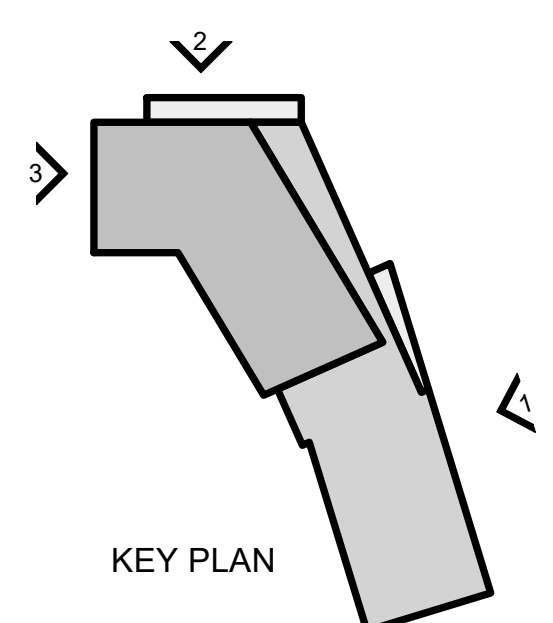
3 ELEVATION - WEST
3/32" = 1'-0"



2 ELEVATION - NORTH
3/32" = 1'-0"



1 ELEVATION - EAST
3/32" = 1'-0"



KEY PLAN

GOODWIN
COLLEGE
MAIN STREET
BUILDINGSt 06118

JCJARCHITECTURE

120 HUYSHOPE AVENUE
SUITE 400
HARTFORD, CT 06106
860.247.9226

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CONSULTANTS:

SITE/CIVIL/LANDSCAPE

Zovic Carr and Associates
40 Cold Spring Road
Rocky Hill, CT 06067
860-436-4901

STRUCTURAL

Michael Horton Associates, Inc.
151 Meadow Street
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Innovative Engineering Services, LLC
33 North Plains Industrial Road
Wallingford, CT 06492
203-467-4370

HARDWARE

P.H. Hawley Associates, LLC
239 Scenic Drive
Berlin, CT 06037
860-438-7636

PLANNING AND ZONING
SUBMISSION
APRIL 5, 2019

NOT FOR
CONSTRUCTION

P.I.C. _____ L.D. _____
P.M. _____ P.A. _____

ISSUE 05-10-2019

JOB H17062.00

DRAWN Author

SCALE 3/32" = 1'-0"

REVISIONS:

3 BULLETIN 1 07/22/2019

EXTERIOR
ELEVATIONS

A202





APPROVED

GOODWIN COLLEGE MAIN STREET BUILDING - P&Z SITE PLAN MODIFICATION REVIEW

JCJARCHITECTURE

GOODWIN MAIN ST BUILDING / H17062 / 2019-0730 / © JCJ ARCHITECTURE



APPROVED

GOODWIN COLLEGE MAIN STREET BUILDING - P&Z SITE PLAN MODIFICATION REVIEW

JCJARCHITECTURE

GOODWIN MAIN ST BUILDING / H17062 / 2019-0730 / © JCJ ARCHITECTURE



PROPOSED

GOODWIN COLLEGE MAIN STREET BUILDING - P&Z SITE PLAN MODIFICATION REVIEW

JCJARCHITECTURE

GOODWIN MAIN ST BUILDING / H17062 / 2019-0730 / © JCJ ARCHITECTURE



VIEW FROM MAIN ST FACING SOUTH

PROPOSED

GOODWIN COLLEGE MAIN STREET BUILDING - P&Z SITE PLAN MODIFICATION REVIEW

JCJARCHITECTURE

GOODWIN MAIN ST BUILDING / H17062 / 2019-0730 / © JCJ ARCHITECTURE



VIEW FROM MAIN



VIEW FROM ENSIGN




VIEW FROM PARKING LOT

PROPOSED

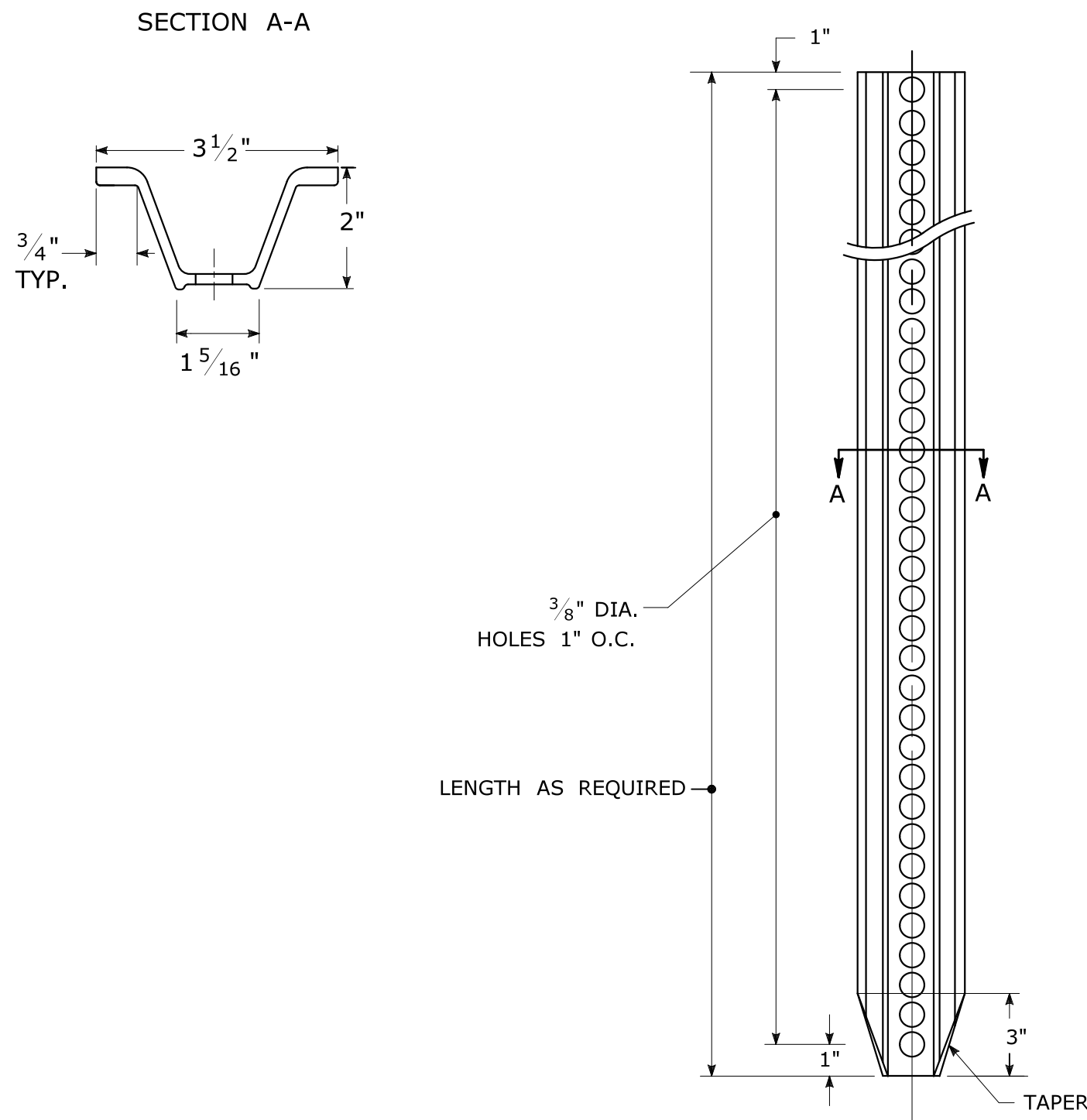
GOODWIN COLLEGE MAIN STREET BUILDING - P&Z SITE PLAN MODIFICATION REVIEW

JCJARCHITECTURE

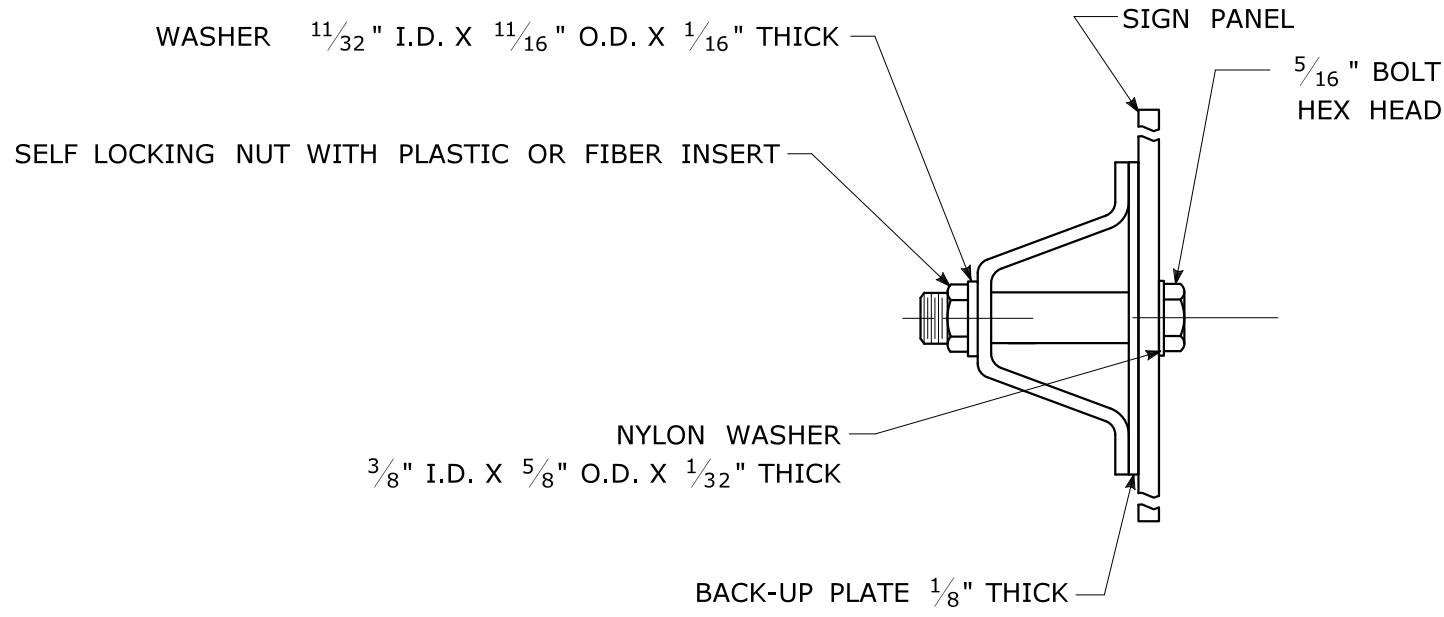
GOODWIN MAIN ST BUILDING / H17062 / 2019-0730 / © JCJ ARCHITECTURE

			THE INFORMATION, INCLUDING ESTIMATED QUANTITIES OF WORK, SHOWN ON THESE SHEETS IS BASED ON LIMITED INVESTIGATIONS BY THE STATE AND IS IN NO WAY WARRANTED TO INDICATE THE CONDITIONS OF ACTUAL QUANTITIES OF WORK WHICH WILL BE REQUIRED.	NOT TO SCALE	 STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION	FILENAME: TR-1208_01_1-2018.dgn MODEL: TR-1208-01	SUBMITTED BY: _____	NAME/DATE/TIME: _____	CTDOT STANDARD SHEET OFFICE OF ENGINEERING	STANDARD SHEET TITLE: SIGN PLACEMENT AND RETROREFLECTIVE STRIP DETAILS	STANDARD SHEET NO.: TR-1208_01
3	8-2018	INCLUDED INCIDENT MANAGEMENT AND MILE MARKER SIGNS.					APPROVED BY: _____	NAME/DATE/TIME: _____			
2	4-2017	MINOR REVISIONS.									
1	2-2011	MINOR REVISIONS.									
REV.	DATE	REVISION DESCRIPTION	Plotted Date: 8/10/2018								

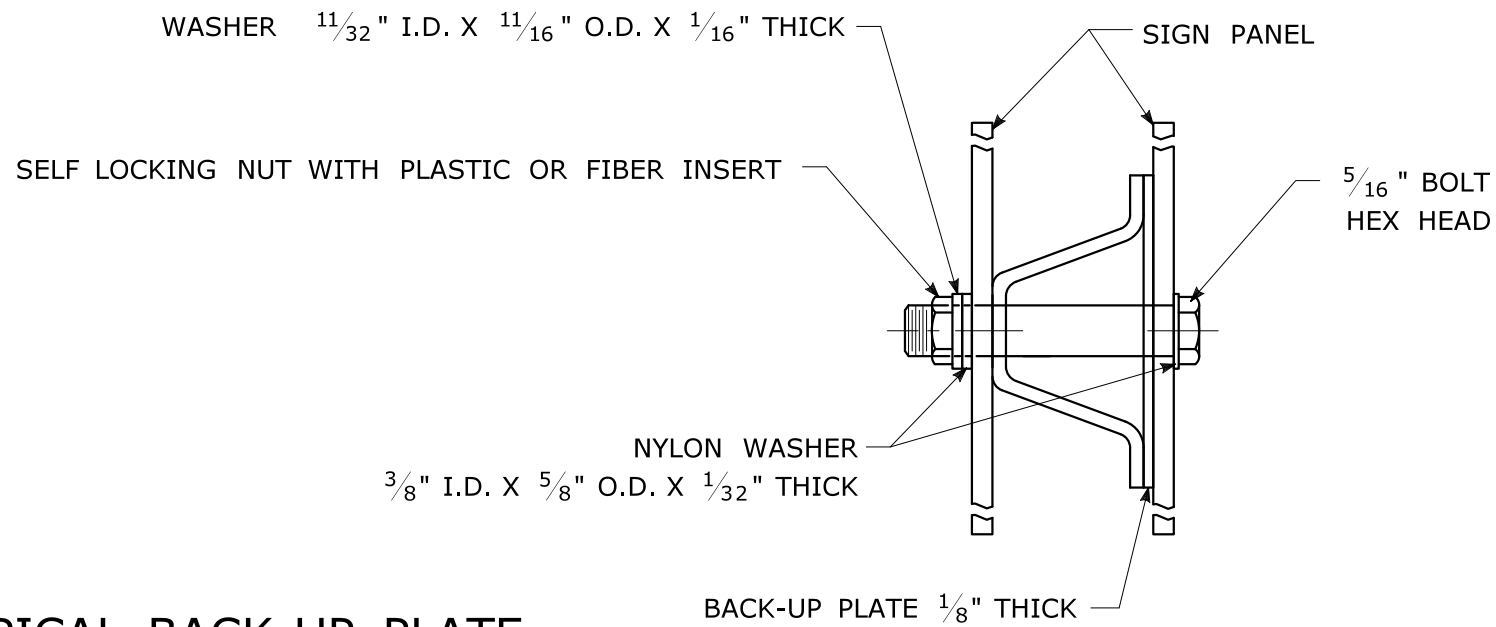
TYPICAL METAL SIGN POSTS



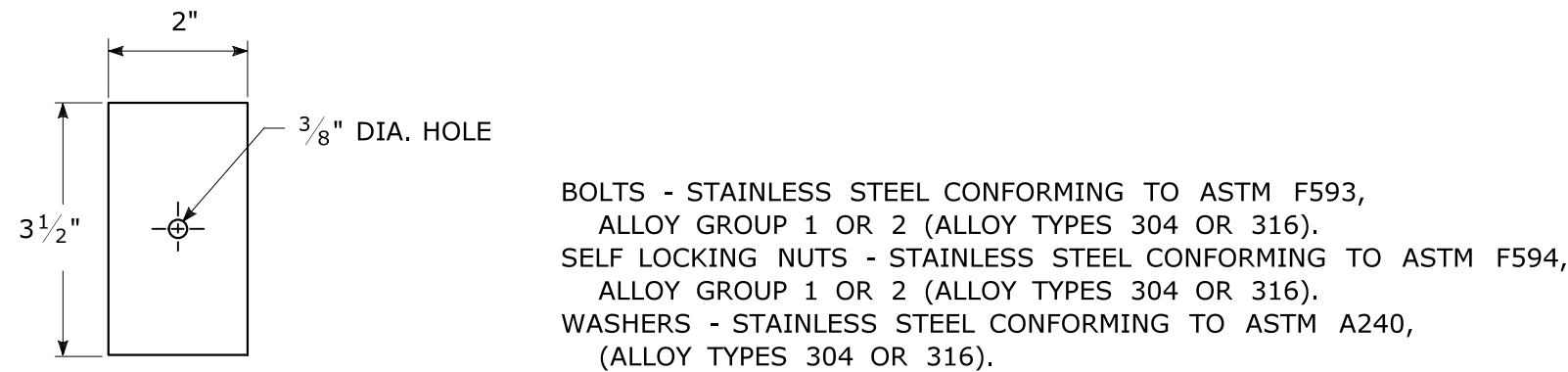
TYPICAL SIGN PANEL ATTACHMENT



TYPICAL BACK TO BACK SIGN PANEL ATTACHMENT

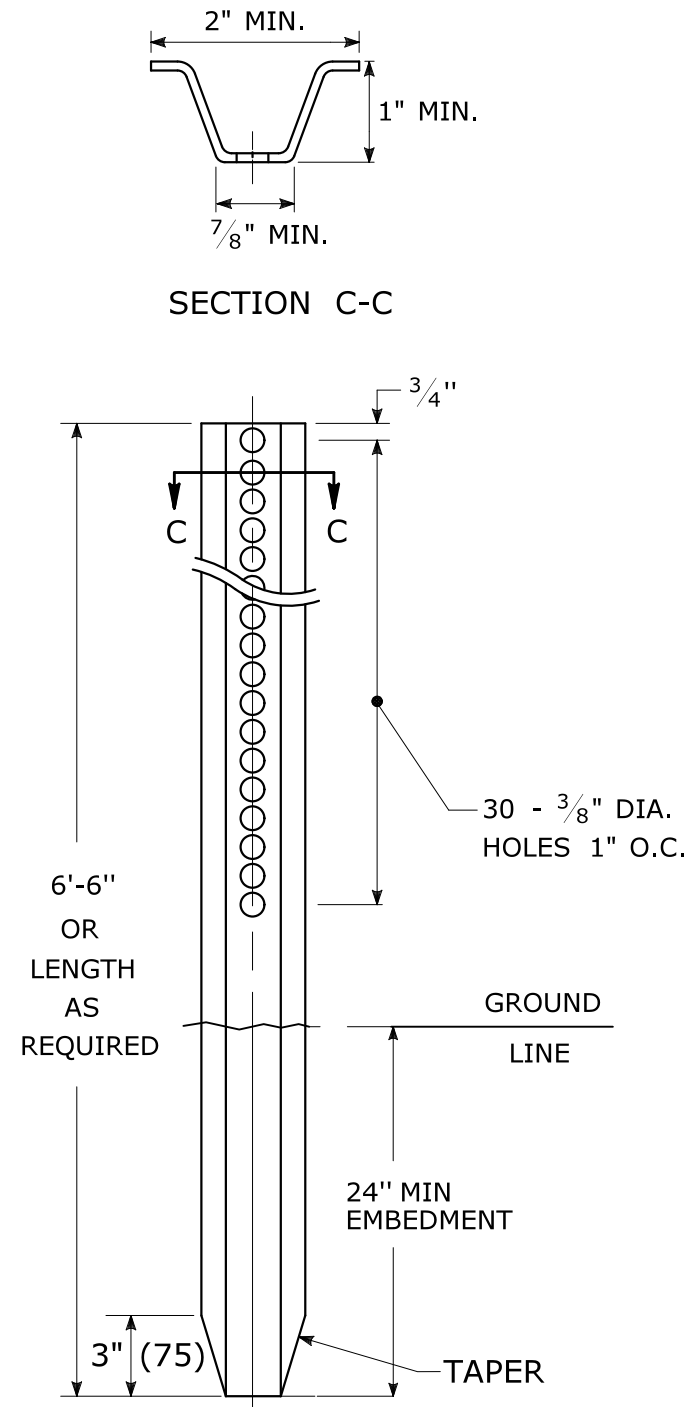


TYPICAL BACK-UP PLATE



METAL DELINEATOR POST

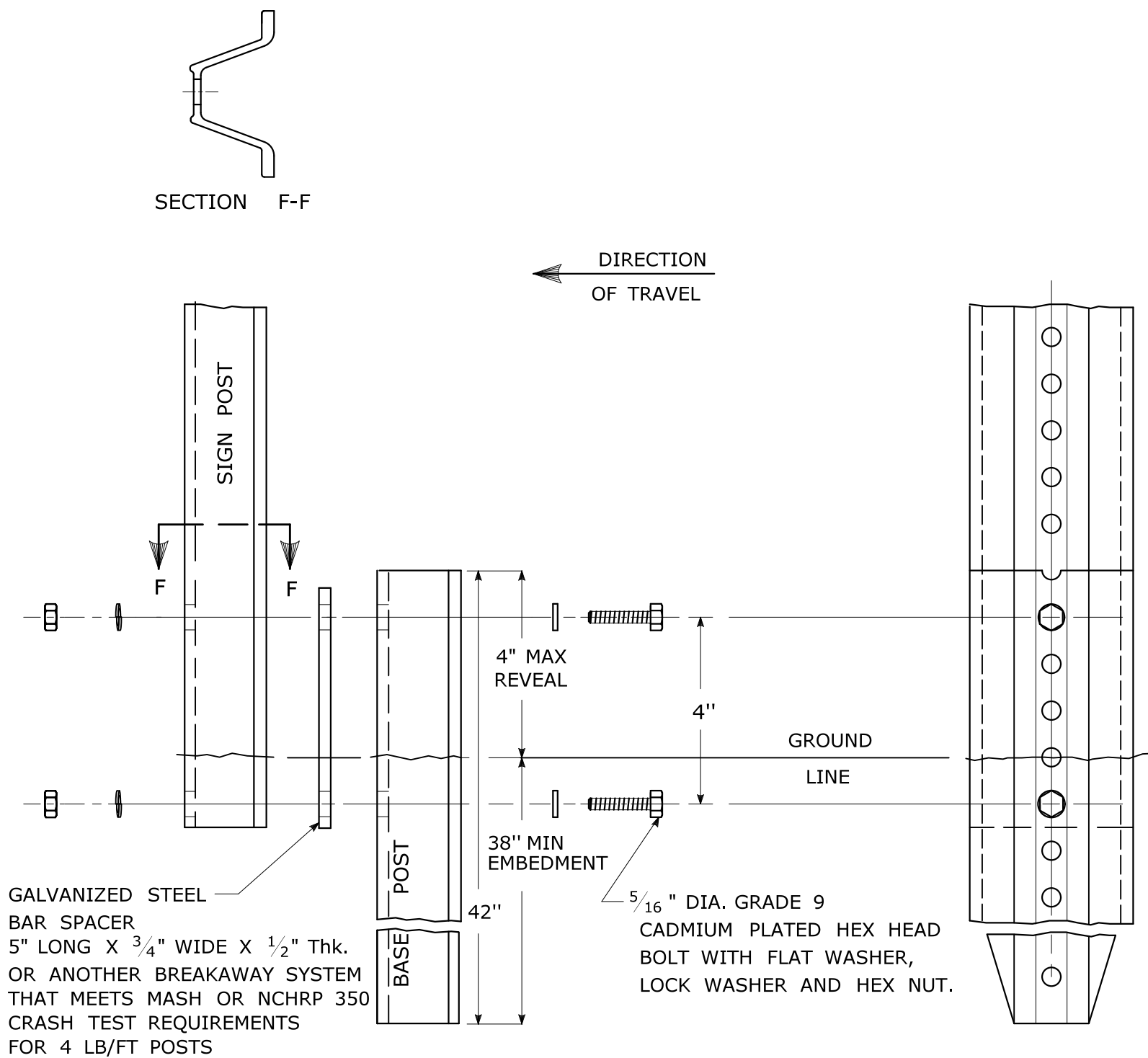
WT./FT. = 1.12 LBS./FT. MIN.



GENERAL NOTES:

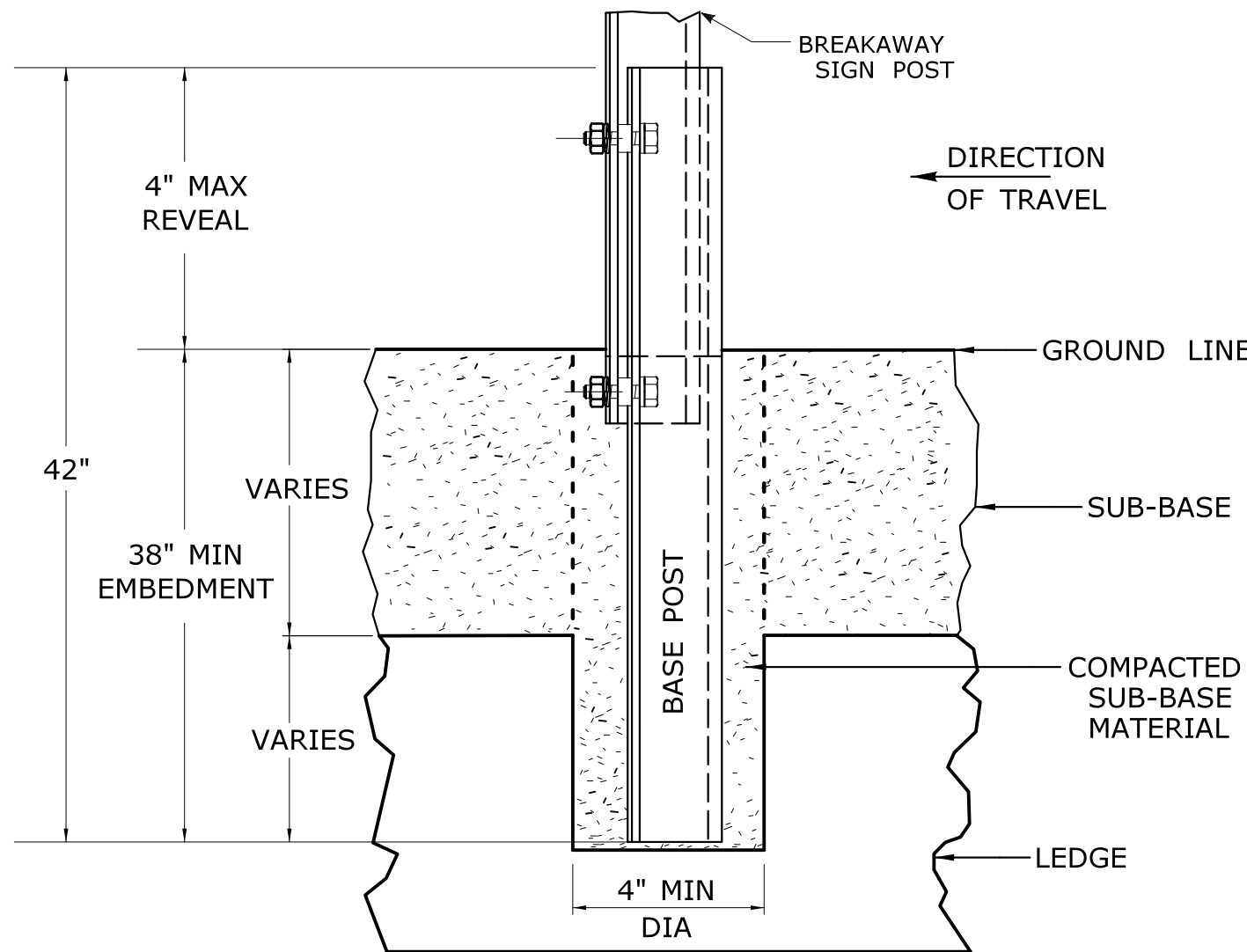
1. STEEL FOR DELINEATOR POSTS SHALL BE ASTM A36 STEEL. STEEL FOR ALL OTHER POSTS SHALL CONFORM TO THE MECHANICAL REQUIREMENTS OF ASTM A 499 GRADE 80 AND TO THE CHEMICAL REQUIREMENTS OF ASTM A1 CARBON STEEL TEE RAIL HAVING NOMINAL WEIGHT (MASS) OF 91 LBS. OR GREATER PER LINEAR YARD.
2. AFTER FABRICATION, ALL STEEL POSTS, STRAPS AND PLATES SHALL BE GALVANIZED TO MEET THE REQUIREMENTS OF ASTM A123.
3. WASHERS FOR BREAKAWAY INSTALLATIONS SHALL MEET ASTM F436, TYPE 1.
4. SPACER BAR FOR BREAKAWAY INSTALLATION SHALL CONFORM TO THE MECHANICAL REQUIREMENTS OF ASTM A36.
5. ALL BOLTS, NUTS, AND WASHERS FOR BREAKAWAY INSTALLATIONS SHALL BE GALVANIZED TO MEET THE REQUIREMENTS OF ASTM A153.
6. ALL SIGN POSTS SHALL HAVE BREAKAWAY FEATURES THAT MEET AASHTO REQUIREMENTS CONTAINED IN THE CURRENT "STANDARD SPECIFICATIONS FOR STRUCTURAL SUPPORTS FOR HIGHWAY SIGNS, LUMINAIRES AND TRAFFIC SIGNALS." THE BREAKAWAY FEATURES SHALL BE STRUCTURALLY ADEQUATE TO CARRY THE SIGNS SHOWN IN THE PLANS AT 60 mph WIND LOADINGS. INSTALLATIONS SHALL BE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
7. SIGN POSTS SHALL BE 4 LBS./FT.

BREAKAWAY INSTALLATION
FOR 4 LBS./FT. POSTS

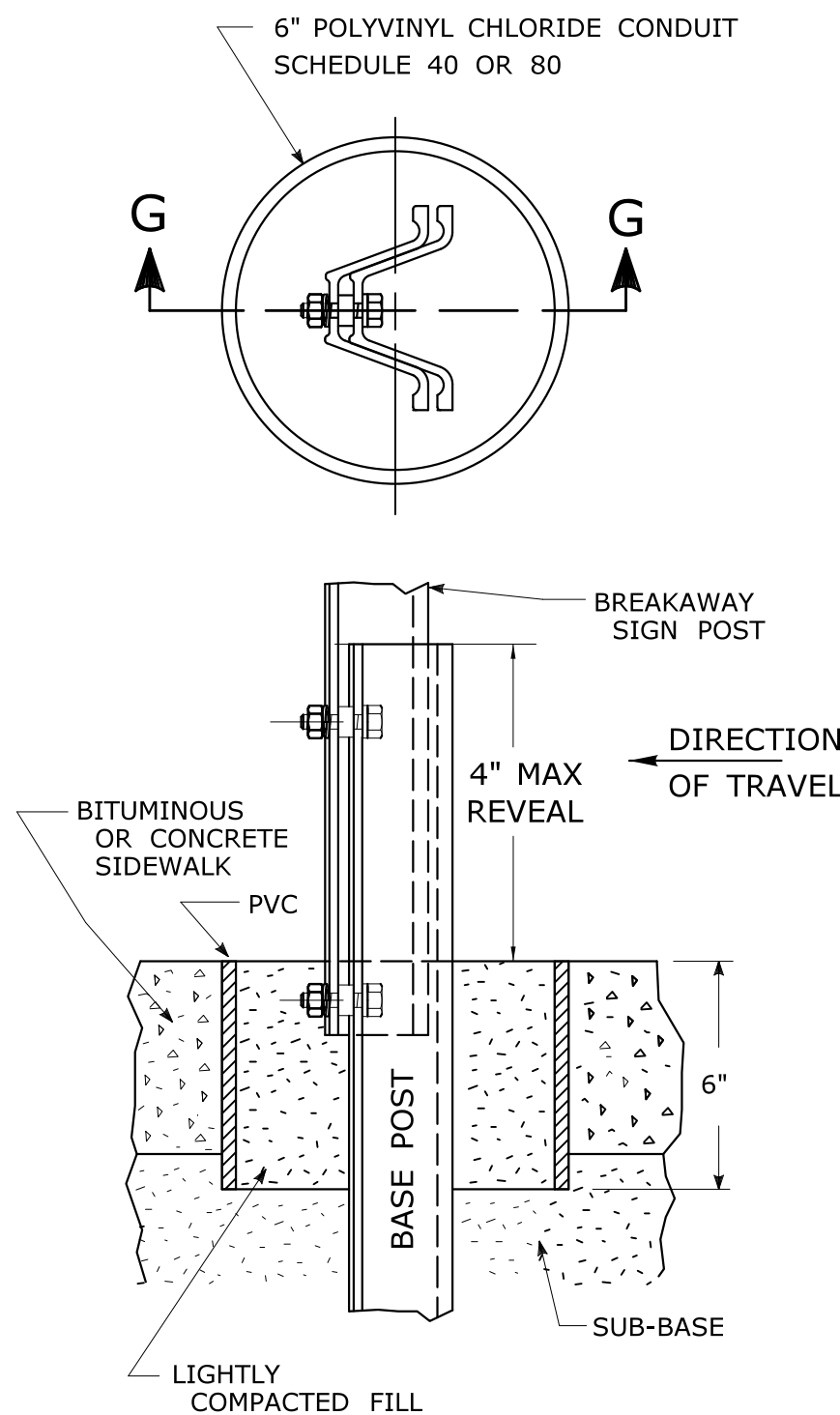


TYPICAL SIGN POST INSTALLATION IN LEDGE

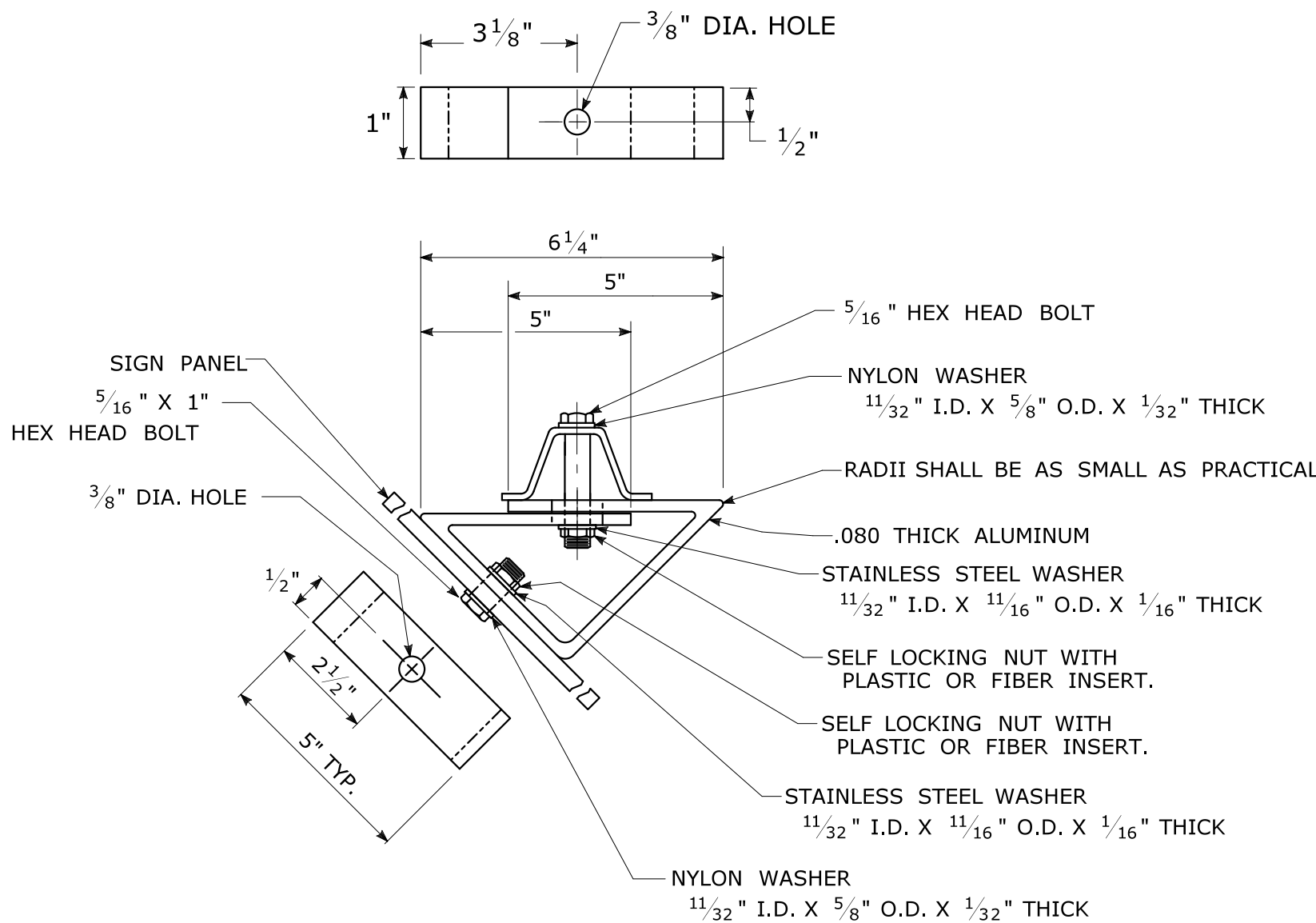
LEDGE SHALL BE REMOVED TO DRIVE THE BASE POST TO A DEPTH OF 38".
HOLE SHALL BE FILLED WITH SUB-BASE MATERIAL AND COMPACTED WITH A TAMPING BAR, OR TECHNIQUE APPROVED BY THE ENGINEER, PRIOR TO BASE POST INSTALLATION.



TYPICAL SLEEVE
FOR PAVED AREAS



45° MOUNTING BRACKET
FOR INSTALLATION OF PARKING SIGNS

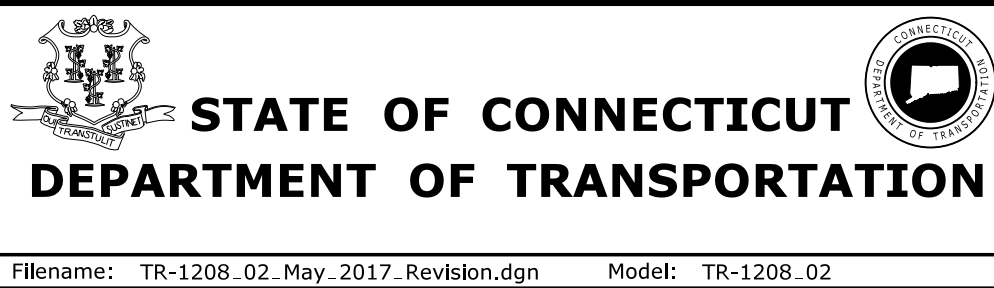


2	6-2017	SIGN POST REVISIONS.
1	2-2011	MINOR REVISIONS.
REV.	DATE	REVISION DESCRIPTION

THE INFORMATION, INCLUDING ESTIMATED QUANTITIES OF WORK, SHOWN ON THESE SHEETS IS BASED ON LIMITED INVESTIGATIONS BY THE STATE AND IS IN NO WAY WARRANTED TO INDICATE THE CONDITIONS OF ACTUAL QUANTITIES OF WORK WHICH WILL BE REQUIRED.

Plotted Date: 6/6/2017

NOT TO SCALE



SUBMITTED BY:	NAME/DATE/TIME:
APPROVED BY:	NAME/DATE/TIME:

CTDOT STANDARD SHEET
OFFICE OF ENGINEERING

STANDARD SHEET TITLE:	GUIDE SHEET NO.:
METAL SIGN POSTS AND SIGN MOUNTING DETAILS	TR-1208_02