

LOCATION MAP
SCALE: 1"=1000'

FREIGHTLINER OF HARTFORD, INC 187, 199, & 225 ROBERTS STREET EAST HARTFORD, CONNECTICUT

MAP 35, LOTS 23, 24/25 & 28

SITE PLAN

PROPERTY OWNER:

LINKEN LLC
222 ROBERTS STREET
EAST HARTFORD, CT 06108

APPLICANT:

FREIGHTLINER OF HARTFORD, INC
222 ROBERTS STREET
EAST HARTFORD, CT 06108
800-453-6967

CIVIL ENGINEER, LANDSCAPE
ARCHITECT, & LAND SURVEYOR:

design professionals
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ZONING DATA BLOCK

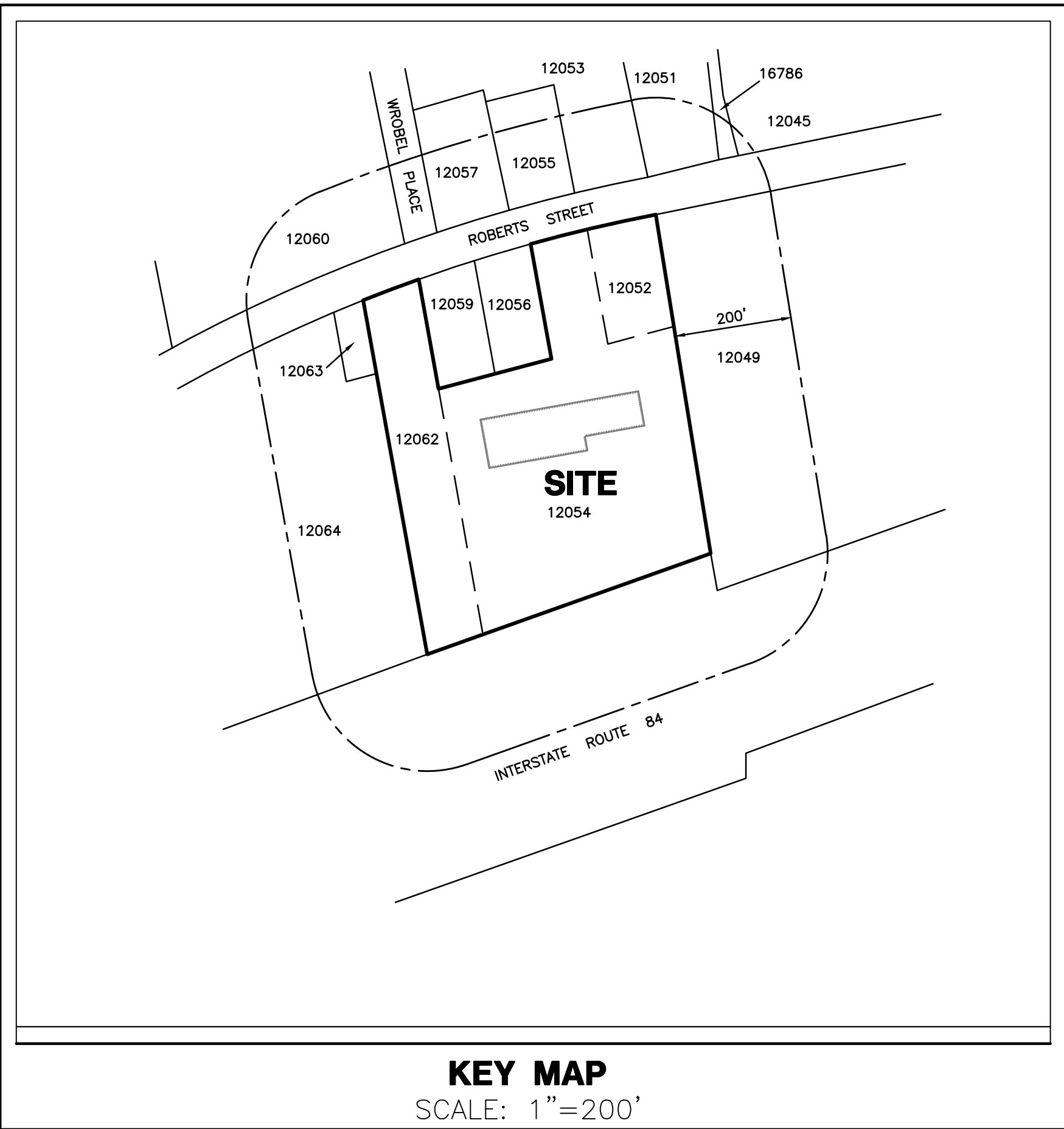
ZONE: I-2		
USE: SALES & SERVICE		
ITEM	REQUIRED/ ALLOWED	PROVIDED
Lot Area	20,000 SF min.	273,439± SF or 6.28± acres
Lot Frontage	70 ft. min.	220 ft.
Lot Coverage	75% max.	9%±
Impervious Coverage	85% max.	<64%
Building Height	50 ft. max.	<50 ft.
Front Yard	25 ft.	>250 ft.
Side Yard	Total 25 ft. (no less than 10 ft.)	68.90 FT.
Rear Yard	25 ft.	235 ft.

PRELIMINARY NOT FOR CONSTRUCTION

THESE PLANS ARE FOR PLANNING PURPOSES ONLY INTENDED TO SECURE REGULATORY APPROVALS.
ONLY FINAL PLANS STAMPED APPROVED BY THE TOWN SHALL BE USED FOR CONSTRUCTION PURPOSES.

GENERAL NOTES:

- THESE PLANS ARE INVALID UNLESS THEY BEAR THE SEAL OR STAMP, AND ORIGINAL SIGNATURE OF THE PROFESSIONAL ENGINEER, LAND SURVEYOR, OR LANDSCAPE ARCHITECT.
- EXISTING CONDITIONS AND UTILITY LOCATIONS DEPICTED HEREON ARE BASED ON AVAILABLE INFORMATION AND SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
- PROPOSED WATER, GAS, ELECTRIC, AND COMMUNICATION SERVICES DEPICTED ON THESE PLANS ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. CONTRACTOR SHALL COORDINATE FINAL SIZE AND LOCATIONS WITH THE RESPECTIVE UTILITIES AND THE LOCAL JURISDICTION PRIOR TO CONSTRUCTION.
- REPRODUCTION TECHNIQUES USED IN THE PRODUCTION OF THIS PLAN CAN STRETCH OR SHRINK THE PAPER. SCALING OF THIS DRAWING MAY BE INACCURATE. CONTACT DPI IF ADDITIONAL INFORMATION IS REQUIRED.
- THESE PLANS AND OTHER ITEMS PREPARED BY DESIGN PROFESSIONALS, INC. (DPI) ARE INSTRUMENTS OF SERVICE AND REMAIN ITS PROPERTY. THE USE OF THESE ITEMS BY DPI'S CLIENT IS SUBJECT TO THE TERMS SET FORTH IN THE AGREEMENT BETWEEN CLIENT AND DPI. REPRODUCTION AND/OR USE OF THESE ITEMS BY OTHERS IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF DPI.



KEY MAP
SCALE: 1"=200'

200' ABUTTERS LIST:

Parcel ID	Owner 1	Owner 2	Mailing address	Town	State	Zip	Parcel Location
12045	GREATER HARTFORD TRANSIT DISTRICT		ONE UNION PLACE	HARTFORD	CT	06103	148 ROBERTS ST
12049	E S S PRISA L L C	P T A - E X #183	P O BOX 320099	ALEXANDRIA	VA	22320	171 ROBERTS ST
12051	EASTERN PARTNERS L L C	C/O EASTERN REALTY L L C	45 STONEGATE DRIVE	WETHERSFIELD	CT	06109	178-182 ROBERTS ST
12052	LINKEN LLC		222 ROBERTS ST	EAST HARTFORD	CT	06108	187 ROBERTS ST
12053	STORAGE EQUITIES PTNSHIP IV ROBERTS	DEPT PT CT 24427	PO BOX 25025	GLENDALE	CA	91201	188 ROBERTS ST
12054	LINKEN LLC		222 ROBERTS ST	EAST HARTFORD	CT	06108	199 ROBERTS ST
12055	S E I P S P I V JOINT VENTURES	DEPT-PT-CT-99561	P O BOX 25025	GLENDALE	CA	91201	202 ROBERTS ST
12056	VELAZQUEZ ESTRELLA		P O BOX 280673	EAST HARTFORD	CT	06128	209 ROBERTS ST
12057	SILVESTER SPACE SERVICES LTD PTNSHP		70 VILLAGE ST	EAST HARTFORD	CT	06108	210 ROBERTS ST
12059	LINKEN LLC		222 ROBERTS ST	EAST HARTFORD	CT	06108	215 ROBERTS ST
12060	KENLIN LLC		222 ROBERTS ST	EAST HARTFORD	CT	06108	222 ROBERTS ST
12062	LINKEN LLC		286 KAREN DR	ORANGE	CT	06477	225 ROBERTS ST
12063	C L & P		P O BOX 270	HARTFORD	CT	06141	227 ROBERTS ST
12064	C L & P		P O BOX 270	HARTFORD	CT	06141	273 ROBERTS ST
16786	TOWN OF EAST HARTFORD		740 MAIN ST	EAST HARTFORD	CT	06108	150 ROBERTS ST

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PREPARED FOR:
FREIGHTLINER OF
HARTFORD, INC
222 ROBERTS STREET
EAST HARTFORD, CT
06108
800-453-6967

PROJECT NO:
DATE:
11/21/2016
DESIGN BY:
BY:
CHECKED BY:
BEC

**PARKING LOT EXPANSION
FREIGHTLINER OF HARTFORD, INC.
187, 199, & 225 ROBERTS STREET
MAP 35 LOTS 23, 24/25, & 28
EAST HARTFORD, CONNECTICUT
SITE PLAN**

NO. DATE
BY
REVISIONS

TITLE SHEET

SHEET
C-T1
SHEET 1 OF 9

GENERAL GRADING & UTILITY PLAN NOTES

1. PRIOR TO STARTING ANY SITE ACTIVITY OR DEMOLITION, THE CONTRACTOR SHALL "CALL BEFORE YOU DIG" AND/OR THE APPLICABLE STATE DAMAGE CONTROL SYSTEM FOR THE REQUIRED UTILITY MARK OUTS IN ADVANCE OF ANY EARTH DISTURBANCE. IN ADDITION TO THIS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING ONSITE UTILITIES INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN AND ADJACENT TO THE LIMITS OF THE PROJECT ACTIVITIES. LOCATIONS OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE INDEPENDENTLY CONFIRMED WITH LOCAL UTILITY COMPANIES AND THE CONTRACTOR. WATER AND SANITARY SEWER SERVICE AND ALL OTHER UTILITY SERVICE CONNECTION POINTS MUST BE INDEPENDENTLY CONFIRMED BY THE CONTRACTOR IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES MUST IMMEDIATELY BE REPORTED, IN WRITING, TO THE ENGINEER.
2. CONSTRUCTION SHALL BEGIN AT THE LOWEST ELEVATION AND/OR INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. WHERE UTILITIES ARE PROPOSED TO CROSS/TRaverse EXISTING UNDERGROUND UTILITIES, THE ELEVATIONS OF THE EXISTING UTILITIES SHALL BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION BY EXCAVATING A TEST PIT AT THE PROPOSED UTILITY CROSSING POINT TO VERIFY EXISTING UTILITY LOCATIONS/ELEVATIONS/INVERTS. SHOULD THE FIELD VERIFIED EXISTING UTILITY BE IN CONFLICT WITH THE PROPOSED SITE DESIGNS, THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IN WRITING AND SHALL NOT PROCEED WITH SAID UTILITY CONSTRUCTION UNTIL FURTHER DIRECTION IS GIVEN FROM THE DESIGN ENGINEER.
3. CONTRACTOR MUST VERTICALLY AND HORIZONTALLY LOCATE ALL UTILITIES AND SERVICES INCLUDING, BUT NOT LIMITED TO, GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE OR WORK SPACE, WHICHEVER IS GREATER. THE CONTRACTOR MUST USE, REFER TO, AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION, AT NO COST TO THE OWNER. CONTRACTOR SHALL BEAR ALL COSTS ASSOCIATED WITH DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION.
4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL CONSTRUCTION CONTRACT DOCUMENTS INCLUDING, BUT NOT LIMITED TO, ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE INITIATION AND COMMENCEMENT OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND CONFLICT AND/OR DISCREPANCY BETWEEN THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR THE RELATIVE OR APPLICABLE CODES, REGULATIONS, LAWS, RULES, STATUTES AND/OR ORDINANCES, IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD, IN WRITING, OF SAID CONFLICT AND/OR DISCREPANCY PRIOR TO THE START OF CONSTRUCTION.
5. THE CONTRACTOR MUST INSTALL ALL STORM SEWER AND SANITARY SEWER COMPONENTS WHICH FUNCTION BY GRAVITY PRIOR TO THE INSTALLATION OF ALL OTHER UTILITIES.
6. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF SITE PLAN DOCUMENTS AND ARCHITECTURAL DESIGN FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS, GREASE TRAP REQUIREMENTS/ DETAILS, DOOR ACCESS, AND EXTERIOR GRADING. THE ARCHITECT WILL DETERMINE THE UTILITY SERVICE SIZES. THE CONTRACTOR MUST COORDINATE INSTALLATION OF UTILITIES SERVICES WITH THE INDIVIDUAL COMPANIES, TO AVOID CONFLICTS AND TO ENSURE THAT PROPER DETAILS ARE ACHIEVED. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT INSTALLATION OF ALL IMPROVEMENTS COMPLIES WITH ALL UTILITY REQUIREMENTS WITH JURISDICTION AND/OR CONTROL OF THE SITE, AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES AND, FURTHER, IS RESPONSIBLE FOR COORDINATING THE UTILITY TIE-INS/CONNECTIONS PRIOR TO CONNECTING TO THE EXISTING UTILITY/SERVICE. WHERE A CONFLICT(S) EXISTS BETWEEN THESE SITE PLANS AND THE ARCHITECTURAL PLANS, OR WHERE ARCHITECTURAL PLAN UTILITY CONNECTION POINTS DIFFER, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER, IN WRITING, AND PRIOR TO CONSTRUCTION, RESOLVE SAME.
7. WATER SERVICE MATERIALS, BURIAL DEPTH, AND COVER REQUIREMENTS MUST BE SPECIFIED BY THE LOCAL UTILITY COMPANY. CONTRACTOR'S PRICE FOR WATER SERVICE MUST INCLUDE ALL FEES, COSTS AND APPURTENANCES REQUIRED BY THE UTILITY TO PROVIDE FULL AND COMPLETE WORKING SERVICE. CONTRACTOR MUST CONTACT THE APPLICABLE MUNICIPALITY TO CONFIRM THE PROPER WATER METER AND VAULT, PRIOR TO COMMENCING CONSTRUCTION.
8. ALL NEW UTILITIES/SERVICES, INCLUDING ELECTRIC, TELEPHONE, CABLE TV, ETC. ARE TO BE INSTALLED UNDERGROUND. ALL NEW UTILITIES/SERVICES MUST BE INSTALLED IN ACCORDANCE WITH THE UTILITY/SERVICE PROVIDER INSTALLATION SPECIFICATIONS AND STANDARDS.
9. SITE GRADING MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT REFERENCED IN THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND REPLACING UNSUITABLE MATERIALS WITH SUITABLE MATERIALS AS SPECIFIED IN THE GEOTECHNICAL REPORT. ALL EXCAVATED OR FILLED AREAS MUST BE COMPACTED AS OUTLINED IN THE GEOTECHNICAL REPORT. MOISTURE CONTENT AT TIME OF PLACEMENT MUST BE SUBMITTED IN A COMPACTION REPORT PREPARED BY A QUALIFIED GEOTECHNICAL ENGINEER, REGISTERED WITHIN THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT MUST BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE BY OWNER/DEVELOPER, OWNER/DEVELOPER'S REPRESENTATIVE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED AS DIRECTED BY THE GEOTECHNICAL REPORT. EARTHWORK ACTIVITIES INCLUDING, BUT NOT LIMITED TO, EXCAVATION, BACKFILL, AND COMPACTING MUST COMPLY WITH THE RECOMMENDATION IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. EARTHWORK ACTIVITIES MUST COMPLY WITH THE STANDARD STATE DOT SPECIFICATIONS FOR ROADWAY CONSTRUCTION (LATEST EDITION) AND ANY AMENDMENTS OR REVISIONS THERETO. IN THE ABSENCE OF A GEOTECHNICAL REPORT, ALL EARTHWORK SHALL COMPLY WITH ALL STATE D.O.T. SPECIFICATIONS.
10. ALL FILL, COMPACTION, AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION MUST BE AS PER THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT AND MUST BE COORDINATED WITH THE APPLICABLE UTILITY COMPANY SPECIFICATIONS. WHEN THE PROJECT DOES NOT HAVE GEOTECHNICAL RECOMMENDATIONS, FILL AND COMPACTION MUST, AT A MINIMUM, COMPLY WITH THE STATE DOT REQUIREMENTS AND SPECIFICATIONS AND CONSULTANT SHALL HAVE NO LIABILITY OR RESPONSIBILITY FOR OR AS RELATED TO FILL, COMPACTION AND BACKFILL. FURTHER, CONTRACTOR IS FULLY RESPONSIBLE FOR EARTHWORK BALANCE.
11. THE CONTRACTOR MUST COMPLY, TO THE FULLEST EXTENT WITH THE LATEST OSHA STANDARDS AND REGULATIONS, AND/OR ANY OTHER AGENCY WITH JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE "MEANS AND METHODS" REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF OSHA, AS WELL AS ANY OTHER ENTITY THAT HAS JURISDICTION FOR EXCAVATION AND/OR TRENCHING PROCEDURES AND CONSULTANT SHALL HAVE NO RESPONSIBILITY FOR OR AS RELATED TO EXCAVATION AND TRENCHING PROCEDURES.
12. PAVEMENT MUST BE SAW CUT INTO STRAIGHT LINES, AND MUST EXTEND TO THE FULL DEPTH OF THE EXISTING PAVEMENT. ALL DEBRIS FROM REMOVAL OPERATIONS MUST BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION. STOCKPILING OF DEBRIS WILL NOT BE PERMITTED.
13. THE TOPS OF EXISTING MANHOLES, INLET STRUCTURES, AND SANITARY CLEANOUT TOPS MUST BE ADJUSTED AS NECESSARY, TO MATCH PROPOSED GRADES.
14. THE CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCING ANY CONSTRUCTION. CONTRACTOR MUST CONFIRM AND ENSURE 0.75% MINIMUM SLOPE AGAINST ALL ISLANDS, GUTTERS, AND CURBS, 1.0% ON ALL CONCRETE SURFACES; AND 1.5% MINIMUM ON ASPHALT (EXCEPT WHERE ADA REQUIREMENTS OR EXISTING TOPOGRAPHY LIMIT GRADES), TO PREVENT PONDING. CONTRACTOR MUST IMMEDIATELY IDENTIFY, IN WRITING TO THE ENGINEER, ANY DISCREPANCIES THAT MAY OR COULD AFFECT THE PUBLIC SAFETY, HEALTH OR GENERAL WELFARE, OR PROJECT COST. IF CONTRACTOR PROCEEDS WITH CONSTRUCTION WITHOUT PROVIDING PROPER NOTIFICATION, MUST BE AT THE CONTRACTOR'S OWN RISK .
15. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 6" ABOVE EXISTING ASPHALT GRADE UNLESS OTHERWISE NOTED. FIELD ADJUST TO CREATE A MINIMUM OF .075% GUTTER GRADE ALONG CURB FACE. IT IS CONTRACTOR'S OBLIGATION TO ENSURE THAT DESIGN ENGINEER APPROVES FINAL CURBING CUT SHEETS PRIOR TO

INSTALLATION OF SAME.

16. IN THE EVENT OF DISCREPANCIES AND/OR CONFLICTS BETWEEN PLANS OR RELATIVE TO OTHER PLANS, THE SITE PLAN WILL TAKE PRECEDENCE AND CONTROL. CONTRACTOR MUST IMMEDIATELY NOTIFY THE DESIGN ENGINEER, IN WRITING, OF ANY DISCREPANCIES AND/OR CONFLICTS.
17. CONTRACTOR IS REQUIRED TO SECURE ALL NECESSARY AND/OR REQUIRED PERMITS AND APPROVALS FOR ALL OFF SITE MATERIAL SOURCES AND DISPOSAL FACILITIES. CONTRACTOR MUST SUPPLY A COPY OF APPROVALS TO ENGINEER AND OWNER PRIOR TO INITIATING WORK ANY WORK.
18. WHERE RETAINING WALLS (WHETHER OR NOT THEY MEET THE JURISDICTIONAL DEFINITION) ARE IDENTIFIED ON PLANS, ELEVATIONS IDENTIFIED ARE FOR THE EXPOSED PORTION OF THE WALL. WALL FOOTING/FOUNDATION ELEVATIONS ARE NOT IDENTIFIED HEREIN AND ARE TO BE SET/DETERMINED BY THE CONTRACTOR BASED ON FINAL STRUCTURAL DESIGN SHOP DRAWINGS PREPARED BY THE APPROPRIATE PROFESSIONAL LICENSED IN THE STATE WHERE THE CONSTRUCTION OCCURS.
19. STORM DRAINAGE PIPE: UNLESS INDICATED OTHERWISE, ALL STORM SEWER PIPE MUST BE REINFORCED CONCRETE PIPE (RCP) CLASS III WITH SILT TIGHT JOINTS. WHEN HIGH-DENSITY POLYETHYLENE PIPE (HDPE) IS CALLED FOR ON THE PLANS, IT MUST CONFORM TO AASHTO M294 AND TYPE S (SMOOTH INTERIOR WITH ANGULAR CORRUGATIONS) WITH GASKET FOR SILT TIGHT JOINT. PVC PIPE FOR ROOF DRAIN CONNECTION MUST BE SDR 26 OR SCHEDULE 40 UNLESS INDICATED OTHERWISE.
20. SANITARY SEWER PIPE MUST BE POLYVINYL CHLORIDE (PVC) SDR 35 EXCEPT WHERE INDICATED OTHERWISE. SANITARY LATERAL MUST BE PVC SCHEDULE 40 OR PVC SDR 26 UNLESS INDICATED, IN WRITING, OTHERWISE.
21. STORM AND SANITARY SEWER PIPE LENGTHS INDICATED ARE NOMINAL AND MEASURED CENTER OF INLET AND/OR MANHOLES STRUCTURE TO CENTER OF STRUCTURE.
22. STORMWATER ROOT DRAIN LOCATIONS ARE APPROXIMATE AND ARE BASED ON PRELIMINARY ARCHITECTURAL PLANS. CONTRACTOR IS RESPONSIBLE FOR REVIEWING AND COORDINATING THE FINAL ARCHITECTURAL PLANS TO VERIFY FINAL LOCATIONS OF ALL ROOT DRAINS.
23. SEWERS CROSSING STREAMS AND/OR LOCATION WITHIN 10 FEET OF THE STREAM EMBANKMENT, OR WHERE SITE CONDITIONS SO INDICATE, MUST BE CONSTRUCTED OF STEEL, REINFORCED CONCRETE, DUCTILE IRON OR OTHER SUITABLE MATERIAL. SEWERS CONVEYING SANITARY FLOW COMBINED SANITARY AND STORMWATER FLOW OR INDUSTRIAL FLOW MUST BE SEPARATED FROM WATER MAINS BY A DISTANCE OF AT LEAST 10 FEET. IF SUCH LATERAL SEPARATIONS IS NOT POSSIBLE, THE PIPES MUST BE IN SEPARATE TRENCHES WITH THE SEWER AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN, OR SUCH OTHER SEPARATION AS APPROVED BY THE GOVERNMENT AGENCY WITH JURISDICTION OVER SAME. WHERE APPROPRIATE SEPARATION FROM A WATER MAIN IS NOT POSSIBLE, THE SEWER MUST BE ENCASED IN CONCRETE, OR CONSTRUCTED OF DUCTILE IRON PIPE USING MECHANICAL OR SLIP-ON JOINTS FOR A DISTANCE OF AT LEAST 10 FEET ON EITHER SIDE OF THE CROSSING. IN ADDITION, ONE FULL LENGTH OF SEWER PIPE SHOULD BE LOCATED SO BOTH JOINTS WILL BE AS FAR FROM THE WATER LINE AS POSSIBLE. WHERE A WATER MAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT FOR THE SEWER MUST BE PROVIDED.
24. WATER MAIN AND WATER SERVICE PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE WATER AUTHORITY HAVING JURISDICTION. IN THE ABSENCE OF SUCH SPECIFICATIONS, WATER MAIN PIPING MUST BE GENERAL UNLINED DUCTILE IRON (DIP) MINIMUM CLASS 52 THICKNESS. ALL WORK AND MATERIALS MUST COMPLY WITH THE APPLICABLE ANWA STANDARDS IN EFFECT AT THE TIME OF THE SERVICE APPLICATION.
25. THE CONTRACTOR SHALL ENSURE THAT ANY AND ALL WORK LOCATED IN EXISTING PAVED BE REPAIRED IN ACCORDANCE WITH REFERENCED MUNICIPAL, COUNTY AND/OR DOT DETAILS AS APPLICABLE. CONTRACTOR IS RESPONSIBLE TO COORDINATE THESE PERMITTING, INSPECTION AND APPROVAL OF COMPLETED WORK WITH THE AGENCY WITH AGENCY HAVING JURISDICTION OVER THE PROPOSED WORK.
26. THE CONTRACTOR SHALL, BY BORING OR BY TEST PIT, DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF ANY PROPOSED DWELLINGS THAT WILL CONTAIN A BASEMENT. IF GROUNDWATER IS ENCOUNTERED WITHIN THE PROPOSED BASEMENT AREA, BASEMENTS SHALL NOT BE INSTALLED UNLESS SPECIAL CONSTRUCTION METHODS, APPROVED BY THE AUTHORITY HAVING JURISDICTION, ARE UTILIZED. WHERE SUMP PUMPS ARE INSTALLED, ALL DISCHARGED MUST BE CONNECTED TO THE STORM SEWER OR DISCHARGE TO AN APPROVED LOCATION.
27. FOR SINGLE AND MULTI-FAMILY RESIDENTIAL PROJECTS, SLOP ELEVATION(S) ADJACENT TO THE BUILDINGS ARE SCHEMATIC FOR NON-SPECIFIC BUILDING FOOTPRINTS. GRADES MUST BE ADJUSTED BASED ON FINAL ARCHITECTURAL PLANS AND SHALL PROVIDE A MINIMUM OF EIGHT (8) INCHES BELOW TOP OF FOUNDATION/CONCRETE AND/OR EIGHT (8) INCHES BELOW THE FAÇADE TREATMENT, WHICHEVER IS LOWER, AND MUST PROVIDE POSITIVE DRAINAGE AWAY FROM THE STRUCTURE (MINIMUM OF 2%). ALL CONSTRUCTION, INCLUDING GRADING, MUST COMPLY WITH ALL APPLICABLE BUILDING CODES, LOCAL, STATE AND FEDERAL REQUIREMENTS, REGULATIONS AND ORDINANCE.
28. THE RELOCATION OF EXISTING AND/OR THE INSTALLATION OF NEW UTILITY POLES AND TRANSFORMERS ARE AT THE SOLE DISCRETION OF UTILITY COMPANY. PRIOR TO COMMENCEMENT OF ANY WORK, THE CONTRACTOR SHALL WORK WITH THE APPROPRIATE UTILITY COMPANIES TO FINALIZE ALL UTILITY SERVICES AND/OR RELOCATIONS TO ASSURE NO CONFLICT WITH THE DESIGN PLANS. SHOULD A CONFLICT ARISE DUE TO THE FINAL DESIGNS OF THE UTILITY COMPANY, THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IN WRITING AND AWRIT A WRITTEN RESOLUTION PRIOR TO PROCEEDING WITH FURTHER UTILITY INSTALLATIONS.

DEMOLITION NOTES

THE CONTRACTOR SHALL REVIEW ALL SITE PLANS (AND ARCHITECTURAL DRAWINGS AS APPLICABLE) TO ASSURE THAT ALL DEMOLITIONS ACTIVITIES AND INCIDENTAL WORK NECESSARY FOR THE CONSTRUCTION OF THE NEW SITE IMPROVEMENTS ARE COMPLETED. THE DEMOLITION PLAN IS INTENDED TO PROVIDE ONLY GENERAL INFORMATION REGARDING ITEMS TO BE DEMOLISHED AND/OR REMOVED.

- THIS PLAN REFERENCES THE FOLLOWING DOCUMENTS AND INFORMATION:
- TOWN OF EAST HARTFORD GIS
 - SOIL EROSION & SEDIMENT CONTROL PLAN FREIGHTLINER OF HARTFORD, INC. 199 ROBERTS STREET EAST HARTFORD, CONNECTICUT SCALE 1"=40' MAY 12, 1997 REV. JULY 1, 1997 REV. JULY 14, 1997 BY CLARKE & PEARSON, ASSOCIATES, INC.
 - ACCESS AND USE EASEMENT PLAN LINKEN LLC PROPOSED BILLBOARD 199 ROBERTS STREET EAST HARTFORD, CT DATE: SEPTEMBER 20, 2013 SCALE: 1"=40' BY ZUVIC, CARR AND ASSOCIATES INC.
 - SITE PLAN PROPOSED BILLBOARD 199 ROBERTS STREET EAST HARTFORD, CT PROJECT OWNER LINKEN LLC DATE: DECEMBER 18, 2013 SCALE 1"=40' TOWN OF EAST HARTFORD ENGINEERING DIVISION APPROVED 12-31-13.
 - UTILITIES YANKEE KENWORTH SCALE 1"=40' DATE:6/27/78 REV: 7/3/78 7-27-78 BY JAMES F. RUSSELL ASSOCIATES.
 - "IMPROVEMENT LOCATION PLAN FREIGHTLINER OF HARTFORD 199 ROBERTS STREET EAST HARTFORD, CONNECTICUT" DATED: 10-23-15 BY: DESIGN PROFESSIONALS, INC

1. CONTRACTOR MUST NOTIFY, IN WRITING, DESIGN PROFESSIONALS INC. IF THEY ANY QUESTIONS CONCERNING THE ACCURACY OR INTENT OF THESE PLANS, RELATED SPECIFICATIONS, ANY APPLICABLE SAFETY STANDARDS, OR THE SAFETY OF THE CONTRACTOR OR THIRD PARTIES IN PERFORMING THE WORK ON THIS PROJECT. IF SUCH NOTIFICATION IS GIVEN, NO DEMOLITION OR SITE ACTIVITY MAY BEGIN UNTIL SUCH TIME THAT DESIGN PROFESSIONAL INC. PROVIDES A WRITTEN RESPONSE TO SAME. ALL DEMOLITION WORK MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS, THE PROJECT SPECIFICATIONS AND ALL APPLICATION LOCAL, STATE AND FEDERAL REGULATIONS.
2. CONTRACTOR SHALL PERFORM ALL WORK IN A SYSTEMATIC AND SAFE MANNER AND IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, (29 U.S.C. 651 ET SEQ.), AMENDMENTS TOO AND/OR REVISIONS TO SAME.
3. PRIOR TO STARTING ANY SITE ACTIVITY OR DEMOLITION, THE CONTRACTOR SHALL OBTAINING ALL REQUIRED PERMITS (LOCAL, STATE AND/OR FEDERAL)AND MAINTAIN SAME ON SITE FOR REVIEW BY THE ENGINEER AND OTHER REGULATORY AGENCIES THROUGHOUT THE DURATION OF THE PROJECT.
4. PRIOR TO STARTING ANY SITE ACTIVITY OR DEMOLITION, THE CONTRACTOR SHALL NOTIFY, AT A MINIMUM, THE BUILDING OFFICIAL, MUNICIPAL ENGINEER, DEPARTMENT OF PUBLIC WORKS, PLANNING AND ZONING COMMISSION, THE DESIGN ENGINEER, AND LOCAL INLAND WETLAND COMMISSION, 72 HOURS PRIOR TO THE START OF WORK.

5. PRIOR TO STARTING ANY SITE ACTIVITY OR DEMOLITION, THE CONTRACTOR SHALL IMPLEMENT THE SOIL EROSION AND SEDIMENT CONTROL MEASURES AS NOTED ON THE PLANS AND PRIOR TO ANY SITE DISTURBANCE.
6. PRIOR TO STARTING ANY SITE ACTIVITY OR DEMOLITION, THE CONTRACTOR SHALL "CALL BEFORE YOU DIG" AND/OR THE APPLICABLE STATE DAMAGE CONTROL SYSTEM FOR THE REQUIRED UTILITY MARK OUTS IN ADVANCE OF ANY EARTH DISTURBANCE. IN ADDITION TO THIS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING ONSITE UTILITIES INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN AND ADJACENT TO THE LIMITS OF THE PROJECT ACTIVITIES.
7. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL SECURE THE SITE AS NECESSARY TO PERFORM THE DEMOLITION IN A MANNER AS TO PREVENT THE ENTRY OF UNAUTHORIZED PERSONS.
8. THE CONTRACTOR SHALL PROTECT AND MAINTAIN THE OPERATION AND SERVICE OF ALL ACTIVE UTILITIES AND SYSTEMS THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES. SHOULD A TEMPORARY INTERRUPTION OF UTILITY SERVICES BE REQUIRED AS PART OF THE PROPOSED CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL COORDINATE WITH APPROPRIATE UTILITY COMPANIES AND THE AFFECTED END USER TO MINIMIZE IMPACT AND SERVICE INTERRUPTION.
9. THE CONTRACTOR SHALL ARRANGE FOR AND COORDINATE WITH THE APPROPRIATE UTILITY COMPANIES FOR THE TEMPORARY AND PERMANENT TERMINATION OF ANY AND ALL SERVICES THAT ARE REQUIRED FOR THE PROPERTY WHETHER SHOWN ON THE SITE PLANS OR NOT. TERMINATION OF UTILITIES SHALL BE PERFORMED IN COMPLIANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATION.
10. SHOULD HAZARDOUS MATERIAL BE DISCOVERED/ENCOUNTERS, WHICH WAS NOT ANTICIPATED/ADDRESSED IN THE IN THE PROJECT PLANS AND SPECIFICATIONS, CEASE ALL WORK IMMEDIATELY AND NOTIFY OWNER AND ENGINEER OF RECORD REGARDING HE DISCOVERY OF SAME..
11. DESIGN PROFESSIONALS HAS NO RESPONSIBILITY REGARDING JOB SAFETY AND/OR OVERSIGHT/SUPERVISION, OR ANYTHING RELATED TO SAME, LEGALLY NOR CONTRACTUALLY.
12. THE CONTRACTOR IS RESPONSIBLE FOR ALL "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS IMPROVEMENTS THAT ARE TO REMAIN. IF ANY EXISTING STRUCTURES ARE TO REMAIN ARE DAMAGED DURING DEMOLITIONS, S SHALL BE MADE USING NEW PRODUCT/MATERIALS RESULTING IN A PRE-DEMOLITION CONDITION, OR BETTER. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND TO NOTIFY THE OWNER AND THE CONSTRUCTION MANAGER PRIOR TO THE START OF CONSTRUCTION
13. EARTH WORK ACTIVITIES, DEMOLITION OR REMOVAL OF BUILDINGS, FOUNDATION WALLS, FOOTING, OR OTHER MATERIALS WITHIN THE WORK AREA SHALL BE IN ACCORDANCE AND CONFORM TO THE PROJECT PLANS AND SPECIFICATIONS.
14. ALL BACKFILLING REQUIRED AS A RESULT OF DEMOLITION SHALL BE PERFORMED IN COMPLIANCE WITH THE RECOMMENDATIONS AND GUIDANCE OF THE GEOTECHNICAL REPORT
15. THE USE OF EXPLOSIVES FOR THE PURPOSE OF DEMOLITION OR ROCK REMOVAL MUST NOT BE IN COMPLIANCE OF ALL LOCAL, STATE AND FEDERAL REGULATIONS. THE CONTRACT SHALL OBTAIN ALL PERMITS THAT ARE REQUIRED BY THE FEDERAL, STATE AND LOCAL GOVERNMENTS. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL INSPECTION, MONITORING OR TESTING AS MAY BE REQUIRED BY ANY AND ALL PERMITS AND REGULATIONS.
16. CONTRACTOR SHALL CONTROL TRAFFIC ON AND OFFSITE IN CONFORMANCE WITH THE CURRENT FHWA "MANUAL ON URBAN TRAFFIC CONTROL DEVICES" (MUTCD), AND THE FEDERAL, STATE, AND LOCAL REGULATIONS FOR ALL ASPECTS OF DEMOLITION AND SITE WORK.
17. ALL WORK SHALL BE PERFORMED WITHIN THE LIMITS OF WORK AS NOTED ON THE SITE PLANS.
18. DESIGN PROFESSIONALS INC. IS NOT RESPONSIBLE FOR THE MEANS, METHOD AND/OR PROCEDURES TO BE IMPLEMENT FOR THE PROJECT. ALL WORK MUST BE IN STRICT ACCORDANCE WITH ALL STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS.
19. DEBRIS SHALL NOT BE BURIED ON SITE. ALL DEMOLITION MATERIALS TO BE DISPOSED OF SHALL BE DONE SO IN ACCORDANCE WITH ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES. THE CONTRACTOR MUST MAINTAIN RECORDS OF ALL DISPOSAL ACTIVITIES.
20. CONTRACTOR MUST PREPARE RECORD DRAWINGS DEPICTING THE LOCATION OF EXISTING UTILITIES THAT ARE CAPPED, ABANDONED IN PLACE, OR RELOCATED AND PROVIDE TO THE PROPERTY OWNER AND THE ENGINEER OF RECORD.
21. THE CONTRACTOR SHALL PREVENT THE EMISSION OF DUST, SEDIMENT, AND DEBRIS FROM THE SITE, AND SHALL BE RESPONSIBLE FOR CORRECTIVE MEASURES SUCH AS STREET SWEEPING AND CLEAN UP WORK AS DEEMED NECESSARY BY THE ENGINEER OF THE AUTHORITY HAVING JURISDICTION.

GENERAL NOTES

CONTRACTOR SHALL ADHERE TO AND IS RESPONSIBLE FOR COMPLIANCE WITH ALL DETAILS, NOTES, PLANS AND SPECIFICATIONS CONTAINED HEREIN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL WORK PERFORMED BY THEIR SUBCONTRACTORS IS IN FULL COMPLIANCE WITH THESE REQUIREMENTS.

1. THE FOLLOWING DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THIS SITE PLAN:
 - TOWN OF EAST HARTFORD GIS
 - SOIL EROSION & SEDIMENT CONTROL PLAN FREIGHTLINER OF HARTFORD, INC. 199 ROBERTS STREET EAST HARTFORD, CONNECTICUT SCALE 1"=40' MAY 12, 1997 REV. JULY 1, 1997 REV. JULY 14, 1997 BY CLARKE & PEARSON, ASSOCIATES, INC.
 - ACCESS AND USE EASEMENT PLAN LINKEN LLC PROPOSED BILLBOARD 199 ROBERTS STREET EAST HARTFORD, CT DATE: SEPTEMBER 20, 2013 SCALE: 1"=40' BY ZUVIC, CARR AND ASSOCIATES INC.
 - SITE PLAN PROPOSED BILLBOARD 199 ROBERTS STREET EAST HARTFORD, CT PROJECT OWNER LINKEN LLC DATE: DECEMBER 18, 2013 SCALE 1"=40' TOWN OF EAST HARTFORD ENGINEERING DIVISION APPROVED 12-31-13.
 - UTILITIES YANKEE KENWORTH SCALE 1"=40' DATE:6/27/78 REV: 7/3/78 7-27-78 BY JAMES F. RUSSELL ASSOCIATES.
 - "IMPROVEMENT LOCATION PLAN FREIGHTLINER OF HARTFORD 199 ROBERTS STREET EAST HARTFORD, CONNECTICUT" DATED: 10-23-15 BY: DESIGN PROFESSIONALS, INC
2. THE CONTRACTOR SHALL CONFIRM THAT THEY ARE IN RECEIPT OF THE CURRENT VERSION OF THE REFERENCED DOCUMENTS PRIOR TO THE COMMENCEMENT OF ANY WORK.
3. CONTRACTOR MUST HAVE COPIES OF ALL PERMITS AND APPROVAL ON SITE AT ALL TIMES. THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED PRIOR TO PERFORMING ANY WORK ONSITE OR OFFSITE. THE CONTRACTOR SHALL THOROUGHLY REVIEW AND UNDERSTAND ALL PERMITS AND PERMIT CONDITIONS PRIOR TO FABRICATION OF ANY MATERIALS OR PRODUCTS TO BE USED AS PART OF THE PROJECT.
4. ALL WORK SHALL BE EXECUTED IN ACCORDANCE WITH THESE PLANS, THE PROJECT'S SPECIFICATIONS, CONDITIONS OF APPROVALS AND PERMITS, AND ALL APPLICABLE RULES, REGULATIONS, CODES, LAWS AND STANDARDS OF ALL AUTHORITIES HAVING JURISDICTION OVER THE PROJECT.
5. THE GEOTECHNICAL REPORT AND RECOMMENDATIONS NOTED HEREIN ARE A PART OF THE CONSTRUCTION PLANS AND DOCUMENTS. IF DISCREPANCY OR AMBIGUITY EXISTS, THE MORE STRINGENT REQUIREMENTS AND/OR RECOMMENDATIONS CONTAINED IN THE PLANS AND THE GEOTECHNICAL REPORT GOVERN. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING SHOULD ANY CONFLICTS BE IDENTIFIED PRIOR TO COMMENCING WITH ANY ADDITIONAL WORK. IN THE ABSENCE OF A GEOTECHNICAL REPORT AND/OR SPECIFICATIONS, STATE D.O.T. REQUIREMENTS SHALL GOVERN.
6. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND PROPOSED LAYOUT DIMENSIONS AND MUST AND NOTIFY DESIGN PROFESSIONALS INC., IN WRITING, IMMEDIATELY IF ACTUAL SITE CONDITIONS DIFFER OR ARE IN CONFLICT WITH THE PROPOSED WORK. NO EXTRA COMPENSATION WILL BE PAID TO THE CONTRACTOR FOR WORK WHICH HAS TO BE REDONE OR REPERED DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS UNLESS THE CONTRACTOR RECEIVES WRITTEN PERMISSION FROM DESIGN PROFESSIONALS INC. (OR PROPERTY OWNER/DEVELOPER) GIVING AUTHORIZATION TO PROCEED WITH SUCH ADDITIONAL WORK.
7. PRIOR TO THE PERFORMING ANY WORK ONSITE, THE CONTRACTOR SHALL REVIEW ALL CONSULTANTS PLANS AND SPECIFICATIONS INCLUDING THE ENTIRE SITE PLAN AND THE LATEST ARCHITECTURAL PLANS (INCLUDING, BUT NOT LIMITED TO, STRUCTURAL,

- MECHANICAL, ELECTRICAL, PLUMBING AND FIRE SUPPRESSION PLAN, WHERE APPLICABLE). CONTRACTOR MUST IMMEDIATELY NOTIFY ARCHITECT AND SITE ENGINEER, IN WRITING, OF ANY CONFLICTS, DISCREPANCIES OR AMBIGUITIES WHICH EXIST.
8. DEBRIS MUST NOT BE BURNED OR BURIED ON SITE AND ALL UNSUITABLE EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) MUST BE DISPOSED OF IN ACCORDANCE WITH THE PROJECT'S SPECIFICATIONS AND PLANS, AND ALL LOCAL STATE, AND FEDERAL RULES AND REGULATIONS.
9. THE CONTRACTOR IS RESPONSIBLE FOR ALL EXCAVATIONS AND THE DESIGN AND INSTALLATION OF ANY SHORING THAT MAY BE REQUIRED, ALL OF WHICH SHALL BE ACCORDANCE WITH CURRENT OSHA STANDARDS. THE CONTRACTOR IS ALSO RESPONSIBLE FOR IMPLEMENTING ANY ADDITIONAL PRECAUTIONS TO PROTECT AND ASSURE THE STABILITY OF ADJACENT, NEARBY AND CONTIGUOUS STRUCTURES AND PROPERTIES.
10. THE CONTRACTOR SHALL PROTECT AND ASSURE STABILITY OF STRUCTURES (SIDEWALKS AND PAVEMENT, UTILITIES, BUILDINGS, AND INFRASTRUCTURE) ADJACENT TO THE WORK AREA THAT ARE TO REMAIN, AND IMPLEMENT ANY APPROPRIATE MEASURES REQUIRED TO ENSURE STRUCTURAL STABILITY OF SAME. CONTRACTOR SHALL ASSURE A SAFE WORK AREA FOR WORKERS, PEDESTRIANS, ANY THIRD PARTY AND ABUTTING PROPERTIES.
11. THE CONTRACTOR IS RESPONSIBLE FOR ALL "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING OR PROPOSED STRUCTURES (INCLUDING BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURBS, ETC.) AND ANY OTHER IMPROVEMENTS THAT ARE TO REMAIN AND SHALL BEAR ANY AND ALL COSTS THAT MAY BE ASSOCIATED WITH SAME, IF ANY EXISTING STRUCTURES THAT ARE TO REMAIN ARE DAMAGED DURING DEMOLITIONS, REPAIRS SHALL BE MADE USING NEW PRODUCT/MATERIALS RESULTING IN A PRE-DEMOLITION CONDITION, OR BETTER. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND TO NOTIFY THE OWNER AND THE CONSTRUCTION MANAGER PRIOR TO THE START OF CONSTRUCTION
12. ALL CONCRETE MUST BE AIR ENTRAINED WITH A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS UNLESS OTHERWISE SPECIFIED ON THE PLANS, DETAILS AND/OR GEOTECHNICAL REPORT.
13. DESIGN PROFESSIONALS HAS NO RESPONSIBILITY REGARDING JOB SAFETY AND/OR OVERSIGHT/SUPERVISION, OR ANYTHING RELATED TO SAME, LEGALLY NOR CONTRACTUALLY. DESIGN PROFESSIONALS IS NOT RESPONSIBLE TO IDENTIFY OR REPORT ANY JOB SITE SAFETY ISSUES, AT ANY TIME.
14. DESIGN PROFESSIONALS WILL REVIEW CONTRACTOR SUBMITTALS WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE SOLE PURPOSE OF CHECKING FOR CONFORMANCE WITH THE INTENT OF THE DESIGN AND CONTRACT DOCUMENTS. DESIGN PROFESSIONAL INC IS NOT RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS UNLESS CONTRACTOR RECEIVED EXPLICIT DIRECTION TO DO SO, IN WRITING, FROM DESIGN PROFESSIONALS INC.
15. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING A TRAFFIC PROTECTION PLAN FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL EITHER ON AND/OR OFFSITE. THE COST ASSOCIATED WITH SAID PLAN SHALL BE INCLUDED IN THE BASE BID/CONTRACT COST.
16. ALL ONSITE AND OFFSITE SIGNAGE AND SIGNING AND PAVEMENT MARKINGS SHALL CONFORM TO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES OR LOCAL APPROVAL REQUIREMENTS.
17. ALL DIMENSIONS ARE TO FACE OF CURB, EDGE OF PAVEMENT, OR EDGE OF BUILDING, UNLESS NOTED OTHERWISE.
18. THE CONTRACTOR SHALL INSTALL AND/OR CONSTRUCT ALL ASPECTS OF THE PROJECT IN STRICT COMPLIANCE WITH AND ACCORDANCE WITH MANUFACTURER'S INSTALLATION STANDARDS, RECOMMENDATIONS AND SPECIFICATIONS.
19. MAINTENANCE & PROTECTION OF TRAFFIC IS ACCORDING TO THE CT DOT UNIFORM TRAFFIC MANUAL.

AMERICANS WITH DISABILITY ACT NOTES TO CONTRACTOR

THE CONTRACTOR SHALL REVIEW THE PROPOSED CONSTRUCTION WITH THE LOCAL BUILDING OFFICIAL PRIOR TO THE START OF CONSTRUCTION. CONTRACTORS SHALL BE PRECISE IN THE CONSTRUCTION OF AMERICANS WITH DISABILITIES ACT (ADA) ACCESSIBLE PARKING, COMPONENTS AND ACCESS ROUTES FOR THE PROJECT. THESE COMPONENTS SHALL COMPLY WITH ALL APPLICABLE STATE AND LOCAL ACCESSIBILITY LAWS AND REGULATIONS AND THE CURRENT ADA REGULATIONS AND CONSTRUCTION STANDARDS. THESE COMPONENTS INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:

- PARKING SPACES AND PARKING AISLES SHALL NOT EXCEED A 1:50 (1/4" PER FOOT OR NOMINALLY 2.0%) SLOPE IN ANY DIRECTION.
- CURB RAMPS-- SHALL NOT EXCEED A 1:12 (8.3%) SLOPE FOR A MAXIMUM LENGTH OF SIX (6) FEET.
- RAMPS SHALL BE EQUIPPED WITH LANDINGS AT EACH END, SHALL NOT EXCEED 1:50 (2.0%) IN ANY DIRECTION AND HAVE POSITIVE DRAINAGE AWAY FOR THE LANDING.
- ACCESSIBLE ROUTES SHALL BE A MINIMUM OF 36" WIDE (UNOBSTRUCTED). HANDRAILS AND CAR OVERHANGS MAY NOT OBSTRUCT THESE AREAS. LONGITUDINAL SLOPES (DIRECTION OF TRAVEL)SHALL NOT EXCEED 1:20 (5.0%) AND SHALL HAVE A CROSS SLOPE NO GREATER THAN 1:50 (2.0%).
- ACCESSIBLE ROUTES EXCEEDING 1:20 (5.0%) SHALL BE CONSIDERED A "RAMP". MAXIMUM SLOPES OF A RAMP SHALL BE 1:12 (8.3%) IN THE DIRECTION OF TRAVEL, AND A CROSS SLOPE OF 1:50 (2.0%). RAMPS SHALL HAVE MAXIMUM RISE OF 2.5 FEET, SHALL BE EQUIPPED WITH HAND RAILS AND LANDINGS AT THE TOPS AND BOTTOM OF THE RAMP. LANDINGS SHALL NOT EXCEED 1:50 (2.0%) IN ANY DIRECTION AND HAVE POSITIVE DRAINAGE AWAY FOR THE LANDING.
- A LANDING SHALL BE PROVIDED AT THE EXTERIOR OF ALL DOORS. LANDINGS SHALL NOT EXCEED 1:50 (2.0%) IN ANY DIRECTION AND HAVE POSITIVE DRAINAGE AWAY FOR THE LANDING. THE LANDING SHALL BE NO LESS THAN 60 INCHES LONG UNLESS PERMITTED OTHERWISE PER THE ADA REGULATIONS

THE CONTRACTOR SHALL VERIFY ALL EXISTING ELEVATIONS SHOWN ON THE PLAN IN AREAS OF EXISTING DOORWAYS, ACCESSIBLE ROUTES OR OTHER AREAS WHERE RE-CONSTRUCTION IS PROPOSED. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER OF ANY FIELD CONDITIONS THAT DIFFER IN ANY MANNER FROM WHAT IS SHOWN ON THE PLANS, IN WRITING, BEFORE COMMENCEMENT OF WORK

LEGEND		
EXISTING	DESCRIPTION	PROPOSED
BORINGS		
	BORING / TEST PIT LOCATION	
COMMUNICATION		
	OVERHEAD COMM. LINES (CABLE, TEL, ETC.)	
	UNDERGROUND COMMUNICATION LINES	
CONTROL POINTS		
	HORIZONTAL CONTROL POINT	
	HORIZONTAL & VERTICAL CONTROL POINT	
	VERTICAL CONTROL POINT	
	BENCHMARK	
DOMESTIC WATER		
	WATER MAIN	
	WATER SERVICE	
	FIRE SERVICE LINE	
	NON-POTABLE WATER LINE	
	WATER LINE, ABANDONED	
	WATER VALVE	
	WATER METER	
	FIRE HYDRANT	
LIQUID FUEL		
	MAIN LIQUID FUEL LINE	
	LIQUID FUEL SERVICE LINE	
	LIQUID FUEL LINE, ABANDONED	
IRRIGATION		
	IRRIGATION LINES	
LIGHTING		
	POLE MOUNTED LIGHT	
	GROUND MOUNTED LIGHT	
NATURAL GAS		
	GAS MAIN	
	GAS SERVICE LINE	
	GAS LINE, ABANDONED	
POWER		
	ELECTRICAL LINES, OVERHEAD	
	ELECTRICAL LINES, UNDERGROUND	
	UTILITY POLE	
PROPERTY		
	PROPERTY LINE	
	IRON PIN	
	MONUMENT	
ROADS		
	GUARD RAIL	
	SIGN	
EROSION CONTROL		
	SILT FENCE	
SITE FEATURES		
	EDGE OF WATER	
	BARBED WIRE FENCE	
	CHAIN LINK FENCE	
	RAIL FENCE	
	STOCKADE FENCE	
	WIRE FENCE	
	TREE	
	TREE LINE	
	DSYL	
	SSWL	
	BCLC	
	PCC	
SANITARY SEWER		
	SANITARY SEWER MAIN	
	SANITARY SEWER SERVICE LINE	
	SANITARY SEWER LINE, ABANDONED	
	SANITARY SEWER MANHOLE	
STORM SEWER		
	STORM DRAIN PIPE	
	STORM DRAIN PIPE, ABANDONED	
	ROOF LEADER	
	UNDERDRAIN	
	STORM DRAIN MANHOLE	
	CURB INLET	
	CATCH BASIN	
	YARD DRAIN	
TOPOGRAPHY		
	CONTOUR	
	SPOT ELEVATION	
	TOP OF CURB/BOTTOM CURB	
WETLANDS		
	WETLANDS LINE	
	RAMP	
	LANDSCAPE AREA	

21 FREIGHT DRIVE
PO BOX 107
HARTFORD, CT 06108
8

ZONING DATA BLOCK

ZONE: I2		
USE: SALES & SERVICE		
ITEM	REQUIRED/ ALLOWED	PROVIDED
Lot Area	20,000 SF min.	273,439± SF or 6.28± acres
Lot Frontage	70 ft. min.	220 ft.
Lot Coverage	75% max.	9%±
Impervious Coverage	85% max.	<64%
Building Height	50 ft. max.	<50 ft.
Front Yard	25 ft.	>250 ft.
Side Yard	Total 25 ft. (no less than 10 ft.)	68.90 FT.
Rear Yard	25 ft.	235 ft.

SITE PARKING

	EXISTING	PROPOSED
TRUCK PARKING	65*	65*
CAR PARKING	68**	112 CONVENTIONAL (5 HANDICAP) TOTAL 117**
VEHICLE DISPLAY AREA	-	5,400 S.F.

NOTES:
(*) AS DEPICTED IN MAP REFERENCE #4, (NOT FIELD LOCATED)
(**) INCLUDES 35 SPACES AS DEPICTED IN MAP REFERENCE #4, (NOT FIELD LOCATED)

REFERENCES:
THIS PLAN REFERS TO THE FOLLOWING:
1. TOWN OF EAST HARTFORD GIS
2. SOIL EROSION & SEDIMENT CONTROL PLAN FREIGHTLINER OF HARTFORD, INC. 199 ROBERTS STREET EAST HARTFORD, CONNECTICUT SCALE 1"=40' MAY 12, 1997 REV. JULY 1, 1997 REV. JULY 14, 1997 BY CLARKE & PEARSON, ASSOCIATES, INC.
3. ACCESS AND USE EASEMENT PLAN LINKEN, LLC PROPOSED BILLBOARD 199 ROBERTS STREET EAST HARTFORD, CT DATE: SEPTEMBER 20, 2013 SCALE: 1"=40' BY ZUVIC, CARR AND ASSOCIATES INC.
4. SITE PLAN PROPOSED BILLBOARD 199 ROBERTS STREET EAST HARTFORD, CT PROJECT OWNER LINKEN LLC DATE: DECEMBER 18, 2013 SCALE 1"=40' TOWN OF EAST HARTFORD ENGINEERING DIVISION APPROVED 12-31-13.
5. UTILITIES YANKEE KENWORTH SCALE: 1"=40' DATE:6/27/78 REV: 7/3/78 7-27-78 BY JAMES F. RUSSELL ASSOCIATES.
6. "IMPROVEMENT LOCATION PLAN FREIGHTLINER OF HARTFORD 199 ROBERTS STREET EAST HARTFORD, CONNECTICUT" DATED: 10-23-15 BY: DESIGN PROFESSIONALS, INC

SITE PLAN NOTES:
1. "CALL BEFORE YOU DIG" - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION BY CALLING 811 AT LEAST 3 WORKING DAYS PRIOR TO BEGINNING EXCAVATION.
2. THIS PLAN SHALL BE USED FOR SITE LAYOUT PURPOSES ONLY.
3. ALL PARCELS ARE TO BE CONSOLIDATED.
4. NO ADDITIONS OR CHANGES TO EXISTING USE ARE PROPOSED TO THE EXISTING BUILDING.

PREPARED FOR
FREIGHTLINER OF HARTFORD, INC.
222 ROBERTS STREET
EAST HARTFORD, CT 06108
800-453-6967

PROJECT NO:
DATE: 11/21/2016
DESIGN BY:
BY: BDC
CHECKED BY:

OVERALL SITE PLAN
SHEET 3 OF 9

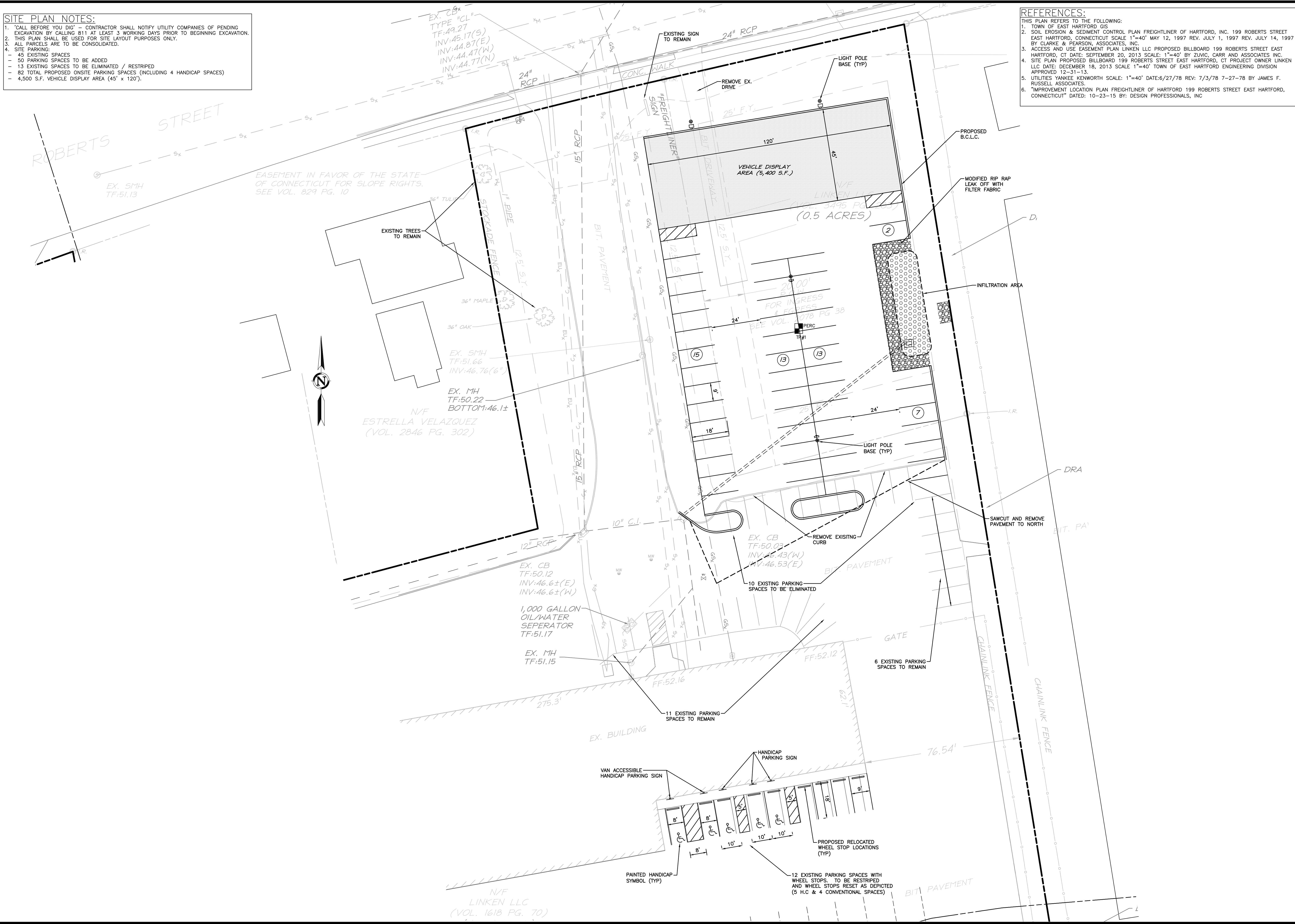
REVISIONS
NO. DATE BY

DESIGN PROFESSIONALS
CIVIL & TRAFFIC ENGINEERS / PLANNERS / SURVEYORS
GIS ANALYSTS / LANDSCAPE ARCHITECTS
21 JEFFREY DRIVE
PO BOX 1167
SOUTH WINDSOR, CT 06094-0167
860-291-9757 - F
860-291-9757 - T
www.designprofessionals.com

1. "CALL BEFORE YOU DIG" - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION BY CALLING 811 AT LEAST 3 WORKING DAYS PRIOR TO BEGINNING EXCAVATION.
2. "PLAN" SHALL BE USED FOR SITE LAYOUT PURPOSES ONLY.
3. ALL PARKING ARE TO BE CONSOLIDATED.
4. SITE LABELS:
- 45 EXISTING SPACES
- 50 PARKING SPACES TO BE ADDED
- 13 EXISTING SPACES TO BE ELIMINATED / RESTRIPTED
- 82 TOTAL PROPOSED ONSITE PARKING SPACES (INCLUDING 4 HANDICAP SPACES)
- 4,500 S.F. VEHICLE DISPLAY AREA (45' x 120').

THIS PLAN REFERS TO THE FOLLOWING:

- 1. TOWN OF EAST HARTFORD, CT
- 2. SOIL EROSION & SEDIMENT CONTROL PLAN FREIGHTLINER OF HARTFORD, INC, 199 ROBERTS STREET EAST HARTFORD, CONNECTICUT SCALE 1"=40' MAY 12, 1997 REV. JULY 1, 1997 REV. JULY 14, 1997 BY CLARKE & PEARSON, ASSOCIATES, INC.
- 3. SITE PLAN FOR THE PROPOSED 20' X 10' SIGNAGE FOR THE NEW LLC PROPOSED BILLBOARD 199 ROBERTS STREET EAST HARTFORD, CT DATED: SEPTEMBER 20, 2013 SCALE: 1"=40' BY ZUVIC, CARR AND ASSOCIATES INC.
- 4. SITE PLAN PROPOSED BILLBOARD 199 ROBERTS STREET EAST HARTFORD, CT PROJECT OWNER LINKEN & ASSOCIATES, INC. DATED: JANUARY 18, 2013 SCALE 1"=40' TOWN OF EAST HARTFORD ENGINEERING DIVISION UTILITIES 12-31-13.
- 5. APPLIED YANKEE KENWORTH SCALE: 1"=40' DATED:6/27/78 REV: 7/3/78 7-27/78 BY JAMES F. RUSSELL & ASSOCIATES.
- 6. IMPROVEMENT LOCATION PLAN FREIGHTLINER OF HARTFORD 199 ROBERTS STREET EAST HARTFORD, CONNECTICUT DATED: 10-23-15 BY: DESIGN PROFESSIONALS, INC



C-SP2

SHEET 4 OF 9

SITE PLAN

SHEET

PARKING LOT EXPANSION

FREIGHTLINER OF HARTFORD, INC.

187, 199, & 225 ROBERTS STREET

MAP 35 LOTS 23, 24/25, & 28

EAST HARTFORD, CONNECTICUT

BY

REVISIONS

NO.	DATE	REVISIONS

PROJECT NO.

1005

DATE

11/21/2016

DESIGN BY

CHECKED BY

PREPARED FOR:

FREIGHTLINER OF

HARTFORD, INC

222 ROBERTS STREET

EAST HARTFORD, CT

06108

800-443-6967

SCALE:

0' 10' 20' 40'

1" = 20'

DATE

11/21/2016

BY

BOC

CHECKED BY

PROJECT NO.

1005

DATE

11/21/2016

DESIGN BY

CHECKED BY

PREPARED FOR:

FREIGHTLINER OF

HARTFORD, INC

222 ROBERTS STREET

EAST HARTFORD, CT

06108

800-443-6967

PROJECT NO.

1005

DATE

11/21/2016

DESIGN BY

CHECKED BY

PREPARED FOR:

FREIGHTLINER OF

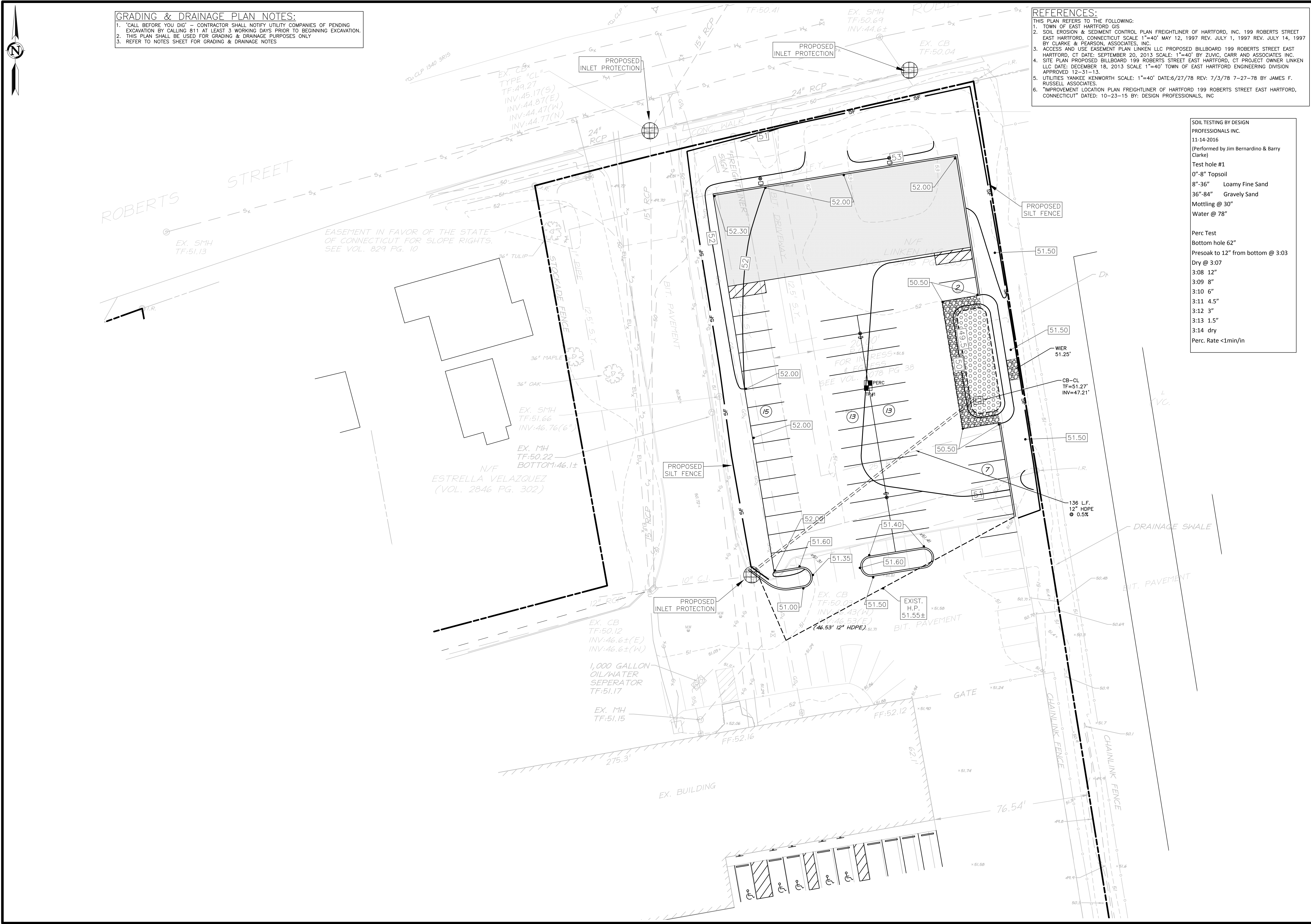
HARTFORD, INC

222 ROBERTS STREET

EAST HARTFORD, CT

06108

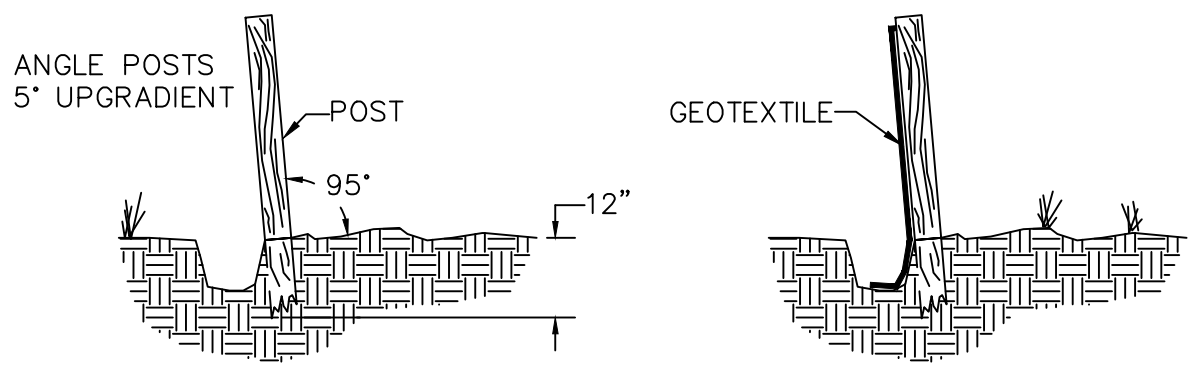
800-443-6967



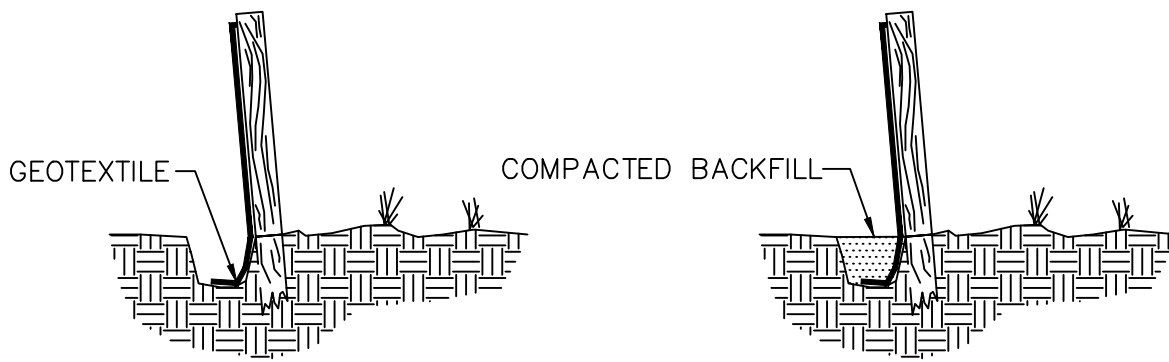
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PREPARED FOR: FREIGHTLINER OF HARTFORD, INC. 222 ROBERTS STREET EAST HARTFORD, CT 06108 800-453-6967		
PROJECT NO: 1005	DATE: 11/21/2016	
DESIGN BY: BCL	BY: BCL	
CHECKED BY: BCL	DATE: 11/21/2016	
REVISIONS		
NO.	DATE	BY
GRADING & DRAINAGE PLAN		
SHEET		
C-GD1		
SHEET 5 OF 9		

SCALE: 0' 10' 20' 40'
1" = 20'

1. SET POSTS & EXCAVATE A 6"x6" TRENCH UPGRADIENT OF POSTS.
2. STAPLE GEOTEXTILE TO POSTS.

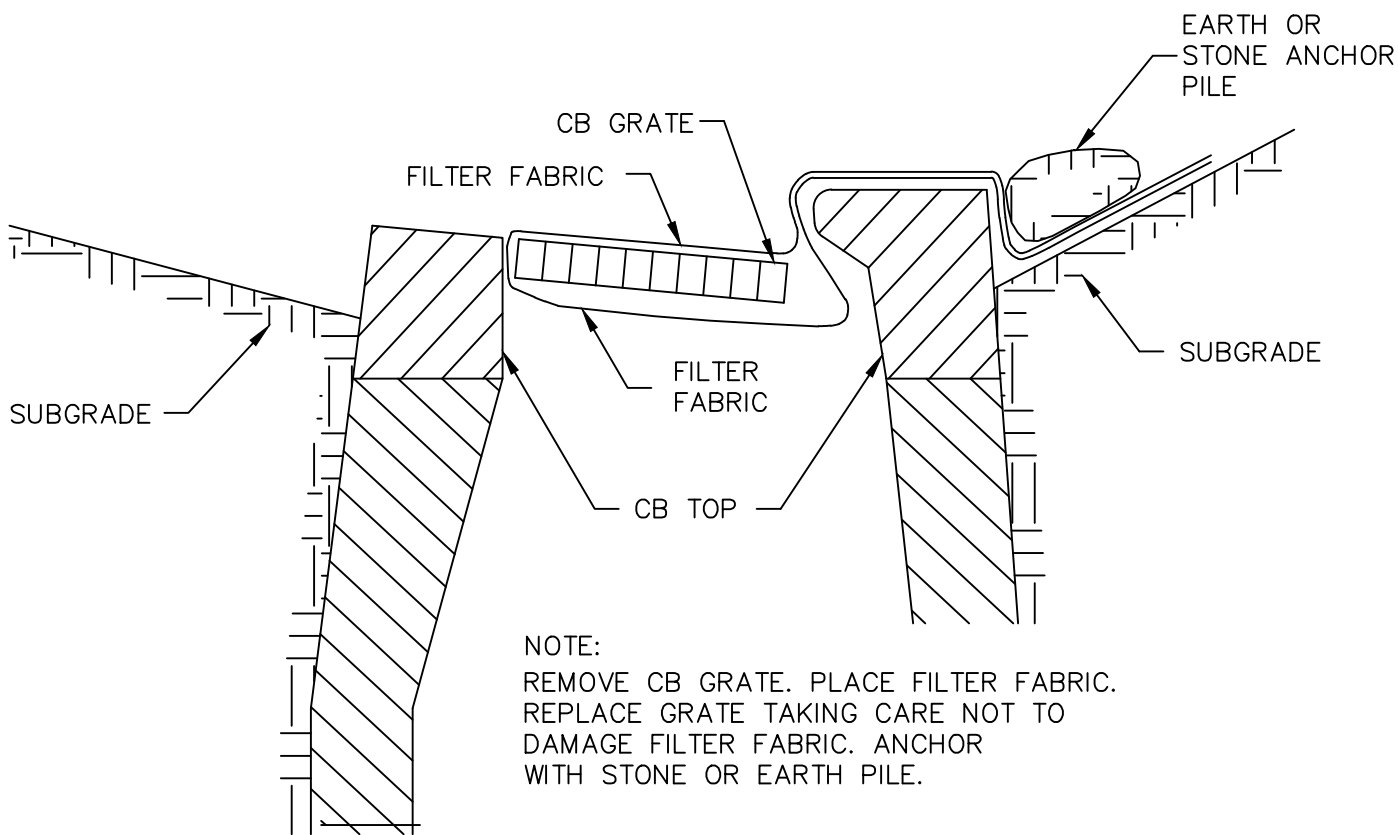


3. EXTEND GEOTEXTILE INTO TRENCH.
4. BACKFILL TRENCH AND COMPACT EXCAVATED SOIL.



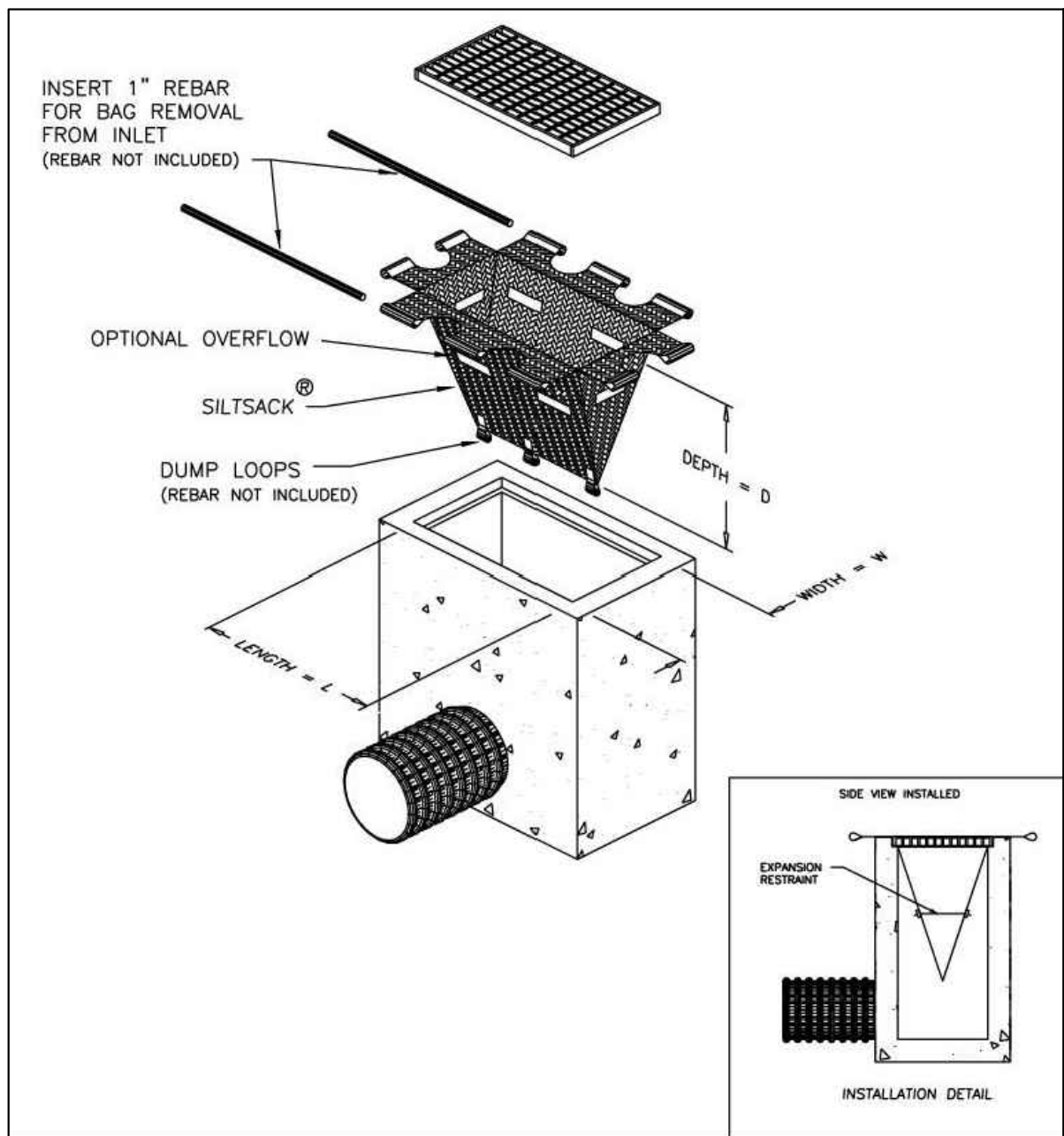
SILT FENCE

N.T.S.



CATCH BASIN GRATE SEDIMENTATION CONTROL

N.T.S.



CURB-LESS INLET PROTECTION DETAIL

N.T.S.

CONSTRUCTION SEQUENCE (DETENTION BASIN):

1. INSTALL CONSTRUCTION ENTRANCE AT DRIVEWAYS OR OTHER LOCATIONS AS SHOWN ON PLANS. MAINTAIN THE CONSTRUCTION ENTRANCE IN A CONDITION WHICH WILL PREVENT TRACKING AND WASHING OF SEDIMENT ONTO ADJUTING PAVED SURFACES. ADD STONE OR INCREASE THE LENGTH AS CONDITIONS DEMAND.
2. STAKE-OUT THE LIMITS OF CLEARING AND GRUBBING. INSTALL EROSION AND SEDIMENTATION CONTROL MEASURES AT LIMITS OF CLEARING AND GRUBBING. CONTRACTOR TO CONDUCT ALL CONSTRUCTION ACTIVITIES WITHIN LIMITS SHOWN ON PLAN.
3. CONSTRUCT TEMPORARY SETTING BASINS, SEDIMENT TRAPS AND OTHER BEST MANAGEMENT PRACTICES AS SHOWN ON THE PLANS.
4. REMOVE TOPSOIL FROM AREAS OF DISTURBANCE AND STOCKPILE. POSSIBLE STOCKPILE LOCATIONS ARE SHOWN ON THE SITE PLANS. HOWEVER, LOCATIONS SHALL BE DETERMINED BY CONTRACTOR WITH APPROVAL BY THE ENGINEER & LOCAL AUTHORITY HAVING JURISDICTION. RING SOIL STOCKPILES WITH A ROW OF SILT FENCE. ESTABLISH VEGETATION ON ALL DISTURBED SOIL THAT WILL REMAIN EXPOSED FOR LONGER THAN 30 DAYS. REFER TO LANDSCAPE PLANS FOR TEMPORARY SEEDING REQUIREMENTS.
5. CREATE TEMPORARY DIVERSION SWALES AS REQUIRED.
6. ANY DEWATERING ACTIVITIES SHALL BE PUMPED TO TEMPORARY SILTATION BASINS AT THE TOP OF THE SLOPE. PUMPED DISCHARGE MUST UTILIZE SILT-SAC OR APPROVED EQUAL. MONITOR TO ENSURE DISCHARGE FROM BASIN IS NOT CAUSING EROSION DOWNSTREAM.
7. INSTALL STORM DRAINAGE SYSTEM. PROTECT CATCHBASINS AND CULVERT INLETS/OUTLETS WITH HAYBALES AND FILTER FABRIC AS SHOWN IN THE DETAILS.
8. INSTALL PAVEMENT, SIDEWALKS, CURBING, TOPSOIL, GRASS SEED, AND MULCH. .
9. MINOR ADJUSTMENTS TO THE EXCAVATION LIMITS MAY BE WARRANTED WITH APPROVAL OF LOCAL AUTHORITY HAVING JURISDICTION TO ALLOW FOR PRESERVATION OF EXISTING VEGETATION.
10. ALL EROSION CONTROL DEVICES SHALL REMAIN FUNCTIONAL AND IN PLACE THROUGHOUT THE CONSTRUCTION EFFORT UNTIL THE SITE IS FULLY STABILIZED WITH VEGETATION.

STORM DRAINAGE SYSTEM MAINTENANCE AND OPERATION:

THE FOLLOWING MAINTENANCE SHALL BE REQUIRED TO ENSURE EFFICIENT OPERATION OF THE STORM DRAINAGE SYSTEM DETENTION BASIN AND/OR UNDERGROUND BASINS. THE MAINTENANCE SCHEDULE IS INTENDED TO BE A GUIDE. AN INSPECTION OF ALL STORM DRAINAGE COMPONENTS IS REQUIRED FOLLOWING LARGE STORM EVENTS (0.5 INCHES OR GREATER) THAT COULD CAUSE THE DEPOSITION OF EXCESS DEBRIS.

PIPE OUTLET LOCATIONS: PIPE OUTLETS SHALL BE INSPECTED ANNUALLY AND CLEANED OF SILT AND/OR DEBRIS. RIPRAP SHALL BE RE-SHAPED AND REPLENISHED AS REQUIRED.

CATCHBASINS: SHALL BE INSPECTED ANNUALLY AND SUMPS CLEANED WHEN DEPTH OF MATERIAL REACHES TWELVE INCHES.

PAVEMENT SWEEPING: PAVEMENT AREAS SHALL BE SWEEP AT LEAST TWICE PER YEAR. ONCE IN THE SPRING SHORTLY AFTER THE END OF THE SNOW SEASON, AND IN THE FALL AFTER THE LEAVES HAVE FALLEN. DURING CONSTRUCTION KEEP PAVEMENT FREE OF SEDIMENTS TO REDUCE THE TRANSFER OF SEDIMENTS OFFSITE.

INFILTRATION BASIN MANHOLES: ON SITE: SHALL BE INSPECTED BIANNUALLY. ALL LARGE WOODY NON LANDSCAPE GROWTH THAT MAY AFFECT THE FLOW OF WATER OR THE STABILITY OF THE BASIN SHALL BE REMOVED. RIPRAP SHALL BE RE-ARRANGED AND ADDED TO AS REQUIRED. ANY EROSION OR OTHER PROBLEMS THAT MAY AFFECT THE PROPER OPERATION OF THE BASIN SHALL BE REPAIRED PROMPTLY.

INFILTRATION BASIN MANHOLES: SHALL BE INSPECTED ANNUALLY AND SUMP CLEANED WHEN DEPTH OF MATERIAL REACHES TWELVE INCHES. IN THE EVENT OF A MAJOR RAINSTORM, (0.5 INCHES OF RAIN OR MORE) THE STRUCTURE SHALL BE INSPECTED TO ENSURE PROTECTIVE SCREENS ARE CLEAR OF ANY DEBRIS OR OBSTRUCTING ITEMS.

UNDERGROUND DETENTION/INFILTRATION SYSTEM: SHALL BE INSPECTED BI-ANNUALLY. REFER TO MANUFACTURING MAINTENANCE REQUIREMENTS.

WATER QUALITY UNIT: UNIT SHALL BE INSPECTED POST-CONSTRUCTION, PRIOR TO BEING PUT INTO SERVICE. INSPECT EVERY SIX MONTHS FOR THE FIRST YEAR OF OPERATION TO DETERMINE THE OIL AND SEDIMENT ACCUMULATION RATE. IN SUBSEQUENT YEARS, INSPECTIONS CAN BE BASED ON FIRST-YEAR OBSERVATIONS OR LOCAL REQUIREMENTS. CLEANING IS RECOMMENDED ONCE THE SEDIMENT DEPTH REACHES 15% OF STORAGE CAPACITY, (GENERALLY TAKING ONE YEAR OR LONGER). REFER TO MANUFACTURING MAINTENANCE REQUIREMENTS.

EROSION & SEDIMENTATION CONTROL MAINTENANCE AND INSPECTION PROGRAM (WEEKLY CONSTRUCTION REPORTS):

PER RECOMMENDATIONS MADE IN THE 2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENTATION CONTROL PLAN, THE CONTRACTOR SHALL MAINTAIN WEEKLY REPORTS ON THE CONDITION OF ALL EROSION CONTROL MEASURES AND MAKE THEM AVAILABLE UPON REQUEST OF OWNER, LOCAL AUTHORITY HAVING JURISDICTION, OR ENGINEER. IN THE EVENT OF A MAJOR RAINSTORM, (0.5 INCHES OR GRATER) REPORTS SHALL BE PREPARED WITHIN 24 HOURS OF SAID EVENT.

EROSION & SEDIMENTATION CONTROL NARRATIVE

11. PRIOR TO THE START OF CONSTRUCTION, ALL EROSION CONTROL DEVICES SHALL BE INSTALLED IN CONFORMANCE WITH THESE PLANS.
12. CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTATION OF ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHOWN ON THESE PLANS. THIS RESPONSIBILITY INCLUDES IMPLEMENTATION AS WELL AS MAINTENANCE. ANY PROPOSED CHANGES TO THIS PLAN MUST BE APPROVED BY THE ENGINEER AND/OR THE LOCAL AUTHORITY HAVING JURISDICTION.
13. CONSTRUCTION ENTRANCE SHALL BE INSPECTED REGULARLY TO ENSURE PROPER OPERATION. STONE SHALL BE ADDED OR REPLACED AS REQUIRED.
14. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ADJACENT ROADWAYS, (BOTH PUBLIC & COMPLETED PORTIONS OF THE PROJECT) FREE FROM ACCUMULATED DUST AND DIRT. STREETS SHALL BE SWEEPED CLEAN AT ALL TIMES.
15. AREAS TO BE LEFT BARE FOR MORE THAN 30 DAYS SHALL BE TREATED WITH AIR DRIED WOOD CHIP MULCH OR SEEDED WITH PERENNIAL RYE-GRASS UNTIL FINAL GRADING AND STABILIZATION TAKES PLACE.
16. ALL DISTURBED SLOPES EXCEEDING A 3:1 SLOPE SHALL IMMEDIATELY RECEIVE MULCH AND TEMPORARY SEEDING IN ACCORDANCE WITH THE FOLLOWING APPLICATION RATES:

MULCH:	RATE:
STRAW	90# / 1000 S.F.
TEMPORARY SEEDING:	RATE:
PERENNIAL RYEGRASS	1.0# / 1000 S.F.
17. CONTRACTOR SHALL CLEAN CATCHBASIN SUMPS, DIVERSION SWALES, & TEMPORARY SETTLING SUMPS AS REQUIRED DURING CONSTRUCTION.
18. DURING EARTHWORK OPERATIONS, CONTRACTOR SHALL MANAGE STORMWATER RUNOFF SO THAT NO DIRECT DISCHARGE OF RUNOFF THAT CONTAINS SUSPENDED PARTICLES, FLOWS INTO RECEIVING WATERS. RUNOFF SHALL BE DIRECTED INTO TEMPORARY SEDIMENT SUMPS AND TREATED.
19. AT NO TIME DURING THE CONSTRUCTION EFFORT SHALL THERE BE ANY OPEN AND DISTURBED AREA GREATER THAN 5 ACRES WITHOUT SILT OR DEBRIS FROM ALL STORM DRAINAGE STRUCTURES AND CULVERTS.
20. AFTER ALL SITE WORK IS COMPLETED, INCLUDING THE SPREADING OF TOPSOIL AND SEEDING, THE CONTRACTOR SHALL CLEAN ANY SILT OR DEBRIS FROM ALL STORM DRAINAGE STRUCTURES AND CULVERTS.
21. AT ALL TIMES DURING THE CONSTRUCTION EFFORT, THE CONTRACTOR SHALL HAVE AVAILABLE THE APPROPRIATE EQUIPMENT FOR WATER APPLICATION FOR THE PURPOSES OF ALLAYING DUST. APPLY WATER, SUITABLE MATERIALS, OR COVERS TO MATERIAL STOCKPILES AND OTHER SURFACES THAT CAN GIVE RISE TO AIRBORNE PARTICULATE MATTER. COVER, WHILE IN MOTION, OPEN-BODIED TRUCKS OR OPEN-BODIED TRAILERS. MINIMIZE THE VOLUME OF WATER SPRAYED FOR CONTROLLING DUST AS TO PREVENT THE RUNOFF OF WATER. NO DISCHARGE OF DUST CONTROL WATER SHALL CONTAIN OR CAUSE A VISIBLE OIL SHEEN, FLOATING SOLIDS, VISIBLE DISCOLORATION, OR FOAMING IN THE RECEIVING STREAM.
22. THE DEVELOPER SHALL ENSURE THAT CONSTRUCTION ACTIVITIES COMPLY WITH THE NOISE ORDINANCES OF THE AUTHORITY HAVING JURISDICTION. "
23. THE CONTRACTOR SHALL EXCAVATE A PIT TO BE DESIGNATED AS A WASHOUT AREA FOR CONCRETE, PAINT, AND OTHER MATERIALS. THIS AREA SHALL BE CLEARLY FLAGGED AND CONSTRUCTED TO BE ENTIRELY SELF-CONTAINED. THIS AREA SHALL BE OUTSIDE OF ANY BUFFERS AND AT LEAST 50 FEET FROM ANY STREAM, WETLAND, OR OTHER SENSITIVE SOURCE. DUMPING OF LIQUID WASTES IN STORM SEWERS IS PROHIBITED. THE WASHOUT AREA SHALL BE INSPECTED AT LEAST ONCE A WEEK TO ENSURE STRUCTURAL INTEGRITY, ADEQUATE HOLDING CAPACITY, AND TO CHECK FOR LEAKS AND OVERFLOWS. ACCUMULATED DEBRIS SHOULD BE REMOVED ONCE THE WASHOUT AREA REACHES HALF WAY FULL OR IS DEEMED NECESSARY TO AVOID OVERFLOWS. REMOVE AND DISPOSE OF HARDENED CONCRETE WASTE CONSISTENT WITH PRACTICES DEVELOPED FOR THE WASTE DISPOSAL.
24. THE CONTRACTOR SHALL DESIGNATE A WASTE DISPOSAL AREA FOR TEMPORARY STORAGE OF MATERIALS TO BE REMOVED FROM THE SITE. THE DESIGNATED WASTE AREA SHALL BE SELECTED AS TO MINIMIZE TRUCK TRAVEL THROUGH THE SITE. THE AREA WILL NOT DRAIN DIRECTLY TO ADJACENT WETLANDS. PICKUPS SHALL BE SCHEDULED REGULARLY TO PREVENT THE CONTAINERS FROM OVERFILLING. SPILLS SHALL BE CLEANED UP IMMEDIATELY. DEFECTIVE CONTAINERS THAT MAY CAUSE LEAKS OR SPILLS WILL BE IDENTIFIED THROUGH REGULAR INSPECTION. ANY FOUND TO BE DEFECTIVE WILL BE REPAIRED OR REPLACED IMMEDIATELY. ANY STOCKPILING OF MATERIALS SHOULD BE CONFINED TO THE DESIGNATED AREA AS DEFINED BY THE CONTRACTOR.
25. ALL CHEMICAL AND PETROLEUM PRODUCT CONTAINERS STORED ON THE SITE (EXCLUDING THOSE CONTAINED WITHIN VEHICLES AND EQUIPMENT) SHALL BE PROVIDED WITH IMPERMEABLE CONTAINMENT WHICH WILL HOLD AT LEAST 110% OF THE VOLUME OF THE LARGEST CONTAINER, OR 10% OF THE TOTAL VOLUME OF ALL CONTAINERS IN THE AREA, WHICHEVER IS LARGER, WITHOUT OVERFLOW FROM THE CONTAINMENT AREA. ALL CHEMICALS AND THEIR CONTAINERS SHALL BE STORED UNDER A ROOFED AREA EXCEPT FOR THOSE CHEMICALS STORED IN CONTAINERS OF 100 GALLON CAPACITY OR MORE, IN WHICH CASE A ROOF IS NOT REQUIRED. DOUBLE-WALLED TANKS SATISFY THIS REQUIREMENT.
26. CONTRACTOR SHALL COORDINATE WITH THE PROPER AGENCIES FOR RELOCATION OF ANY UTILITIES OR SIGNS.
27. IF REQUIRED, AN APPROVED EROSION CONTROL BOND SHALL BE PREPARED BEFORE THE START OF ANY CONSTRUCTION ACTIVITY.
28. FROZEN MATERIAL SHALL NOT BE USED FOR FILL NOR SHALL FILL BE PLACED OR COMPACTED ON FROZEN GROUND.

ESTIMATED CONSTRUCTION START DATE - SPRING 2017
ESTIMATED COMPLETION DATE - FALL 2017

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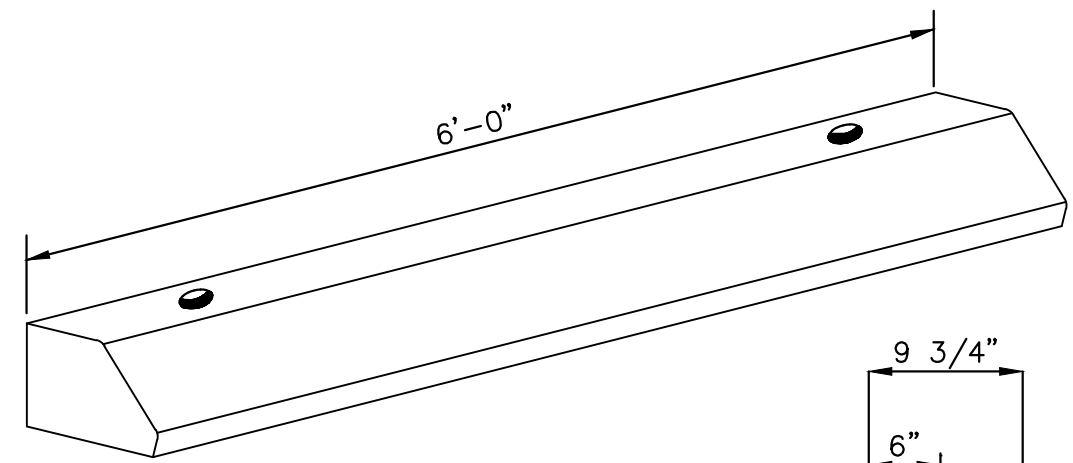
PREPARED FOR:
**FREIGHTLINER OF
HARTFORD, INC**
222 ROBERTS STREET
EAST HARTFORD, CT
06108
800-453-6967

PROJECT NO:
DATE: 11/21/2016
DESIGN BY:
CHECKED BY: BDC
CREATED BY:

**PARKING LOT EXPANSION
FREIGHTLINER OF HARTFORD, INC.
187, 199, & 225 ROBERTS STREET
MAP 35 LOTS 23, 24/25, & 28
EAST HARTFORD, CONNECTICUT
SITE PLAN**

BY:
NO. DATE
REVISIONS

**EROSION &
SEDIMENTATION NOTES
& DETAILS SHEET**
SHEET
C-ES1
SHEET 6 OF 9

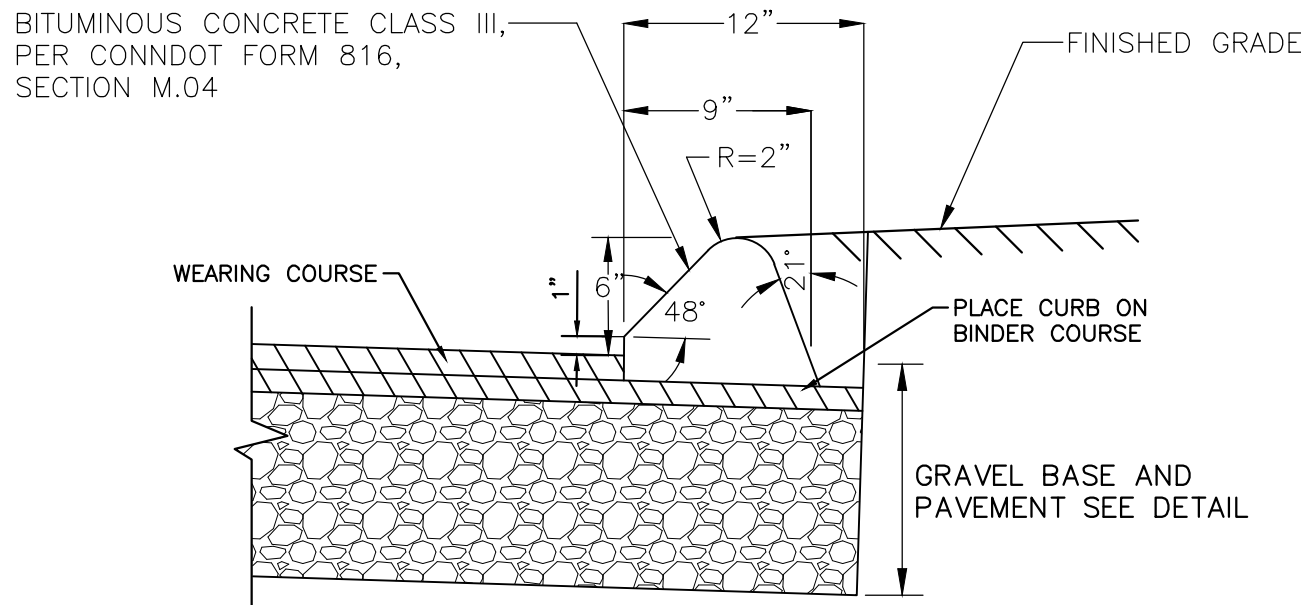


- NOTES:
1. CONCRETE, 4000 P.S.I., 28 DAYS.
 2. WEIGHT 300 LBS.
 3. REINFORCEMENT, (2) #4 REBAR.
 4. (2) 3/4" HOLES CAST IN FOR ANCHORING.

SECTION

PRECAST CONCRETE WHEELSTOP

N.T.S.



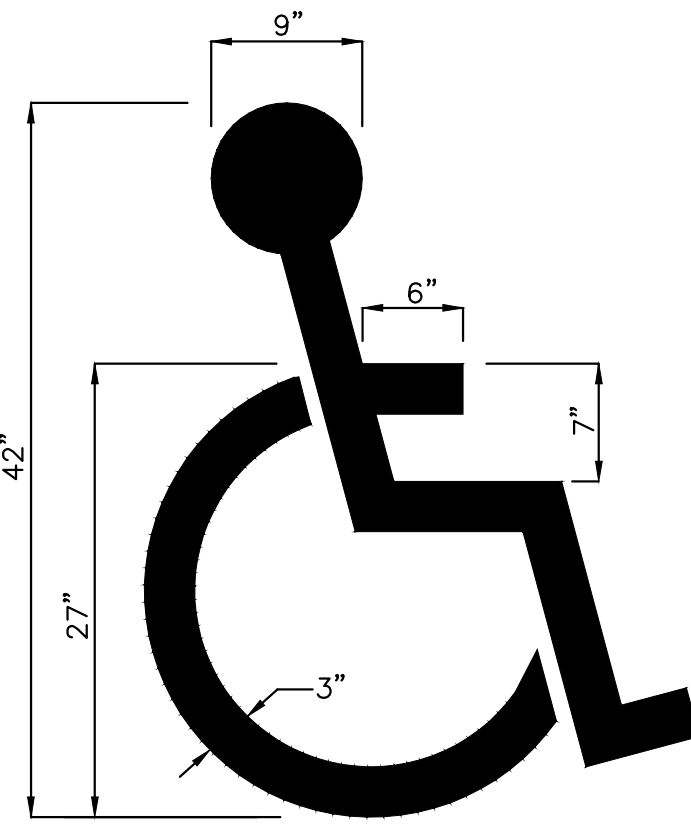
NOTE:

BITUMINOUS CONCRETE CURBING SHALL BE INSTALLED PER CONNDOT FORM 816 SECTION 8.15.

BITUMINOUS CONCRETE LIP CURB

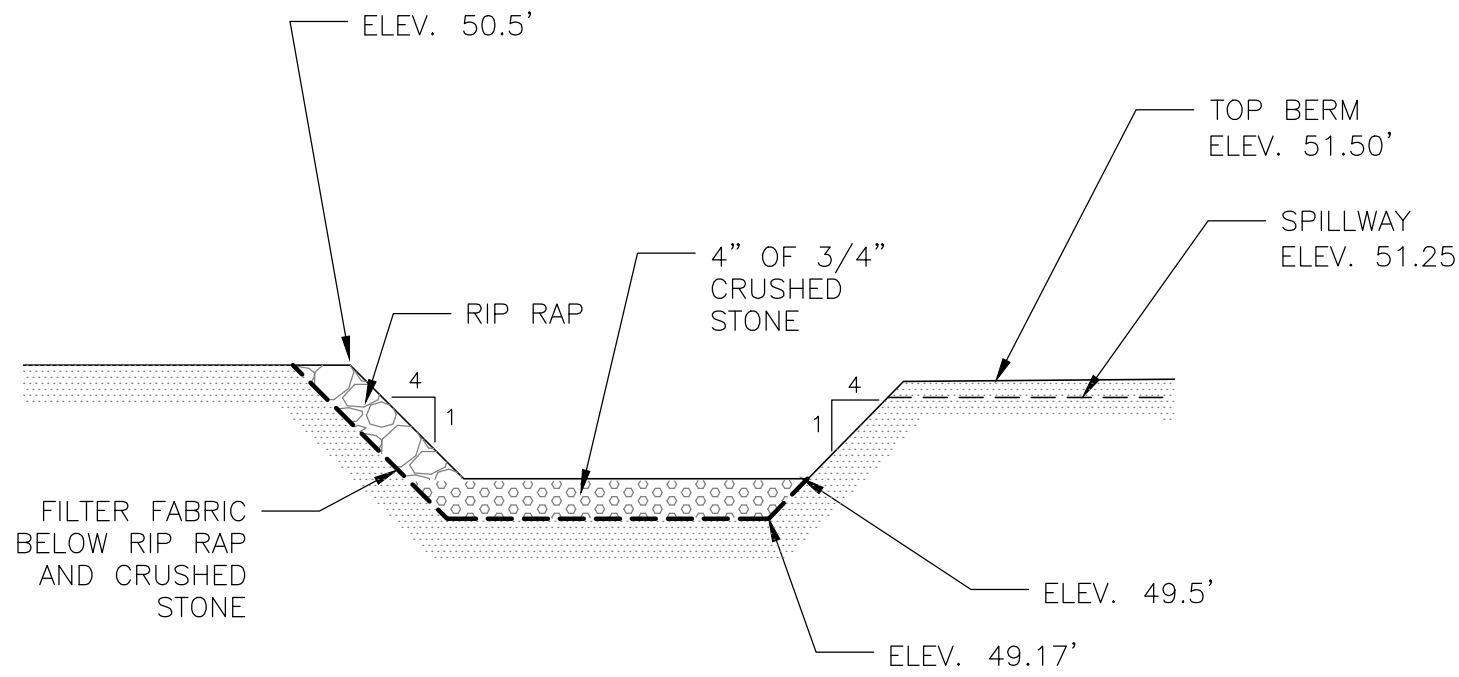
NEW PAVEMENT / CURBING

N.T.S.



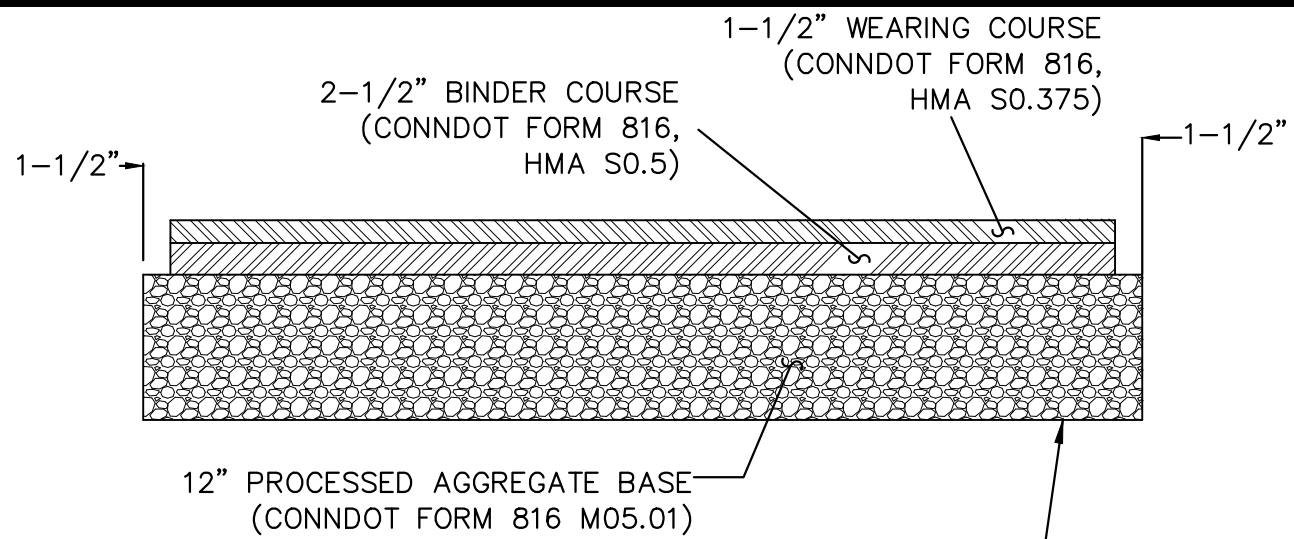
ACCESSIBLE PARKING SYMBOL

N.T.S.



INFILTRATION AREA

N.T.S.



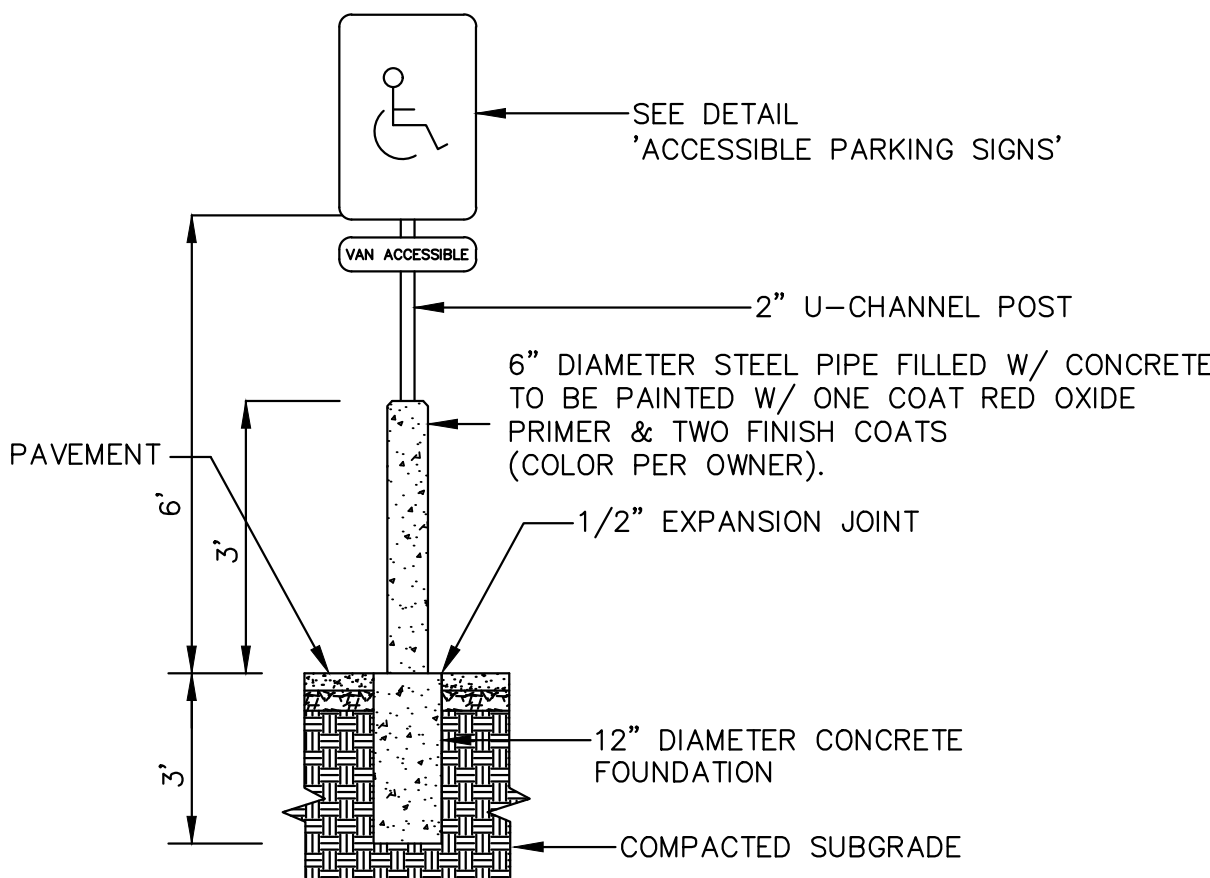
NOTES:

1. DETAIL IS PREPARED FOR PLANNING PURPOSES ONLY. IN THE ABSENCE OF A GEOTECHNICAL REPORT CONTRACTOR SHALL COORDINATE WITH OWNER AND DEVELOPER TO OBTAIN OR DETERMINE IF GEOTECHNICAL PAVEMENT AND SECTION DESIGNS ARE REQUIRED.

BITUMINOUS CONCRETE PAVEMENT SECTION

STANDARD DUTY

N.T.S.

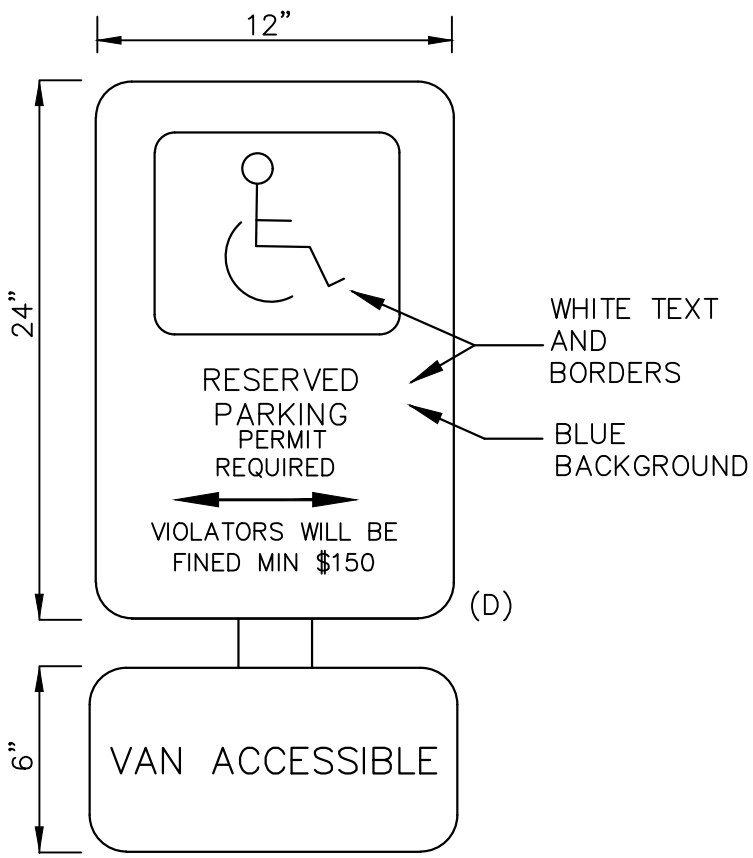


ACCESSIBLE PARKING SIGN POST

N.T.S.

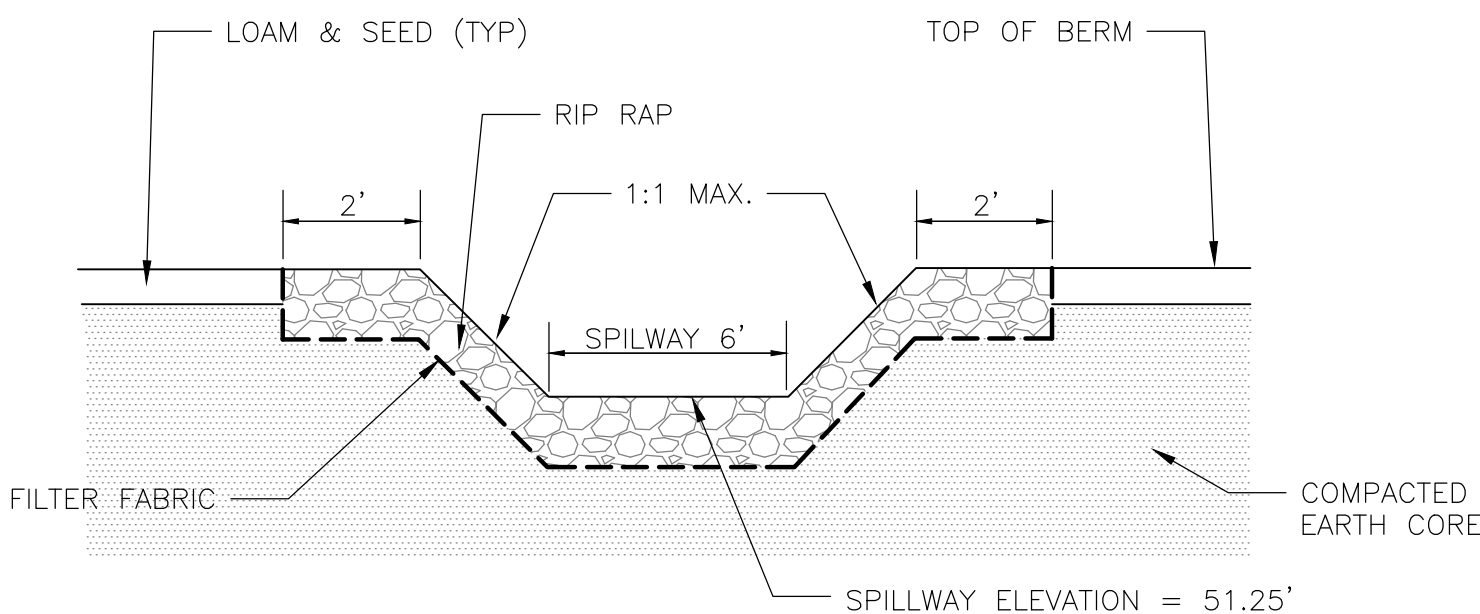
- NOTES:
1. SIGNS SHALL BE 18 GAUGE FLAT SCREENED ALUMINUM
 2. FOR POST MOUNTING, REFER TO 'ACCESSIBLE PARKING SIGN POST' DETAIL.
 3. FOR WALL MOUNTING, USE FOUR HOT-DIPPED GALVANIZED LAG BOLTS WITH EXPANSION SHIELD.

(L) ←
(R) →
(P) NO ARROW

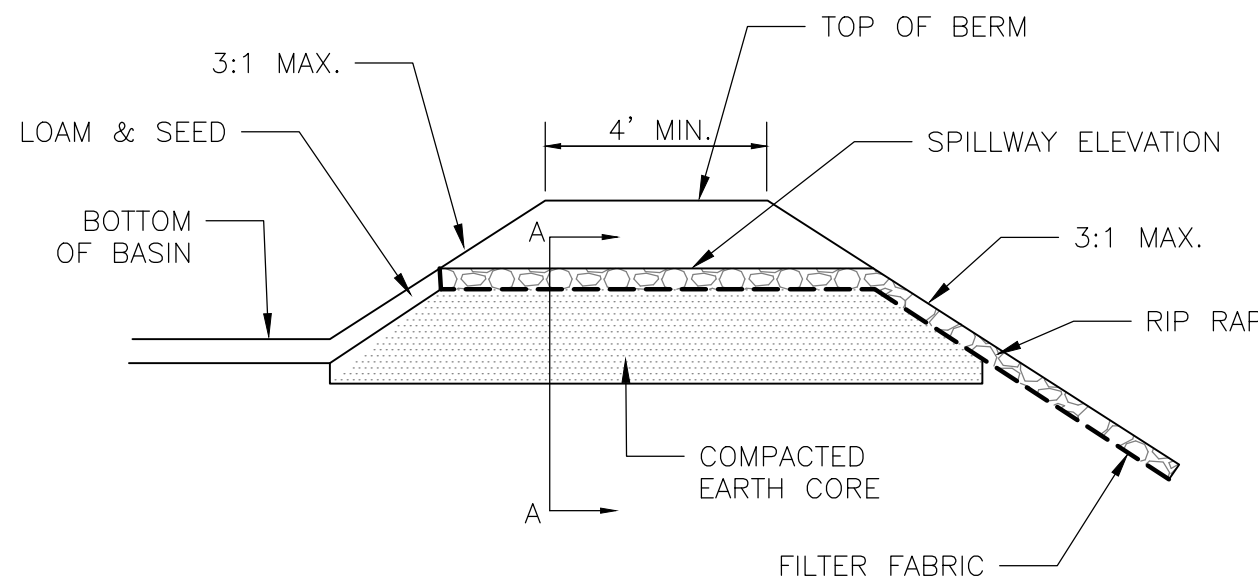


RESERVED PARKING SIGNAGE

N.T.S.

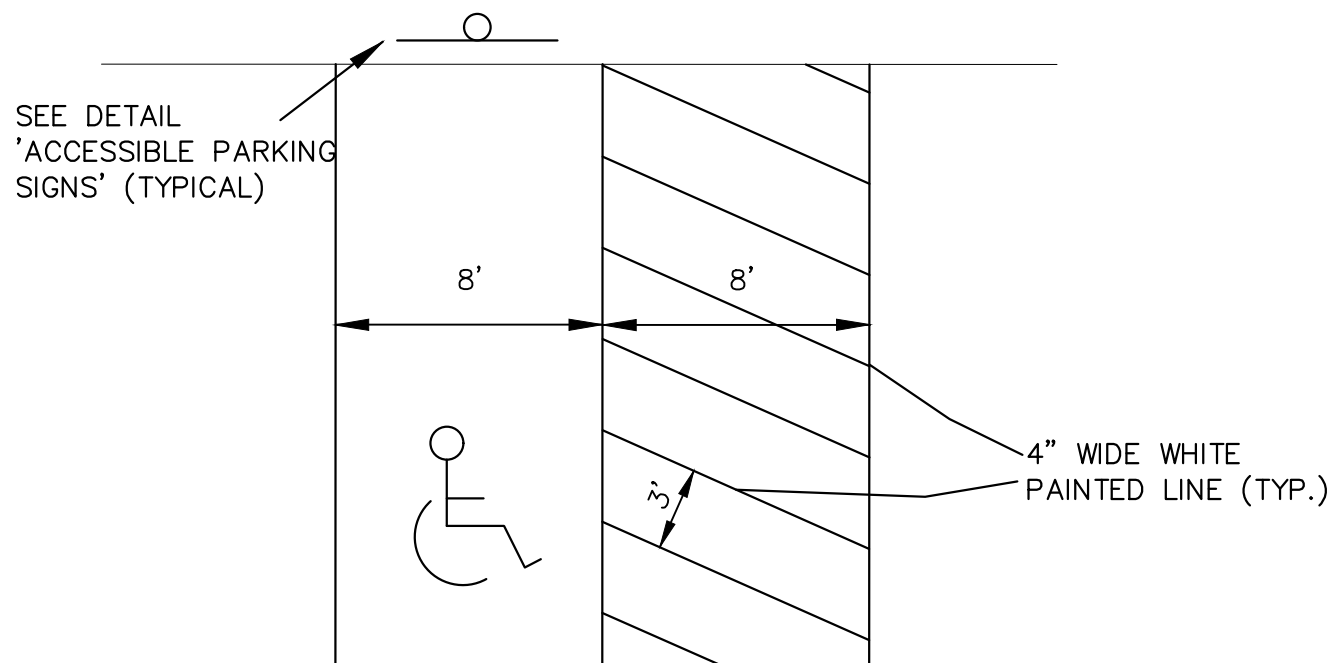


SECTION A-A THROUGH SPILLWAY

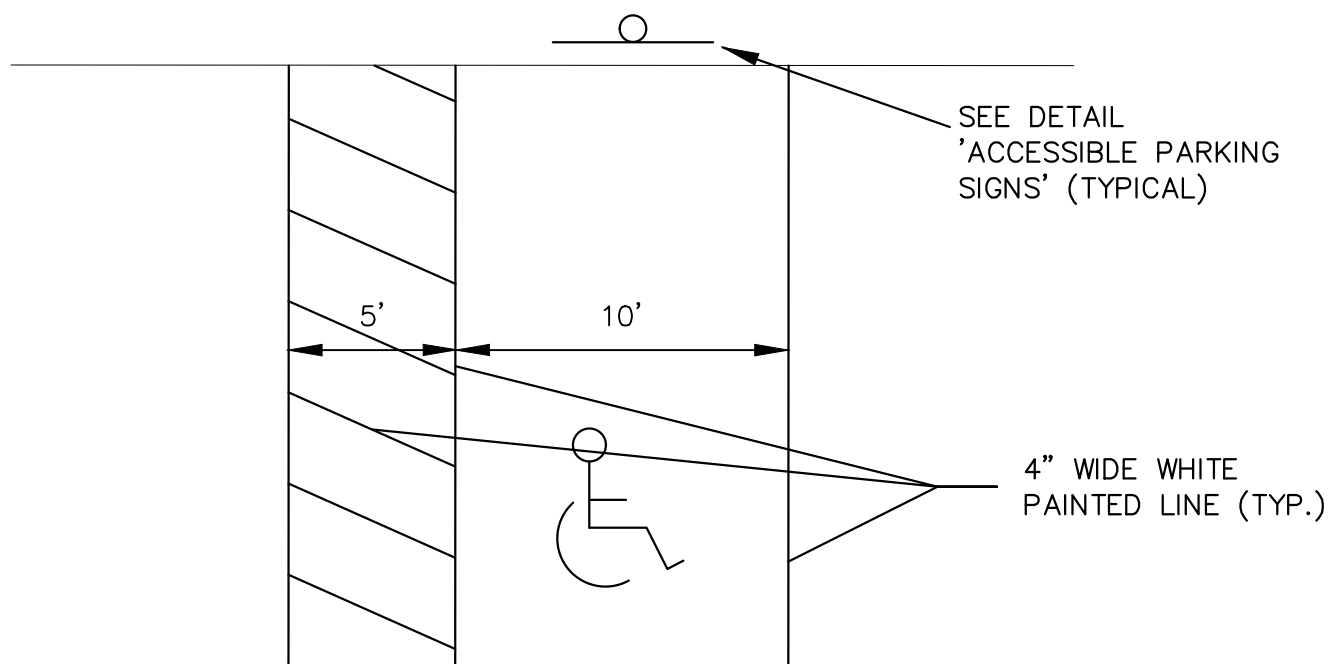


SPILLWAY

N.T.S.



VAN ACCESSIBLE PARKING LAYOUT



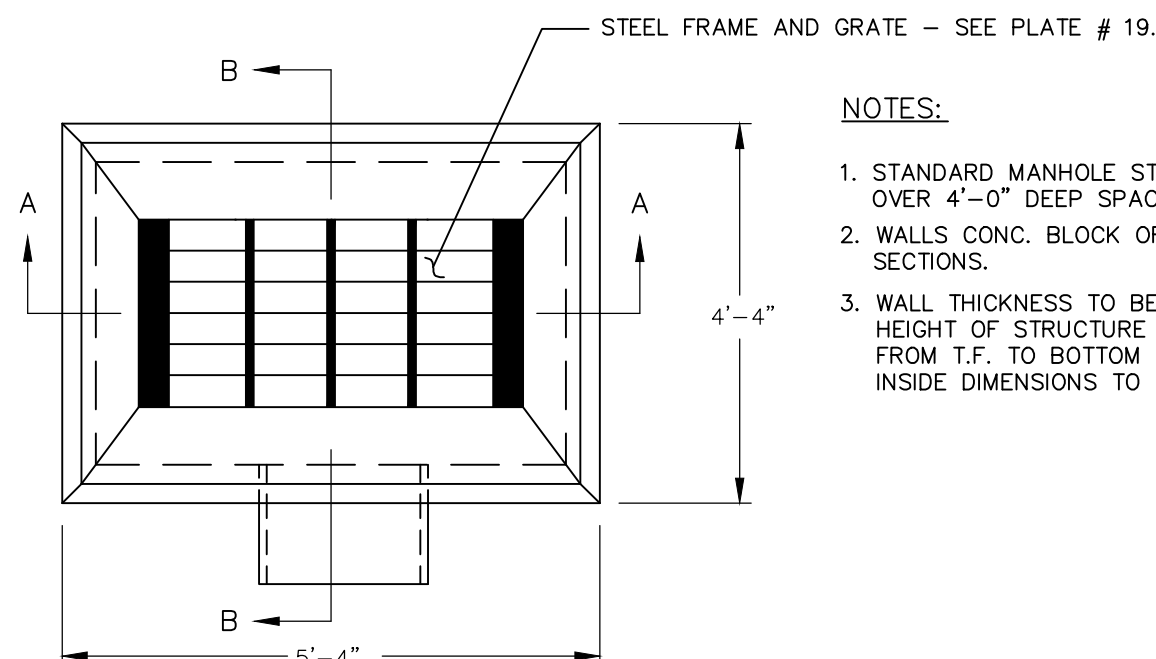
ADA PARKING LAYOUT

NOTES:

1. ACCESSIBLE PARKING SPACES AND ADA PASSENGER LOADING AREAS SHALL BE GRADED WITH A MAXIMUM SLOPE OF 1:50 (2%) IN ALL DIRECTIONS.

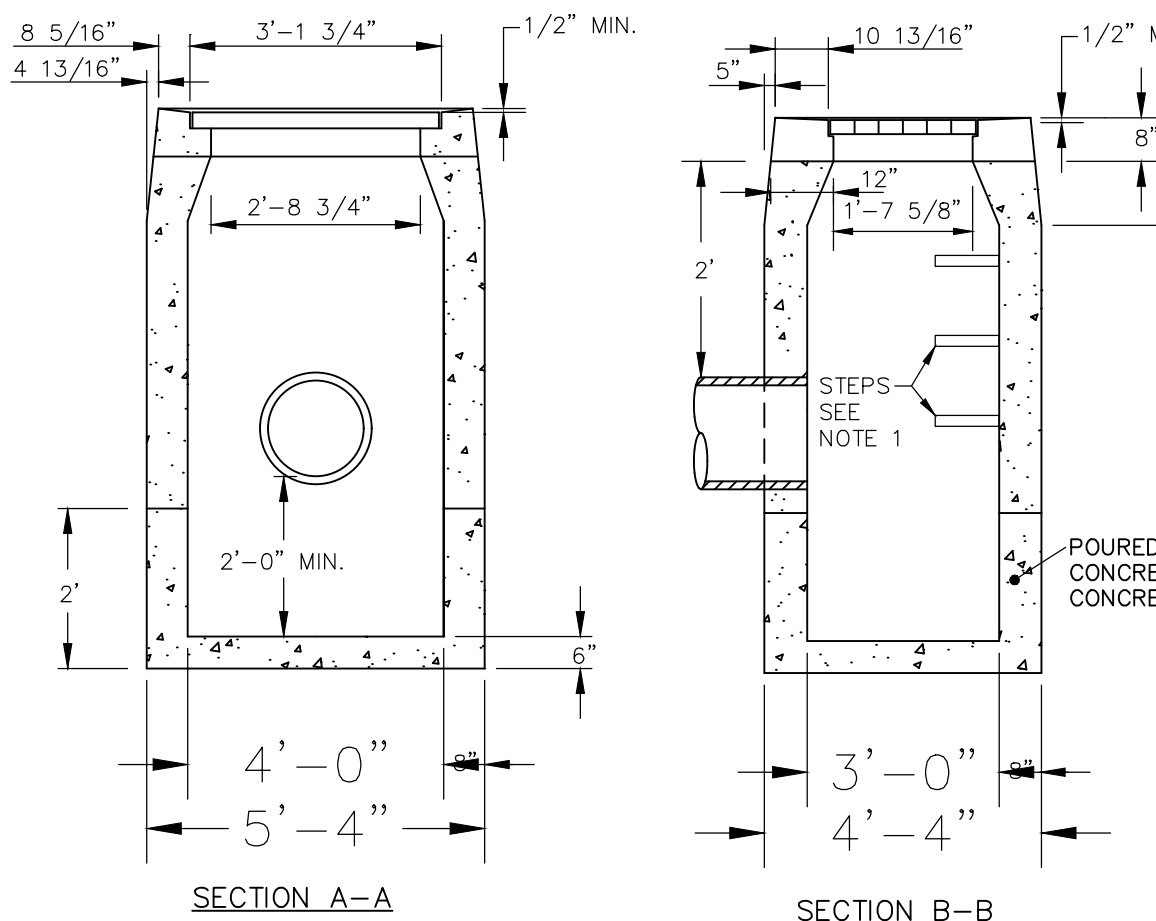
ACCESSIBLE PARKING LAYOUT

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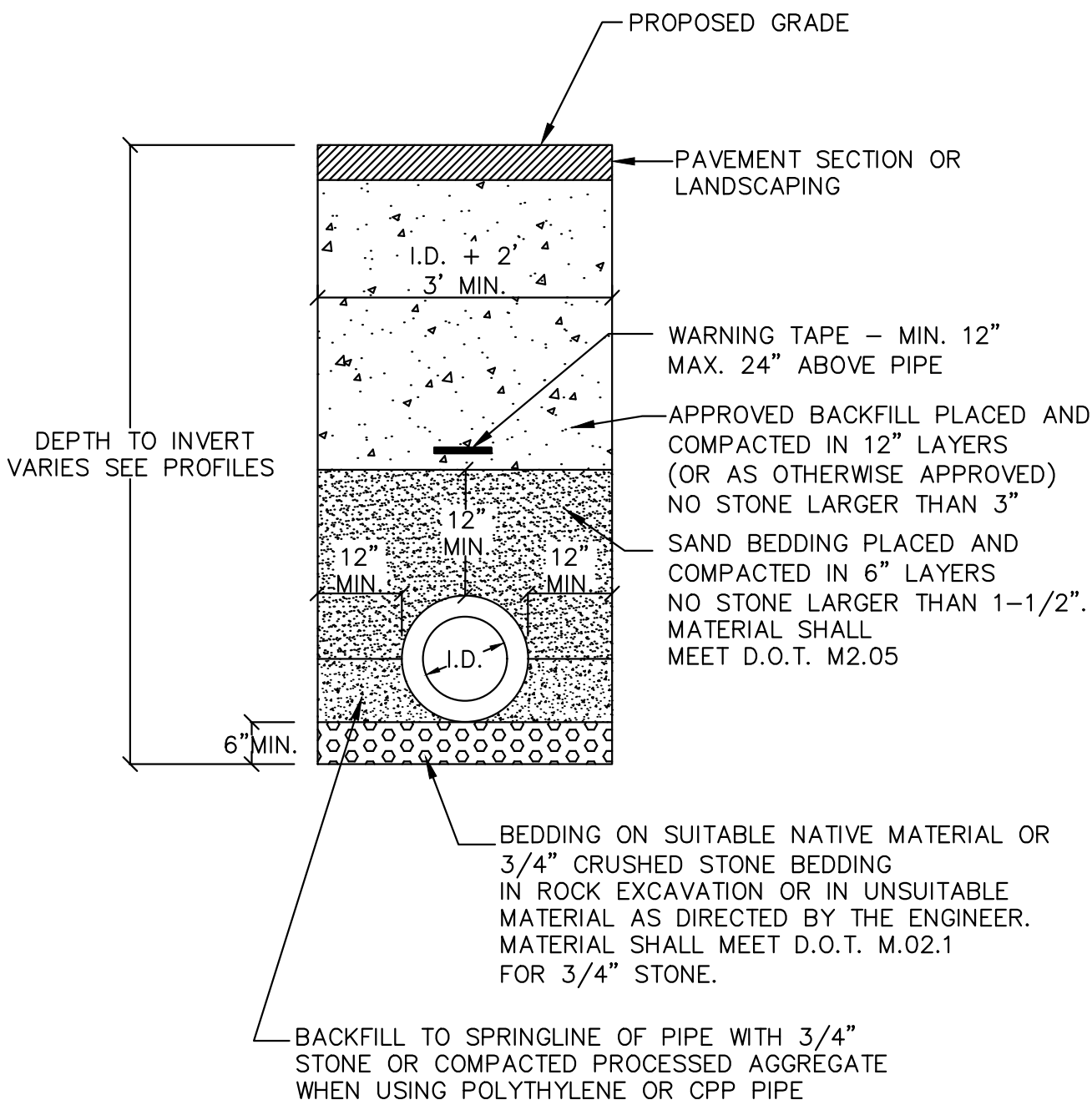
NOTES:

1. STANDARD MANHOLE STEPS IN STRUCTURES OVER 4'-0" DEEP SPACED AT 1'-3".
2. WALLS CONC. BLOCK OR PRECAST CONC. SECTIONS.
3. WALL THICKNESS TO BE 12" WHEN TOTAL HEIGHT OF STRUCTURE EXCEEDS 10'-0" FROM 1" TO BOTTOM OF BASE. INSIDE DIMENSIONS TO REMAIN THE SAME.



TYPE "C-L" CATCH BASIN

Not to Scale



STORM SEWER TRENCH SECTION

N.T.S.

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REVISIONS

NO. DATE BY

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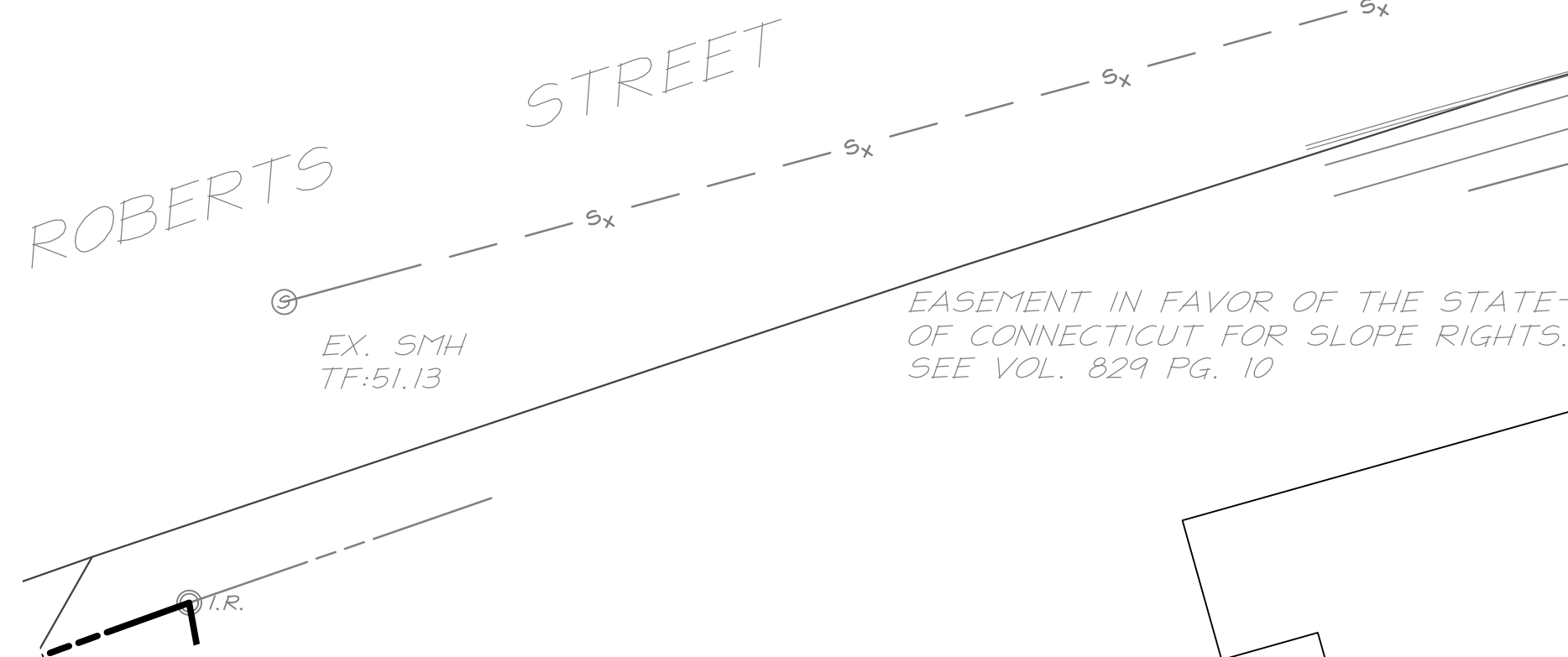
99 11/21/2016

100 11/21/2016

DETAIL SHEET

SHEET
C-D1
SHEET 7 OF 9

LUMINAIRE SCHEDULE									
Symbol	Label	Qty	Catalog Number	Description	Lamp	Mounting Height	Lumens	LLF	Watts
	A	2	OSQ-A-xx-4ME-T-57K-Ulx-xxxx w/OSQ-BLSLF CONFIGURED FROM OSQ-A-xx-4ME-U-57K-Ulx-xxxx w/OSQ-BLSLF	Cree OSQ Series Area Luminaire, Type IV Medium w/ Backlight Shield, T Input Power Designator, 5700K CONFIGURED FROM Cree OSQ Series Area Luminaire, Type IV Medium w/ Backlight Shield, U Input Power Designator, 5700K	CONFIGURED FROM MDA, 0° TILT	20'	Absolute	0.75	166
	B	2	OSQ-A-xx-5SH-T-57K-Ulx-xxxx CONFIGURED FROM OSQ-A-xx-5SH-B-30K-Ulx-xxxx	CONFIGURED FROM Cree OSQ Series Area Luminaire, Type V Short, T Input Power Designator, 5700K	XHP70, 0° TILT	25'	Absolute	0.75	166



STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	0.7 fc	5.5 fc	0.0 fc	N / A	N / A

OSQ Series

OSQ™ LED Area/Flood Luminaire – Large

Product Description

The OSD™ Area/Flood luminaires blends extreme optical control, advanced thermal management and modern, clean aesthetics. Built to last, the housing is rugged cast aluminum with an integral, weatheright LED driver compartment. Versatile mounting configurations offer simple installation. Its slim, low-profile design minimizes wind load requirements and blends seamlessly into the site providing even, quality illumination. The 'T' input power designator is a suitable upgrade for HID applications up to 750 Watts, and the 'U' input power designator is a suitable upgrade for HID applications up to 1,000 Watts.

Applications: Parking lots, walkways, campuses, auto dealerships, office complexes, and internal roadways

Performance Summary

NanoOptic® Precision Delivery Grid™ optic
Made in the U.S.A. of U.S. and imported parts

Efficacy: Up to 139 LPW

CRI: Minimum 70 CRI (4000K & 5700K; 3000K asymmetric)

CCT: 3000K (+/- 300K), 4

Limited Warranty*: 10 years on luminaire/10 years on Col

[†] See <http://lighting.cree.com/warranty> for warranty terms.

Accessories

Field-Installed	
Backlight Shield OSQ-BLSLF - Front facing optics OSQ-BLSLR - Rotated optics	Hand-Held Remote XA-SENSREM - For successful implementation of the programmable multi-level option, a minimum of one hand-held remote is required

Ordering Information

Example: **Mount:** QSD-A4SV • **Luminaire:** QSD-A-NM-2ME-T-40K-111-SV

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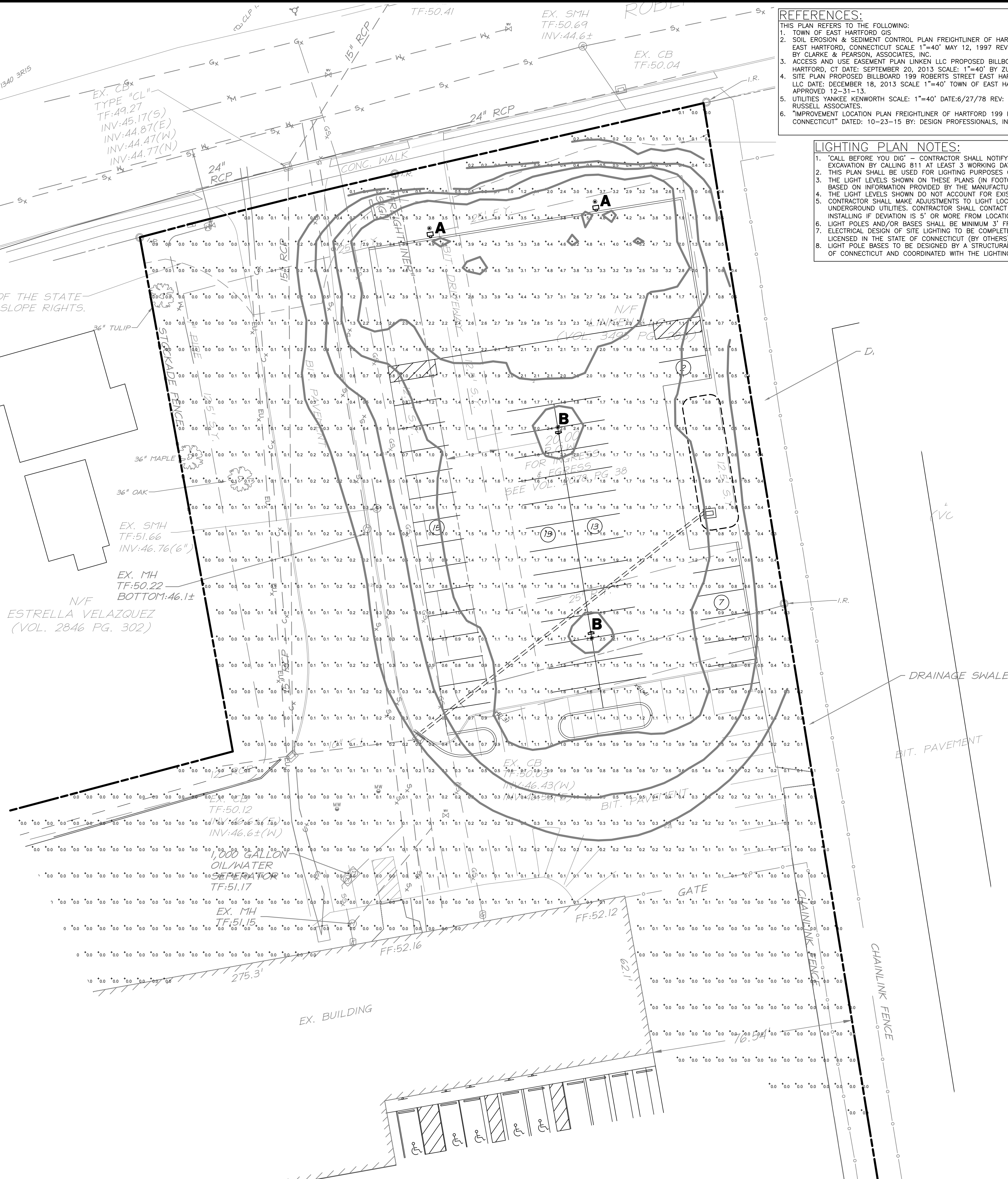
Mount (Luminaire must be ordered separately)		
OSQ-		
OSQ-AA Adjustable Arm OSQ-DA Direct Arm	Color Options: SV Silver BK Black	BZ Bronze WH White

Luminaire (Mount must be ordered separately)									
650	A	NH							
Product	Version	Mounting	Optic	Input Power Designator	CCT	Voltage	Color Options	Options	
D50	A	NH	Asymmetric Type I Medium Type II Medium Type III Medium Symmetric	T 150W U 255W	30K 2700K 40K 57K 5000K	UL UL UL UL UL	BK CR SW SV WH	<p>DIM 0-10V Dimming - Control by drivers - Refer to Trimming app sheet for details</p> <p>NC - Can't exceed wattage of specified type power designator</p> <p>F Face - When does dictate facing, use time delay faces</p> <p>M Multi-Level - Refer to UL spec sheet for details - High 100% Low 50% - Available with UL voltage only - Interfaced for downlight applications at 0° tilt</p> <p>PHL Programmable Multi-Level, 20-60° Mounting Height - Refer to 20-60 app sheet for details - Available with UL voltage only - Interfaced for downlight applications at 0° tilt</p>	<p>10-30° Mounting Height - Refer to 10-30 app sheet for details - Available with UL voltage only - Interfaced for downlight applications at 0° tilt</p> <p>Field Adjustable Output - Refer to Field Adjustable Output spec sheet for details</p> <p>R NEMA® Photocell Recreable - Interfaced for downlight applications with maximum 60° tilt - 3" spec receptacle per ANSI C181.10 - Photocell and mounting cap by others</p> <p>RL Rotate Left - LED and optic are rotated to the left</p> <p>RR Rotate Right - LED and optic are rotated to the right</p>

* Available with Backlight Shield when ordered with field-installed accessory (see table above)



Rev. Date: V11 09/28/2016







































REFERENCES:

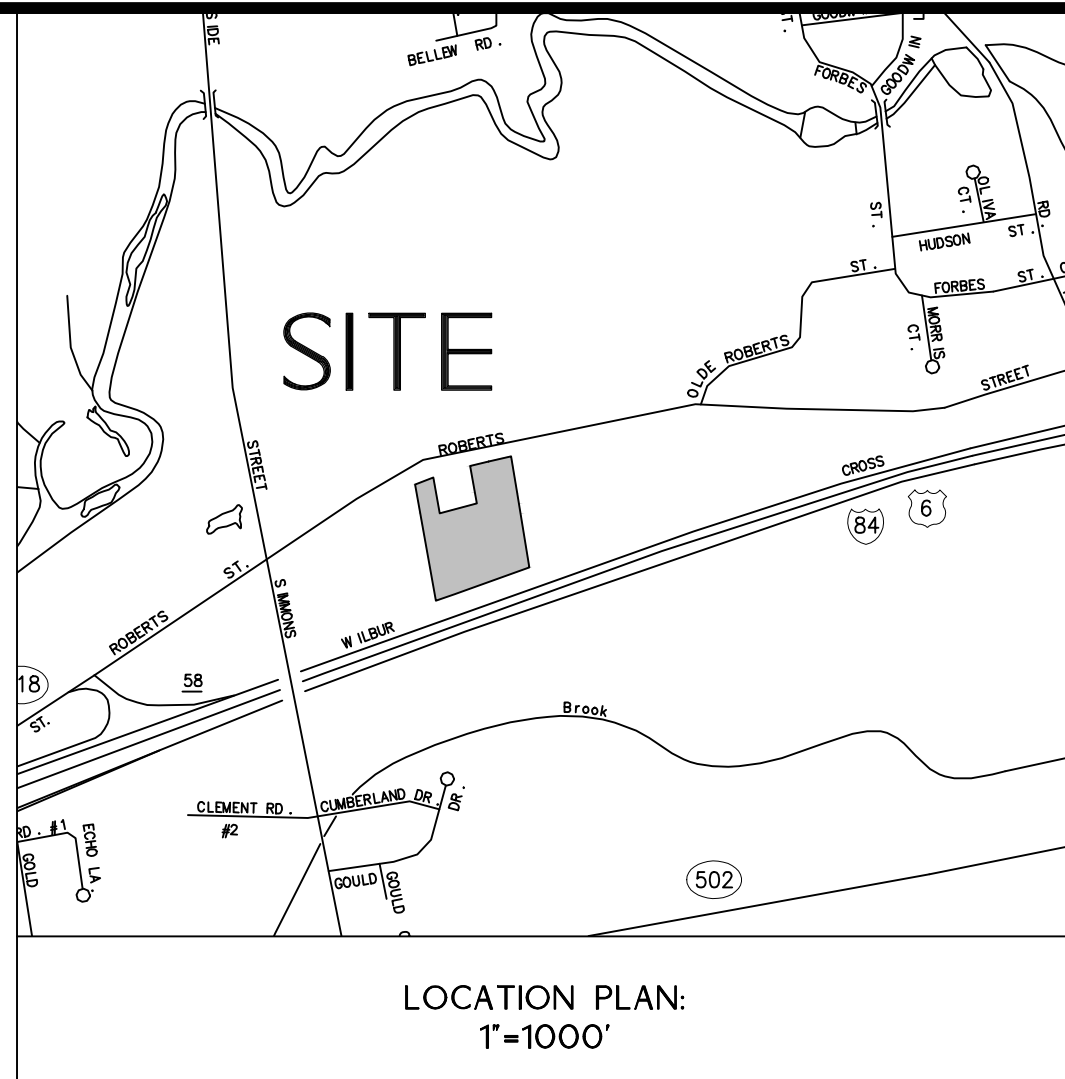
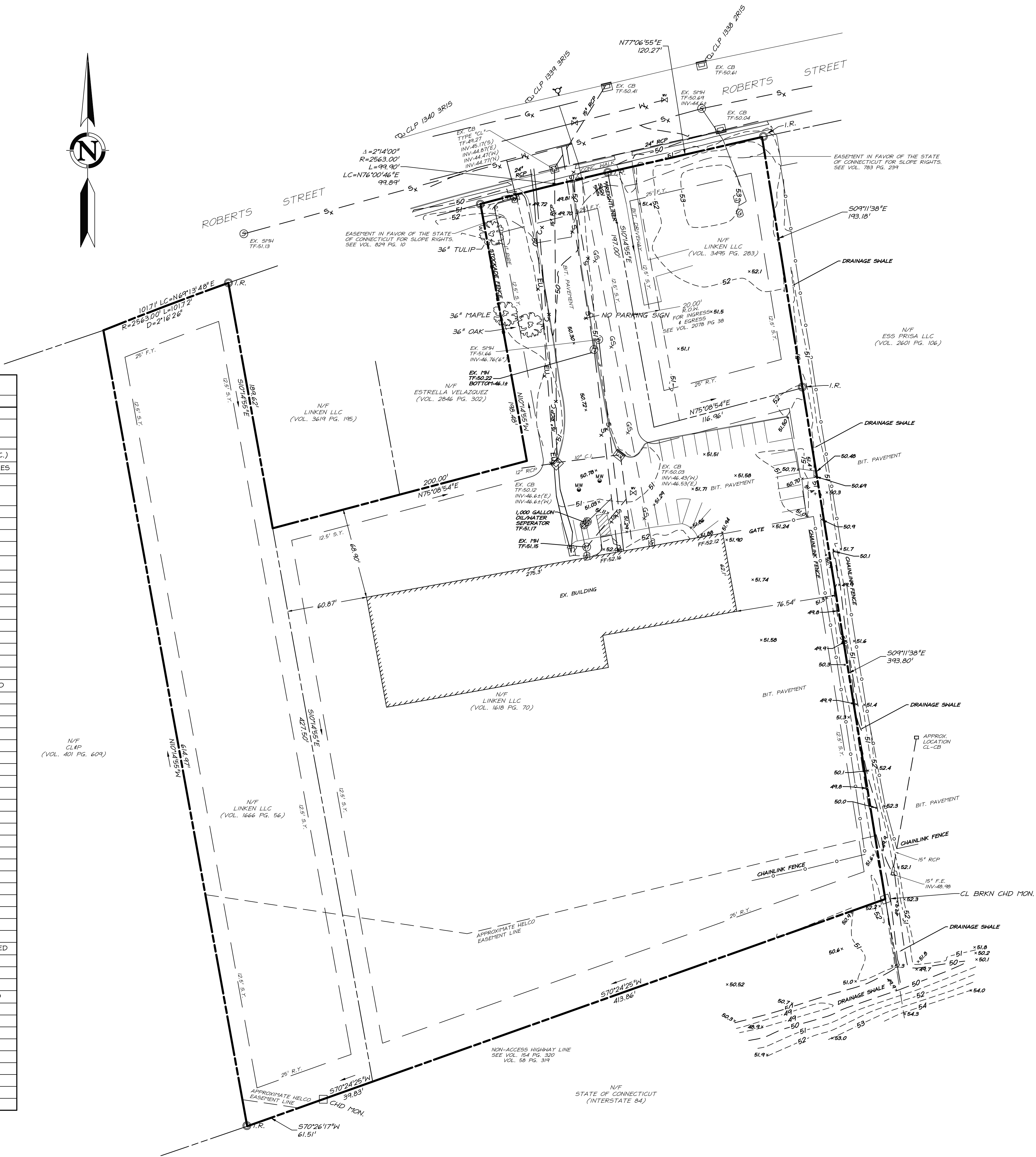
- THIS PLAN REFERS TO THE FOLLOWING:
1. TOWN OF EAST HARTFORD GIS:
SOIL EROSION & SEDIMENT CONTROL PLAN FREIGHTLINER OF HARTFORD, INC. 199 ROBERTS STREET
EAST HARTFORD, CONNECTICUT SCALE 1"=40' MAY 12, 1997 REV. JULY 1, 1997 REV. JULY 14, 1997
BY CLARKE & PEARSON, ASSOCIATES, INC.
 2. 199 ROBERTS STREET EAST HARTFORD, CT DATE: SEPTEMBER 20, 2013 SCALE: 1"=40' BY ZUWIC, CARR AND ASSOCIATES INC.
SITE PLAN PROPOSED BILLBOARD 199 ROBERTS STREET EAST HARTFORD, CT PROJECT OWNER LINKEN
LINK DATE: SEPTEMBER 18, 2013 SCALE: 1"=40' TOWN OF EAST HARTFORD ENGINEERING DIVISION
APPROVED 12-31-13
 3. UTILITIES YANKEE KENWORTH SCALE: 1"=40' DATE:6/27/78 REV: 7/3/78 7-27/78 BY JAMES F.
RUSSELL ASSOCIATES.
 4. IMPROVEMENT LOCATION PLAN FREIGHTLINER OF HARTFORD 199 ROBERTS STREET EAST HARTFORD,
CONNECTICUT DATED: 10-23-15 BY: DESIGN PROFESSIONALS, INC

LIGHTING PLAN NOTES:

1. CALL BEFORE YOU DIG" - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION BY CALLING 811 AT LEAST 3 WORKING DAYS PRIOR TO BEGINNING EXCAVATION.
2. THE LIGHT LEVELS SHOWN ON THESE PLANS (IN FOOTCANDLES) ARE APPROXIMATE AND BASED ON INFORMATION PROVIDED BY THE MANUFACTURER.
3. THE LIGHT FIXTURES SHALL BE INSTALLED AT THE LOCATIONS SHOWN ON THE SITE. CONTRACTOR SHALL MAKE ADJUSTMENTS TO LIGHT LOCATIONS IN THE FIELD TO AVOID UNDERGROUND UTILITIES. CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT PRIOR TO INSTALLING IF DEVIATION IS 5' OR MORE FROM LOCATION SHOWN ON THE PLANS.
4. ALL POLE AND RACE BASES SHALL BE INSTALLED IN ACCORDANCE WITH THE STATE ELECTRICAL DESIGN OF SITE LIGHTING TO BE COMPLETED BY AN ELECTRICAL ENGINEER LICENSED IN THE STATE OF CONNECTICUT (BY OTHERS).
5. ALL LIGHT FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE STATE OF CONNECTICUT AND COORDINATED WITH THE LIGHTING MANUFACTURER (BY OTHERS).



LEGEND	
EXISTING	DESCRIPTION
	BORING / TEST PIT LOCATION
	OVERHEAD COMM. LINES (CABLE, TEL., ETC.)
	UNDERGROUND COMMUNICATION LINES
	BENCHMARK
	WATER MAIN
	WATER SERVICE
	WATER VALVE
	WATER METER
	FIRE HYDRANT
	POLE MOUNTED LIGHT
	GROUND MOUNTED LIGHT
	GAS MAIN
	GAS SERVICE LINE
	ELECTRICAL LINES, OVERHEAD
	ELECTRICAL LINES, UNDERGROUND
	UTILITY POLE
	PROPERTY LINE
	IRON PIPE
	IRON ROD
	MONUMENT
	GUARD RAIL
	SIGN
	EDGE OF WATER
	BARBED WIRE FENCE
	CHAIN LINK FENCE
	RAIL FENCE
	STOCKADE FENCE
	WIRE FENCE
	TREE
	TREE LINE
	SANITARY SEWER MAIN
	SANITARY SEWER SERVICE LINE
	SANITARY SEWER LINE, ABANDONED
	SANITARY SEWER MANHOLE
	STORM DRAIN PIPE
	STORM DRAIN PIPE, ABANDONED
	ROOF LEADER
	STORM DRAIN MANHOLE
	CURB INLET
	CATCH BASIN
	CONTOUR
	SPOT ELEVATION
	WETLANDS LINE



1. PROPERTY IS IN THE 1-2 INDUSTRIAL ZONE.
2. PARCEL AT 199 ROBERTS STREET CONTAINS 230,075 SQUARE FEET OR 0.499 ACRES.
3. PARCEL AT 187 ROBERTS STREET CONTAINS 180,734 SQUARE FEET OR 4.233 ACRES.
4. PARCEL AT 228 ROBERTS STREET CONTAINS 61,639 SQUARE FEET OR 1.423 ACRES.
5. HORIZONTAL DATUM IS BASED ON NAD83. VERTICAL DATUM IS BASED ON NAVD83.
6. LINES NOT FALL WITHIN THE LIMITS OF A FLOOD HAZARD ZONE AS DEPICTED ON: "FIRM FLOOD INSURANCE RATE MAP TOWN OF EAST HARTFORD CONNECTICUT HARTFORD COUNTY PANEL 388 OF 675 COMMUNITY PANEL NUMBER 030808AF EFFECTIVE DATE SEPTEMBER 26, 2008 FEDERAL EMERGENCY MANAGEMENT AGENCY FEDERAL INSURANCE ADMINISTRATION.
7. PROPERTY SUBJECT TO AGREEMENT WITH THE METROPOLITAN POLICE DATED OCTOBER 27, 1978 AND RECORDED NOVEMBER 29, 1978 IN VOLUME 685 AT PAGE 155 OF THE EAST HARTFORD LAND RECORDS.
8. ZONING VARIANCE APPROVAL OF LOCATION FOR SALE OF MOTOR VEHICLE SUBSTANTIAL 14-55 OF THE CONNECTICUT GENERAL STATUTES, SEE VOL. 671 PG. 136. DATED 7/20/78.
9. UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROL TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS THEREFORE ARE CONSIDERED APPROXIMATE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO DESIGN PROFESSIONALS, INC. THE SIZE, LOCATION AND EXISTENCE OF SUCH FEATURES AND FEATURES NOT SHOWN HEREON SHALL BE VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION.
10. CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" FOR UNDERGROUND UTILITY MARKING AT LEAST TWO FULL WORKING DAYS PRIOR TO START OF CONSTRUCTION: 1-800-922-4455 OR WWW.CBYD.COM.

- ### MAP REFERENCES:
1. SITE PLAN FREIGHTLINER OF HARTFORD, INC. 199 ROBERTS STATE OF EAST HARTFORD, CONNECTICUT SCALE: 1" = 40' REVISIONS: REVISED SEPT. 24, 1997 PREPARED BY CLARK & PEARSON, ASSOCIATES, INC.
 2. THE HARTFORD ELECTRIC LIGHT CO. MAP SHOWING RIGHT OF WAY ACROSS THE PROPERTY OF DONALD R. SCHUTTMAN AND LENOR A. SCHUTTMAN, TOWN OF EAST HARTFORD, CONNECTICUT SCALE: 1"=40' MAY, 1960.
 3. THE HARTFORD ELECTRIC LIGHT COMPANY MAP SHOWING RIGHT OF WAY FOR TRANSMISSION LINES ACROSS THE PROPERTY OF DONALD R. ROBERTS, TOWN OF EAST HARTFORD, COUNTY OF HARTFORD, STATE OF CONNECTICUT SCALE: 1 INCH=100 FEET NOVEMBER 1917.
 4. STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAP TOWN OF EAST HARTFORD INTERSTATE 84 FROM MAIN STREET EASTERLY TO THE MANCHESTER TOWN LINE SCALE 1"=80' NUMBER 42-19 SHEET 5 OF 9 DATE: APRIL 30, 1992 JAMES F. BYRNES JR. P.E. CHIEF ENGINEER.

- SURVEY NOTES:
1. THIS SURVEY AND MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THRU 20-300b-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.
- TYPE OF SURVEY IS AN IMPROVEMENT LOCATION SURVEY - RECORD - AND IS INTENDED TO DEPICT THE LOCATION OF IMPROVEMENTS RELATIVE TO PROPERTY LINES.
 - THIS IS A DEPENDENT RESURVEY BASED ON MAP REFERENCE #1.
 - HORIZONTAL ACCURACY MEETS CLASS A-2 STANDARDS AND VERTICAL ACCURACY MEETS CLASS T-2 STANDARDS.

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT
AS NOTED HEREON.