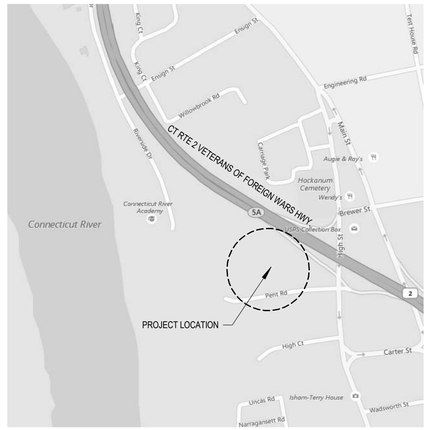
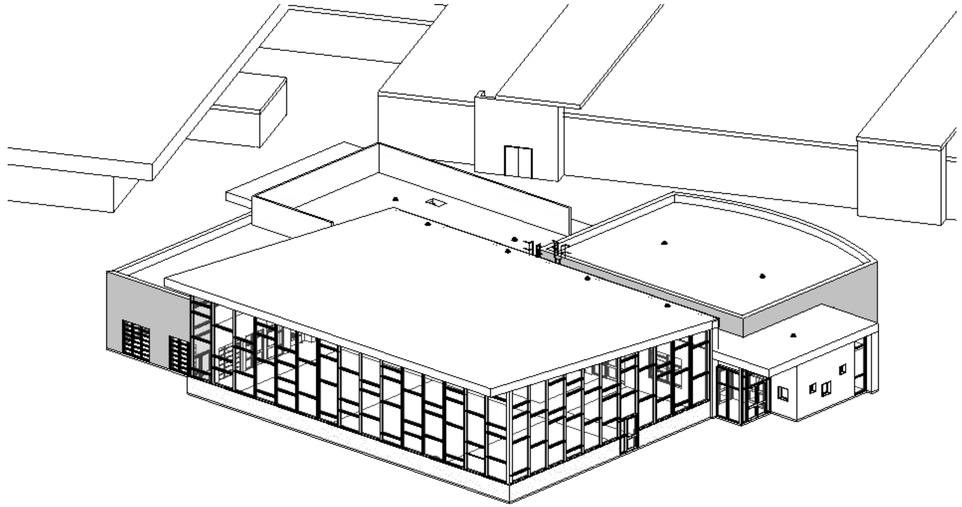
GOODWIN COLLEGE

CONNECTICUT RIVER ACADEMY MANUFACTURING ANNEX

1 PENT ROAD
EAST HARTFORD, CT 06118



LOCATION MAP



STATE PROJECT No. 542-0006 MAG/E/PS

PLANNING & ZONING SUBMISSION
12-20-2017
REVISED 01-04-2018

DRAWING INDEX

GENERAL & CODE

COVER SHEET

CIVIL/LANDSCAPE

	EXISTING CONDITIONS PLAN
	RECORD SUBDIVISION PLAN
P-1	PARKING LAYOUT
GN-1	GENERAL NOTES
L-100	OVERALL SITE PLAN
L-101	SITE DEMOLITION PLAN
L-102	LAYOUT PLAN
L-201	GRADING AND DRAINAGE PLAN
L-202	FLOOD MANAGEMENT PLAN
L-301	UTILITY PLAN
L-401	PLANTING PLAN
L-402	PLANTING PLAN
L-501	SEDIMENT AND EROSION CONTROL PLAN
L-601	SITE DETAILS
L-602	SITE DETAILS
L-603	SITE DETAILS
L-604	SITE DETAILS
L-605	SITE DETAILS
L-606	SITE DETAILS
L-607	SITE DETAILS
SE-1	SITE ELECTRICAL DETAILS
SL-1	SITE LIGHTING PHOTOMETRIC CALCULATION
L-901	TURNING MOVEMENT PLAN

ARCHITECTURAL

A-100	PLAN - FIRST FLOOR
A-201	EXTERIOR ELEVATIONS
A-202	EXTERIOR ELEVATIONS

PROJECT DIRECTORY

TECHNOLOGY

Guillen Technology Consultants

9 Moody Road Building D Suite 18
Enfield, CT 06082
860.341.1206

M/E/P

Innovative Engineering Services, LLC

33 North Plains Industrial Road
Wallingford, CT 06492
203.467.4370

STRUCTURAL

Michael Horton Associates, Inc.

151 Meadow Street No. 2
Branford, CT 06405
203.481.8600

SITE/CIVIL/LANDSCAPE

Freeman Companies

36 John Street
Hartford, CT 06106
860.251.9550

ARCHITECTS & INTERIOR DESIGN

JCJARCHITECTURE
404 FIFTH AVENUE
3RD FLOOR
NEW YORK, NY 10018
212.774.3606

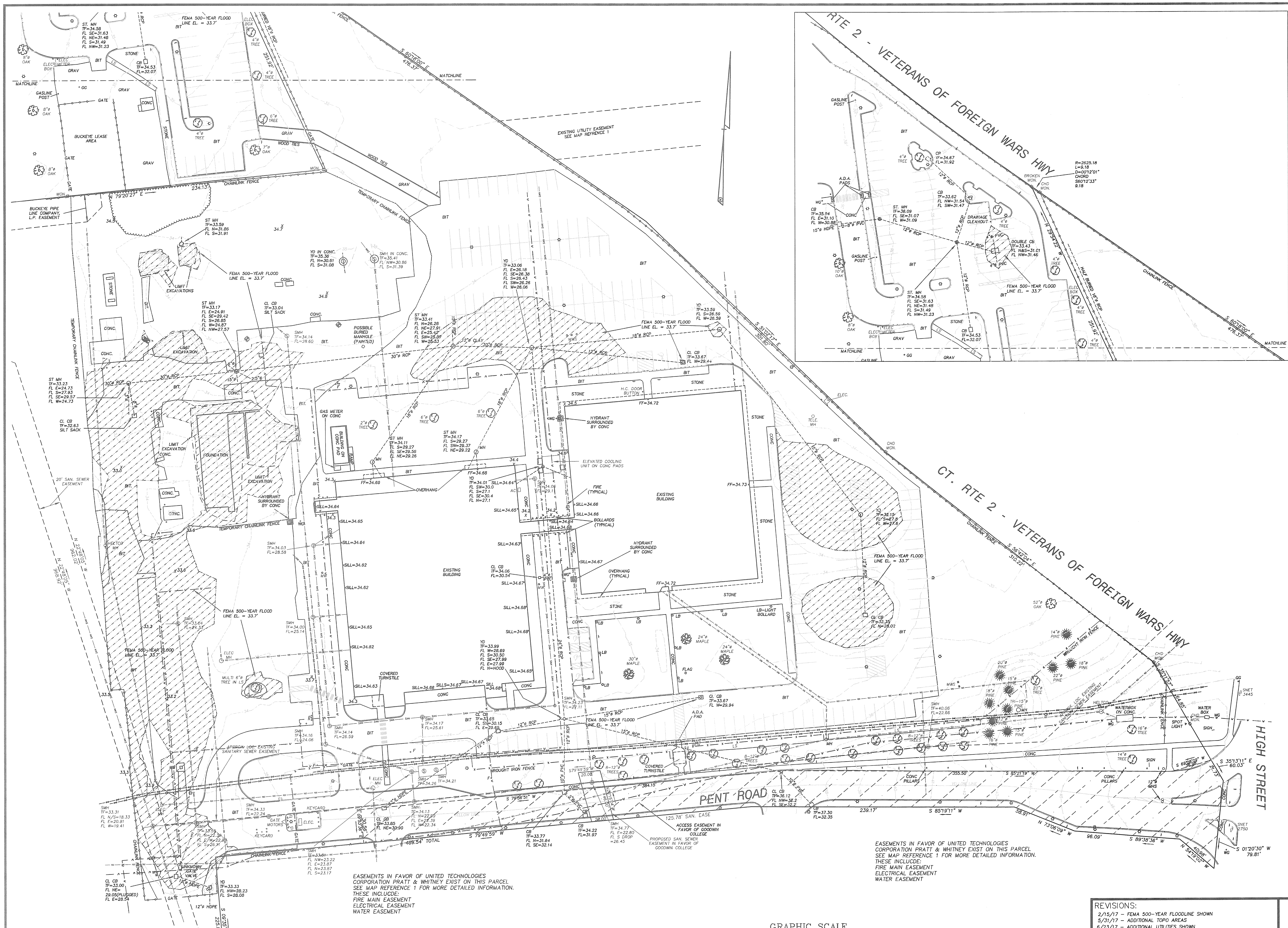
Application Type: Site Plan Modification & Soil Erosion & Sedimentation - Cumulative Disturbed Area (sq. ft.) 142,020
Assessors Map and Lot: 9-1
Property Owner: United Technologies Corp., Pratt and Whitney Division
Applicant: Goodwin College, Inc. Attn: Bryant Harrell - Vice President

TOWN OF EAST HARTFORD PLANNING AND ZONING COMMISSION SITE CERTIFICATE OF APPROVAL

APPROVAL DATE_____

EXPIRATION DATE_____

_____ CHAIRMAN



EASEMENTS IN FAVOR OF UNITED TECHNOLOGIES CORPORATION PRATT & WHITNEY EXIST ON THIS PARCEL SEE MAP REFERENCE 1 FOR MORE DETAILED INFORMATION.
THESE INCLUCDE:
FIRE MAIN EASEMENT
ELECTRICAL EASEMENT
WATER EASEMENT

EASEMENTS IN FAVOR OF UNITED TECHNOLOGIES CORPORATION PRATT & WHITNEY EXIST ON THIS PARCEL SEE MAP REFERENCE 1 FOR MORE DETAILED INFORMATION.
THESE INCLUCDE:
FIRE MAIN EASEMENT
ELECTRICAL EASEMENT
WATER EASEMENT

LEGEND

- PROPERTY LINE
- CHAINLINK FENCE
- TREE/VEGETATION LINE
- BITUMINOUS PAVEMENT
- BITUMINOUS/CONCRETE CURB
- MH ○ YD — MANHOLE OR YARD DRAIN
- CATCH BASIN
- FIRE HYDRANT
- WG — WATER GATE
- GUY POLE/WIRE, POLE No. — UTILITY POLE
- CONC. — CONCRETE
- BIT. — BITUMINOUS
- MON. — MONUMENT
- FF — FINISH FLOOR
- FL — FLOW LINE
- TF — TOP OF FRAME
- LIGHT
- CONTOUR (INTERVAL=1')
- LS — LANDSCAPING

MAP REFERENCES:

1. "PERIMETER SURVEY – PROPOSED PARCEL 1 AND 2 59.5 ACRE PARCEL HOCKANUM SCHOOL DISTRICT 2-LOT SUBDIVISION PRATT & WHITNEY AIRCRAFT – WILLGOOS FACILITY ONE PENT RD. EASH HARTFORD, CONNECTICUT PREPARED FOR GOODWIN COLLEGE ONE RIVERSIDE DRIVE EAST HARTFORD, CT FILE 1644 DATE JAN 20, 2012 PREPARED BY ZUVIC, CARR AND ASSOCIATES, INC. 1090 ELM STREET ROCKY HILL, CT SCALE 1"=100' SHEET 3 OF 6."

2. "BUCKEYE PIPE LINE COMPANY, L.P. EASEMENT MODIFICATION PLAN OF LAND FOR PETROLEUM PIPELINE UNITED TECHNOLOGIES CORPORATION PRATT & WHITNEY AIRCRAFT DIVISION EAST HARTFORD, CONNECTICUT SCALE 1"=50' DATE 3/25/2013 2 OF 2 COLER & COLANTONIO ENGINEERS & SCIENTIST NORWELL, MA."

3. "UTILITY EASEMENTS MAP ACADEMY FOR ADVANCED DESIGN AND TECHNOLOGY (AADT) AT GOODWIN COLLEGE PARCEL 1 AT ONE PENT ROAD AND 139 HIGH STREET EAST HARTFORD, CONNECTICUT PREPARED FOR GOODWIN COLLEGE, INC. ONE RIVERSIDE DRIVE EAST HARTFORD, CT FILE 1644 DATE JAN. 20, 2012 SCALE 1"=40' PREPARED BY: ZUVIC, CARR AND ASSOCIATES, INC. 1090 ELM STREET ROCKY HILL, CT."

4. "ACCESS AND USE LIMITATIONS EASEMENTS MAP ACADEMY FOR ADVANCED DESIGN AND TECHNOLOGY (AADT) AT GOODWIN COLLEGE PARCEL 1 AT ONE PENT ROAD AND 139 HIGH STREET EAST HARTFORD, CONNECTICUT PREPARED FOR GOODWIN COLLEGE, INC. ONE RIVERSIDE DRIVE EAST HARTFORD, CT FILE 1644 DATE JAN. 20, 2012 SCALE 1"=40' PREPARED BY: ZUVIC, CARR AND ASSOCIATES, INC. 1090 ELM STREET ROCKY HILL, CT."

5. "PERMITER SURVEY – EXISTING 59.5 ACRE PARCEL HOCKANUM SCHOOL DISTICT 2-LOT SUBDIVISION PRATT & WHITNEY AIRCRAFT – WILLGOOS FACILITY ONE PENT RD. EAST HARTFORD, CT. PREPARED FOR GOODWIN COLLEGE ONE RIVERSIDE DRIVE EAST HARTFROD, CT FILE 1644 DATE JAN. 20, 2012 SCALE 1"=100' SHEET 2 OF 6 PREPARED BY ZUVIC, CARR AND ASSOCIATES, INC. 1090 ELM STREET ROCKY HIILL, CT."

6. "CONNECTICUT DEPARTMENT OF TRANSPORTATION BUREAU OF HIGHWAYS RIGHT OF WAY MAP TOWN OF EAST HARTFORD EAST HARTFROD EXPRESSWAY FROM MAIN STREET NORTHERLY TO PITKIN STREET SCALE 1"=80' NUMBER 42-15 SHEET 1 OF 5 DATE MARCH 29, 1979 FRANK M D'ADDABBO DEPUTY TRANSPORTATION COMMISIONER / BUREAU OF HIGHWAYS."

7. "BOUNDARY LINE BETWEEN THE ATLAS OIL COMPANY AND UNITED TECHNOLOGIES CORPORATION SOUTH OF RIVERSIDE DRIVE EAST HARTFORD, CONN. SCALE 1 IN = 60 FEET OCT. 1987 PREPARED BY PETERSEN & HOFFMAN LAND SURVERYORS."

8. "GROUNDWATER COUNTOUR MAP, SHALLOW WELLS – MARCH 8, 2011 – VERIFICATION REPORT GOODWIN COLLEGE, INC. 133 HIGH STREET FORMERLY 1 PENT ROAD EAST HARTFROD, CONNECTICUT PREPARED FOR GOODWIN COLLEGE, INC. ONE RIVERSIDE DRIVE, EAST HARTFORD, CT PREPARED BY ZUVIC, CARR AND ASSOCIATES INC. ROCKY HILL, CT SCALE 1"=40' DATE APRIL 9, 2013 FILE 1643 FIRGURE 4."

SURVEY NOTES:

THIS MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS PREPARED AND ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.

THE TYPE OF SURVEY PERFORMED IS A LIMITED BOUNDARY SURVEY AND IS INTENDED TO DEPICT THE LOCATION OF BUILDINGS, PAVEMENT, COUNTOURS, AND VISIBLE UITLITES IN RELATIONSHIP TO THE SHOWN BOUNDARY LINES.

BOUNDARY DETERMINATION CATEGORY-RESURVEY BASED ON A DEPENDENT RESURVEY.

THIS PLAN CONFORMS TO HORIZONTAL ACCURACY CLASS A-2, AND VERTICAL ACCURACY CLASS T-2.

HORIZONTAL DATUM IS BASED ON NAD 27 TAKEN FROM MAP REFERENCE 6. VERTICAL DATUM IS BASED ON NGVD 29 TAKEN FROM MAP REFERENCE 8.

FEMA 500-YEAR FLOODLINE ELEVATION ESTABLISHEDBY FIELD TOPOGRAPHY. FLOODLINE ELEVATION DETERMINED FROM "FIRM FLOOD INSURANCE RATE MAP HARTFORD COUNTY, CONNECTICUT PANEL 507 OF 675 MAP NUMBER 09003C0507G MAP REVISED SEPTEMBER 16, 2011" AND "FEDERAL EMERGENCY MANAGEMENT AGENCY HARTFORD COUNTY, CT FLOOD PROFILES CONNECTICUT RIVER 63P".

UTILITY INFORMATION TAKEN INPART FROM PLANS SUPPLIED BY OTHERS, ALL UTILITIES MAY NOT BE SHOWN. OTHER UTILITIES MAY EXIST. SEE UTILITY STATEMENT.

UTILITY STATEMENT

UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROL TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO THIS SURVEYOR. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION.
CALL BEFORE YOU DIG 1-800-922-4455.

GRAPHIC SCALE

40 0 20 40 80 160

(IN FEET)
1 inch = 40 ft.

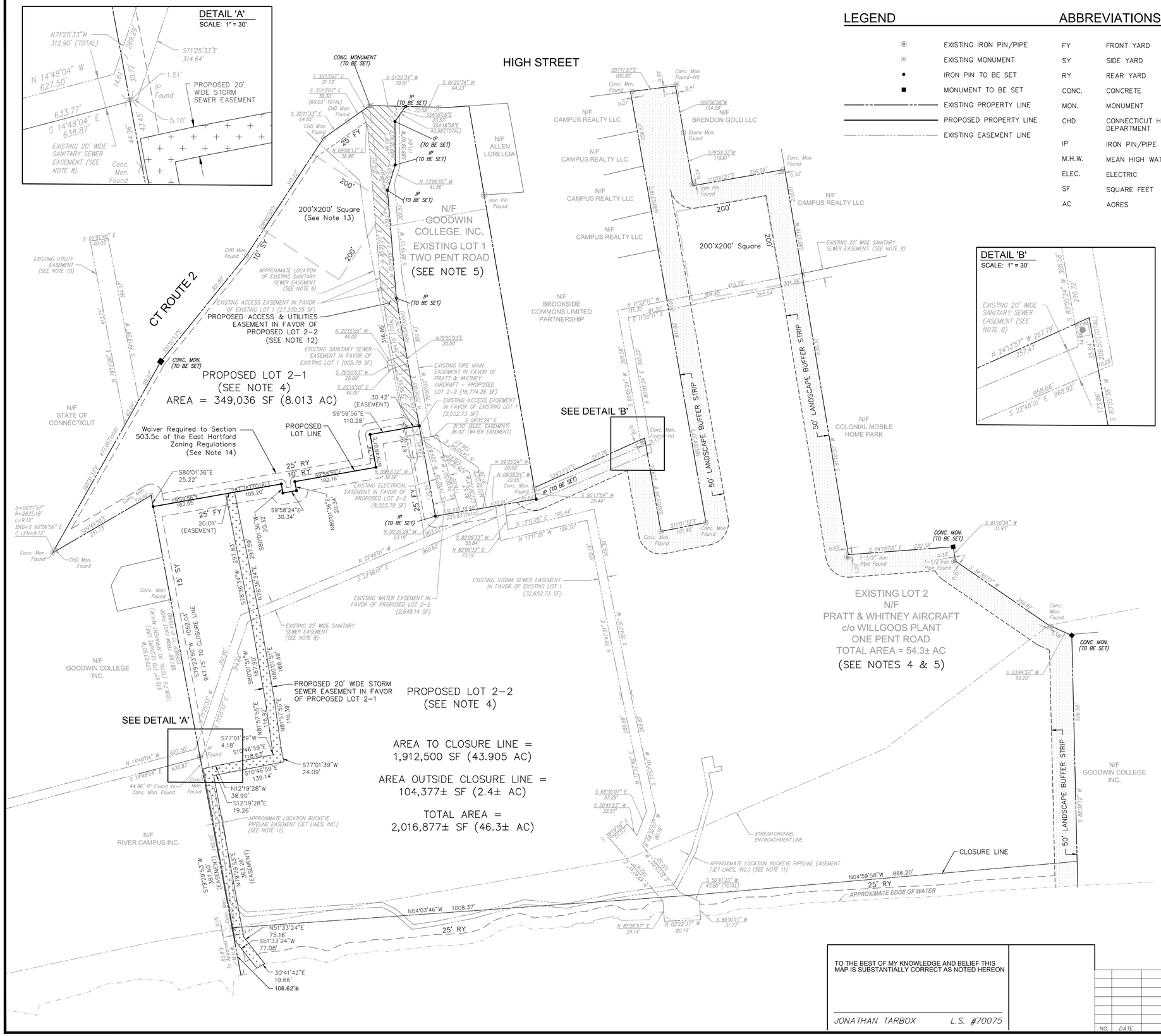
REVISIONS:
2/15/17 – FEMA 500-YEAR FLOODLINE SHOWN
5/31/17 – ADDITIONAL TOPO AREAS
6/23/17 – ADDITIONAL UTILITIES SHOWN

TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

NOT VALID UNLESS LIVE SIGNATURE AND EMBOSSED SEAL IS AFFIXED
DENNO LAND SURVEYING & CONSULTING, LLC
2 TUNXIS RD STE. 203 TARIFFVILLE, CT 06081

EXISTING CONDITIONS PLAN
PREPARED FOR
GOODWIN COLLEGE, INC.
1 PENT ROAD
EAST HARTFORD, CONNECTICUT

SCALE	DATE	SHEET NO.
1"=40'	1/9/17	1 OF 1



LEGEND

- EXISTING IRON PIN/PIPE
- EXISTING MONUMENT
- IRON PIN TO BE SET
- MONUMENT TO BE SET
- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- EXISTING EASEMENT LINE

ABBREVIATIONS

FY	FRONT YARD
SY	SIDE YARD
RY	REAR YARD
CONC.	CONCRETE
MON.	MONUMENT
CHD	CONNECTICUT HIGHWAY DEPARTMENT
IP	IRON PIN/PIPE
M.H.W.	MEAN HIGH WATER
ELEC.	ELECTRIC
SF	SQUARE FEET
AC	ACRES

PROPOSED EASEMENTS	
	PROPOSED ACCESS & UTILITY EASEMENT IN FAVOR OF LOT 2-2 TO BE GRANTED BY LOT 2-1 (SEE NOTE 12)
	PROPOSED STORM SEWER EASEMENT IN FAVOR OF LOT 2-1 TO BE GRANTED BY LOT 2-2

NOTES

1. THIS SURVEY AND MAP WERE PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THRU 20-300b-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996. IT IS A PERIMETER SURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2 AND IS INTENDED TO DEPICT DEED LINES, LINES OF OCCUPATION, EASEMENTS, ENCROACHMENTS AND ENCUMBRANCES AFFECTING THE PROPERTY. THE PROPERTY/BOUNDARY DETERMINATION OPINION PRESENTED HEREON IS BASED ON A RESURVEY.
2. REFERENCE IS HEREBY MADE TO THE FOLLOWING MAPS ENTITLED:
   A. "PERIMETER SURVEY, LAND NOW OR FORMERLY UNITED TECHNOLOGIES CORPORATION, PRATT & WHITNEY AIRCRAFT DIVISION, 1 PENT ROAD, EAST HARTFORD, CONNECTICUT" PREPARED FOR GOODWIN COLLEGE, PREPARED BY ZUVIC ASSOCIATES INC., SCALE 1"=60', DATED FEBRUARY 14, 2010.
   B. "GOODWIN COLLEGE RIVER CAMPUS, PROPOSED 2-LOT SUBDIVISION, PRATT & WHITNEY AIRCRAFT – WILLGOOS FACILITY, ONE PENT ROAD, EAST HARTFORD, CT" PLAN SET DATED JANUARY 20, 2012, PREPARED FOR GOODWIN COLLEGE, PREPARED BY ZUVIC, CARR AND ASSOCIATES.
3. BEARINGS ARE BASED ON THE CONNECTICUT COORDINATE SYSTEM, NAD83.
4. THE PURPOSE OF THIS PLAN IS TO DEPICT THE RESUBDIVISION OF EXISTING LOT 2 OF N/F PRATT & WHITNEY AIRCRAFT INTO PROPOSED LOTS 2-1 AND 2-2.
5. THE SUBDIVISON OF ONE PENT ROAD INTO EXISTING LOT 1 (CURRENTLY KNOWN AS TWO PENT ROAD) AND EXISTING LOT 2 (CURRENTLY KNOWN AS ONE PENT ROAD) WAS APPROVED BY THE EAST HARTFORD PLANNING AND ZONING COMMISSION IN 2012.
6. LOTS 2-1 AND 2-2 ARE SUBJECT TO A SANITARY SEWER EASEMENT IN FAVOR OF THE HOCKANUM SEWER DISTRICT, OR THEIR SUCCESSORS AS RECORDED IN VOLUME 54, PAGE 539 OF THE EAST HARTFORD LAND RECORDS.
7. EXISTING LOT 2 IS SUBJECT TO A RIGHT TO PASS AND REPASS IN FAVOR OF VINCENT C. BREWER AND VINCENT C. BREWER, JR., OR THEIR SUCCESSORS AS RECORDED IN VOLUME 146, PAGE 577 OF THE EAST HARTFORD LAND RECORDS.
8. LOT 2-2 IS SUBJECT TO A 20' WIDE SANITARY SEWER EASEMENT IN FAVOR OF THE METROPOLITAN DISTRICT COMMISSION AS RECORDED IN VOLUME 169, PAGE 252 AND VOLUME 169, PAGE 540 AND AS MODIFIED IN VOLUME 263, PAGE 464 TO ALLOW ENCROACHMENT OF AN ELECTRICAL DUCT LINE AND MANHOLE. ALL ABOVE ARE AS RECORDED IN THE EAST HARTFORD LAND RECORDS.
9. LOT 2-1 IS SUBJECT TO STORM SEWER RIGHTS IN FAVOR OF BROOKSIDE COMMONS, LIMITED PARTNERSHIP AS RECORDED IN VOLUME 223, PAGE 456.
10. LOT 2-1 IS TOGETHER WITH A UTILITY EASEMENT ACROSS LAND NOW OR FORMERLY OF THE STATE OF CONNECTICUT AS RECORDED IN VOLUME 294, PAGE 513 OF THE EAST HARTFORD LAND RECORDS.
11. LOT 2-2 IS SUBJECT TO AN EASEMENT IN FAVOR OF BUCKEYE PIPELINE COMPANY, L.P. AS RECORDED IN VOLUME 334, PAGE 347, VOLUME 380, PAGE 447, VOLUME 419, PAGE 101 AND VOLUME 777, PAGE 339 OF THE EAST HARTFORD LAND RECORDS.
12. THE PROPOSED ACCESS AND UTILITY EASEMENT ON PROPOSED LOT 2-1 SHALL BE COINCIDENT WITH THE EXISTING ACCESS EASEMENT IN FAVOR OF EXISTING LOT 1 (27,230.25 SF).
13. A WAIVER TO SECTION 503.4 OF THE ZONING REGULATIONS WAS APPROVED BY THE EAST HARTFORD PLANNING AND ZONING COMMISSION ON JUNE 11, 2011 FOR LOT 1 TO ALLOW A 200' BY 200' SQUARE THAT DOES NOT MEET THE REQUIREMENT FOR TOUCHING THE REQUIRED FRONT YARD SETBACK. A WAIVER FOR LOT 2-1 IS REQUESTED AS PART OF THE ZONING MAP CHANGE APPLICATION.
14. A WAIVER TO THE 25' REAR YARD SETBACK REQUIREMENT PER SECTION 503.4 OF THE ZONING REGULATIONS IS REQUESTED TO ALLOW FOR THE EXISTING BUILDING ON PROPOSED LOT 2-1 TO BE LOCATED WITHIN 10' OF THE PROPOSED PROPERTY LINE. THE WAIVER IS REQUESTED AS PART OF THE ZONING MAP CHANGE APPLICATION THAT HAS BEEN SUBMITTED CONCURRENTLY WITH THIS SUBDIVISION APPLICATION.

TOWN OF EAST HARTFORD
PLANNING & ZONING COMMISSION
FINAL SUBDIVISION APPROVAL

APPROVAL DATE: _____
WORK MUST COMMENCE BY: _____
EXPIRATION DATE: _____

_____ *CHAIRMAN*

GRAPHIC SCALE

100 0 50 100 200 400

(IN FEET)
1 inch = 100 ft.

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON

JONATHAN TARBOX *L.S. #70075*

NO.	DATE	DESCRIPTION	BY

RECORD SUBDIVISION PLAN

54.3± ACRE PARCEL
O'CONNELL SCHOOL DISTRICT
RESUBDIVISION – PROPOSED LOTS 2-1 & 2-2
PRATT & WHITNEY AIRCRAFT–WILLGOOS FACILITY
ONE PENT ROAD, EAST HARTFORD, CONNECTICUT

PREPARED FOR:	GOODWIN COLLEGE ONE RIVERSIDE DRIVE EAST HARTFORD, CT (860) 528-4111	FILE 1562 DATE SEP. 25, 2017
PREPARED BY:	ZUVIC, CARR AND ASSOCIATES INC. 40 COLD SPRING ROAD, ROCKY HILL, CT OFFICE (860)436-4901 FAX (860)436-4953 GALEN SEMPREBON, P.E., LEED AP #16747 JONATHAN TARBOX L.S. #70075	SCALE 1"=100' SHEET 2 of 4

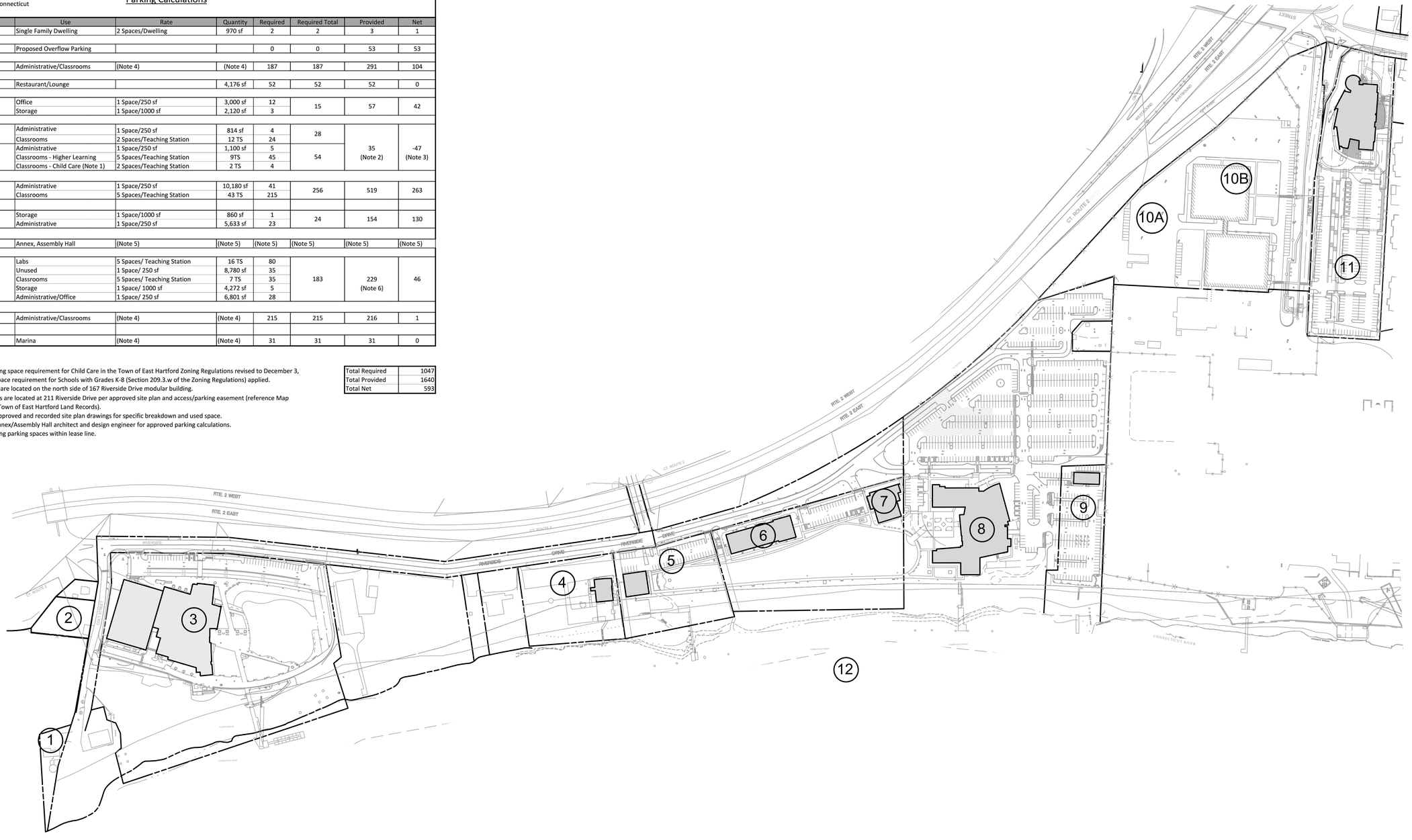
Goodwin College River Campus
Riverside Drive, East Hartford, Connecticut

Parking Calculations

	Address	Use	Rate	Quantity	Required	Required Total	Provided	Net
1	120 Colt Street	Single Family Dwelling	2 Spaces/Dwelling	970 sf	2	2	3	1
2	84-90 Colt Street	Proposed Overflow Parking			0	0	53	53
3	1-5 Riverside Drive	Administrative/Classrooms	(Note 4)	(Note 4)	187	187	291	104
4	125 Riverside Drive	Restaurant/Lounge		4,176 sf	52	52	52	0
5	133 Riverside Drive	Office	1 Space/250 sf	3,000 sf	12	15	57	42
		Storage	1 Space/1000 sf	2,120 sf	3			
6	167 Riverside Drive	Administrative	1 Space/250 sf	814 sf	4	28		
		Classrooms	2 Spaces/Teaching Station	12 TS	24			
7	195 Riverside Drive	Administrative	1 Space/250 sf	1,100 sf	5		35	-47
		Classrooms - Higher Learning	5 Spaces/Teaching Station	9TS	45	54	(Note 2)	(Note 3)
		Classrooms - Child Care (Note 1)	2 Spaces/Teaching Station	2 TS	4			
8	211 Riverside Drive	Administrative	1 Space/250 sf	10,180 sf	41	256	519	263
		Classrooms	5 Spaces/Teaching Station	43 TS	215			
9	247 Riverside Drive	Storage	1 Space/1000 sf	860 sf	1	24	154	130
		Administrative	1 Space/250 sf	5,633 sf	23			
10A	1 Pent Road	Annex, Assembly Hall	(Note 5)	(Note 5)	(Note 5)	(Note 5)	(Note 5)	(Note 5)
10B	1 Pent Road	Labs	5 Spaces/ Teaching Station	16 TS	80			
		Unused	1 Space/ 250 sf	8,780 sf	35			
		Classrooms	5 Spaces/ Teaching Station	7 TS	35	183	229	46
		Storage	1 Space/ 1000 sf	4,272 sf	5		(Note 6)	
		Administrative/Office	1 Space/ 250 sf	6,801 sf	28			
11	2 Pent Road	Administrative/Classrooms	(Note 4)	(Note 4)	215	215	216	1
12	133/211 Marina	Marina	(Note 4)	(Note 4)	31	31	31	0

Total Required	1047
Total Provided	1640
Total Net	593

Notes:
1) No defined parking space requirement for Child Care in the Town of East Hartford Zoning Regulations revised to December 3, 2014. Parking space requirement for Schools with Grades K-8 (Section 209.3.w of the Zoning Regulations) applied.
2) 2 parking spaces are located on the north side of 167 Riverside Drive modular building.
3) 53 parking spaces are located at 211 Riverside Drive per approved site plan and access/parking easement (reference Map No. 3234 in the Town of East Hartford Land Records).
4) Please refer to approved and recorded site plan drawings for specific breakdown and used space.
5) Please refer to Annex/Assembly Hall architect and design engineer for approved parking calculations.
6) Number of existing parking spaces within lease line.



REV. NO.	DATE	DRWN	CHKD	REMARKS

PROJECT NO.: 1570-37
DESIGNED BY: X
DRAWN BY: X
SHEET CHK'D BY: X
CROSS CHK'D BY: X
APPROVED BY: X
DATE: JULY 2017

PREPARED FOR:
GOODWIN COLLEGE
ONE RIVERSIDE DRIVE
EAST HARTFORD, CT

PREPARED BY:
ZUVIC·CARR AND ASSOCIATES
CONSULTING ENGINEERS
40 Cold Spring Road • Rocky Hill, CT 06067
Phone 860.436.4901 • Fax 860.436.4953

GOODWIN MASTER PARKING

EAST HARTFORD, CT

PARKING LAYOUT

SHEET NO.
P-1

SITE PLAN NOTES

1. ALL CONSTRUCTION SHALL COMPLY WITH PROJECT SPECIFICATION MANUAL; TOWN OF EAST HARTFORD STANDARDS, METROPOLITAN DISTRICT COMMISSION, AND CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS IN THE ABOVE REFERENCED INCREASING HIERARCHY. IF SPECIFICATIONS ARE IN CONFLICT, THE MORE STRINGENT SPECIFICATION SHALL APPLY. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE OSHA, FEDERAL, STATE AND LOCAL REGULATIONS.
2. THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY ZONING PERMITS REQUIRED BY GOVERNMENT AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL CITY CONSTRUCTION PERMITS, INCLUDING CONNECTICUT DOT PERMITS AND SEWER AND WATER CONNECTION PERMITS. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
3. REFER TO DETAILS AND PROJECT MANUAL FOR ADDITIONAL INFORMATION. THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT THE ENGINEER IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS SO THAT APPROPRIATE REVISIONS CAN BE MADE PRIOR TO BIDDING/CONSTRUCTION. ANY CONFLICT BETWEEN THE DRAWINGS AND SPECIFICATIONS SHALL BE CONFIRMED WITH THE OWNER'S CONSTRUCTION MANAGER PRIOR TO CONSTRUCTION.
4. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS, MATERIALS PER PLANS AND SPECIFICATIONS TO THE OWNER AND ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 14 WORKING DAYS FOR REVIEW.
5. THE CONTRACTOR SHALL FOLLOW THE RECOMMENDED SEQUENCE OF CONSTRUCTION NOTES PROVIDED ON THE EROSION CONTROL PLAN OR SUBMIT AN ALTERNATE PLAN FOR APPROVAL BY THE ENGINEER PRIOR TO CONSTRUCTION.
6. THE CONTRACTOR SHALL REFERENCE THE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND CONSTRUCTION DETAILS OF BUILDING.
7. SHOULD ANY UNKNOWN OR INCORRECTLY LOCATED EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE CIVIL ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
8. DO NOT INTERRUPT EXISTING UTILITIES SERVICING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS, EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE CITY. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
9. ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURB OR EDGE OF PAVING AS APPLICABLE, UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF THE STRUCTURE.
10. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC CONTROL DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES, TRAFFICMEN AND UNIFORMED TRAFFIC OFFICERS AS REQUIRED OR AS ORDERED BY THE ENGINEER, AS REQUIRED BY THE LOCAL GOVERNING AUTHORITIES OR AS REQUIRED BY PERMIT STIPULATIONS.
11. REFER TO DETAIL SHEETS FOR PAVEMENT, CURBING, AND SIDEWALK INFORMATION.
12. TRAFFIC CONTROL SIGNAGE SHALL CONFORM TO THE STATE DOT STANDARD DETAIL SHEETS AND THE CURRENT EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. SIGNS SHALL BE INSTALLED PLUMB WITH THE EDGE OF THE SIGN 2' OFF THE FACE OF THE CURB, AND WITH 7' VERTICAL CLEARANCE UNLESS OTHERWISE DETAILED OR NOTED.
13. THE CONTRACT LIMIT IS THE PROPERTY LINE UNLESS OTHERWISE SPECIFIED OR SHOWN ON THE CONTRACT DRAWINGS.
14. THE CONTRACTOR SHALL ABIDE BY ALL OSHA, FEDERAL, STATE AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOISTS, ETC. IN CLOSE PROXIMITY TO OVERHEAD ELECTRIC LINES. IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINES, CONTACT POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS. ANY UTILITY COMPANY FEES SHALL BE PAID FOR BY THE CONTRACTOR.
15. THE CONTRACTOR SHALL SUBMIT A SHOP DRAWING OF THE PAVEMENT MARKING PAINT MIXTURE TO BE UTILIZED PRIOR TO STRIPING.
16. PARKING SPACES SHALL BE STRIPED WITH 4" SWL; HATCHED AREA SHALL BE STRIPED WITH 4" SWL AT A 45° ANGLE, 2' ON CENTER. HATCHING, SYMBOLS, AND STRIPING FOR HANDICAPPED SPACES SHALL BE PAINTED WHITE. OTHER MARKINGS SHALL BE PAINTED WHITE OR AS NOTED.
17. THE CONTRACTOR SHALL RESTORE ANY DRAINAGE STRUCTURE, PIPE, CONDUIT, PAVEMENT, CURBING, SIDEWALKS, LANDSCAPED AREAS OR SIGNAGE DISTURBED DURING CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER, AS APPROVED BY THE ENGINEER.
18. THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER AT THE END OF CONSTRUCTION.
19. THE ARCHITECT AND ENGINEER ARE NOT RESPONSIBLE FOR SITE SAFETY MEASURES TO BE EMPLOYED DURING CONSTRUCTION. THE ARCHITECT AND ENGINEER HAVE NO CONTRACTUAL DUTY TO CONTROL THE SAFEST METHODS OR MEANS OF THE WORK, JOB SITE RESPONSIBILITIES, SUPERVISION OF PERSONNEL OR TO SUPERVISE SAFETY AND DO NOT VOLUNTARILY ASSUME ANY SUCH DUTY OR RESPONSIBILITY.
20. THE CONTRACTOR SHALL COMPLY WITH OSHA CFR 29 PART 1926 FOR EXCAVATION TRENCHING AND TRENCH PROTECTION REQUIREMENTS.
21. ALTERNATIVE METHODS AND PRODUCTS, OTHER THAN THOSE SPECIFIED, MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, ENGINEER, AND APPROPRIATE REGULATORY AGENCY PRIOR TO INSTALLATION DURING THE BIDDING/CONSTRUCTION PROCESS.
22. INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE SYSTEMS HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY PROVIDER AND CITY RECORD MAPS AND/OR FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES. PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" 72 HOURS BEFORE COMMENCEMENT OF WORK AT "(800) 922-4455" AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS.
23. NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.
24. THE SITE IS CURRENTLY SERVICED BY PUBLIC WATER.
25. FORM 817 IS THE LATEST CT DOT SPECIFICATION AT THIS TIME, ANY REFERENCE MADE TO OLDER VERSIONS SHALL REFER TO THE LATEST VERSION.

DEMOLITION NOTES

1. ALL STRUCTURES, LIGHT POLES, AND POSTS, INCLUDING FOUNDATIONS AND FOOTINGS SHOWN ON THIS PLAN ARE TO BE REMOVED FROM SITE, UNLESS OTHERWISE NOTED. CONTRACTOR SHALL SECURE ANY PERMITS, PAY ALL FEES AND PERFORM CLEARING AND GRUBBING AND DEBRIS REMOVAL PRIOR TO COMMENCEMENT OF GRADING OPERATIONS.
2. SEDIMENT AND EROSION CONTROLS AS SHOWN ON THE SEDIMENT AND EROSION CONTROL PLAN SHALL BE INSTALLED PRIOR TO START OF DEMOLITION AND CLEARING AND GRUBBING OPERATIONS.
3. REMOVE AND DISPOSE OF ANY SIDEWALKS, FENCES, STAIRS, WALLS, DEBRIS AND RUBBISH REQUIRING REMOVAL FROM THE WORK AREA IN AN APPROVED OFF-SITE LANDFILL, BY AN APPROVED HAULER. HAULER SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL REGULATORY REQUIREMENTS.
4. THE CONTRACTOR SHALL SECURE ALL PERMITS FOR HIS DEMOLITION WORK AND DISPOSAL OF HIS DEMOLITION MATERIAL TO BE REMOVED FROM THE SITE. THE CONTRACTOR SHALL POST BONDS AND PAY PERMIT FEES AS REQUIRED.
5. ASBESTOS OR HAZARDOUS MATERIAL, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIAL CONTRACTOR.
6. THE CONTRACTOR SHALL PREPARE ALL MANIFEST DOCUMENTS AS REQUIRED PRIOR TO COMMENCEMENT OF DEMOLITION.
7. THE CONTRACTOR SHALL CUT AND PLUG, OR ARRANGE FOR THE APPROPRIATE UTILITY PROVIDER TO CUT AND PLUG, ALL SERVICE PIPING AT THE STREET LINE OR AT THE MAIN, AS REQUIRED BY THE UTILITY PROVIDER INCLUDING STORMWATER PIPING, OR AS OTHERWISE NOTED OR SHOWN ON THE CONTRACT DRAWINGS. ALL SERVICES MAY NOT BE SHOWN ON THIS PLAN. THE CONTRACTOR SHALL INVESTIGATE THE SITE PRIOR TO CONSTRUCTION TO DETERMINE THE EXTENT OF SERVICE PIPING TO BE REMOVED, CUT OR PLUGGED. THE CONTRACTOR SHALL PAY ALL UTILITY PROVIDER FEES FOR ABANDONMENTS AND REMOVALS INCLUDING STORMWATER PIPING.
8. THE CONTRACTOR SHALL PROTECT ALL IRON PINS, MONUMENTS AND PROPERTY CORNERS DURING DEMOLITION ACTIVITIES. ANY CONTRACTOR DISTURBED PINS, MONUMENTS, AND OR PROPERTY CORNERS, ETC. SHALL BE RESET BY A LICENSED LAND SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.
9. THE DEMOLITION CONTRACTOR SHALL STABILIZE THE SITE AND KEEP EROSION AND SEDIMENT CONTROL MEASURES IN PLACE UNTIL THE COMPLETION OF HIS WORK OR UNTIL THE COMMENCEMENT OF WORK BY THE SITE CONTRACTOR, WHICHEVER OCCURS FIRST, AS REQUIRED OR DEEMED NECESSARY BY THE ENGINEER OR OWNER'S REPRESENTATIVE. THE SITE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THE MAINTENANCE OF EXISTING EROSION AND SEDIMENTATION CONTROLS AND FOR INSTALLATION OF ANY NEW EROSION AND SEDIMENTATION CONTROLS, AS PER THE SEDIMENT AND EROSION CONTROL PLAN, AT THAT TIME.
10. THE CONTRACTOR SHALL PUMP OUT FUEL AND WASTE OIL TANKS (IF ANY ARE ENCOUNTERED) AND REMOVE FUEL TO AN APPROVED DISPOSAL AREA BY A LICENSED WASTE OIL HANDLING CONTRACTOR IN STRICT ACCORDANCE WITH STATE DEEP REQUIREMENTS.
11. IF IMPACTED OR CONTAMINATED SOIL IS ENCOUNTERED BY THE CONTRACTOR, THE CONTRACTOR SHALL SUSPEND EXCAVATION WORK OF IMPACTED SOIL AND NOTIFY THE OWNER AND/OR OWNER'S ENVIRONMENTAL CONSULTANT PRIOR TO PROCEEDING WITH FURTHER WORK IN THE IMPACTED SOIL LOCATION UNTIL FURTHER INSTRUCTED BY THE OWNER AND/OR OWNER'S ENVIRONMENTAL CONSULTANT.
12. THE CONTRACTOR SHALL ADHERE TO ALL OSHA, FEDERAL, STATE AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOISTS, ETC. IN PROXIMITY OF OVERHEAD ELECTRIC LINES. IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINES CONTACT POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS. ANY UTILITY PROVIDER FEES SHALL BE PAID BY THE CONTRACTOR.
13. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC CONTROL DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES AND UNIFORMED TRAFFICMEN/OFFICERS AS REQUIRED OR AS ORDERED BY THE ENGINEER, OR AS REQUIRED BY THE LOCAL GOVERNING AUTHORITIES OR AS REQUIRED BY PERMIT STIPULATIONS. CONTRACTOR SHALL MAINTAIN ALL TRAFFIC LANES AND PEDESTRIAN WALKWAYS AT ALL TIMES UNLESS WRITTEN APPROVAL FROM THE APPROPRIATE GOVERNING AGENCY IS GRANTED.
14. EXISTING ELECTRIC SERVICES SHALL BE REMOVED AND DISPOSED IN ACCORDANCE WITH EVERSOURCE REQUIREMENTS. THE EXISTING LIGHT POLE, FOUNDATION, CONDUITS, AND WIRES SHALL BE REMOVED AND DISPOSED. WORK TO BE COORDINATED BY AND PAID FOR BY THE CONTRACTOR. CONTRACTOR SHALL COORDINATE THIS WORK WITH THE ELECTRIC COMPANY AND PAY NECESSARY FEES.
15. THE CONTRACTOR SHALL NOTIFY THE TOWN OF EAST HARTFORD ENGINEERING DEPARTMENT, COMCAST, EVERSOURCE, CONNECTICUT NATURAL GAS COMPANY, AND THE METROPOLITAN DISTRICT COMMISSION AT LEAST THREE WEEKS PRIOR TO BEGINNING DEMOLITION. CONTRACTOR SHALL COORDINATE THE DEMOLITION WORK WITH THE UTILITY COMPANIES AND PAY ANY NECESSARY FEES.
16. BACKFILL DEPRESSIONS, FOUNDATION HOLES AND REMOVED DRIVEWAY AREAS IN LOCATIONS NOT SUBJECT TO FURTHER EXCAVATION WITH SOIL MATERIAL APPROVED BY THE OWNER'S GEOTECHNICAL ENGINEER AND COMPACT, FERTILIZE, SEED AND MULCH DISTURBED AREAS NOT SUBJECT TO FURTHER SITE CONSTRUCTION. EMPLOY WATERING EQUIPMENT FOR DUST CONTROL.
17. THE CONTRACTOR SHALL REPAIR PAVEMENTS BY INSTALLING TEMPORARY AND PERMANENT PAVEMENTS IN PUBLIC RIGHTS-OF-WAY AS REQUIRED BY LOCAL GOVERNING AUTHORITIES AND THE CONNECTICUT DOT AND PER PERMIT REQUIREMENTS DUE TO DEMOLITION AND PIPE REMOVAL ACTIVITIES.
18. THE CONTRACTOR SHALL RESTORE ANY UTILITY STRUCTURE, PIPE, CONDUIT, PAVEMENT, CURBING, SIDEWALKS, DRAINAGE STRUCTURE, SWALE OR LANDSCAPED AREAS DISTURBED DURING DEMOLITION TO THEIR ORIGINAL CONDITION OR BETTER TO THE SATISFACTION OF THE OWNER, CITY OF NEW HAVEN.
19. NO WORK ON THIS SITE SHALL BE INITIATED BY THE CONTRACTOR UNTIL A PRE-CONSTRUCTION MEETING WITH THE OWNER AND THE ENGINEER IS PERFORMED. THE CONTRACTOR SHOULD BE AWARE OF ANY SITE INFORMATION AVAILABLE SUCH AS GEOTECHNICAL AND ENVIRONMENTAL REPORTS. THE CONTRACTOR SHALL HAVE CALL BEFORE YOU DIG MARK OUTS OF EXISTING UTILITIES COMPLETED PRIOR TO MEETING.
20. THE CONTRACTOR SHALL ARRANGE FOR AND INSTALL TEMPORARY OR PERMANENT UTILITY CONNECTIONS WHERE INDICATED ON PLAN OR AS REQUIRED. CONTRACTOR TO COORDINATE WITH UTILITY PROVIDERS FOR INSTALLATION AND PAY UTILITY PROVIDER FEES.
21. THE CONTRACTOR SHALL NOT COMMENCE DEMOLITION OR UTILITY DISCONNECTIONS UNTIL AUTHORIZED TO DO SO BY THE OWNER AND/OR ENGINEER.
22. THE CONTRACTOR OR DEMOLITION CONTRACTOR SHALL INSTALL TEMPORARY SHEETING OR SHORING AS NECESSARY TO PROTECT EXISTING AND NEW BUILDINGS AND UTILITIES DURING CONSTRUCTION AND DEMOLITION. SHEETING OR SHORING SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER, LICENSED IN THIS STATE AND EVIDENCE OF SUCH SUBMITTED TO THE OWNER PRIOR TO INSTALLATION.
23. NO SALVAGE SHALL BE PERMITTED UNLESS PAID TO THE OWNER AS A CREDIT.
24. THE CONTRACTOR SHALL COMPLY WITH OSHA CFR29 PART 1926 FOR EXCAVATION, TRENCHING, AND TRENCH PROTECTION REQUIREMENTS.
25. ALL LANDSCAPING, TREES AND OTHER VEGETATION WITHIN THE LIMITS OF THE CONSTRUCTION FENCE SHALL BE REMOVED, UNLESS OTHERWISE NOTED.

UTILITIES NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE TOWN OF EAST HARTFORD TO SECURE CONSTRUCTION PERMITS AND FOR PAYMENT OF FEES FOR STREET CUTS AND CONNECTIONS TO EXISTING UTILITIES.
2. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC CONTROL DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES AND UNIFORMED TRAFFIC CONTROLLERS AND UNIFORMED TRAFFIC MEN AS REQUIRED, OR AS ORDERED BY THE ENGINEER OR AS REQUIRED BY THE LOCAL GOVERNING AUTHORITIES OR AS REQUIRED BY PERMIT STIPULATIONS.
3. THIS PLAN DETAILS SITE INSTALLED PIPES UP TO 5' FROM THE BUILDING FACE. REFER TO DRAWINGS BY OTHERS FOR BUILDING CONNECTIONS. SITE CONTRACTOR SHALL SUPPLY AND INSTALL PIPE ADAPTERS AS NECESSARY AT BUILDING CONNECTION POINT OR AT EXISTING UTILITY OR PIPE CONNECTION POINT.
4. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY THE ELEVATION AND LOCATION OF ALL UTILITIES BY VARIOUS MEANS PRIOR TO BEGINNING ANY EXCAVATION. TEST PITS SHALL BE DUG AT ALL LOCATIONS WHERE PROPOSED SANITARY SEWERS AND WHERE PROPOSED STORM PIPING WILL CROSS EXISTING UTILITIES, AND THE HORIZONTAL AND VERTICAL LOCATIONS OF THE UTILITIES SHALL BE DETERMINED. THE CONTRACTOR SHALL CONTACT THE ENGINEER IN THE EVENT OF ANY DISCOVERED OR UNFORESEEN CONFLICTS BETWEEN EXISTING AND PROPOSED SANITARY SEWERS, STORM PIPING, AND UTILITIES SO THAT AN APPROPRIATE MODIFICATION MAY BE MADE.
5. UTILITY CONNECTION DESIGN AS REFLECTED ON THE PLAN MAY CHANGE SUBJECT TO UTILITY PROVIDER AND GOVERNING AUTHORITY STAFF REVIEW.
6. THE CONTRACTOR SHALL ENSURE THAT ALL UTILITY PROVIDERS AND GOVERNING AUTHORITY STANDARDS FOR MATERIALS AND CONSTRUCTION METHODS ARE MET. THE CONTRACTOR SHALL PERFORM PROPER COORDINATION WITH THE RESPECTIVE UTILITY PROVIDER.
7. THE CONTRACTOR SHALL ARRANGE FOR AND COORDINATE WITH THE RESPECTIVE UTILITY PROVIDERS FOR SERVICE INSTALLATIONS AND CONNECTIONS. THE CONTRACTOR SHALL COORDINATE WORK TO BE PERFORMED BY THE VARIOUS UTILITY PROVIDERS AND SHALL PAY ALL FEES FOR CONNECTIONS, DISCONNECTIONS, RELOCATIONS, INSPECTIONS, AND DEMOLITION UNLESS OTHERWISE STATED IN THE PROJECT SPECIFICATIONS MANUAL AND/OR GENERAL CONDITIONS OF THE CONTRACT.
8. ALL EXISTING PAVEMENT WHERE UTILITY PIPING IS TO BE INSTALLED SHALL BE SAW CUT. AFTER UTILITY INSTALLATION IS COMPLETED, THE CONTRACTOR SHALL INSTALL TEMPORARY AND/OR PERMANENT PAVEMENT REPAIR AS DETAILED ON THE DRAWINGS OR AS REQUIRED BY THE TOWN OF EAST HARTFORD.
9. ALL PIPES SHALL BE LAID ON STRAIGHT ALIGNMENTS AND EVEN GRADES USING A PIPE LASER OR OTHER ACCURATE METHOD.
10. SANITARY LATERAL SHALL MAINTAIN (10' MIN. HORIZONTAL AND 1.5' VERTICAL MIN.) SEPARATION DISTANCE FROM WATER LINES, OR ADDITIONAL PROTECTION MEASURES WILL BE REQUIRED WHERE PERMITTED, WHICH SHALL INCLUDE CONCRETE ENCASEMENT OF PIPING, UNLESS OTHERWISE DIRECTED BY THE UTILITY PROVIDERS AND ENGINEER.
11. RELOCATION OF UTILITY PROVIDER FACILITIES, SUCH AS POLES, SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY PROVIDER.
12. THE CONTRACTOR SHALL COMPACT PIPE BACKFILL IN 8" LIFTS ACCORDING TO THE PIPE BEDDING DETAILS. TRENCH BOTTOM SHALL BE STABLE IN HIGH GROUNDWATER AREAS. A PIPE FOUNDATION SHALL BE USED PER THE TRENCH DETAILS AND IN AREAS OF ROCK EXCAVATION.
13. THE CONTRACTOR TO PROVIDE STEEL SLEEVES AND ANNULAR SPACE SAND FILL FOR UTILITY PIPE AND CONDUIT CONNECTIONS UNDER FOOTINGS.
14. BUILDING UTILITY PENETRATIONS AND LOCATIONS ARE SHOWN FOR THE CONTRACTOR'S INFORMATION AND SHALL BE VERIFIED WITH THE BUILDING MEP DRAWINGS AND WITH THE OWNER'S CONSTRUCTION MANAGER.
15. ALL UTILITY CONSTRUCTION IS SUBJECT TO INSPECTION FOR APPROVAL PRIOR TO BACKFILLING, IN ACCORDANCE WITH THE APPROPRIATE UTILITY PROVIDER REQUIREMENTS.
16. A ONE-FOOT MINIMUM VERTICAL CLEARANCE BETWEEN WATER, GAS, ELECTRICAL, AND TELEPHONE LINES AND STORM PIPING SHALL BE PROVIDED. A SIX-INCH MINIMUM CLEARANCE SHALL BE MAINTAINED BETWEEN STORM PIPING AND SANITARY SEWER. A 6-INCH TO 18-INCH VERTICAL CLEARANCE BETWEEN SANITARY SEWER PIPING AND STORM PIPING SHALL REQUIRE CONCRETE ENCASEMENT OF THE PROPOSED SANITARY PIPING.
17. THE SITE CONTRACTOR SHALL PROVIDE ALL BENDS, FITTINGS, ADAPTERS, ETC., AS REQUIRED FOR PIPE CONNECTIONS TO BUILDING STUB OUTS, INCLUDING ROOF/FOOTING DRAIN CONNECTIONS TO ROOF LEADERS AND TO STORM DRAINAGE SYSTEM.
18. MANHOLE RIMS AND CATCH BASIN GRATES SHALL BE SET TO ELEVATIONS SHOWN. SET ALL EXISTING MANHOLE RIMS AND VALVE COVERS TO BE RAISED OR LOWERED FLUSH WITH FINAL GRADE AS NECESSARY.
19. THE SITE CONTRACTOR SHALL COORDINATE INSTALLATION OF CONDUIT AND CABLES FOR SITE LIGHTING WITH THE BUILDING ELECTRICAL CONTRACTOR.
20. THE CONTRACTOR SHALL COORDINATE INSTALLATION FOR ELECTRICAL SERVICES TO SIGNS AND SITE LIGHTING WITH THE BUILDING ELECTRICAL CONTRACTOR.
21. THE CONTRACTOR SHALL RESTORE ANY UTILITY STRUCTURE, PIPE, CONDUIT, PAVEMENT, CURBING, SIDEWALKS, DRAINAGE STRUCTURE, SWALE OR LANDSCAPED AREAS DISTURBED DURING CONSTRUCTION, TO THEIR ORIGINAL CONDITION OR BETTER TO THE SATISFACTION OF THE TOWN OF EAST HARTFORD.
22. THE CONTRACTOR SHALL EMPLOY THE USE OF A UTILITY LOCATING COMPANY TO PROVIDE SUBSURFACE UTILITY ENGINEERING CONSISTING OF DESIGNATING UTILITIES AND STORM PIPING ON PRIVATE PROPERTY WITHIN THE CONTRACT LIMIT AND CONSISTING OF DESIGNATING AND LOCATING WHERE PROPOSED UTILITIES AND STORM PIPING CROSS EXISTING UTILITIES AND STORM PIPING WITHIN THE CONTRACT LIMITS.
23. THE CONTRACTOR SHALL ARRANGE AND COORDINATE WITH UTILITY PROVIDERS FOR WORK TO BE PERFORMED BY UTILITY PROVIDERS. THE CONTRACTOR SHALL PAY ALL UTILITY FEES UNLESS OTHERWISE STATED IN THE PROJECT SPECIFICATION MANUAL AND GENERAL CONDITIONS, AND REPAIR PAVEMENTS AS NECESSARY.
24. ELECTRIC SERVICE SHALL BE INSTALLED UNDERGROUND AS SHOWN ON THE PLANS. THE CONTRACTOR SHALL PROVIDE, INSTALL, AND BACKFILL THE CONDUITS FOR ELECTRIC SERVICE. MINIMUM COVER IS 36" ON ELECTRIC CONDUITS. SERVICES SHALL BE MARKED WITH MAGNETIC LOCATOR TAPE AND SHALL BE BEDDED, INSTALLED, AND BACKFILLED IN ACCORDANCE WITH ELECTRIC UTILITY PROVIDER STANDARDS. INSTALL HANDHOLES AS REQUIRED TO FACILITATE INSTALLATION AND AS REQUIRED BY ELECTRIC UTILITY PROVIDER. INSTALL CONCRETE ENCASEMENT ON PRIMARY ELECTRIC CONDUITS IF REQUIRED BY ELECTRIC UTILITY PROVIDER.
25. ALL WATER SERVICES SHALL CONFORM TO THE METROPOLITAN DISTRICT COMMISSION SPECIFICATIONS, AS WELL AS TO OTHER APPLICABLE INDUSTRY CODES AND PROJECT SPECIFICATIONS.
26. THE BUILDING WILL BE REQUIRED TO MEET METROPOLITAN DISTRICT COMMISSION ORDINANCES IN REGARDS TO BACK FLOW PREVENTION ON THE FIRE AND DOMESTIC SERVICES.
27. ALL SANITARY SEWER SERVICES SHALL CONFORM TO THE METROPOLITAN DISTRICT COMMISSION SPECIFICATIONS AND DETAILS, AS WELL AS TO OTHER APPLICABLE INDUSTRY CODES AND PROJECT SPECIFICATIONS FOR SANITARY SEWER SYSTEMS.
28. ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, ENGINEER, AND APPROPRIATE REGULATORY AGENCIES PRIOR TO INSTALLATION.
29. THE CONTRACTOR SHALL MAINTAIN ALL FLOWS AND UTILITY CONNECTIONS TO EXISTING BUILDINGS WITHOUT INTERRUPTION UNLESS/UNTIL AUTHORIZED TO DISCONNECT BY THE OWNERS, ENGINEER, UTILITY PROVIDERS AND GOVERNING AUTHORITIES.
30. THE CONTRACTOR MAY SUBSTITUTE MASONRY STRUCTURES FOR PRECAST STRUCTURES IF APPROVED BY THE ENGINEER AND ALLOWED BY THE GOVERNING AUTHORITY.
31. FOR UTILITY TRENCH DETAILS, REFER TO SITE DETAILS.
32. EXISTING STRUCTURES TO REMAIN ARE TO BE RESET AS REQUIRED TO MATCH NEW GRADES.
33. FINAL TOP OF FRAME ELEVATIONS FOR NEW UTILITY STRUCTURES MAY NEED TO BE FIELD ADJUSTED TO COORDINATE WITH SITE CONDITIONS AND FINAL GRADING. (TYPICAL)
34. REFER TO BUILDING PLANS FOR CONTINUATION OF WATER, FIRE PROTECTION, GAS, SANITARY SEWER, ELECTRICAL, AND TELECOMMUNICATION SERVICES.
35. REFER TO FIRE PROTECTION PLANS FOR CONTINUATION, LOCATION, AND DETAILS OF FIRE DEPARTMENT CONNECTION.

SEDIMENT AND EROSION CONTROL NOTES

1. THE CONTRACTOR SHALL CONSTRUCT ALL SEDIMENT AND EROSION CONTROLS IN ACCORDANCE WITH THE 2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL, LATEST EDITION, IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, AND AS DIRECTED BY TOWN OF EAST HARTFORD. THE CONTRACTOR SHALL KEEP A COPY OF THE CURRENT GUIDELINES ON-SITE FOR REFERENCE DURING CONSTRUCTION. ALL SEDIMENTATION AND EROSION CONTROL MEASURES, INCLUDING THE CONSTRUCTION OF TEMPORARY SEDIMENTATION TRAPS/BASINS, TEMPORARY DIVERSION SWALES AND ANTI-TRACKING PADS, SHALL BE INSTALLED PRIOR TO THE START OF CLEARING AND GRUBBING AND DEMOLITION OPERATIONS.

2. THE DRAWINGS ARE ONLY INTENDED TO DESCRIBE THE SEDIMENT AND EROSION CONTROL MEASURES FOR THIS SITE. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHOWN ON THE EROSION & SEDIMENT CONTROL PLAN ARE SHOWN IN A GENERAL SIZE AND LOCATION ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL EROSION CONTROL MEASURES ARE CONFIGURED AND CONSTRUCTED IN A MANNER THAT WILL MINIMIZE EROSION OF SOILS AND PREVENT THE TRANSPORT OF SEDIMENTS AND OTHER POLLUTANTS TO STORM DRAINAGE SYSTEMS AND/OR WATERCOURSES. ACTUAL SITE CONDITIONS OR SEASONAL AND CLIMATIC CONDITIONS MAY WARRANT ADDITIONAL CONTROLS OR CONFIGURATIONS WHEN DIRECTED BY THE ENGINEER.SEE SEDIMENT AND EROSION CONTROL DETAILS AND SUGGESTED CONSTRUCTION SEQUENCE FOR MORE INFORMATION. REFER TO SITE PLAN FOR GENERAL INFORMATION AND OTHER CONTRACT PLANS FOR APPROPRIATE INFORMATION.

3. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING THE SEDIMENT AND EROSION CONTROL PLAN. THIS RESPONSIBILITY INCLUDES THE PROPER INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED WITH CONSTRUCTION ON THE SITE OF THE REQUIREMENTS AND OBJECTIVES OF THIS PLAN, INFORMING THE GOVERNING AUTHORITY OR INLAND WETLANDS AGENCY OF ANY TRANSFER OF THIS RESPONSIBILITY, AND FOR CONVEYING A COPY OF THE SEDIMENT & EROSION CONTROL PLAN IF THE TITLE TO THE LAND IS TRANSFERRED. COMPLY WITH REQUIREMENTS OF CGS SECTION 22A, 430B FOR STORMWATER DISCHARGE FROM CONSTRUCTION ACTIVITIES AND WITH DEEP RECORD KEEPING AND INSPECTION REQUIREMENTS.

4. A BOND MAY BE REQUIRED TO BE POSTED WITH THE GOVERNING AUTHORITY FOR THE EROSION CONTROL INSTALLATION AND MAINTENANCE.

5. THE CONTRACTOR SHALL APPLY THE MINIMUM EROSION & SEDIMENT CONTROL MEASURES SHOWN ON THE PLAN IN CONJUNCTION WITH CONSTRUCTION SEQUENCING, SUCH THAT ALL ACTIVE WORK ZONES ARE PROTECTED. ADDITIONAL AND/OR ALTERNATIVE SEDIMENT AND EROSION CONTROL MEASURES MAY BE INSTALLED DURING THE CONSTRUCTION PERIOD IF FOUND NECESSARY BY THE CONTRACTOR, OWNER, SITE ENGINEER, MUNICIPAL OFFICIALS, OR ANY GOVERNING AGENCY. THE CONTRACTOR SHALL CONTACT THE OWNER AND APPROPRIATE GOVERNING AGENCIES FOR APPROVAL IF ALTERNATIVE CONTROLS OTHER THAN THOSE SHOWN ON THE PLANS ARE PROPOSED BY THE CONTRACTOR.

6. THE CONTRACTOR SHALL COORDINATE WITH CTDEEP PERMIT AND TAKE EXTREME CARE DURING CONSTRUCTION SO AS NOT TO DISTURB UNPROTECTED WETLAND AREAS OR SEDIMENTATION AND EROSION CONTROL MEASURES. THE CONTRACTOR SHALL INSPECT ALL SEDIMENT AND EROSION CONTROLS WEEKLY AND WITHIN 24 HOURS OF A STORM THAT CREATES A DISCHARGE TO VERIFY THAT THE CONTROLS ARE OPERATING PROPERLY AND MAKE REPAIRS WHERE NECESSARY.

7. THE CONTRACTOR SHALL KEEP A SUPPLY OF EROSION CONTROL MATERIAL (HAY BALES, SILT FENCE, JUTE MESH, ETC.) ON-SITE FOR PERIODIC MAINTENANCE AND EMERGENCY REPAIRS.

8. PROTECT EXISTING TREES THAT ARE TO BE SAVED BY FENCING AT THE DRIP LINE, OR AS DETAILED, WITH SNOW FENCE, ORANGE SAFETY FENCE, OR EQUIVALENT FENCING. ANY LIMB TRIMMING SHOULD BE DONE AFTER CONSULTATION WITH AN ARBORIST AND BEFORE CONSTRUCTION BEGINS IN THAT AREA; FENCING SHALL BE MAINTAINED AND REPAIRED DURING CONSTRUCTION.

9. CONSTRUCTION ENTRANCE SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR CONSTRUCTION ACTIVITY AND SHALL BE MAINTAINED THROUGHOUT THE DURATION OF ALL CONSTRUCTION. THE LOCATION OF THE TRACKING PADS MAY CHANGE AS VARIOUS PHASES OF CONSTRUCTION ARE COMPLETED.

10. ALL CONSTRUCTION SHALL BE CONTAINED WITHIN THE LIMIT OF DISTURBANCE, WHICH SHALL BE MARKED WITH SILT FENCE, SAFETY FENCE, RIBBONS, OR OTHER MEANS PRIOR TO CLEARING. CONSTRUCTION ACTIVITY SHALL REMAIN ON THE UPHILL SIDE OF THE SEDIMENT BARRIER UNLESS WORK IS SPECIFICALLY CALLED FOR ON THE DOWNHILL SIDE OF THE BARRIER. STAKED HAY BALES OR SILT FENCES SHALL ALSO BE INSTALLED AT THE DOWNHILL SIDES OF BUILDING EXCAVATIONS, DEWATERING PUMP DISCHARGES, AND MATERIAL STOCKPILES.

11. INSTALL DEWATERING PITS AS NECESSARY DURING VARIOUS PHASES OF CONSTRUCTION TO CONTROL RUNOFF UNTIL UPHILL AREAS ARE STABILIZED. DEWATERING SETTLING TRAPS SHALL BE USED IF GROUND WATER IS ENCOUNTERED. NO RUNOFF SHALL BE ALLOWED TO EXIT THE SITE PRIOR TO TREATMENT FOR SEDIMENT REMOVAL.

13. TEMPORARY SEDIMENT TRAPS SHALL PROVIDE 134 CUBIC YARDS OF SEDIMENT STORAGE PER DISTURBED ACRE CONTRIBUTING TO THE TRAP/BASIN. PROVIDE TRAP/BASIN VOLUMES FOR ALL DISTURBANCE ON SITE.

14. PERIODICALLY CHECK ACCUMULATED SEDIMENT LEVELS IN SEDIMENT TRAPS/BASINS DURING CONSTRUCTION AND CLEAN ACCUMULATED SILT WHEN NECESSARY OR WHEN ONE FOOT OF SEDIMENT HAS ACCUMULATED. CLEAN ACCUMULATED SEDIMENT FROM CATCH BASIN SUMPS AS NECESSARY. REMOVE ACCUMULATED SEDIMENT FROM BEHIND HAY BALES AND SILT FENCE. EXCAVATED MATERIAL FROM TEMPORARY SEDIMENT TRAPS/BASINS MUST BE STOCKPILED ON UPHILL SIDE OF SILT FENCE.

15. TOPSOIL SHALL BE STRIPPED AND STOCKPILED FOR USE IN FINAL LANDSCAPING. ALL EARTH STOCKPILES SHALL HAVE HAY BALES OR SILT FENCE AROUND THE LIMIT OF PILE. PILES SHALL BE TEMPORARILY SEEDED IF PILE IS TO REMAIN IN PLACE AND UNDISTURBED FOR MORE THAN 14 DAYS.

16. NO CUT OR FILL SLOPES SHALL EXCEED 2:1 EXCEPT WHERE STABILIZED BY ROCK FACED EMBANKMENTS OR EROSION CONTROL BLANKETS, JUTE MESH AND VEGETATION. ALL SLOPES SHALL BE SEEDED, AND THE ROAD SHOULDER AND BANKS WILL BE STABILIZED IMMEDIATELY UPON COMPLETION OF FINAL GRADING UNTIL TURF IS ESTABLISHED.

17. DIRECT ALL DEWATERING PUMP DISCHARGE TO A SEDIMENT CONTROL DEVICE SUCH AS TEMPORARY SEDIMENT TRAPS OR GRASS FILTERS WITHIN THE APPROVED LIMIT OF DISTURBANCE. DISCHARGE TO STORM DRAINS OR SURFACE WATERS FROM SEDIMENT CONTROLS SHALL BE CLEAR AND APPROVED BY THE ENGINEER.

19. THE CONTRACTOR SHALL MAINTAIN A CLEAN CONSTRUCTION SITE AND SHALL NOT ALLOW THE ACCUMULATION OF RUBBISH OR CONSTRUCTION DEBRIS ON THE SITE. PROPER SANITARY DEVICES SHALL BE MAINTAINED ON-SITE AT ALL TIMES. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO AVOID THE SPILLAGE OF FUEL OR OTHER POLLUTANTS ON THE CONSTRUCTION SITE AND SHALL ADHERE TO ALL APPLICABLE POLICIES AND REGULATIONS RELATED TO SPILL PREVENTION AND RESPONSE/CONTAINMENT.

20. COVERED METAL WASTE CONTAINERS SHALL BE PROVIDED AT THE SITE TO FACILITATE THE COLLECTION OF REFUSE MATERIAL GENERATED FROM CONSTRUCTION ACTIVITIES. SUCH MATERIAL SHALL NOT BE BURIED OR BURNED AT THE SITE.

21. MINIMIZE LAND DISTURBANCES. SEED AND MULCH DISTURBED AREAS WITH TEMPORARY MIX AS SOON AS PRACTICABLE (2 WEEK MAXIMUM UNSTABILIZED PERIOD) USING PERENNIAL RYEGRASS AT 40 LBS PER ACRE. MULCH ALL CUT AND FILL SLOPES AND SWALES WITH LOOSE HAY AT A RATE OF 2 TONS PER ACRE. IF NECESSARY, REPLACE LOOSE HAY ON SLOPES WITH EROSION CONTROL BLANKETS OR JUTE CLOTH. MODERATELY GRADED AREAS, ISLANDS, AND TEMPORARY CONSTRUCTION STAGING AREAS MAY BE HYDROSEEDED WITH TACKIFIER.

22. MAINTAIN EXISTING PAVED AREAS FOR CONSTRUCTION STAGING FOR AS LONG AS POSSIBLE. UPON REMOVAL OF ALL PAVEMENT, THE CONTRACTOR SHALL PLACE STONE OVER DISTURBED AREAS TO SERVE AS STAGING AREAS TO THE SATISFACTION OF THE ENGINEER.

23. SWEEP AFFECTED PORTIONS OF OFF SITE ROADS ONE OR MORE TIMES A DAY (OR LESS FREQUENTLY IF TRACKING IS NOT A PROBLEM) DURING CONSTRUCTION. FOR DUST CONTROL, PERIODICALLY MOISTEN EXPOSED SOIL SURFACES WITH WATER ON UNPAVED TRAVEL WAYS TO KEEP THE TRAVEL WAYS DAMP. DUMP TRUCK LOADS EXITING THE SITE SHALL BE COVERED.

245. TURF ESTABLISHMENT SHALL BE PERFORMED OVER ALL DISTURBED SOIL, UNLESS THE AREA IS UNDER ACTIVE CONSTRUCTION, IT IS COVERED IN STONE OR SCHEDULED FOR PAVING WITHIN 14 DAYS. TEMPORARY SEEDING OR NON-LIVING SOIL PROTECTION OF ALL EXPOSED SOILS AND SLOPES SHALL BE INITIATED WITHIN THE FIRST 7 DAYS OF SUSPENDING WORK IN AREAS TO BE LEFT LONGER THAN 14 DAYS.

25. MAINTAIN ALL PERMANENT AND TEMPORARY SEDIMENT CONTROL DEVICES IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD. UPON COMPLETION OF WORK SWEEP PARKING LOTS, CLEAN THE STORM DRAINAGE SYSTEMS AND REMOVE ALL TEMPORARY SEDIMENT CONTROLS ONCE THE SITE IS FULLY STABILIZED AND APPROVAL HAS BEEN RECEIVED FROM TOWN OF EAST HARTFORD AND/OR ENGINEER.

26. REFER TO SHEET L-603 FOR SEDIMENT AND EROSION CONTROL NARRATIVE AND DETAILS.

GOODWIN COLLEGE CONNECTICUT RIVER ACADEMY MANUFACTURING ANNEX

1 PENT ROAD, EAST HARTFORD, CT 06118

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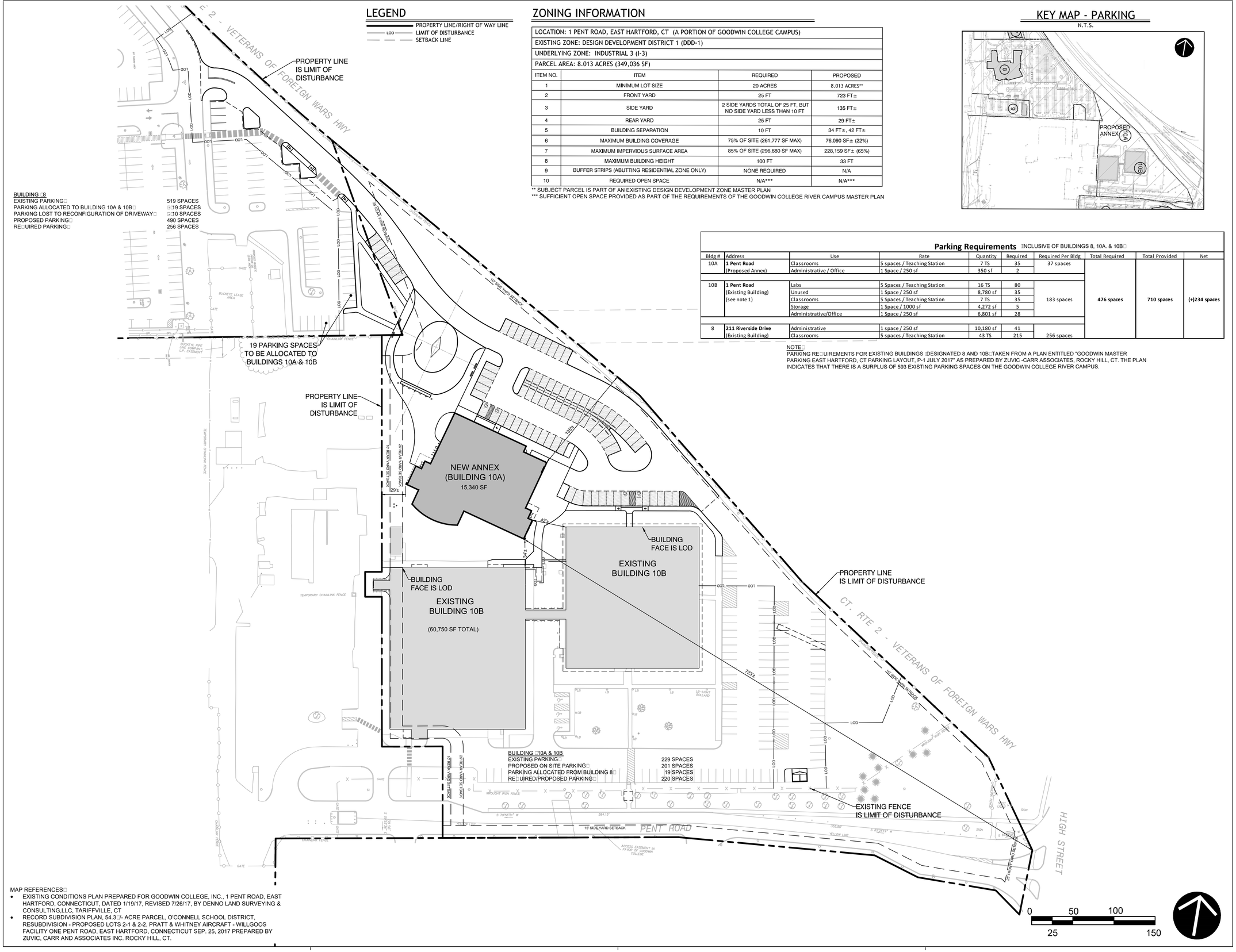
DRAWN K.M.
SCALE N/A

REVISIONS:

GENERAL NOTES

GN-1



ZONING INFORMATION

LOCATION: 1 PENT ROAD, EAST HARTFORD, CT (A PORTION OF GOODWIN COLLEGE CAMPUS)			
EXISTING ZONE: DESIGN DEVELOPMENT DISTRICT 1 (DDD-1)			
UNDERLYING ZONE: INDUSTRIAL 3 (I-3)			
PARCEL AREA: 8.013 ACRES (349,036 SF)			
ITEM NO.	ITEM	REQUIRED	PROPOSED
1	MINIMUM LOT SIZE	20 ACRES	8.013 ACRES**
2	FRONT YARD	25 FT	723 FT±
3	SIDE YARD	2 SIDE YARDS TOTAL OF 25 FT, BUT NO SIDE YARD LESS THAN 10 FT	135 FT±
4	REAR YARD	25 FT	29 FT±
5	BUILDING SEPARATION	10 FT	34 FT±, 42 FT±
6	MAXIMUM BUILDING COVERAGE	75% OF SITE (261,777 SF MAX)	76,090 SF± (22%)
7	MAXIMUM IMPERVIOUS SURFACE AREA	85% OF SITE (296,680 SF MAX)	228,159 SF± (65%)
8	MAXIMUM BUILDING HEIGHT	100 FT	33 FT
9	BUFFER STRIPS (ABUTTING RESIDENTIAL ZONE ONLY)	NONE REQUIRED	N/A
10	REQUIRED OPEN SPACE	N/A***	N/A***

** SUBJECT PARCEL IS PART OF AN EXISTING DESIGN DEVELOPMENT ZONE MASTER PLAN
*** SUFFICIENT OPEN SPACE PROVIDED AS PART OF THE REQUIREMENTS OF THE GOODWIN COLLEGE RIVER CAMPUS MASTER PLAN

KEY MAP - PARKING

N.T.S.

Parking Requirements (INCLUSIVE OF BUILDINGS 8, 10A. & 10B)

Bldg #	Address	Use	Rate	Quantity	Required	Required Per Bldg	Total Required	Total Provided	Net
10A	**1 Pent Road** (Proposed Annex)	Classrooms	5 spaces / Teaching Station	7 TS	35	37 spaces	**476 spaces**	**710 spaces**	**(+)234 spaces**
		Administrative / Office	1 Space / 250 sf	350 sf	2				
10B	**1 Pent Road** (Existing Building) (see note 1)	Labs	5 Spaces / Teaching Station	16 TS	80	183 spaces			
		Unused	1 Space / 250 sf	8,780 sf	35				
		Classrooms	5 Spaces / Teaching Station	7 TS	35				
		Storage	1 Space / 1000 sf	4,272 sf	5				
		Administrative/Office	1 Space / 250 sf	6,801 sf	28				
8	**211 Riverside Drive** (Existing Building)	Administrative	1 space / 250 sf	10,180 sf	41	256 spaces			
		Classrooms	5 spaces / Teaching Station	43 TS	215				

NOTE
PARKING REQUIREMENTS FOR EXISTING BUILDINGS (DESIGNATED 8 AND 10B) TAKEN FROM A PLAN ENTITLED "GOODWIN MASTER PARKING EAST HARTFORD, CT PARKING LAYOUT, P-1 JULY 2017" AS PREPARED BY ZUVIC -CARR ASSOCIATES, ROCKY HILL, CT. THE PLAN INDICATES THAT THERE IS A SURPLUS OF 593 EXISTING PARKING SPACES ON THE GOODWIN COLLEGE RIVER CAMPUS.

MAP REFERENCES
- EXISTING CONDITIONS PLAN PREPARED FOR GOODWIN COLLEGE, INC., 1 PENT ROAD, EAST HARTFORD, CONNECTICUT, DATED 1/19/17, REVISED 7/26/17, BY DENNO LAND SURVEYING & CONSULTING,LLC, TARIFFVILLE, CT
- RECORD SUBDIVISION PLAN, 54.3 +/- ACRE PARCEL, O'CONNELL SCHOOL DISTRICT, RESUBDIVISION - PROPOSED LOTS 2-1 & 2-2, PRATT & WHITNEY AIRCRAFT - WILLGOOS FACILITY ONE PENT ROAD, EAST HARTFORD, CONNECTICUT SEP. 25, 2017 PREPARED BY ZUVIC, CARR AND ASSOCIATES INC. ROCKY HILL, CT.

GOODWIN COLLEGE CONNECTICUT RIVER ACADEMY MANUFACTURING ANNEX

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SCALE 1"=50'

REVISIONS:
01/03/18 PER TOWN REVIEW COMMENT

OVERALL SITE PLAN

L-100

DEMOLITION NOTES

1. ALL EXISTING UTILITY STRUCTURES (MANHOLE, INLETS, VAULTS, ETC) SHALL BE REMOVED AS NOTED PER UTILITY COMPANY STANDARDS.
2. THE EXISTING PIPES AND CONDUITS IN CONFLICT WITH THE PROPOSED BUILDING SHALL BE REMOVED & DISPOSED OF. THE REMAINDER OF THE PIPES OR CONDUITS SHALL BE PLUGGED WITH CONCRETE PER RESPECTIVE UTILITY COMPANY STANDARDS. CONTRACTOR SHALL KEEP A RECORD OF LIMITS OF PIPE REMOVAL.
3. OPENINGS IN EXISTING DRAINAGE STRUCTURES FROM PIPES THAT HAVE BEEN REMOVED SHALL BE PLUGGED WITH CONCRETE.
4. SEE ADDITIONAL DEMOLITION NOTES ON GENERAL NOTES SHEET GN-1

LEGEND

- PROPERTY LINE/RIGHT OF WAY LINE
- LOD — LOD — LIMIT OF DISTURBANCE
- 550 — EXISTING CONTOURS
- FENCE LINE
- XXXXXXXXXXXXXX PIPES, FENCE, OR CURBING TO BE REMOVED
- SAW CUT PAVEMENT
- PAVEMENT AND BASE TO BE REMOVED
- STRUCTURE OR FEATURE AND FOUNDATION OR BASE TO BE REMOVED
- STRUCTURE OR FEATURE TO BE REMOVED AND RELOCATED AND BASE DISPOSED
- R TREE, STUMP, AND BUSHES TO BE REMOVED
- P TREE TO BE PROTECTED
- SOIL BORING LOCATIONS

SEE INSET A

REMOVE & DISPOSE CHAINLINK FENCE, FOOTINGS, & GATE
STRIP AND STOCKPILE TOPSOIL (TYP)
SAWCUT PAVEMENT, REMOVE & DISPOSE BITUMINOUS CURB
PROTECT PAVEMENT TO REMAIN
REMOVE & DISPOSE LIGHT AND BASE (TYP)
REMOVE GRAVEL WALK
REMOVE & DISPOSE SIGN & BASE
REMOVE & DISPOSE WOOD TIES
REMOVE & DISPOSE CHAIN LINK FENCE & FOOTING
REMOVE & DISPOSE SIGN
PROTECT CONCRETE MONUMENT
PROTECT CHAINLINK FENCE
PROPERTY LINE IS LOD
REMOVE & DISPOSE BITUMINOUS PAVEMENT (TYP)
REMOVE & DISPOSE EXISTING DRAINAGE STRUCTURE & ASSOCIATED PIPES
REMOVE & DISPOSE ABANDONED WATER PIPE
REMOVE & DISPOSE LIGHT AND BASE (TYP)
REMOVE & DISPOSE SECTION OF PIPE FOR INSTALLATION OF NEW DRAINAGE STRUCTURE
SAWCUT BITUMINOUS PAVEMENT
REMOVE & DISPOSE ABANDONED WATER PIPE
PROTECT MONITORING WELLS DURING CONSTRUCTION, RESET TO FINISH GRADES
REMOVE & DISPOSE PIPES AS NECESSARY FOR INSTALLATION OF NEW DRAINAGE PIPES
PROTECT FENCE
PROPERTY LINE IS LOD
EXISTING STONE AREAS TO REMAIN (TYP.)
PROTECT DRAINAGE STRUCTURE
PROTECT STORM MANHOLE
REMOVE & DISPOSE BITUMINOUS WALK & BASE
REMOVE & DISPOSE BIT. CURB
REMOVE P.I.V. & BOLLARDS
REMOVE & DISPOSE LIGHT & BASE
REMOVE & DISPOSE DRAINAGE STRUCTURE
REMOVE & DISPOSE LIGHT & BASE
SAWCUT BIT. PAVEMENT
REMOVE & DISPOSE BITUMINOUS CURB
REMOVE & DISPOSE BITUMINOUS CURB
PROTECT ELEC. SERVICE
PROTECT TELE. MH
PROTECT EXISTING FIRE HYDRANT
PROTECT H.C. DOOR BUTTON
PROTECT PAVEMENT TO REMAIN
REMOVE DRAINAGE STRUCTURE
REMOVE & DISPOSE HANDICAP PARKING SIGN
PROTECT MH
PROTECT PAVEMENT TO REMAIN
PROTECT BUILDING, RAMP, & ELECTRIC METER
REMOVE & DISPOSE PIPES (TYP.)
PROTECT PAVEMENT TO REMAIN
PROTECT EXISTING FIRE HYDRANT
PROTECT COOLING UNIT
PROTECT SMH
PROTECT CONCRETE MONUMENT (TYP)
PROTECT LIGHT
PROTECT YD
SAWCUT, REMOVE & DISPOSE BITUMINOUS PAVEMENT & BASE
PROTECT LIGHT
PROTECT CATCH BASIN
PROPERTY LINE IS LOD
PROTECT TREE TO REMAIN
PROTECT LIGHT
SAWCUT BITUMINOUS PAVEMENT
REMOVE & DISPOSE BITUMINOUS PAVEMENT AND BASE
FENCE LINE IS LOD

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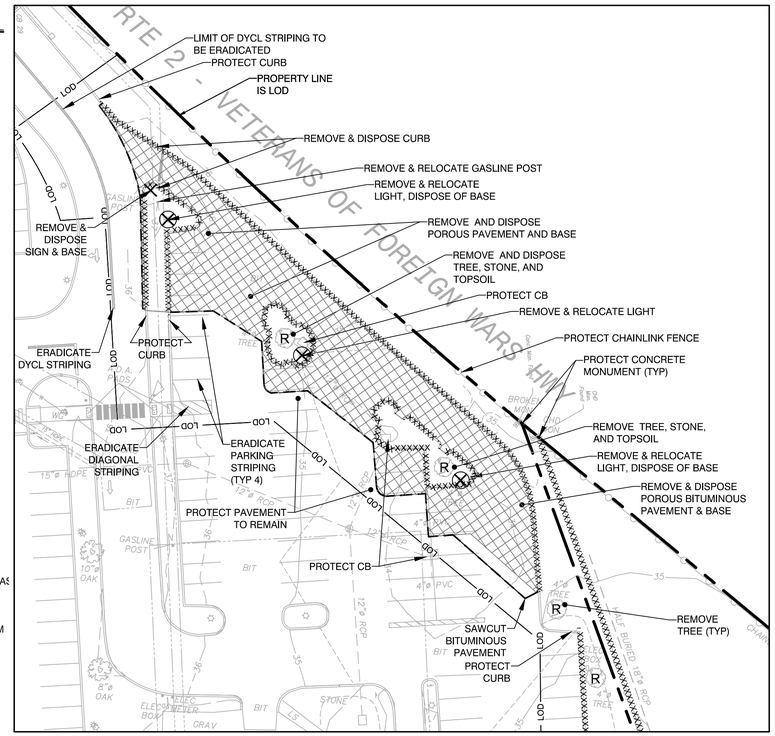

INSET A

CT. RTE 2 - VETERANS OF FOREIGN WARS HWY

0 15 30 60 90

GOODWIN COLLEGE CONNECTICUT RIVER ACADEMY MANUFACTURING ANNEX

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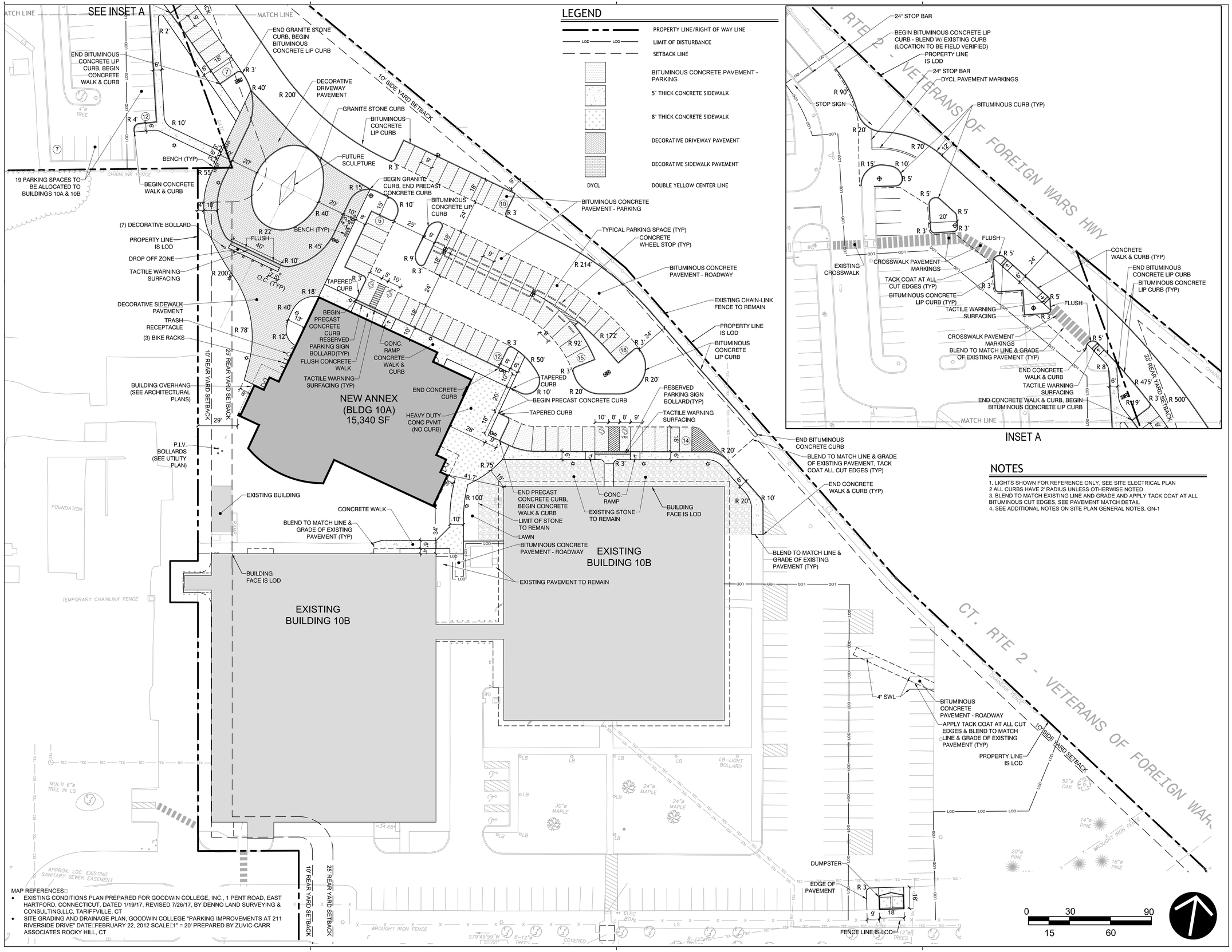
JOB	H16050.00		
DRAWN	K.M.		
SCALE	1"=30'		

REVISIONS:

SITE DEMOLITION PLAN

L-101



INSET A

NOTES

1. LIGHTS SHOWN FOR REFERENCE ONLY. SEE SITE ELECTRICAL PLAN
2 ALL CURBS HAVE 2' RADIUS UNLESS OTHERWISE NOTED
3. BLEND TO MATCH EXISTING LINE AND GRADE AND APPLY TACK COAT AT ALL BITUMINOUS CUT EDGES, SEE PAVEMENT MATCH DETAIL
4. SEE ADDITIONAL NOTES ON SITE PLAN GENERAL NOTES, GN-1

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SCALE	1"=30'		

REVISIONS:
01/03/18 PER TOWN REVIEW COMMENT

LAYOUT PLAN

L-102

SEE INSET A

LEGEND

- PROPERTY LINE/RIGHT OF WAY LINE
- LOD — LOD — LIMIT OF DISTURBANCE
- 550 — EXISTING CONTOURS
- 550 — PROPOSED CONTOURS
- + 34.25 — PROPOSED SPOT GRADE
- (DOUBLE CB) (SINGLE CB) — PROPOSED CATCH BASIN
- PROPOSED YARD DRAIN
- D — PROPOSED DRAINAGE MANHOLE
- PROPOSED DRAINAGE LINE

CB TF=34.53 FL=32.07

DMH-2
4' DIA.
T.F.=34.40
INV.=28.84
40'-12" RCP
S=1.00%

CB-5
TYPE C
T.F.=34.60
INV.=29.60
77'-12" RCP
S=1.00%

CB-1
TYPE CL
DBL GRATE TYPE I
T.F.=33.20
INV.(E)=25.48
INV.(NW)=28.44
INV.(S)=25.48

64'-30" RCP
S=0.33%

HYDRODYNAMIC SEPARATOR
CDS2015-4
T.F.=34.40
INV.=25.27

65'-30" RCP
S=0.30%

AD-1
5' DIA.
W/ OPEN GRATE
T.F.=33.00
INV.(SE)=26.07
INV.(N)=26.07
INV.(W)=25.07

AD-2
4' DIA.
W/ OPEN GRATE
T.F.=33.00
INV.(E)=28.70
INV.(SW)=28.70
INV.(NW)=28.60

78'-18" RCP
S=0.67%

CONNECT PIPE TO EXISTING DMH INV.(W)=29.22

BUILDING FACE IS LOD

BLEND TO MATCH EXISTING GRADE (TYP)

PROPERTY LINE IS LOD

NEW ANNEX
(BLDG 10A)
FF=34.70

25'-30" RCP
S=0.32%

93'-18" RCP
S=2.78%

166'-30" RCP
S=0.30%

CB-2
TYPE CL
DBL GRATE TYPE I
T.F.=33.00
INV.=25.97

DMH-1
5' DIA.
T.F.=33.50
INV.=26.05

59'-18" RCP
S=0.32%

CB-3
TYPE CL
T.F.=33.00
INV.=26.24

79'-18" RCP
S=0.34%

CB-4
TYPE CL
T.F.=33.00
INV.=26.51

24'-18" RCP
S=0.33%

E-DMH-4
CONVERT GRATE COVER
TO SOLID COVER
T.F.=33.59

52'-24" RCP
S=0.42%

AD-3
4' DIA.
W/ OPEN GRATE
CONNECT TO EXISTING PIPE
T.F.=33.50
INV.(S)=26.86±
INV.(N)=26.86±

E-DMH-3
RESET TOP
NEW MH FRAME
& COVER
T.F.=34.50
INV.(N)=26.27

RESET TOPS OF MONITORING WELLS

(FF 34.72)

BUILDING FACE IS LOD

EXISTING BUILDING 10B

(FF 34.68)

BLEND TO MATCH EXISTING GRADE (TYP)

EXISTING BUILDING 10B

CONNECT NEW PIPE TO EXISTING STRUCTURE INV.=27.80

84'-12" RCP
S=1.0%

AD-4
T.F.=33.10
INV.=28.64

BLEND TO MATCH EXISTING GRADE (TYP)

PROPERTY LINE IS LOD

PROTECT EXISTING TREE TO REMAIN

BLEND TO MATCH EXISTING GRADE (TYP)

FENCE LINE IS LOD

CT. RTE 2 - VETERANS OF FOREIGN WARS HWY

RTE 2 - VETERANS OF FOREIGN WARS HWY

PROPERTY LINE IS LOD

ADJUST FRAME TO GRADE

CB-7
CONVERT GRATE COVER
TO SOLID COVER
INV.(E)=34.5±

30'-12" RCP CLASS V
S=0.5%

CB-6
TYPE C
T.F.=33.75
INV.=31.69

BLEND TO MATCH EXISTING GRADE (TYP)

BLEND TO MATCH EXISTING GRADE (TYP)

INSET A

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0 30 90
15 60

GOODWIN COLLEGE CONNECTICUT RIVER ACADEMY MANUFACTURING ANNEX

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P.M.		P.A.	

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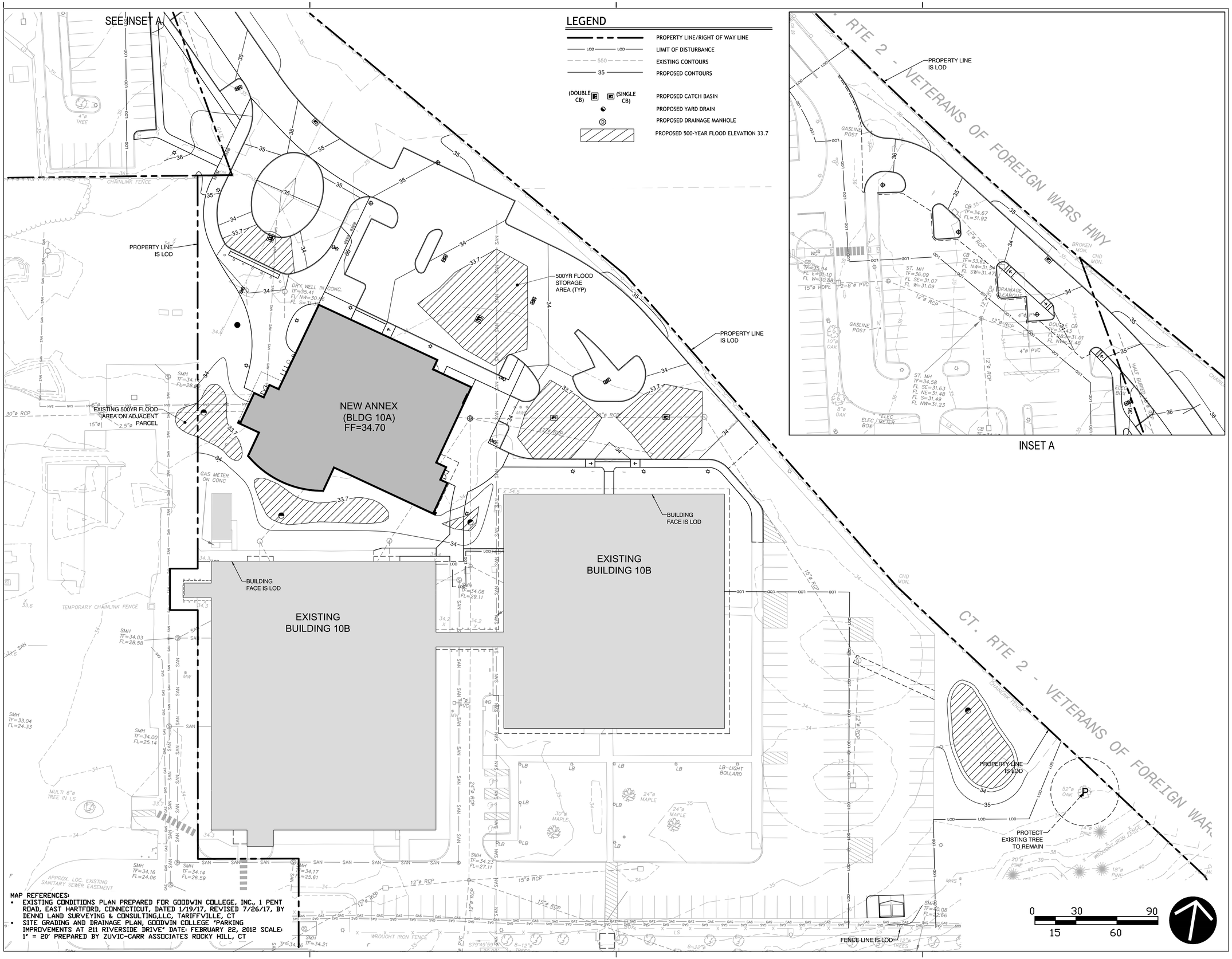
SCALE	AS NOTED

REVISIONS:

GRADINAGE & DRAINAGE PLAN

L-201



INSET A

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REVISIONS:

FLOOD STORAGE MANAGEMENT PLAN

L-202

SITE UTILITY LEGEND

- PROPERTY LINE/RIGHT OF WAY LINE
- LEASE LINE
- LIMIT OF DISTURBANCE
- ELECTRIC LINE
- TELECOMMUNICATIONS LINE
- GAS LINE
- WATER LINE
- SANITARY SEWER LINE
- STORM LINE
- CATCH BASIN
- YARD DRAIN
- STORM MANHOLE
- SANITARY MANHOLE
- SEWER CLEANOUT
- BACKWATER VALVE
- HYDRANT
- WATER VALVE
- TRANSFORMER & PAD

SEE INSET A

MATCH LINE

PROPERTY LINE IS LOD

NEW ANNEX (BLDG 10A)

GAS METER REFER TO MEP PLANS

REFER TO MEP PLANS FOR CONTINUATION OF UTILITY SERVICES

4" D.I. PIPE DOMESTIC SERVICE INV.=31.00'

CUT & CAP EXISTING WATER LINE

8"x8" TAPPING SLEEVE AND 8" TAPPING VALVE W/ THRUST BLOCK

POST INDICATOR VALVE (PIV)

45° M.J. BEND W/ THRUST BLOCK

45° M.J. BEND W/ THRUST BLOCK

GAS SERVICE CONNECT TO EXISTING GAS PIPE. CONTRACTOR TO COORDINATE W/CNG

BUILDING FACE IS LOD

8" D.I. PIPE

(1) 2" FIRE ALARM SERVICE

EXISTING BUILDING 10B

(2) 4" TELECOMMS. DUCTBANK

(2) 4" ELECTRICAL DUCTBANK

4" D.I. PIPE FIRE SERVICE

8"x4" TEE W/THRUST BLOCK

CLEANOUT

72'-8" PVC @ 2.62%

BUILDING FACE IS LOD

CUT & CAP EXISTING WATER LINE

8"x8" TAPPING SLEEVE AND 8" TAPPING VALVE W/ THRUST BLOCK

CONNECT NEW PIPE TO EXISTING SMH REWORK EXISTING INVERT INV.=29.11'

EXISTING BUILDING 10B

PROPERTY LINE IS LOD

FENCE LINE IS LOD

RTE 2 - VETERANS OF FOREIGN WARS HWY

CT. RTE 2 - VETERANS OF FOREIGN WAR

INSET A

MAP REFERENCES:

- EXISTING CONDITIONS PLAN PREPARED FOR GOODWIN COLLEGE, INC., 1 PENT ROAD, EAST HARTFORD, CONNECTICUT, DATED 1/19/17, REVISED 7/26/17, BY DENNO LAND SURVEYING & CONSULTING,LLC, TARIFFVILLE, CT
- SITE GRADING AND DRAINAGE PLAN, GOODWIN COLLEGE "PARKING IMPROVEMENTS AT 211 RIVERSIDE DRIVE" DATE: FEBRUARY 22, 2012 SCALE: 1" = 20' PREPARED BY ZUVIC-CARR ASSOCIATES ROCKY HILL, CT

0 30 90
15 60

GOODWIN COLLEGE CONNECTICUT RIVER ACADEMY MANUFACTURING ANNEX

1 PENT ROAD, EAST HARTFORD, CT 06118

JCJARCHITECTURE
120 HUYSHOPE AVENUE
HARTFORD, CT 06106
860.247.9226

CONSULTANTS:

SITE/CIVIL
Freeman Companies
36 John Street
Hartford, CT 06106
860.251.9550

STRUCTURAL
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Branford, CT 06405
203.481.8600

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860.341.1206

PLANNING & ZONING
12-20-2017

STATE OF CONNECTICUT
DARIN M. LEMIRE
NO. 28501
LICENSED PROFESSIONAL ENGINEER

P.I.C.		L.D.	
P.M.		P.A.	

ISSUE	12-20-2017
JOB	H16050.00
DRAWN	K.M.
SCALE	AS NOTED

REVISIONS:

UTILITY PLAN

L-301

GOODWIN COLLEGE CONNECTICUT RIVER ACADEMY MANUFACTURING ANNEX

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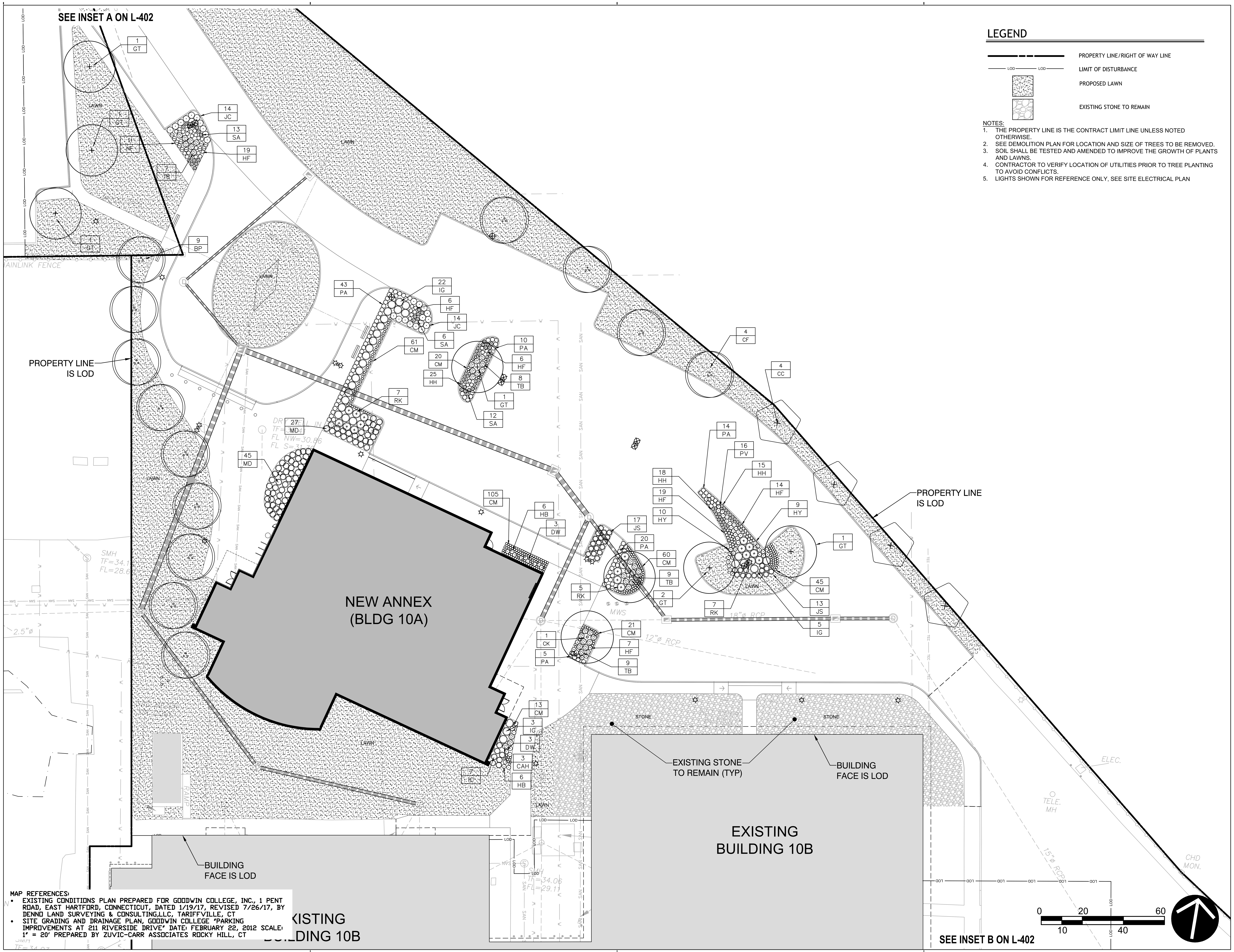
PLANNING & ZONING
12-20-2017



LEGEND

(line)	PROPERTY LINE/RIGHT OF WAY LINE
— LOD — LOD —	LIMIT OF DISTURBANCE
(hatch)	PROPOSED LAWN
(hatch)	EXISTING STONE TO REMAIN

NOTES:
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2. SEE DEMOLITION PLAN FOR LOCATION AND SIZE OF TREES TO BE REMOVED.
3. SOIL SHALL BE TESTED AND AMENDED TO IMPROVE THE GROWTH OF PLANTS AND LAWNS.
4. CONTRACTOR TO VERIFY LOCATION OF UTILITIES PRIOR TO TREE PLANTING TO AVOID CONFLICTS.
5. LIGHTS SHOWN FOR REFERENCE ONLY, SEE SITE ELECTRICAL PLAN

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SCALE	1"=20'

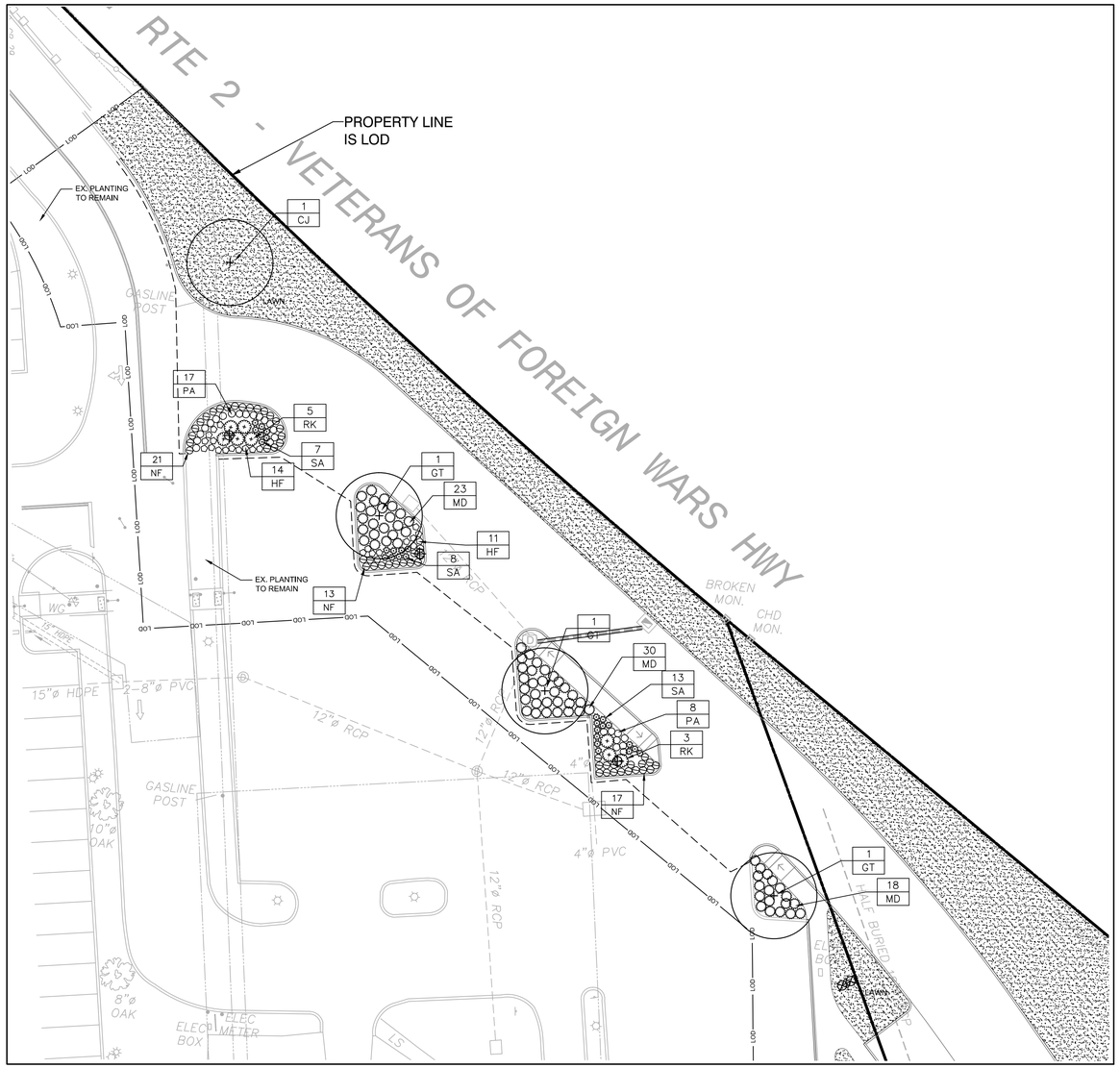
REVISIONS:

PLANTING PLAN

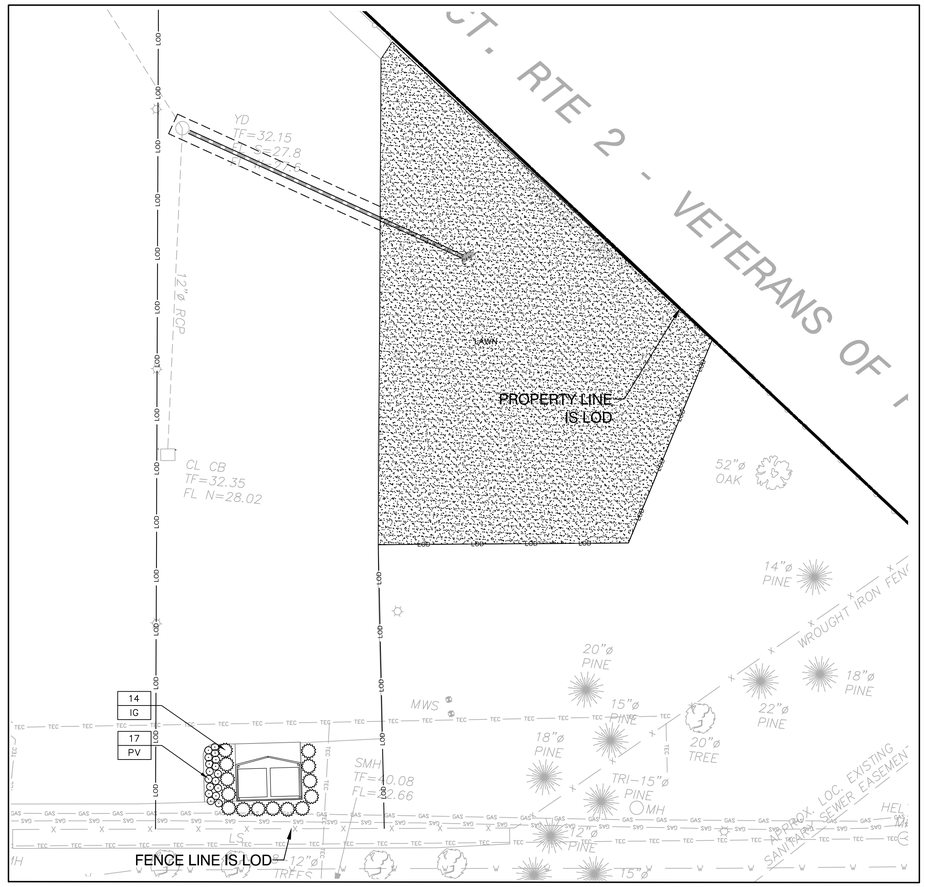
L-401

PLANT LIST

Qty.	Key	Name-Botanical/Common	Size at Maturity	Planted Size	Light Preference	Comments	Landscape Characteristics
DECIDUOUS TREES							
1	CJ	Cercidiphyllum japonicum Katsuratree	40' ht.20' spd.	3 - 3-1/2"	Full Sun	B&B	Bluish green leaf color, yellow-apricot fall color. Specimen for parks. Disease and insect free. Heart shaped leaves.
10	GT	Gleditsia triacanthos 'Halka' Halka Honeylocust	40' ht./spd.	3" cal.	Full Sun	B&B	Native, strong central leader, upright branching forming a pyramidal habit. Urban tolerant; ideal street tree.
ORNAMENTAL TREES							
9	BP	Betula papyrifera 'Whitespire' Whitespire Paper Birch	30'-40' ht, 20-25' spd.	2-2 1/2" cal.	Full Sun	B&B	[illegible] brilliant yellow fall cover. Higher disease resistance, heat tolerant and adaptive to most soil conditions.
4	CC	Cercis canadensis Eastern Redbud	20-30' ht. 25-35' spd.	2-2 1/2" cal.	Full Sun Part Shade	B&B	Native, red-purple buds, pink flowers before leaves in April.
4	CF	Cornus florida 'Cherokee Princess' Cherokee Princess Flow. Dogwood	25' ht/spd	2-2 1/2" cal.	Full Sun Part Shade	B&B	Native, heavily flowering with large white flower bracts. More disease resistant than other cultivars. Four season character: flower, foliage, fruit and winter habit. Deer resistant.
1	CK	Cornus kousa Kousa Dogwood	25'ht./spd	2-2 1/2" cal.	Full Sun Part Shade	B&B	White flowers June, red fruit summer. Resistant to anthracnose.
EVERGREEN SHRUBS							
7	IC	Ilex crenata 'Green Lustre' Green Lustre Holly	2 1/2 - 3' ht 3-4' spd.	24-30" spd.	Full Sun/ Shade	B&B or cont.	Dark green foliage, hardy, dependable, foundation borders, mass, loose/open, hedge.
44	IG	Ilex glabra 'Compacta' Compact Inkberry	4-5' ht.	30-36"	Full Sun Part Shade	B&B or cont.	Native, hardy, salt and dry soil tolerant, upright, much branched, erect-rounded form, foundations, hedges.
11	JC	Juniperus conferta 'Blue Pacific' Blue Pacific Shore Juniper	6"- 1' ht. 8' spd.	18-24"	Full Sun	B&B or cont.	Low strongly trailing habit, ocean blue-green longer needed foliage, ground cover, hardy. Good seashore plant. Very salt, heat and cold tolerant.
30	JS	Juniperus chinensis sargenti Sargent Juniper	18-24" ht. 7.5' spd.	18-24" spd	Full Sun	B&B	Low growing, wide spreading shrub with rich blue gray foliage, resistant to juniper blight. Ground cover or for soil stabilization.
143	MD	Microbiota decussata Siberian Carpet Cypress	1' ht/8' spd.	18-24" spd	Full Sun Part Shade	B&B or cont.	Soft, flat, densely branched. Bright green cedar like foliage turns purplish brown in winter. Very hardy and adaptable to sites with adequate drainage.
49	TB	Taxus baccata 'repandens' Spreading English Yew	3' ht/ 5' + spd.	2-2 1/2"	Full Sun/Shade	B&B	Wide and low-spreading. Flat, dark green-blue foliage on arching branches. Less susceptible to deer browsing than other yews. Hardy yew, excellent landscape plant.
DECIDUOUS SHRUBS							
3	CAH	Clethra alnif. 'Hummingbird' Hummingbird Summersweet	3-4' ht/spd.	18-24"	Sun/Shade	cont.	Dense, compact with lustrous deep, dark green foliage and profusion of long, extremely fragrant flower spikes. Tolerates moist soil, bright yellow fall foliage.
27	RK	Rosa 'Knockout' Knockout Rose	3' ht. 4' spd	18-24"	Full Sun Part Shade	cont.	Cherry red flowers against deep green foliage. Blooms all summer, June-Sept., orange-red hips-winter interest. Immune to black spot and diseases. Carefree.
PERENNIALS							
264	CM	Carex morrowii 'Ice Dance' Ice Dance Japanese Sedge	12" ht. 15" spd.	1 gal.	Part Sun/Part Shade	cont.	Semi-evergreen delicate grass-like foliage, edged pure white. Clumps spread to create a low maintenance groundcover for shady locations.
6	DW	Dryopteris wallichiana Wallich's Wood Fern	2'-3' ht.	1 gal.	Part Full Shade	cont.	Very graceful frilly, deep green and glossy fronds.
12	HB	Helleborus 'Brandywine' Brandywine Lenten Rose	12-18" ht./12-15" spd.	1 gal.	Part Sun Part Shade	cont.	Rainbow pink to peach shades of flower color March-May. Deep green, leathery, lustrous evergreen foliage.
96	HF	Hemerocallis 'Fairy Tale Pink' Fairy Tale Pink Daylily	18-24" ht./spd.	1 gal.	Full Sun Part Shade	cont.	Semi-evergreen goliage. 5-1/2" mid to late summer pink flower. Rebloomer. Award winner.
58	HH	Hemerocallis 'Happy Returns' Happy Returns Daylily	18" ht./18-24" spd.	1 gal.	Full Sun Part Shade	cont.	3" clear lemon-yellow flowers reappearing May-Sept. Dry infertile soil, deer browse, hummingbirds, salt tolerant. Compact foliage.
19	HY	Hemerocallis 'Hyperion' Hyperion Daylily	36" ht. spd.	1 gal.	Part/Full Shade	cont.	Large, 5" lemon yellow flowers in June-July, very fragrant, classic.
71	NF	Nepeta faassenii 'Walker's Low' Walker's Low Catmint	2-3' ht/spd.	1 gal	Full Sun	cont.	Deer resistent, upright and wide. Soft lavender blue flowers over gray green foliage all summer. Prolific bloomer. Attracts butterflies.
117	PA	Pennisetum alopecuroides 'Hameln' Hameln Dwarf Fountain Grass	2' ht./spd.	1 gal.	Full Sun	cont.	A slender, arching compact grass with graceful plumes August to October.
33	PV	Panicum virgatum 'Cheyenne Sky' Cheyenne Sky Switch Grass	3' ht./18" spd.	1 gal	Full Sun Part Shade	cont.	Native cultivar. Deer resist. Forms a tight, vase-shaped clump of blue-green foliage that turns wine red in early summer. Purple flowers. Proven Winner. Adaptable to low and consistent moisture.
59	SA	Sedum 'Autumn Joy' Autumn Joy Sedum	20-24" ht.	1 gal.	Full Sun	cont.	Rose-pink flowers early Fall, butterflies, tolerates dry soil.



INSET A
(SEE DRAWING L-401)



INSET B
(SEE DRAWING L-401)

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0 20 60
10 40

GOODWIN COLLEGE CONNECTICUT RIVER ACADEMY MANUFACTURING ANNEX

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PLANNING & ZONING
12-20-2017

STATE OF CONNECTICUT · HEIDI BERG HAHN · NO. 000000 · LICENSED LANDSCAPE ARCHITECT

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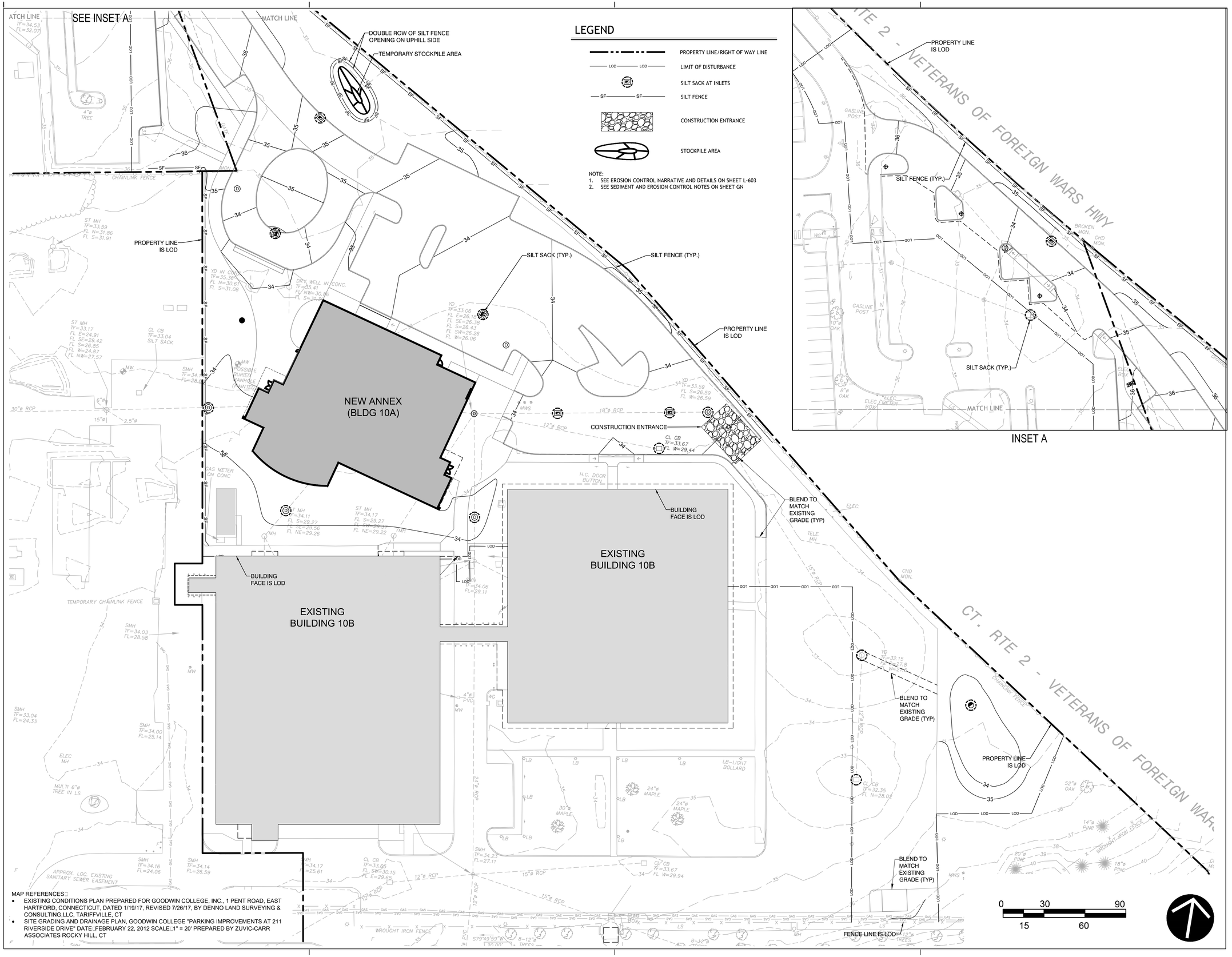
REVISIONS:

PLANTING PLAN

L-402



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PLANNING & ZONING
12-20-2017

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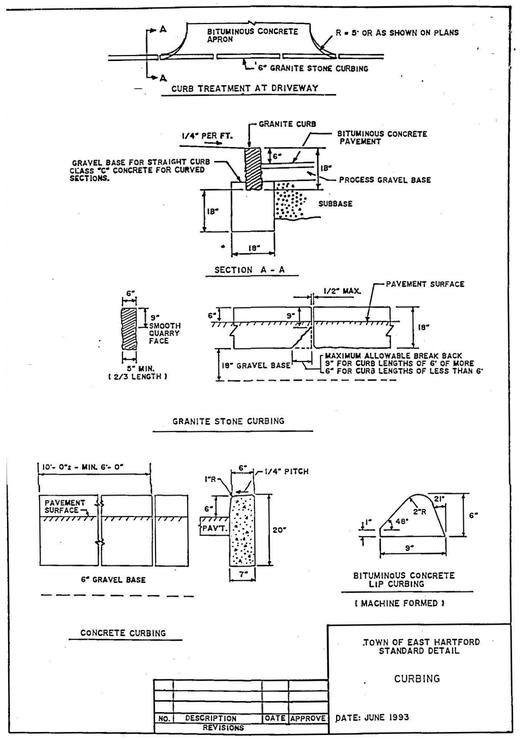
DRAWN	K.M.		
SCALE	.1"=30'		

REVISIONS:

SEDIMENT & EROSION CONTROL PLAN

L-501



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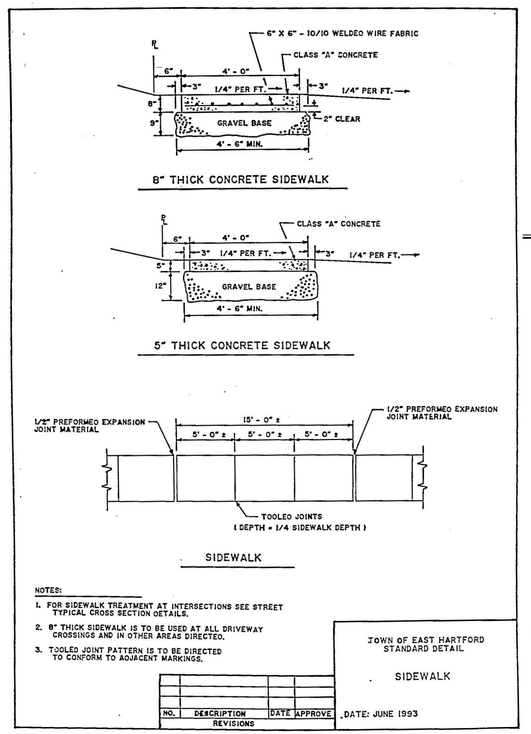

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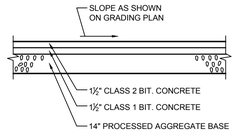
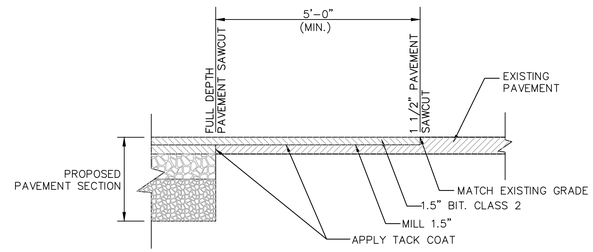


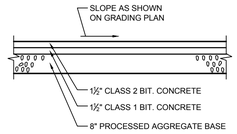
BITUMINOUS CONCRETE PAVEMENT – ROADWAY

N.T.S.



PAVEMENT MATCHING DETAIL

N.T.S.



BITUMINOUS CONCRETE PAVEMENT – PARKING

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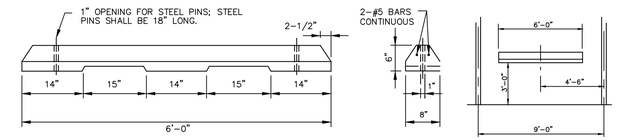

CONCRETE WHEEL STOP

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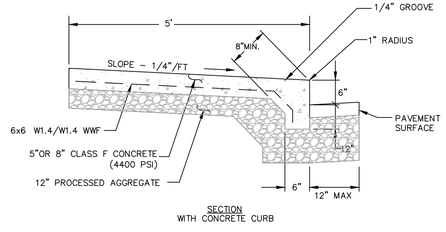
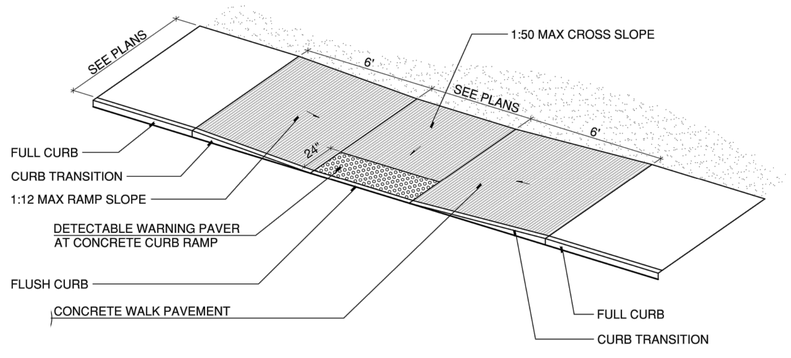


CONCRETE WALK AND CURB

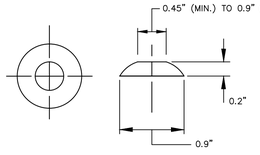
N.T.S.



CONCRETE RAMP

N.T.S.

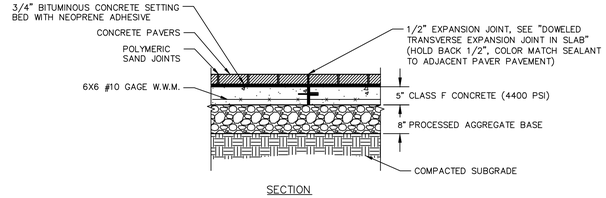
DOME SPACING



DOME SECTION

TACTILE WARNING SURFACING

N.T.S.



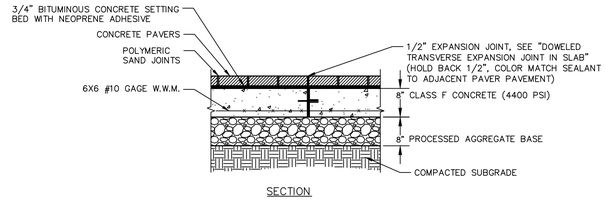
SECTION

NOTES:

1. SAW CUT PAVERS TO MATCH FLUSH AGAINST FIXED OBJECTS, CONCRETE PAVEMENT, EXPOSED UTILITY STRUCTURES AND OTHER SURFACE FEATURES AND INSTALL EXPANSION JOINT AS SHOWN IN DETAIL.
2. IN LOCATIONS WHERE PAVERS ABUT A TREE PIT OR LANDSCAPED AREA, ALUMINUM EDGING SHALL BE INSTALLED.
3. THE CONTRACTOR SHALL ADHERE TO TYPICAL/MAXIMUM GRADES INDICATED, EXCEPT WHERE NOTED OTHERWISE AND AS DIRECTED BY ENGINEER.
4. FOR CONCRETE PAVER PAVEMENT LIMITS, SEE CONSTRUCTION PLAN SHEETS.
5. THE CONTRACTOR SHALL CONSTRUCT TRANSVERSE JOINTS IN THE CONCRETE SIDEWALK AND 4" CONCRETE BASE SLAB AS FOLLOWS, EXCEPT AS NOTED OTHERWISE OR AS DIRECTED BY THE ENGINEER:
   - AT 5' O.C. PROVIDE 1" DEPTH TOOLED JOINTS
   - AT 15' O.C. PROVIDE ½" PREFORMED EXPANSION JOINTS WITH ⅝"X24" DOWELS PLACED 24" O.C.
6. DETAILED INFORMATION REGARDING THE COLOR AND MATERIAL TYPE OF THE CONCRETE PAVERS CAN BE FOUND IN THE SPECIAL PROVISIONS. DETAILED INFORMATION REGARDING THE PAVER PATTERN CAN BE FOUND ON THE DETAIL SHEETS.

DECORATIVE SIDEWALK PAVEMENT

N.T.S.



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DECORATIVE DRIVEWAY PAVEMENT

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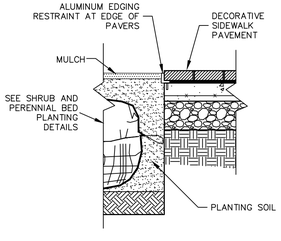

PAVER EDGING

N.T.S.

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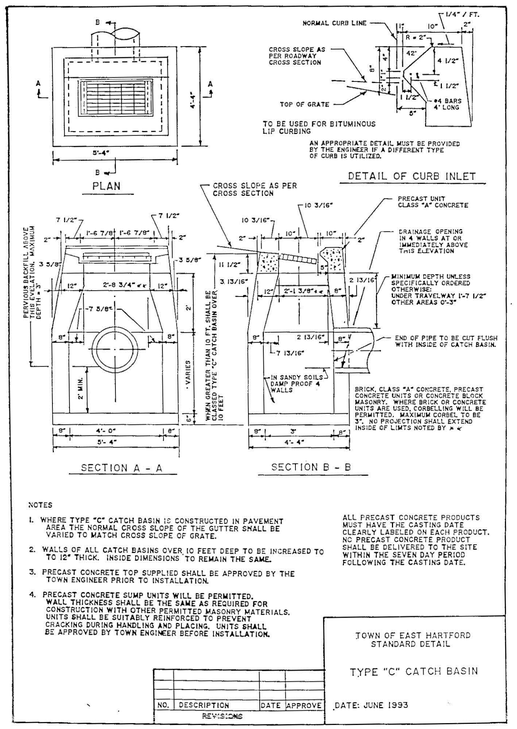
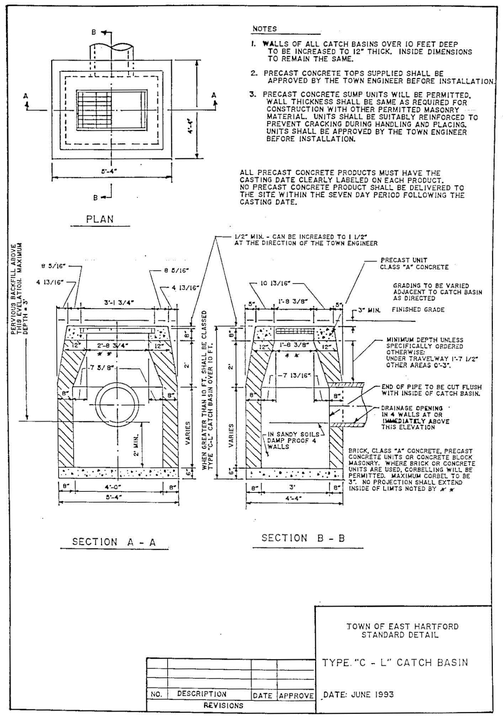
REVISIONS:

SITE DETAILS

L-601





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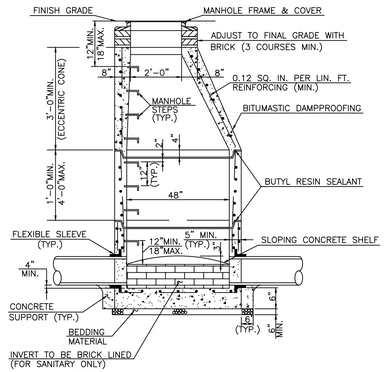
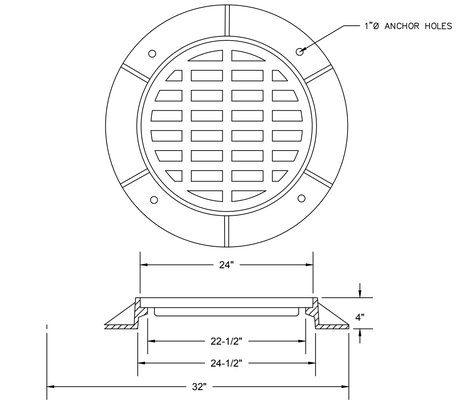


PRECAST CONCRETE MANHOLE

N.T.S.



DRAINAGE MANHOLE FRAME & GRATE

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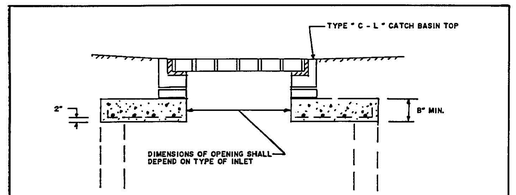
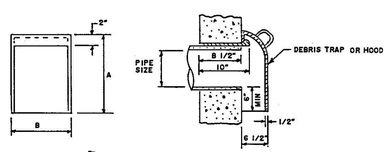


TRANSITION CATCH BASIN SLAB

NOTES

1. TRANSITION SLABS FOR CATCH BASINS MAY BE USED WITH THE APPROVAL OF THE TOWN ENGINEER.
2. THE THICKNESS OF THE SLAB & REINFORCING WILL VARY. THE SLAB SHALL BE DESIGNED FOR A H - 20 LOADING.



A	B	PIPE SIZE	WT. (LBS)	SET (# OF HOOKS)
16"	12"	6"	70	2
18"	12"	8"	75	2
20"	12"	10"	85	2
22"	18"	12"	100	2
25"	17"	15"	135	2
28"	20"	18"	155	2

NOTES:
1. MANUFACTURER CATALOG NUMBER IS TO BE INDICATED ON THE CONSTRUCTION PLANS.
2. INSTALL DEBRIS TRAPS OR HOOD ON OUTLET PIPE WITHIN ALL INLET STRUCTURES

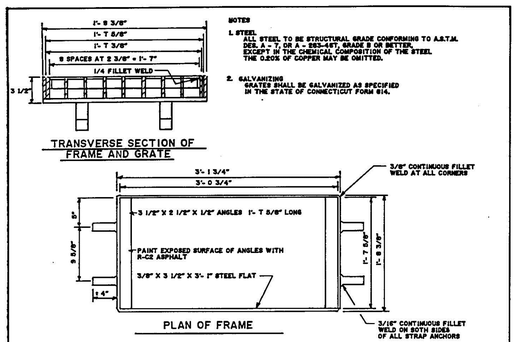
DEBRIS TRAP

TOWN OF EAST HARTFORD STANDARD DETAIL

TRANSITIONAL CATCH BASIN SLAB AND DEBRIS TRAP

NO. DESCRIPTION DATE APPROVE
REVISIONS
DATE: JUNE 1993

B-15

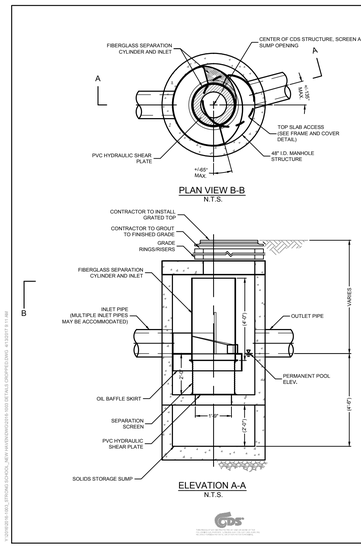


TOWN OF EAST HARTFORD STANDARD DETAIL

STEEL FRAME AND GRATE FOR CATCH BASINS

NO. DESCRIPTION DATE APPROVE
REVISIONS
DATE: JUNE 1993

B-16



FRAME AND COVER
(DIAMETER VARIES)
N.T.S.

SITE SPECIFIC DATA REQUIREMENTS			
STRUCTURE ID			CDS2015
WATER QUALITY FLOW RATE (CFS)			0.58
PEAK FLOW RATE (CFS)			4.5
RETURN PERIOD OF PEAK FLOW (YRS)			100
SCREEN APERTURE (2400 OR 4700)			2400
PIPE DATA:	I.E.	MATERIAL	DIAMETER
INLET PIPE 1	NA	NA	NA
INLET PIPE 2	NA	NA	NA
OUTLET PIPE	658.78	RCP	12"
RIM ELEVATION			RIM
ANTI-FLOTATION BALLAST		WIDTH: NA	HEIGHT: NA

NOTES/SPECIAL REQUIREMENTS:

CURB INLET AND GRATED TOP WITH NO INLET PIPE

GENERAL NOTES
1. CONTRACTOR TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
2. DIMENSIONS MARKED WITH ( ) ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
3. FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH CONSTRUCTION PRODUCTS REPRESENTATIVE: www.contech-cpi.com
4. CDS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
5. STRUCTURE SHALL MEET AASHTO H520 AND CASTINGS SHALL MEET AASHTO M306 LOAD RATING, ASSUMING GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION.
6. PVC HYDRAULIC SHEAR PLATE IS PLACED ON SHELF AT BOTTOM OF SCREEN CYLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.

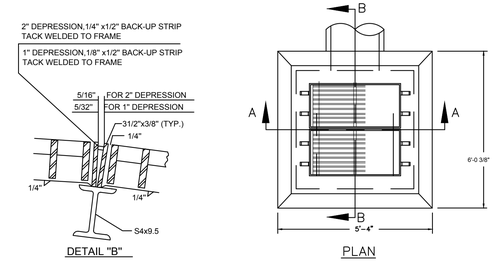
INSTALLATION NOTES
1. ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
2. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE (LIFTING CLUTCHES PROVIDED).
3. CONTRACTOR TO ADD JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS, AND ASSEMBLE STRUCTURE.
4. CONTRACTOR TO PLUG, GROUT, INSTALL, AND GROUT PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN.
5. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

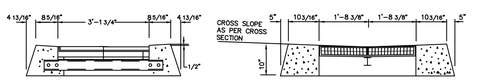
CONSTRUCTION PRODUCTS INC.
www.contech-cpi.com
9025 Centre Pointe Drive, Suite 400, West Chester, OH 45069
Phone: (800) 338-1122 Fax: (513) 645-7993

########
CDS INLINE
STANDARD DETAIL

HYDRODYNAMIC SEPARATOR

N.T.S.





TYPE CL CATCH BASIN DOUBLE GRATE TYPE I

N.T.S.

GOODWIN COLLEGE CONNECTICUT RIVER ACADEMY MANUFACTURING ANNEX

1 PENT ROAD, EAST HARTFORD, CT 06118

JCJARCHITECTURE
120 HUYSHOPE AVENUE
HARTFORD, CT 06106
860.247.9226

CONSULTANTS:

SITE/CIVIL
Freeman Companies
36 John Street
Hartford, CT 06106
860.251.9550

STRUCTURAL
Michael Horton Associates, Inc.
151 Meadow Street No. 2
Branford, CT 06405
203.481.8600

M/E/P
Innovative Engineering Services, LLC
33 North Plains Industrial Road
Wallingford, CT 06492
203.467.4370

TECHNOLOGY
Guillen Technology Consultants
9 Moody Road Building D Suite 18
Enfield, CT 06082
860.341.1206

PLANNING & ZONING
12-20-2017

STATE OF CONNECTICUT · DARIN M. LEAHY · NO. 28501 · LICENSED PROFESSIONAL ENGINEER

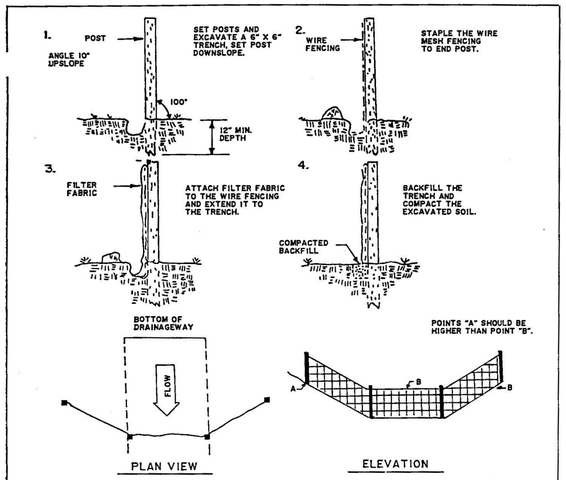
P.I.C. _____ L.D. _____
P.M. _____ P.A. _____

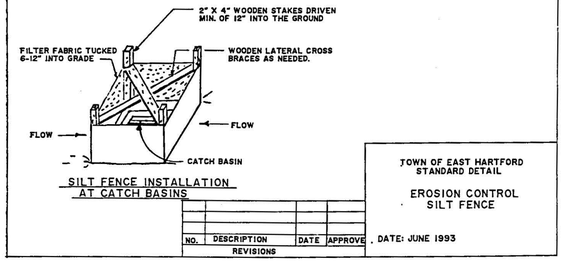
ISSUE 12-20-2017
JOB H16050.00
DRAWN K.M.
SCALE AS NOTED

REVISIONS:

SITE DETAILS

L-602





SILT FENCE INSTALLATION AT CATCH BASINS

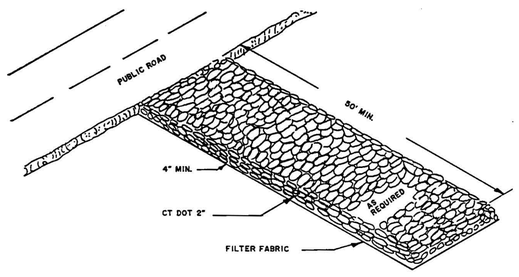
NO.	DESCRIPTION	DATE	APPROVE
	REVISIONS		

TOWN OF EAST HARTFORD STANDARD DETAIL

EROSION CONTROL SILT FENCE

DATE: JUNE 1993

B-32



CONSTRUCTION ENTRANCE

NO.	DESCRIPTION	DATE	APPROVE
	REVISIONS		

TOWN OF EAST HARTFORD STANDARD DETAIL

CONSTRUCTION ENTRANCE

DATE: JUNE 1993

B-33

EROSION AND SEDIMENT CONTROL NARRATIVE FOR: CT RIVER ACADEMY MANUFACTURING ANNEX EAST HARTFORD, CONNECTICUT

I. INTRODUCTION

THE EROSION AND SEDIMENT CONTROL PLAN HAS BEEN PREPARED AS PART OF THE CONSTRUCTION PLANS FOR CT RIVER ACADEMY MANUFACTURING ANNEX IN EAST HARTFORD, CONNECTICUT. INFORMATION RELATING TO SEDIMENTATION AND EROSION CONTROL IS INCLUDED IN THESE DRAWINGS. ALL SEDIMENTATION AND EROSION CONTROL ACTIVITIES SHALL BE IN COMPLIANCE WITH THE TOWN OF EAST HARTFORD EROSION AND SEDIMENTATION PERMIT.

II. NARRATIVE

A. DESCRIPTION OF DEVELOPMENT

THE DEVELOPMENT SITE ENCOMPASSES APPROXIMATELY 8.0 ACRES IN EAST HARTFORD, CONNECTICUT. THE DEVELOPMENT IS FOR NEW ANNEX AND PARKING. THE TOTAL PROJECT DISTURBANCE IS APPROXIMATELY 2.6 ACRES)

B. CONSTRUCTION AND GRADING SCHEDULE

1. GENERAL

A. THE FOLLOWING SCHEDULE IS TO SERVE AS A GENERAL GUIDE TO THE SEQUENCE OF CONSTRUCTION ACTIVITIES FOR SEDIMENT AND EROSION CONTROL MEASURES. IT IS NOT INTENDED TO TAKE THE PLACE OF THE CONTRACTOR'S RESPONSIBILITY FOR DETAILED SCHEDULING OF ALL CONSTRUCTION ACTIVITIES. HOWEVER, THE SCHEDULE WILL BE INCORPORATED INTO THE CONTRACT DOCUMENTS AND NO SUBSTANTIAL DEVIATION FROM THIS SCHEDULE SHALL OCCUR WITHOUT PRIOR APPROVAL OF THE CONSTRUCTION MANAGER.

B. THE DATES GIVEN BELOW ARE APPROXIMATE TO GIVE AN INDICATION OF OVERALL CONSTRUCTION SEQUENCE.

START CONSTRUCTION	SPRING	2018
PARTIAL GRADING	FALL	2018
FINAL GRADING	SPRING	2019
END CONSTRUCTION	SUMMER	2019

THE CONTRACTOR IS REQUIRED TO MEET THE DATES AND DEADLINES ESTABLISHED IN THEIR CONTRACT EXECUTED WITH THE OWNER.

2. CONSTRUCTION SEQUENCE

THERE ARE THREE MAJOR PHASES OF CONSTRUCTION. EACH PHASE WILL INCLUDE THE INSTALLATION OF EROSION AND SEDIMENT (E&S) CONTROLS WHICH WILL NEED TO BE ADJUSTED AS THE PHASE EVOLVES AND AS DIRECTED BY THE ENGINEER. THE E&S CONTROLS WILL NEED TO BE INSPECTED DURING THE START OF EACH PHASE AND ADJUSTED OR REPLACED AS NEEDED. THE FOLLOWING ARE THE PROJECT PHASES;

1. DEMOLITION (SITE PREP) PHASE
2. MAJOR EARTHWORK AND UTILITY PHASE
3. SITE IMPROVEMENTS PHASE

A. CLEARING AND GRUBBING
(1.)CLEAR ALL TREES AND APPURTENANCES WITHIN THE PROPOSED PROJECT AREA THAT ARE NOT DESIGNATED TO REMAIN. CONTRACTOR SHALL VERIFY WITH THE ENGINEER REMOVAL OF ALL TREES. DISPOSE OF CLEARED ITEMS AT AN APPROVED OFF-SITE DISPOSAL AREA. (2.)CLEAN ALL EXISTING DRAINAGE STRUCTURES THAT ARE CURRENTLY FILLED.

B. EROSION AND SEDIMENT CONTROL
(1.)INSTALL HAYBALES, SILT FENCE, AND SILT SACKS AS SHOWN ON THE DRAWINGS OR AS DIRECTED BY THE ENGINEER.

C. SITE EXCAVATION AND GRADING
(1.)STRIP AND STOCK TOPSOIL. INSTALL HAY BALES AND SILT FENCE AROUND STOCKPILE AS REQUIRED.
(2.)RELOCATE OR INSTALL ADDITIONAL SILT FENCE OR HAY BALES TO FULLY ENCLOSE AND CONTROL ALL WORK AREAS AS DIRECTED BY THE ENGINEER.
(3.)AS EXCAVATION PROGRESSES, PROVIDE TEMPORARY CHANNELS OR BERMS AS NECESSARY TO DIRECT SITE RUNOFF TO THE PROPOSED OR EXISTING DRAINAGE STRUCTURES AS DIRECTED BY THE ENGINEER. OWNER.
(4.)THE CONTRACTOR SHALL STOCKPILE ALL EXCESS EXCAVATED MATERIAL AT LOCATIONS SHOWN ON THE DRAWINGS OR AS DIRECTED BY THE ENGINEER. HAYBALES SHALL BE PLACED AROUND THE PERIMETER OF ALL STOCKPILES. EXCESS MATERIAL WHICH WILL NOT BE REUSED SHALL BE TAKEN OFFSITE IMMEDIATELY.
(5.)REPLACE CLOGGED SEDIMENTATION CONTROL BALES AS REQUIRED AND CLEAN SEDIMENT FROM BASINS WHEN ACCUMULATION SEDIMENT EXCEEDS 8" IN DEPTH.

E. ROUGH GRADING AND PAVING

SEDIMENT AND EROSION CONTROLS WITHIN THE PAVED AREAS SHALL BE LEFT IN PLACE UNTIL IMMEDIATELY BEFORE PAVING. MEASURES OUTSIDE OF THE PAVED AREA SHALL REMAIN UNTIL A STABLE VEGETATIVE GROWTH HAS BEEN ESTABLISHED ON ALL SLOPES OR UNTIL DIRECTED BY THE ENGINEER.

F. FINAL ITEMS

CLEAN ALL CATCH BASINS AND STORM MANHOLES OF ALL ACCUMULATED SEDIMENT AS DIRECTED BY THE ENGINEER.

3. CONTINGENCY PLANS FOR FAILED EROSION AND SEDIMENTATION CONTROL MEASURES

FAILED EROSION AND SEDIMENTATION CONTROL MEASURES WILL BE EVALUATED ON A CASE BY CASE BASIS BY THE ENGINEER AND APPROPRIATE MEASURES TAKEN. THESE MEASURES MAY INCLUDE CLEANING AND/OR REPLACEMENT OF DEFECTIVE FACILITIES OR INSTALLATION OF NEW OR SUPPLEMENTAL FACILITIES.

C. DESIGN CRITERIA

THE FOLLOWING DESIGN REFERENCES WERE FOLLOWED FOR THE PREPARATION OF STORM DRAINAGE DESIGN AND EROSION AND SEDIMENT CONTROL PLANS:

1. CONNECTICUT DOT DRAINAGE MANUAL
2. SCS GUIDELINE FOR SOIL EROSION AND SEDIMENT CONTROL

SEDIMENTATION CONTROL BALES HAVE BEEN DESIGNED IN ACCORDANCE WITH CHAPTER 7, SECTION F OF THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL

D. CONSTRUCTION DETAILS

CONSTRUCTION DETAILS FOR THE PROPOSED PROJECT ARE PRESENTED ON THE DETAIL SHEETS.

E. INSTALLATION PROCEDURES

THE INSTALLATION PROCEDURES FOR STORMWATER MANAGEMENT FACILITIES AND EROSION AND SEDIMENTATION CONTROL MEASURES ARE PRESENTED IN THE PROJECTS TECHNICAL SPECIFICATIONS FOR DRAINAGE; EXCAVATION, FILLING AND GRADING; AND SEDIMENTATION AND EROSION CONTROL. ADDITIONAL INSTALLATION PROCEDURES ARE SHOWN ON THE CONSTRUCTION DETAILS BOTH VISUALLY AND BY USE OF CONSTRUCTION NOTES.

F. OPERATION AND MAINTENANCE

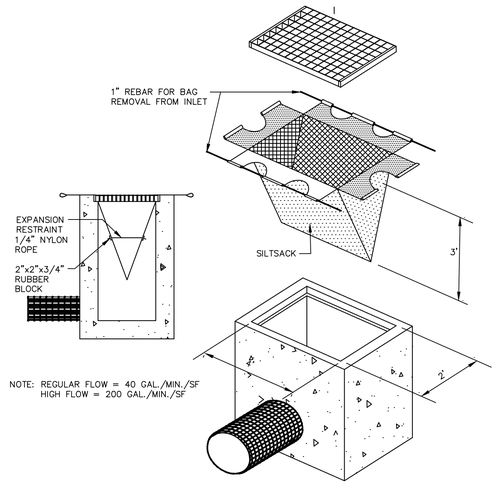
1. DURING CONSTRUCTION

BEST MANAGEMENT PRACTICES, SHALL BE UTILIZED TO CONTROL STORM WATER DISCHARGES AND TO PREVENT EROSION AND SEDIMENTATION AND TO OTHERWISE PREVENT POLLUTION OF WETLANDS OR WATERCOURSES. FOR INFORMATION AND TECHNICAL ASSISTANCE, CONTACT THE CITY ENGINEER. THE PERMITTEE SHALL IMMEDIATELY INFORM THE ENGINEERING DEPARTMENT OF ANY PROBLEMS INVOLVING WETLANDS OR WATERCOURSES WHICH HAVE DEVELOPED IN THE COURSE OF, OR WHICH ARE CAUSED BY, THE AUTHORIZED WORK.

NO EQUIPMENT OR MATERIAL INCLUDING WITHOUT LIMITATION, FILL, CONSTRUCTION MATERIALS, OR DEBRIS, SHALL BE DEPOSITED, PLACED, OR STORED IN ANY WETLAND OR WATERCOURSE ON OR OFF SITE.
TIMELY IMPLEMENTATION AND MAINTENANCE OF SEDIMENT AND EROSION CONTROL MEASURES ARE REQUIRED. ALL SEDIMENT AND EROSION CONTROL MEASURES MUST BE MAINTAINED UNTIL ALL DISTURBED AREAS ARE STABILIZED.

A PRE-CONSTRUCTION MEETING SHALL BE HELD PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES ON THE SITE WITH THE CONTRACTOR, AND CITY STAFF.

AS CONTAINED IN THE SEDIMENTATION AND EROSION CONTROL SPECIFICATIONS, OPERATIONS AND MAINTENANCE DURING CONSTRUCTION WILL CONSIST OF PERIODIC REPLACEMENT AND/OR CLEANING OF CLOGGED HAY BALES, SILT FENCE AND CONSTRUCTION ENTRANCE AT NO ADDITIONAL COST TO THE OWNER. ANY TEMPORARY SEDIMENTATION BASINS WILL BE CLEANED OF ACCUMULATED SEDIMENT WHEN THE DEPTH OF ACCUMULATED SEDIMENT EXCEEDS 8". ALL DRAINAGE STRUCTURES SHALL BE INSPECTED ON DAILY BASIS AND ANY NECESSARY CORRECTIVE ACTION TAKEN.



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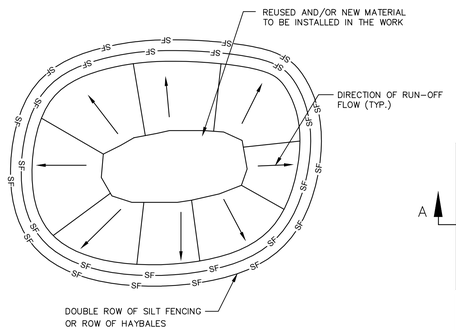
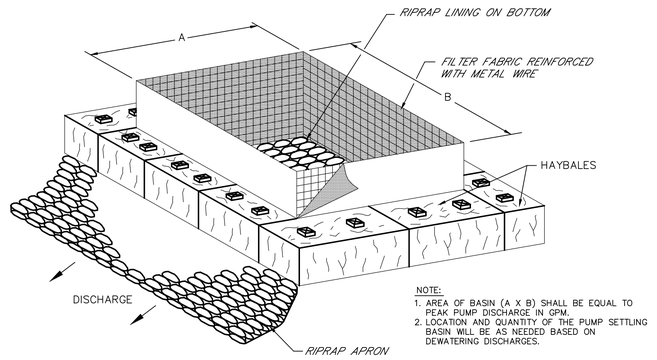


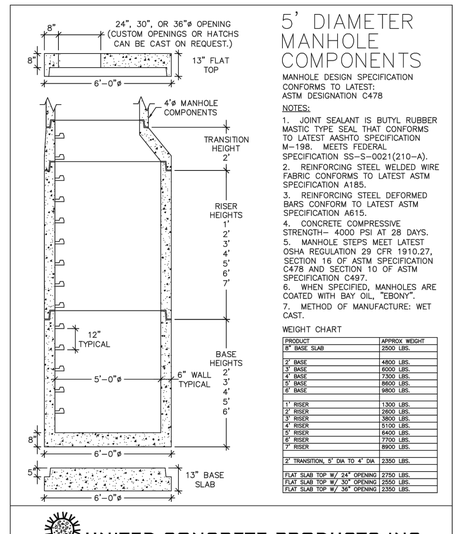
NOTES:
1. ALL EXISTING EXCAVATED MATERIAL THAT IS NOT TO BE REUSED IN THE WORK IS TO BE IMMEDIATELY REMOVED FROM THE SITE AND PROPERLY DISPOSED OF.
2. SOIL/AGGREGATE STOCKPILE SITES TO BE WHERE SHOWN ON THE DRAWINGS.
3. RESTORE STOCKPILE SITES TO PRE-EXISTING PROJECT CONDITION AND RESEED AS REQUIRED.
4. STOCKPILE HEIGHTS MUST NOT EXCEED 35'. STOCKPILE SLOPES MUST BE 2:1 OR FLATTER.

TEMPORARY STOCKPILE AREA
N.T.S.



NOTE:
1. AREA OF BASIN (A X B) SHALL BE EQUAL TO PEAK PUMP DISCHARGE IN GPM.
2. LOCATION AND QUANTITY OF THE PUMP SETTLING BASIN WILL BE AS NEEDED BASED ON DEWATERING DISCHARGES.

PUMP SETTLING BASIN FOR DEWATERING DISCHARGE
N.T.S.



5' DIAMETER MANHOLE COMPONENTS

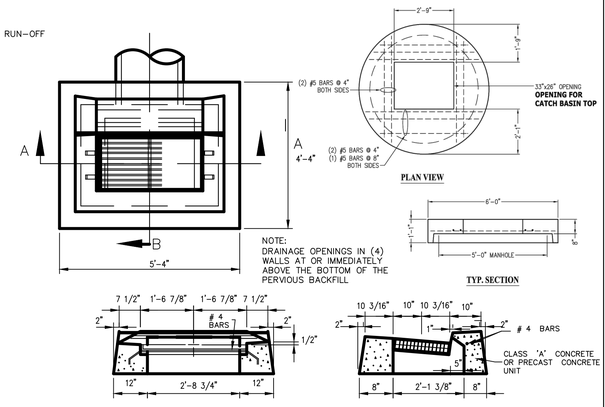
MANHOLE DESIGN SPECIFICATION CONFORMS TO LATEST: ASTM DESIGNATION C478

NOTES:
1. JOINT SEALANT IS BUTYL RUBBER MASTIC TYPE SEAL THAT CONFORMS TO LATEST AASHTO SPECIFICATION M-198. MEETS FEDERAL SPECIFICATION SS-S-0021(210-A).
2. REINFORCING STEEL WELDED WIRE FABRIC CONFORMS TO LATEST ASTM SPECIFICATION A185.
3. REINFORCING STEEL DEFORMED BARS CONFORM TO LATEST ASTM SPECIFICATION A615.
4. CONCRETE COMPRESSIVE STRENGTH- 4000 PSI AT 28 DAYS.
5. MANHOLE STEPS MEET LATEST OSHA REGULATION 29 CFR 1910.27, SECTION 16 OF ASTM SPECIFICATION C478 AND SECTION 10 OF ASTM SPECIFICATION C497.
6. WHEN SPECIFIED, MANHOLES ARE COATED WITH BAY OIL, "EBONY".
7. METHOD OF MANUFACTURE: WET CAST.

WEIGHT CHART

PRODUCT	APPROX WEIGHT
8" BASE SLAB	2500 LBS.
2' BASE	4800 LBS.
3' BASE	6000 LBS.
4' BASE	7300 LBS.
5' BASE	8600 LBS.
6' BASE	9800 LBS.
1' RISER	1300 LBS.
2' RISER	2600 LBS.
3' RISER	3800 LBS.
4' RISER	5100 LBS.
5' RISER	6400 LBS.
6' RISER	7700 LBS.
7' RISER	8900 LBS.
2' TRANSITION, 5' DIA TO 4' DIA	2350 LBS.
FLAT SLAB TOP W/ 24" OPENING	2750 LBS.
FLAT SLAB TOP W/ 30" OPENING	2550 LBS.
FLAT SLAB TOP W/ 36" OPENING	2350 LBS.

UNITED CONCRETE PRODUCTS INC.
173 CHURCH STREET YALESVILLE, CT 06492
TEL. 800 234-3119 (203) 269-3119
FAX. (203) 265-4941



5' DIAMETER MANHOLE W/ CATCH BASIN TYPE "C" TOP
N.T.S.

GOODWIN COLLEGE CONNECTICUT RIVER ACADEMY MANUFACTURING ANNEX

1 PENT ROAD, EAST HARTFORD, CT 06118

JCJARCHITECTURE
120 HUYSHOPE AVENUE
HARTFORD, CT 06106
860.247.9226

CONSULTANTS:

SITE/CIVIL
Freeman Companies
36 John Street
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33 North Plains Industrial Road
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TECHNOLOGY
Guillen Technology Consultants
9 Moody Road Building D Suite 18
Enfield, CT 06082
860.341.1206

PLANNING & ZONING
12-20-2017

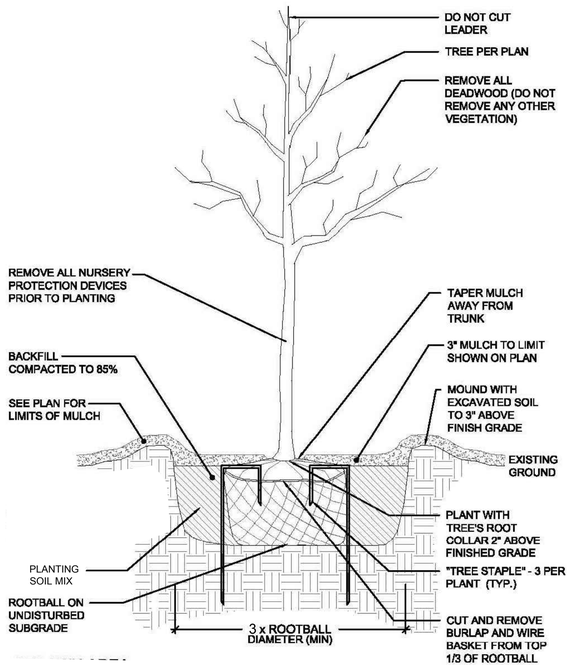
STATE OF CONNECTICUT ★ DARIN M. LEMIRE ★ NO. 25501 LICENSED PROFESSIONAL ENGINEER

P.I.C.		L.D.	
P.M.		P.A.	
ISSUE	12-20-2017		
JOB	H16050.00		
DRAWN	K.M.		
SCALE	AS NOTED		

REVISIONS:

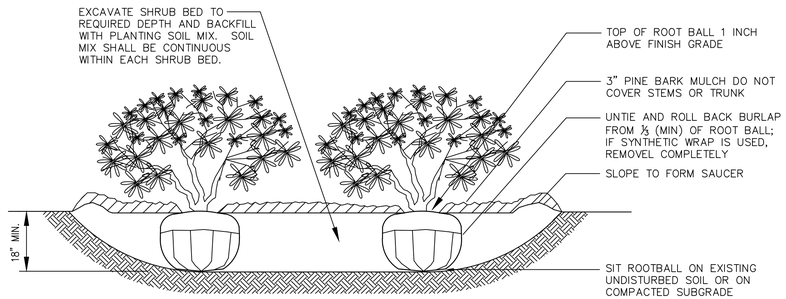
SITE DETAILS

L-603



NEW TREE STAKING & PLANTING

SCALE: NOT TO SCALE

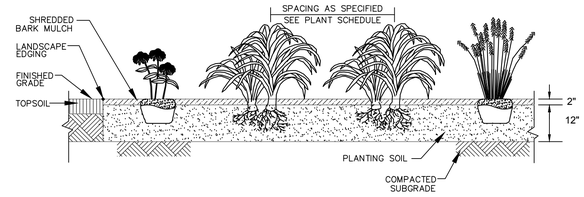


NOTE:

1. LOOSEN ROOTS AT THE OUTER EDGE OF ROOTBALL OF CONTAINER GROWN SHRUBS.

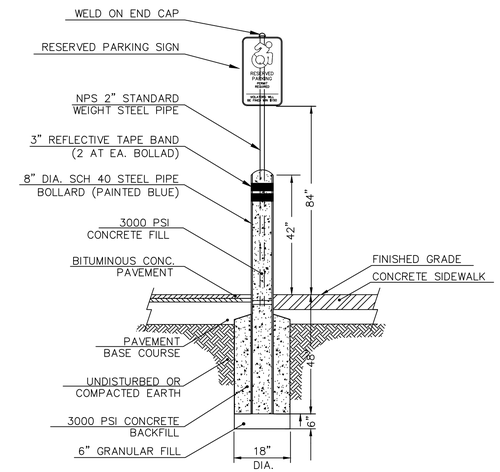
SHRUB BED PLANTING

N.T.S.



PERENNIAL BED PLANTING

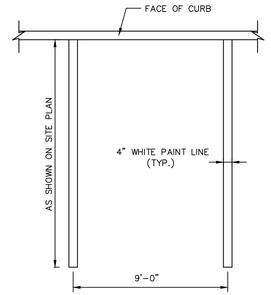
N.T.S.



NOTE: BOLLARD SHALL BE CENTERED ON EACH ACCESSIBLE PARKING SPACE

RESERVED PARKING SIGN BOLLARD

N.T.S.

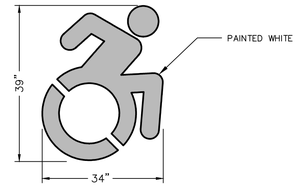


NOTE:
1. PROVIDE 2 COATS OF PAINT ON ALL SURFACES.

2. SEE PLAN FOR ACTUAL SPACE LOCATION AND DIMENSIONS.

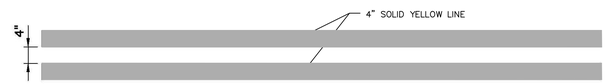
TYPICAL PARKING SPACE

N.T.S.

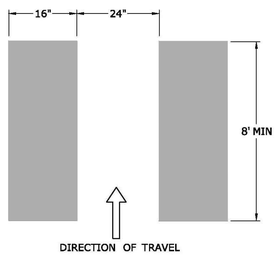


SYMBOL OF ACCESS

N.T.S.



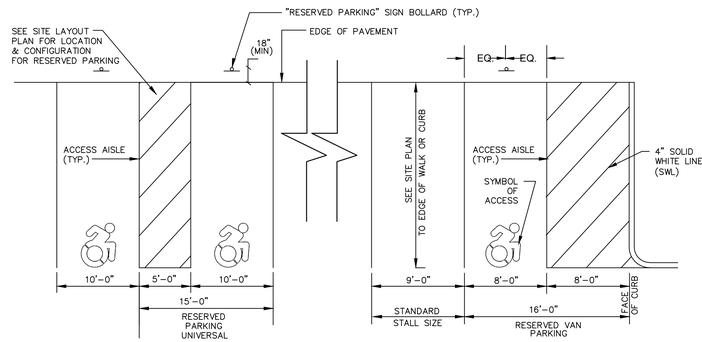
4" DOUBLE YELLOW CENTERLINE (DYCL)



CROSSWALK
(WHITE)

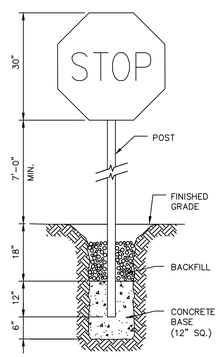
PAVEMENT MARKINGS

N.T.S.



RESERVED PARKING

N.T.S.



STOP SIGN

N.T.S.

GOODWIN COLLEGE CONNECTICUT RIVER ACADEMY MANUFACTURING ANNEX

1 PENT ROAD, EAST HARTFORD, CT 06118

JCJARCHITECTURE
120 HUYSHOPE AVENUE
HARTFORD, CT 06106
860.247.9226

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PLANNING & ZONING
12-20-2017

STATE OF CONNECTICUT · DARIN M. LEMIRE · NO. 28501 · LICENSED PROFESSIONAL ENGINEER

P.I.C.		L.D.	
P.M.		P.A.	
ISSUE	12-20-2017		
JOB	H16050.00		
DRAWN	K.M.		
SCALE	AS NOTED		

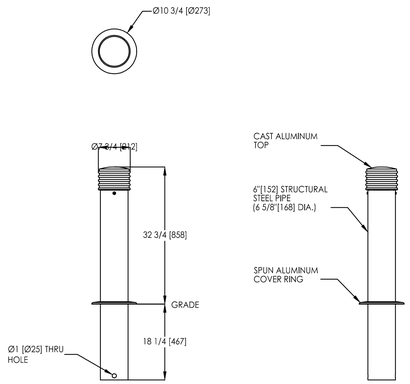
REVISIONS:

SITE DETAILS

L-604

Annapolis™ Bollard, 6" Embedded
Product Drawing

www.landscapeforms.com Date: 5/13/2010 Ph: 800.521.2546



landscapeforms Drawing: AN446-01
Dimensions are in inches [mm]

DECORATIVE BOLLARD
N.T.S.

Chase Park®
Bench, 3 Seat Unit, Embedded

Product Drawing

landscapeforms
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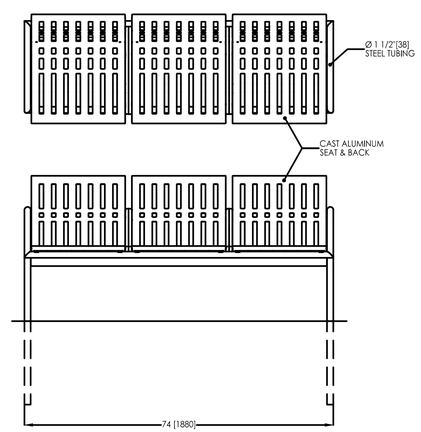

Drawing: CP367-05
Date: 4/29/2010
Dimensions are in Inches[mm]
U.S. Patent Nos. D469,619; D470,669

BENCH
N.T.S.

Chase Park®
Bench, 3 Seat Unit, Embedded

Product Drawing

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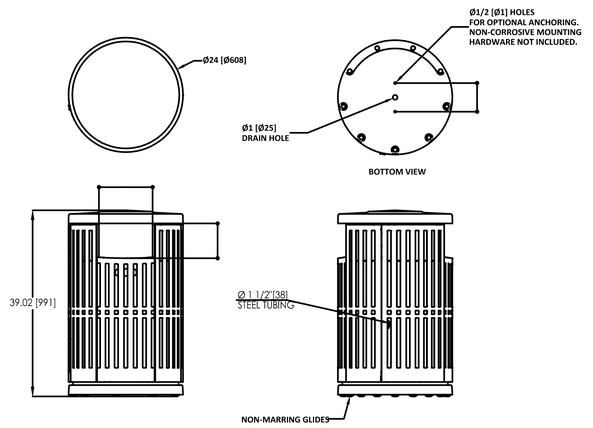
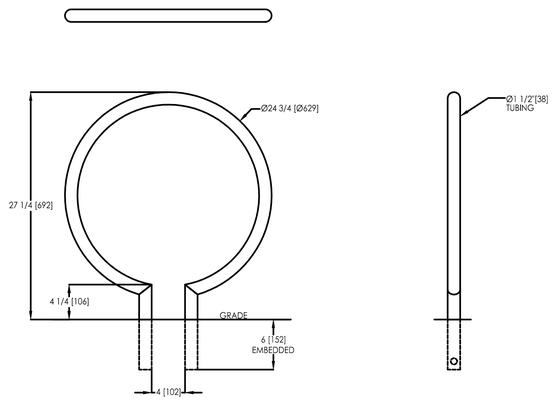


Drawing: CP367-05
Date: 4/29/2010
Dimensions are in Inches[mm]
U.S. Patent Nos. D469,619; D470,669

TRASH RECEPTACLE
N.T.S.

Ring® Bike Rack, Embedded
Product Drawing

www.landscapeforms.com Date: 8/6/2010 Ph: 800.521.2546



Drawing: RG663-01
Dimensions are in inches [mm]

BIKE RACK
N.T.S.

GOODWIN COLLEGE CONNECTICUT RIVER ACADEMY MANUFACTURING ANNEX

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ISSUE	12-20-2017		
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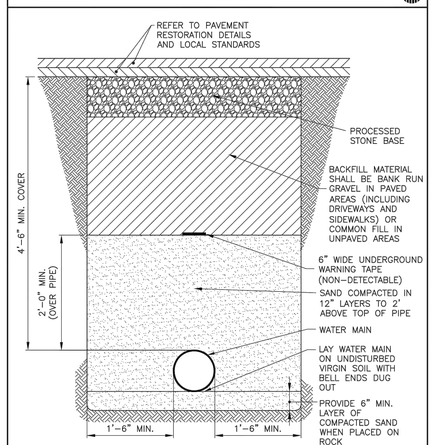
DRAWN	K.M.		
SCALE	AS NOTED		

REVISIONS:

SITE DETAILS

L-605

THE METROPOLITAN DISTRICT
WATER STANDARD DETAILS



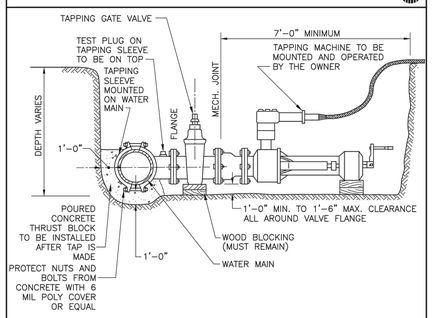
WATER MAIN TRENCH

DETAIL W 1 — NTS

File: W-1 Water Main Trench.dwg — Latest Revision: 1/9/2015

PAGE 40

THE METROPOLITAN DISTRICT
WATER STANDARD DETAILS



NOTES:

1. TAPPING SLEEVE & TAPPING GATE VALVE TO BE INSTALLED ON WATER MAIN BY THE CONTRACTOR. THE DISTRICT WILL TEST INSTALLATION PRIOR TO MAKING TAP. NO TAP WILL BE MADE IF THERE IS NO TEST PLUG.
2. TAPPING GATE VALVE TO HAVE HAND OF OPERATION AS DIRECTED BY THE DISTRICT. IF VALVE HAND OF OPERATION IS NOT CORRECT, NO TAP WILL BE MADE.
3. TRENCH TO BE DEWATERED AND IN COMPLIANCE WITH OSHA REQUIREMENTS FOR TRENCH EXCAVATION.

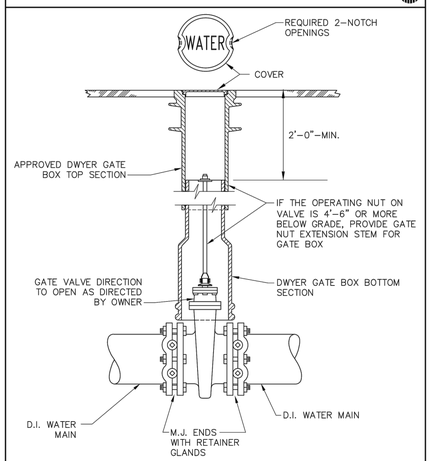
TRENCH REQUIREMENTS FOR
4-INCH TO 12-INCH TAP ON WATER MAIN

DETAIL W 6 — NTS

File: W-6 Trench Requirements for 4-inch to 12-inch Tap on Water Main.dwg — Latest Revision: 1/9/2015

PAGE 45

THE METROPOLITAN DISTRICT
WATER STANDARD DETAILS

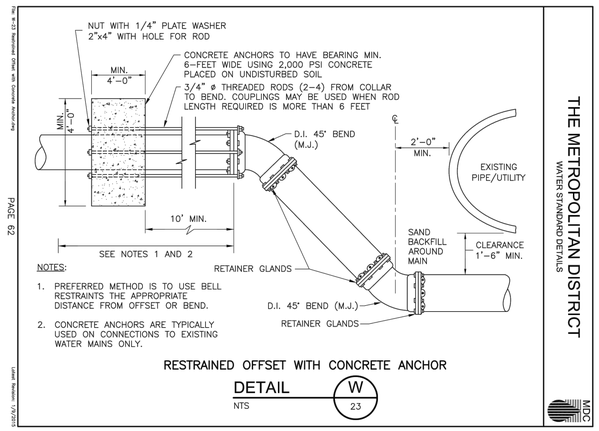


STANDARD GATE VALVE 12-INCH AND SMALLER

DETAIL W 10 — NTS

File: W-10 Standard Gate Valve 12-Inch and Smaller.dwg — Latest Revision: 1/9/2015

PAGE 49



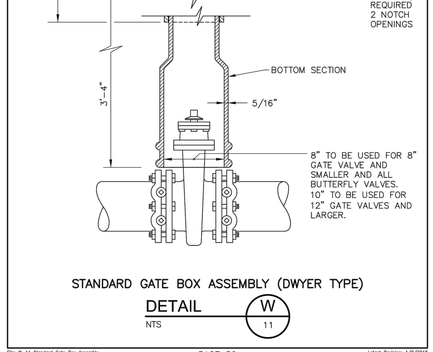
NOTES:

1. PREFERRED METHOD IS TO USE BELL RESTRAINTS THE APPROPRIATE DISTANCE FROM OFFSET OR BEND.
2. CONCRETE ANCHORS ARE TYPICALLY USED ON CONNECTIONS TO EXISTING WATER MAINS ONLY.

RESTRAINED OFFSET WITH CONCRETE ANCHOR

DETAIL W 23 — NTS

THE METROPOLITAN DISTRICT
WATER STANDARD DETAILS



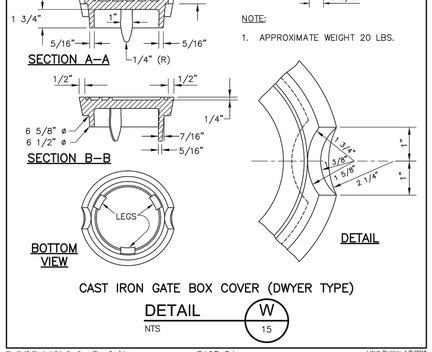
STANDARD GATE BOX ASSEMBLY (DWYER TYPE)

DETAIL W 11 — NTS

File: W-11 Standard Gate Box Assembly (Dwyer Type).dwg — Latest Revision: 1/9/2015

PAGE 50

THE METROPOLITAN DISTRICT
WATER STANDARD DETAILS



NOTE:

1. APPROXIMATE WEIGHT 20 LBS.

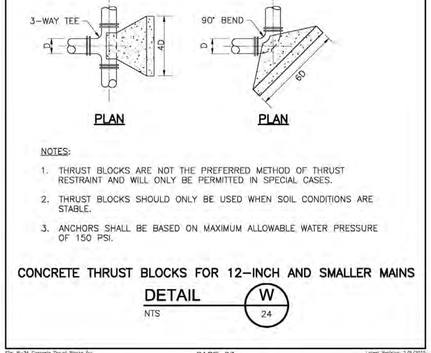
CAST IRON GATE BOX COVER (DWYER TYPE)

DETAIL W 15 — NTS

File: W-15 Standard Gate Box Cover (Dwyer Type).dwg — Latest Revision: 1/9/2015

PAGE 54

THE METROPOLITAN DISTRICT
WATER STANDARD DETAILS



NOTES:

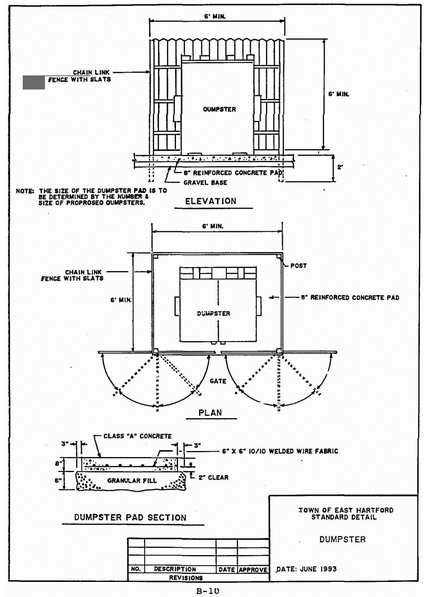
1. THRUST BLOCKS ARE NOT THE PREFERRED METHOD OF THRUST RESTRAINT AND WILL ONLY BE PERMITTED IN SPECIAL CASES.
2. THRUST BLOCKS SHOULD ONLY BE USED WHEN SOIL CONDITIONS ARE STABLE.
3. ANCHORS SHALL BE BASED ON MAXIMUM ALLOWABLE WATER PRESSURE OF 150 PSI.

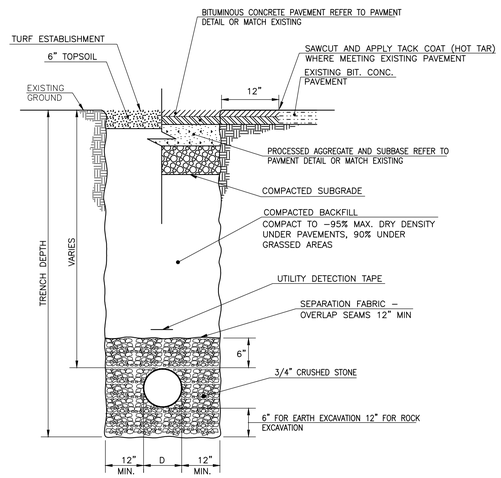
CONCRETE THRUST BLOCKS FOR 12-INCH AND SMALLER MAINS

DETAIL W 24 — NTS

File: W-24 Concrete Thrust Blocks for 12-Inch and Smaller Mains.dwg — Latest Revision: 1/9/2015

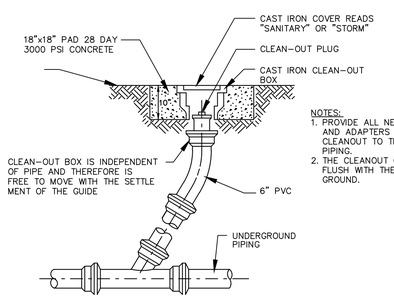
PAGE 63





PVC TRENCH

N.T.S.

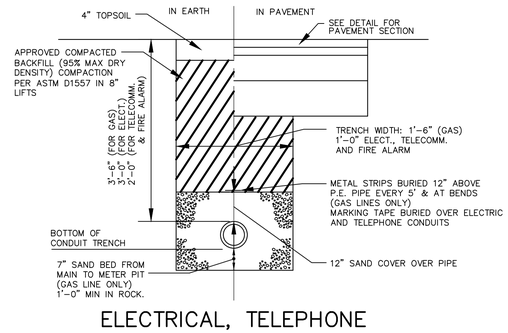


NOTES:

1. PROVIDE ALL NECESSARY FITTINGS AND ADAPTERS TO CONNECT THE CLEANOUT TO THE UNDERGROUND PIPING.
2. THE CLEANOUT COVER SHALL BE FLUSH WITH THE SURROUNDING GROUND.

CLEANOUT

N.T.S.



ELECTRICAL, TELEPHONE AND GAS TRENCH

N.T.S.

GOODWIN COLLEGE
CONNECTICUT RIVER ACADEMY MANUFACTURING ANNEX

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PLANNING & ZONING
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STATE OF CONNECTICUT
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ISSUE	12-20-2017
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DRAWN	K.M.
SCALE	AS NOTED

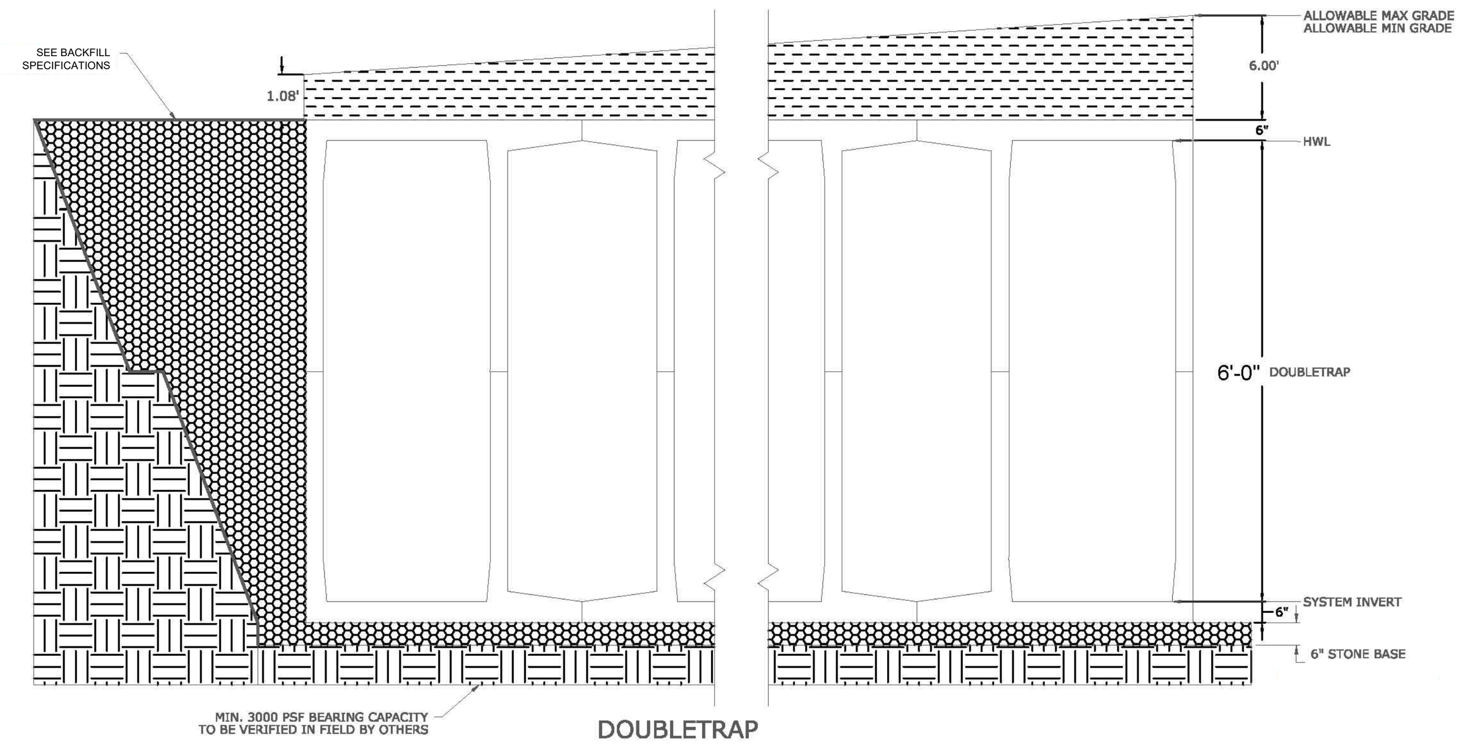
REVISIONS:

SITE DETAILS

L-606

STORMTRAP STRUCTURAL DESIGN CRITERIA

1. STORMTRAP MODULES SHALL BE MANUFACTURED AND INSTALLED ACCORDING TO SHOP DRAWINGS APPROVED BY THE INSTALLING CONTRACTOR AND ENGINEER OF RECORD. THE SHOP DRAWINGS SHALL INDICATE SIZE AND LOCATION OF ROOF OPENINGS AND INLET/ OUTLET PIPE TYPES, SIZES, INVERT ELEVATIONS AND SIZE OF OPENINGS.
2. COVER RANGE: MIN. 1.08' MAX. 6.00' (CONSULT STORMTRAP FOR ADDITIONAL COVER OPTIONS).
3. ALL DIMENSIONS AND SOIL CONDITIONS, INCLUDING BUT NOT LIMITED TO GROUNDWATER AND SOIL BEARING CAPACITY ARE REQUIRED TO BE VERIFIED IN THE FIELD BY OTHERS PRIOR TO STORMTRAP INSTALLATION.

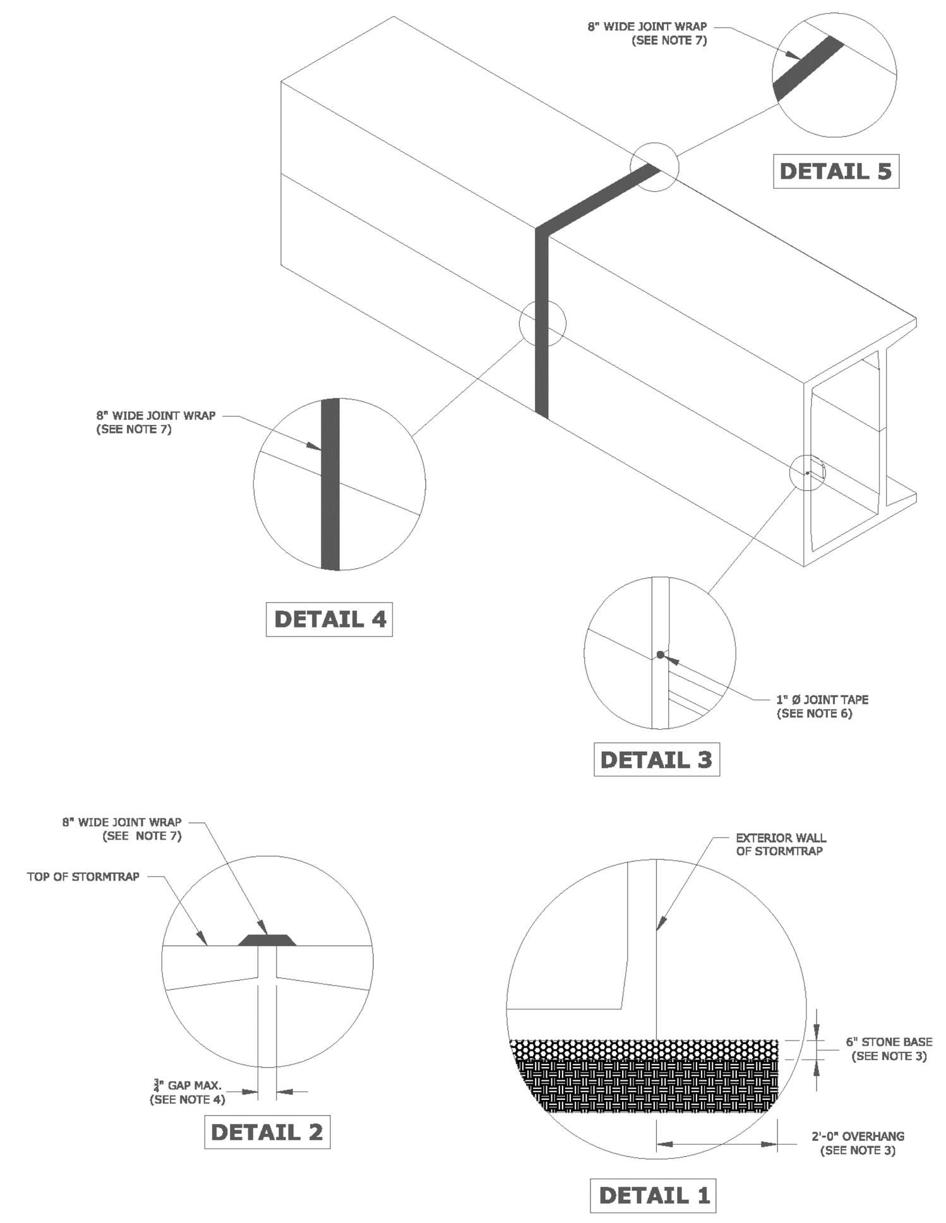


DOUBLETRAP DESIGN CRITERIA

N.T.S.

STORMTRAP INSTALLATION SPECIFICATIONS

1. STORMTRAP SHALL BE INSTALLED IN ACCORDANCE WITH ASTM C891, STANDARD FOR INSTALLATION OF UNDERGROUND PRECAST CONCRETE UTILITY STRUCTURES, THE FOLLOWING ADDITIONS AND/OR EXCEPTIONS SHALL APPLY:
2. IT IS THE RESPONSIBILITY OF THE INSTALLING CONTRACTOR TO ENSURE THAT PROPER/ADEQUATE EQUIPMENT IS USED TO SET/INSTALL THE MODULES.
3. STORMTRAP MODULES CAN BE PLACED ON A LEVEL, 6" FOUNDATION OF ¾" AGGREGATE EXTENDING 2'-0" PAST THE OUTSIDE OF THE SYSTEM (SEE DETAIL 1) AND SHALL BE PLACED ON PROPERLY COMPACTED SOILS (SEE SHEET 1.0 FOR SOIL BEARING CAPACITY REQUIREMENTS), AND IN ACCORDANCE WITH ASTM C891 STANDARD PRACTICE FOR INSTALLATION OF UNDERGROUND PRECAST UTILITY STRUCTURES.
4. THE STORMTRAP MODULES SHALL BE PLACED SUCH THAT THE MAXIMUM SPACE BETWEEN ADJACENT MODULES DOES NOT EXCEED ¾" (SEE DETAIL 2). IF THE SPACE EXCEEDS ¾", THE MODULES SHALL BE RESET WITH APPROPRIATE ADJUSTMENT MADE TO LINE AND GRADE TO BRING THE SPACE INTO SPECIFICATION.
5. STORMTRAP MODULES ARE NOT WATERTIGHT. IF A WATERTIGHT SOLUTION IS REQUIRED, CONTACT STORMTRAP FOR RECOMMENDATIONS. THE WATERTIGHT APPLICATION IS TO BE PROVIDED AND IMPLEMENTED BY THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT THE SELECTED WATERTIGHT SOLUTION PERFORMS AS SPECIFIED BY THE MANUFACTURER. CONTACT STORMTRAP IF A WATERTIGHT APPLICATION IS REQUIRED.
6. THE HORIZONTAL JOINT BETWEEN THE TOP AND BASE LEG CONNECTION OF THE STORMTRAP MODULES SHALL BE SEALED WITH PREFORMED MASTIC JOINT TAPE ACCORDING TO ASTM C891, 8.8 AND 8.12. (SEE DETAIL 3). THE MASTIC JOINT TAPE DOES NOT PROVIDE A WATERTIGHT SEAL. THE SOLE PURPOSE OF THE JOINT TAPE IS TO PROVIDE A SILT AND SOIL TIGHT SYSTEM.
7. ALL EXTERIOR JOINTS BETWEEN ADJACENT STORMTRAP MODULES SHALL BE SEALED WITH 8" WIDE PRE-FORMED, COLD-APPLIED, SELF-ADHERING ELASTOMERIC RESIN, BONDED TO A WOVEN , HIGHLY PUNCTURE RESISTANT POLYMER WRAP, CONFORMING TO ASTM C891 AND SHALL BE INTEGRATED WITH PRIMER SEALANT AS APPROVED BY STORMTRAP (SEE DETAILS 3 & 4). THE JOINT WRAP DOES NOT PROVIDE A WATERTIGHT SEAL. THE SOLE PURPOSE OF THE JOINT WRAP IS TO PROVIDE A SILT AND SOIL TIGHT SYSTEM. THE ADHESIVE EXTERIOR JOINT WRAP SHALL BE INSTALLED ACCORDING TO THE FOLLOWING INSTALLATION INSTRUCTIONS:
   7.1. USE A BRUSH OR WET CLOTH TO THOROUGHLY CLEAN THE OUTSIDE SURFACE AT THE POINT WHERE JOINT WRAP IS TO BE APPLIED.
   7.2. A RELEASE PAPER PROTECTS THE ADHESIVE SIDE OF THE JOINT WRAP. PLACE THE ADHESIVE TAPE (ADHESIVE SIDE DOWN) AROUND THE STRUCTURE, REMOVING THE RELEASE PAPER AS YOU GO. PRESS THE JOINT WRAP FIRMLY AGAINST THE STORMTRAP MODULE SURFACE WHEN APPLYING.
8. IF THE CONTRACTOR NEEDS TO CANCEL ANY SHIPMENTS, THEY MUST DO SO 48 HOURS PRIOR TO THEIR SCHEDULED ARRIVAL AT THE JOB SITE. IF CANCELED AFTER THAT TIME, PLEASE CONTACT THE PROJECT MANAGER.
9. IF THE STORMTRAP MODULE(S) IS DAMAGED IN ANY WAY PRIOR, DURING, OR AFTER INSTALL, STORMTRAP MUST BE CONTACTED IMMEDIATELY TO ASSESS THE DAMAGE AND TO DETERMINE WHETHER OR NOT THE MODULE(S) WILL NEED TO BE REPLACED. IF ANY MODULE ARRIVES AT THE JOBSITE DAMAGED DO NOT UNLOAD IT; CONTACT STORMTRAP IMMEDIATELY. ANY DAMAGE NOT REPORTED BEFORE THE TRUCK IS UNLOADED WILL BE THE CONTRACTOR'S RESPONSIBILITY.
10. STORMTRAP MODULES CANNOT BE ALTERED IN ANY WAY AFTER MANUFACTURING WITHOUT WRITTEN CONSENT FROM STORMTRAP.

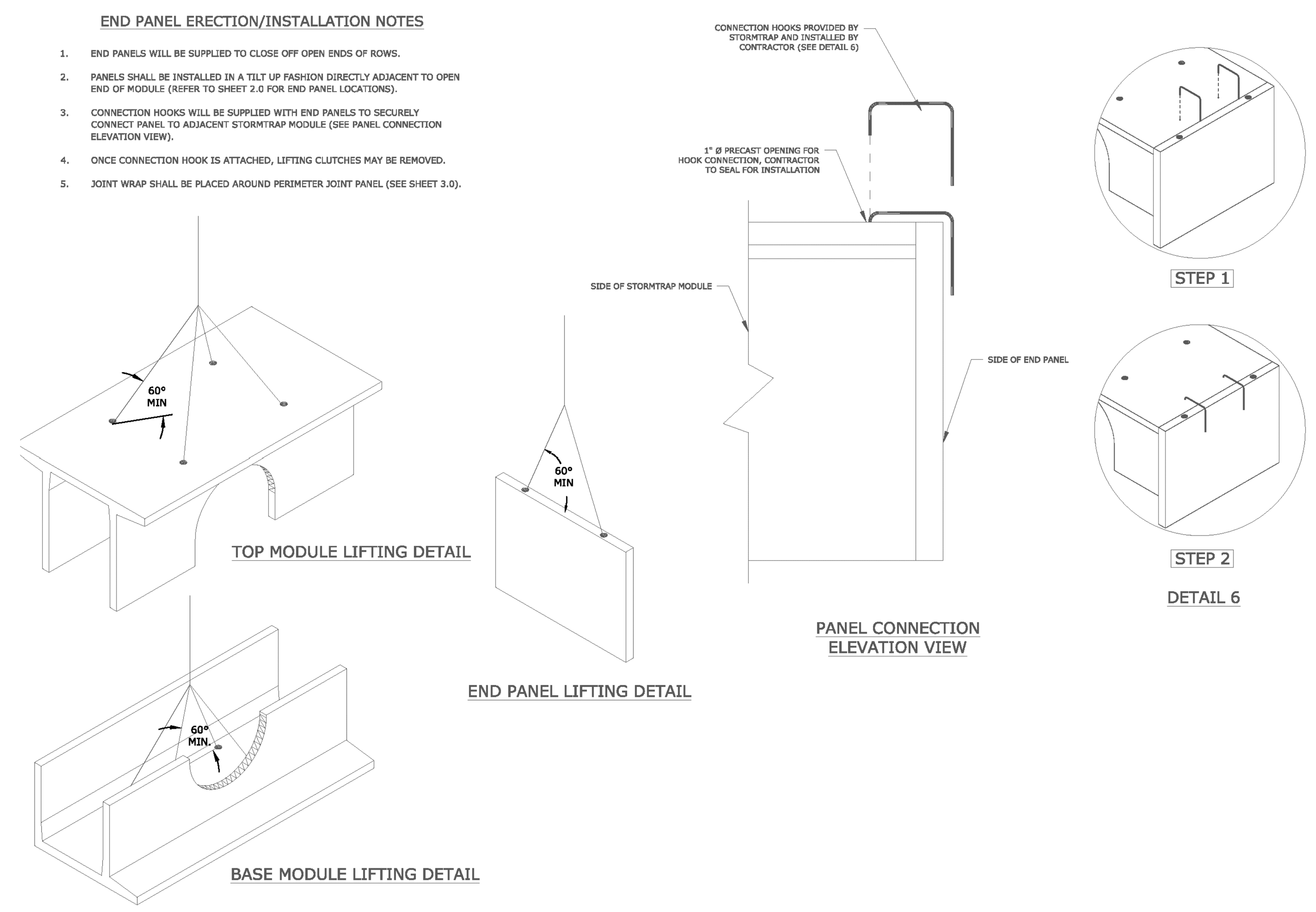


DOUBLETRAP INSTALLATION SPECIFICATIONS

N.T.S.

END PANEL ERECTION/INSTALLATION NOTES

1. END PANELS WILL BE SUPPLIED TO CLOSE OFF OPEN ENDS OF ROWS.
2. PANELS SHALL BE INSTALLED IN A TILT UP FASHION DIRECTLY ADJACENT TO OPEN END OF MODULE (REFER TO SHEET 2.0 FOR END PANEL LOCATIONS).
3. CONNECTION HOOKS WILL BE SUPPLIED WITH END PANELS TO SECURELY CONNECT PANEL TO ADJACENT STORMTRAP MODULE (SEE PANEL CONNECTION ELEVATION VIEW).
4. ONCE CONNECTION HOOK IS ATTACHED, LIFTING CLUTCHES MAY BE REMOVED.
5. JOINT WRAP SHALL BE PLACED AROUND PERIMETER JOINT PANEL (SEE SHEET 3.0).



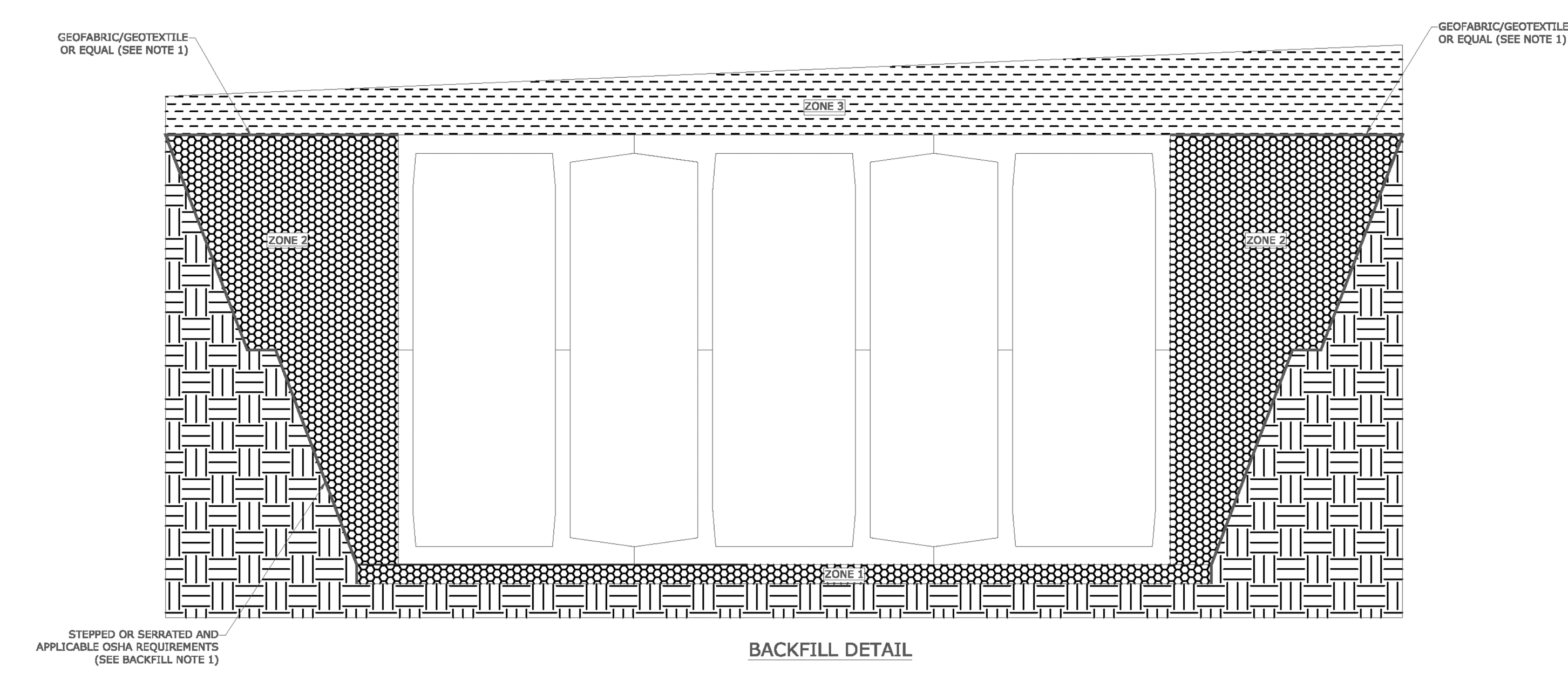
DOUBLETRAP INSTALLATION SPECIFICATIONS

N.T.S.

ZONE CHART		
ZONES	ZONE DESCRIPTIONS	REMARKS
ZONE 1	FOUNDATION AGGREGATE	
ZONE 2	BACKFILL	
ZONE 3	FINAL COVER OVERTOP	

STORMTRAP ZONE INSTALLATION SPECIFICATIONS/PROCEDURES

1. THE FILL PLACED AROUND THE STORMTRAP MODULES MUST DEPOSITED ON BOTH SIDES AT THE SAME TIME AND TO APPROXIMATELY THE SAME ELEVATION. AT NO TIME SHALL THE FILL BEHIND ONE SIDE WALL BE MORE THAN 2'-0" HIGHER THAN THE FILL ON THE OPPOSITE SIDE. BACKFILL SHALL EITHER BE COMPACTED AND/OR VIBRATED TO ENSURE THAT BACKFILL AGGREGATE/STONE MATERIAL IS WELL SEATED AND PROPERLY INTER LOCKED. CARE SHALL BE TAKEN TO PREVENT ANY WEDGING ACTION AGAINST THE STRUCTURE, AND ALL SLOPES WITHIN THE AREA TO BE BACKFILLED MUST BE STEPPED OR SERRATED TO PREVENT WEDGING ACTION. CARE SHALL ALSO BE TAKEN AS NOT TO DISRUPT THE JOINT WRAP FROM THE JOINT DURING THE BACKFILL PROCESS. BACKFILL MATERIAL SHALL BE CLEAN, CRUSHED, ANGULAR No. 5 (AASHTO M43) AGGREGATE. IF NATIVE EARTH IS SUSCEPTIBLE TO MIGRATION, CONFIRM WITH GEOTECHNICAL ENGINEER AND PROVIDE PROTECTION AS REQUIRED.
2. DURING PLACEMENT OF MATERIAL OVERTOP THE SYSTEM, AT NO TIME SHALL MACHINERY BE USED OVERTOP THAT EXCEEDS THE DESIGN LIMITATIONS OF THE SYSTEM. WHEN PLACEMENT OF MATERIAL OVERTOP, MATERIAL SHALL BE PLACED SUCH THAT THE DIRECTION OF PLACEMENT IS PARALLEL WITH THE OVERALL LONGITUDINAL DIRECTION OF THE SYSTEM WHENEVER POSSIBLE.
3. THE FILL PLACED OVERTOP THE SYSTEM SHALL BE PLACED AT A MINIMUM OF 6" LIFTS. AT NO TIME SHALL MACHINERY OR VEHICLES GREATER THAN THE DESIGN HS-20 LOADING CRITERIA TRAVEL OVERTOP THE SYSTEM WITHOUT THE MINIMUM DESIGN COVERAGE. IF TRAVEL IS NECESSARY OVERTOP THE SYSTEM PRIOR TO ACHIEVING THE MINIMUM DESIGN COVER, IT MAY BE NECESSARY TO REDUCE THE ULTIMATE LOAD/BURDEN OF THE OPERATING MACHINERY SO AS TO NOT EXCEED THE DESIGN CAPACITY OF THE SYSTEM. IN SOME CASES, IN ORDER TO ACHIEVE REQUIRED COMPACTION, HAND COMPACTION MAY BE NECESSARY IN ORDER NOT TO EXCEED THE ALLOTTED DESIGN LOADING.



DOUBLETRAP BACKFILL SPECIFICATIONS

N.T.S.

RECOMMENDED
ACCESS OPENING SPECIFICATION

1. A TYPICAL ACCESS OPENING FOR THE STORMTRAP SYSTEM ARE 2'-0" IN DIAMETER. ACCESS OPENINGS LARGER THAN 3'-0" IN DIAMETER NEED TO BE APPROVED BY STORMTRAP. ALL OPENINGS MUST RETAIN AT LEAST 1'-0" OF CLEARANCE FROM THE END OF THE STORMTRAP MODULE UNLESS NOTED OTHERWISE. ALL ACCESS OPENINGS TO BE LOCATED ON INSIDE LEG UNLESS OTHERWISE SPECIFIED.
2. PLASTIC COATED STEEL STEPS PRODUCED BY M.A. INDUSTRIES PART #PS3-PFC OR APPROVED EQUAL (SEE STEP DETAIL) ARE PROVIDED INSIDE ANY MODULE WHERE DEEMED NECESSARY. THE HIGHEST STEP IN THE MODULE IS TO BE PLACED A DISTANCE OF 1'-0" FROM THE INSIDE EDGE OF THE STORMTRAP MODULES. ALL ENSUING STEPS SHALL BE PLACED WITH A MAXIMUM DISTANCE OF 1'-4" BETWEEN THEM. STEPS MAY BE MOVED OR ALTERED TO AVOID OPENINGS OR OTHER IRREGULARITIES IN THE MODULE.
3. STORMTRAP LIFTING INSERTS MAY BE RELOCATED TO AVOID INTERFERENCE WITH ACCESS OPENINGS OR THE CENTER OF GRAVITY OF THE MODULE AS NEEDED.
4. STORMTRAP ACCESS OPENINGS MAY BE RELOCATED TO AVOID INTERFERENCE WITH INLET AND/OR OUTLET PIPE OPENINGS SO PLACEMENT OF STEPS IS ATTAINABLE.
5. ACCESS OPENINGS SHOULD BE LOCATED IN ORDER TO MEET THE APPROPRIATE MUNICIPAL REQUIREMENTS. STORMTRAP RECOMMENDS AT LEAST TWO ACCESS OPENINGS PER SYSTEM FOR ACCESS AND INSPECTION.
6. USE PRECAST ADJUSTING RINGS AS NEEDED TO MEET GRADE. STORMTRAP RECOMMENDS FOR COVER OVER 2' TO USE PRECAST BARREL OR CONE INSPECTIONS. (PROVIDED BY OTHERS)

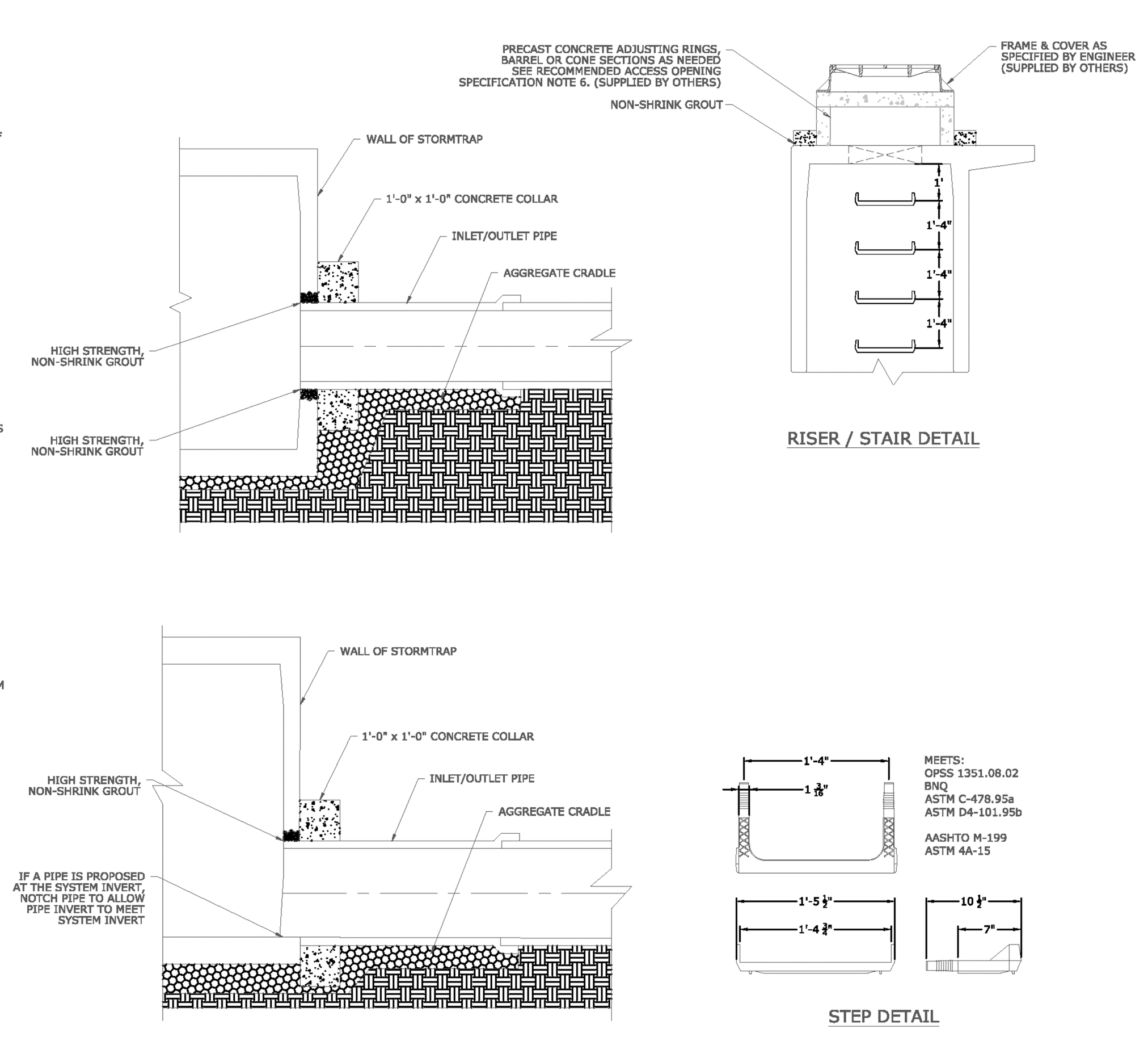
RECOMMENDED
PIPE OPENING SPECIFICATION

1. MINIMUM EDGE DISTANCE FOR AN OPENING ON THE OUTSIDE WALL SHALL BE NO LESS THAN 1'-0".
2. MAXIMUM OPENING SIZE TO BE DETERMINED BY THE MODULE HEIGHT. PREFERRED OPENING SIZE Ø 36" OR LESS. ANY OPENING NEEDED THAT DOES NOT FIT THIS CRITERIA SHALL BE BROUGHT TO THE ATTENTION OF STORMTRAP FOR REVIEW.
3. CONNECTING PIPES SHALL BE INSTALLED WITH A 1'-0" CONCRETE COLLAR, AND AN AGGREGATE CRADLE FOR AT LEAST ONE PIPE LENGTH (SEE PIPE CONNECTION DETAIL). A STRUCTURAL GRADE CONCRETE OR HIGH STRENGTH, NON-SHRINK GROUT WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI SHALL BE USED.
4. THE ANNULAR SPACE BETWEEN THE PIPE AND THE HOLE SHALL BE FILLED WITH HIGH STRENGTH NON-SHRINK GROUT.

RECOMMENDED PIPE
INSTALLATION INSTRUCTIONS

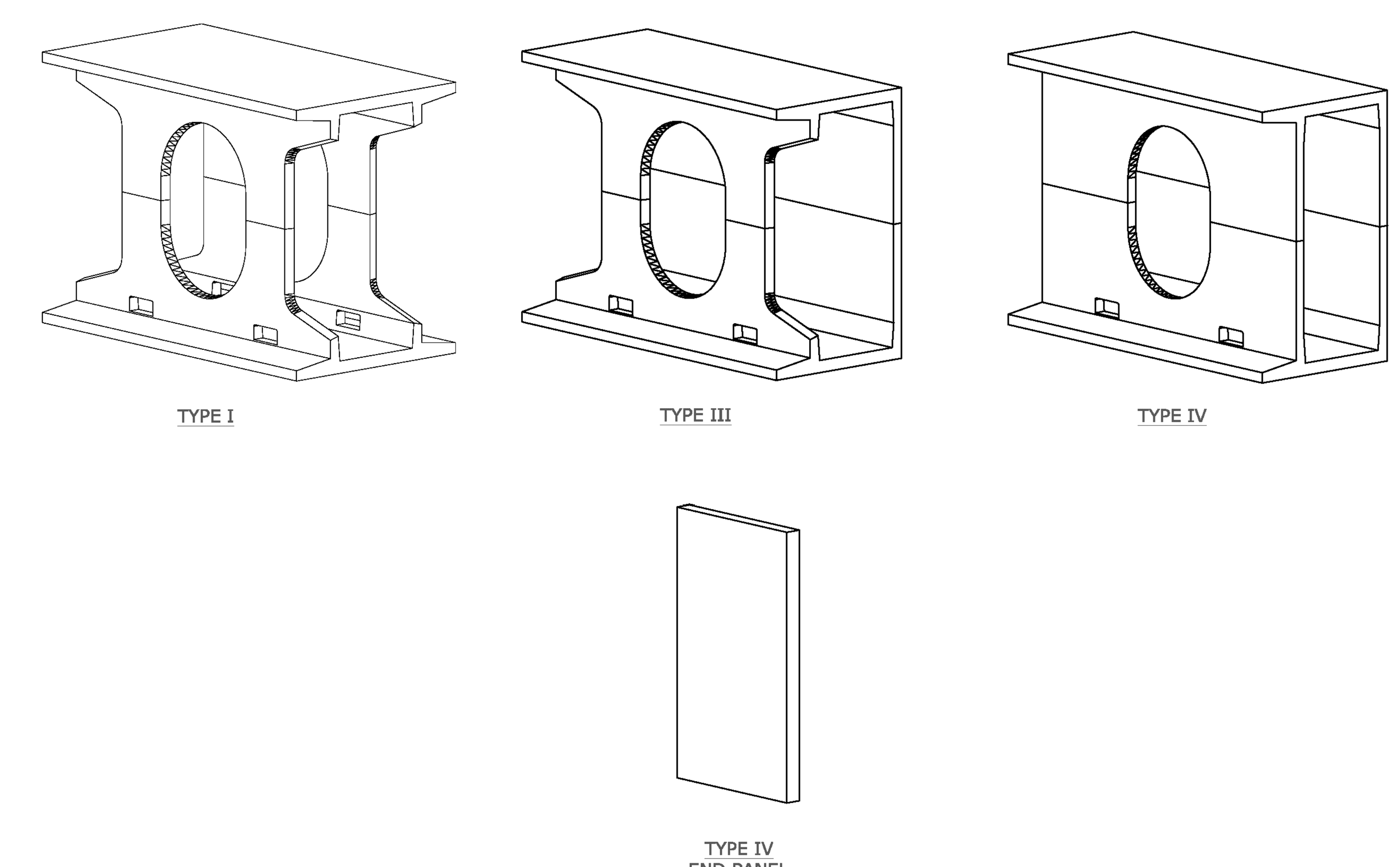
1. CLEAN AND LIGHTLY LUBRICATE ALL OF THE PIPE TO BE INSERTED INTO STORMTRAP.
2. IF PIPE IS CUT, CARE SHOULD BE TAKEN TO ALLOW NO SHARP EDGES. BEVEL AND LUBRICATE LEAD END OF PIPE.
3. ALIGN CENTER OF PIPE TO CORRECT ELEVATION AND INSERT INTO OPENING.

NOTE: ALL ANCILLARY PRODUCTS RECOMMENDED AND SHOWN ON THIS SHEET ARE RECOMMENDATIONS ONLY AND SUBJECT TO CHANGE PER THE INSTALLING CONTRACTOR.



PIPE / ACCESS OPENING SPECIFICATIONS

N.T.S.



NOTES:
1. OPENING LOCATIONS AND SHAPES MAY VARY.
2. SP - INDICATES A MODULE WITH MODIFICATIONS.
3. P - INDICATES A MODULE WITH A PANEL ATTACHMENT.
4. POCKET WINDOW OPENINGS ARE OPTIONAL.

SINGLETRAP MODULE TYPES

N.T.S.

GOODWIN COLLEGE CONNECTICUT RIVER ACADEMY MANUFACTURING ANNEX

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ISSUE	01-03-2018
JOB	H16050.00
DRAWN	K.M.
SCALE	AS NOTED

REVISIONS:

SITE DETAILS

L-606

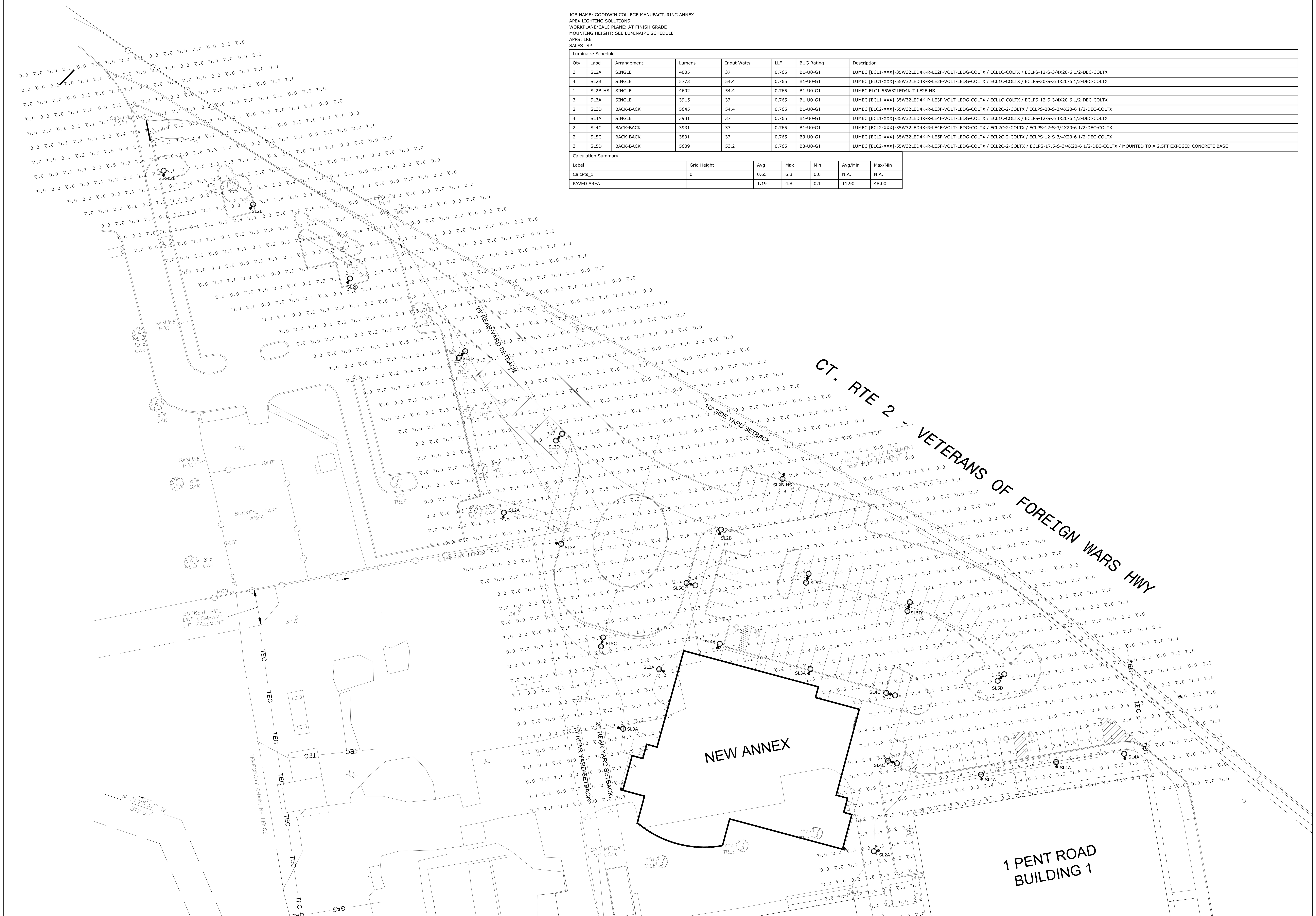
JOB NAME: GOODWIN COLLEGE MANUFACTURING ANNEX
APEX LIGHTING SOLUTIONS
WORKPLANE/CALC PLANE: AT FINISH GRADE
MOUNTING HEIGHT: SEE LUMINAIRE SCHEDULE
APPS: LRE
SALES: SP

Luminaire Schedule

Qty	Label	Arrangement	Lumens	Input Watts	LLF	BUG Rating	Description
3	SL2A	SINGLE	4005	37	0.765	B1-U0-G1	LUMEC [ECL1-XXX]-35W32LED4K-R-LE2F-VOLT-LEDG-COLTX / ECL1C-COLTX / ECLPS-12-S-3/4X20-6 1/2-DEC-COLTX
4	SL2B	SINGLE	5773	54.4	0.765	B1-U0-G1	LUMEC [ELC1-XXX]-55W32LED4K-R-LE2F-VOLT-LEDG-COLTX / ECL1C-COLTX / ECLPS-20-S-3/4X20-6 1/2-DEC-COLTX
1	SL2B-HS	SINGLE	4602	54.4	0.765	B1-U0-G1	LUMEC ELC1-55W32LED4K-T-LE2F-HS
3	SL3A	SINGLE	3915	37	0.765	B1-U0-G1	LUMEC [ECL1-XXX]-35W32LED4K-R-LE3F-VOLT-LEDG-COLTX / ECL1C-COLTX / ECLPS-12-S-3/4X20-6 1/2-DEC-COLTX
2	SL3D	BACK-BACK	5645	54.4	0.765	B1-U0-G1	LUMEC [ELC2-XXX]-55W32LED4K-R-LE3F-VOLT-LEDG-COLTX / ECL2C-2-COLTX / ECLPS-20-S-3/4X20-6 1/2-DEC-COLTX
4	SL4A	SINGLE	3931	37	0.765	B1-U0-G1	LUMEC [ECL1-XXX]-35W32LED4K-R-LE4F-VOLT-LEDG-COLTX / ECL1C-COLTX / ECLPS-12-S-3/4X20-6 1/2-DEC-COLTX
2	SL4C	BACK-BACK	3931	37	0.765	B1-U0-G1	LUMEC [ECL2-XXX]-35W32LED4K-R-LE4F-VOLT-LEDG-COLTX / ECL2C-2-COLTX / ECLPS-12-S-3/4X20-6 1/2-DEC-COLTX
2	SL5C	BACK-BACK	3891	37	0.765	B3-U0-G1	LUMEC [ECL2-XXX]-35W32LED4K-R-LE5F-VOLT-LEDG-COLTX / ECL2C-2-COLTX / ECLPS-12-S-3/4X20-6 1/2-DEC-COLTX
3	SL5D	BACK-BACK	5609	53.2	0.765	B3-U0-G1	LUMEC [ELC2-XXX]-55W32LED4K-R-LE5F-VOLT-LEDG-COLTX / ECL2C-2-COLTX / ECLPS-17.5-S-3/4X20-6 1/2-DEC-COLTX / MOUNTED TO A 2.5FT EXPOSED CONCRETE BASE

Calculation Summary

Label	Grid Height	Avg	Max	Min	Avg/Min	Max/Min
CalcPts_1	0	0.65	6.3	0.0	N.A.	N.A.
PAVED AREA		1.19	4.8	0.1	11.90	48.00



MAP REFERENCES:
- EXISTING CONDITIONS PLAN PREPARED FOR GOODWIN COLLEGE, INC., 1 PENT ROAD, EAST HARTFORD, CONNECTICUT, DATED 1/19/17, REVISED 7/26/17, BY DENNO LAND SURVEYING & CONSULTING,LLC, TARIFFVILLE, CT
- SITE GRADING AND DRAINAGE PLAN, GOODWIN COLLEGE 'PARKING IMPROVEMENTS AT 211 RIVERSIDE DRIVE' DATE: FEBRUARY 22, 2012 SCALE: 1" = 20' PREPARED BY ZUVIC-CARR ASSOCIATES ROCKY HILL, CT

SITE LIGHTING PHOTOMETRIC CALCULATION
SCALE: 1" = 30'

0 30 90
15 60

GOODWIN COLLEGE CONNECTICUT RIVER ACADEMY MANUFACTURING ANNEX

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12-20-2017

STATE OF CONNECTICUT — PETER J. PYORIS — No. 19490 — LICENSED — PROFESSIONAL ENGINEER

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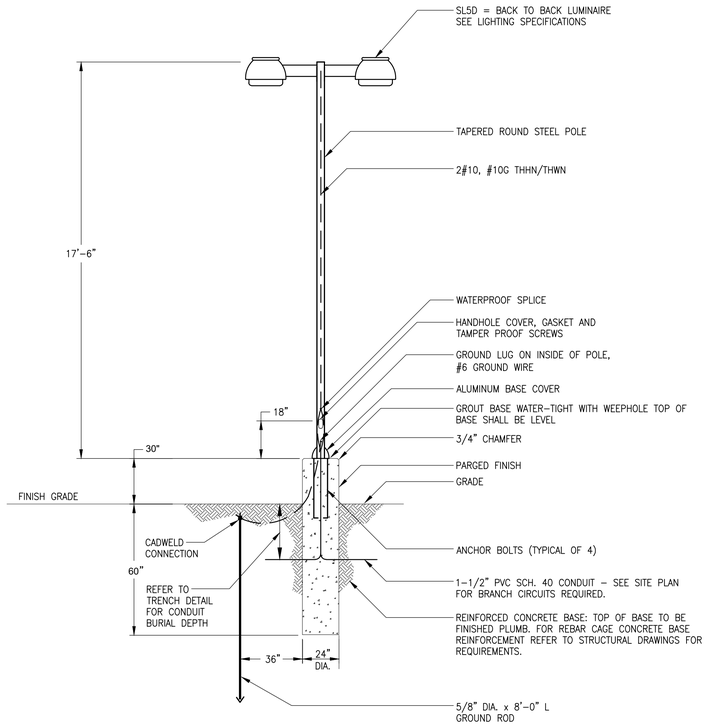
SCALE 1" = 30'

REVISIONS:

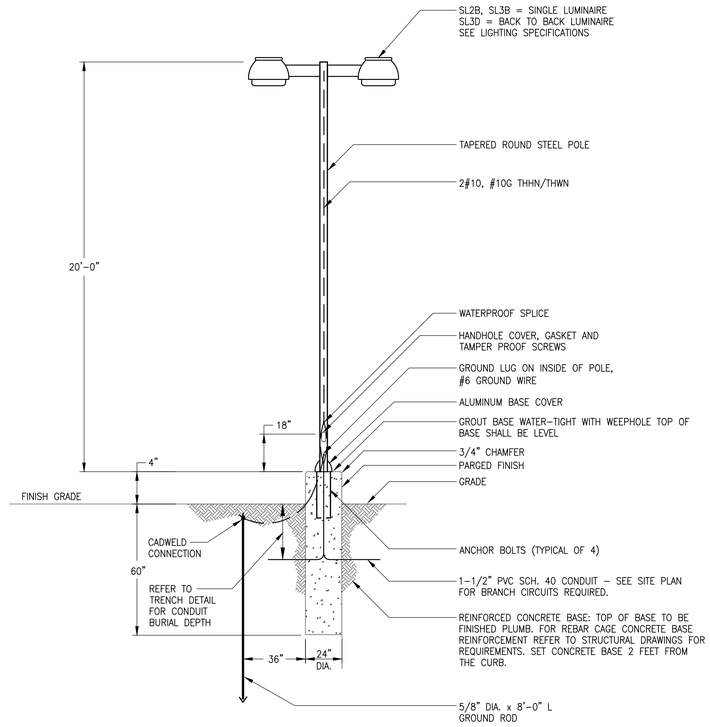
SITE LIGHTING PHOTOMETRIC CALCULATION

SL-1



SITE LIGHTING MOUNTING DETAIL - 17.5FT POLE

SCALE: N.T.S.



SITE LIGHTING MOUNTING DETAIL - 20FT POLE

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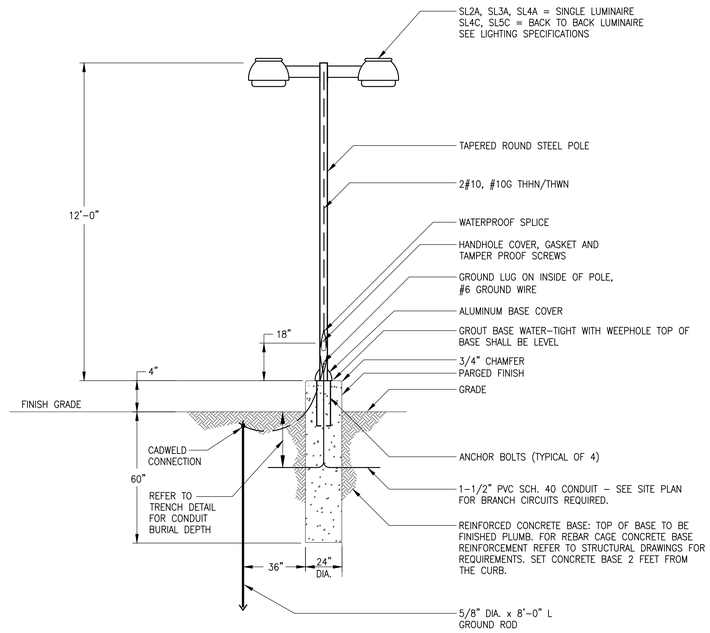

SITE LIGHTING MOUNTING DETAIL - 12FT POLE

SCALE: N.T.S.

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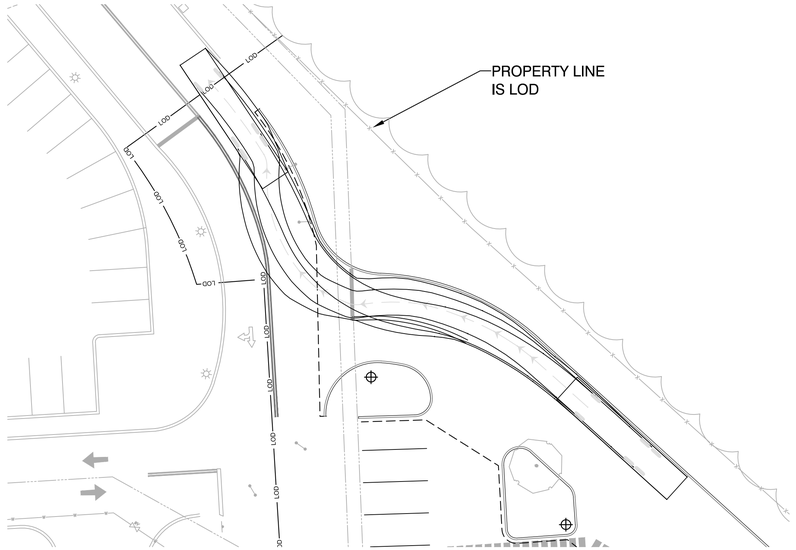
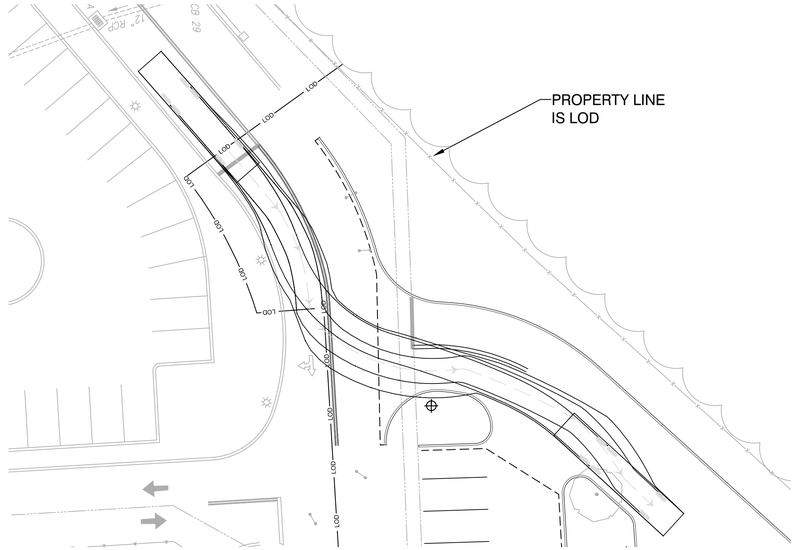
SITE ELECTRICAL DETAILS

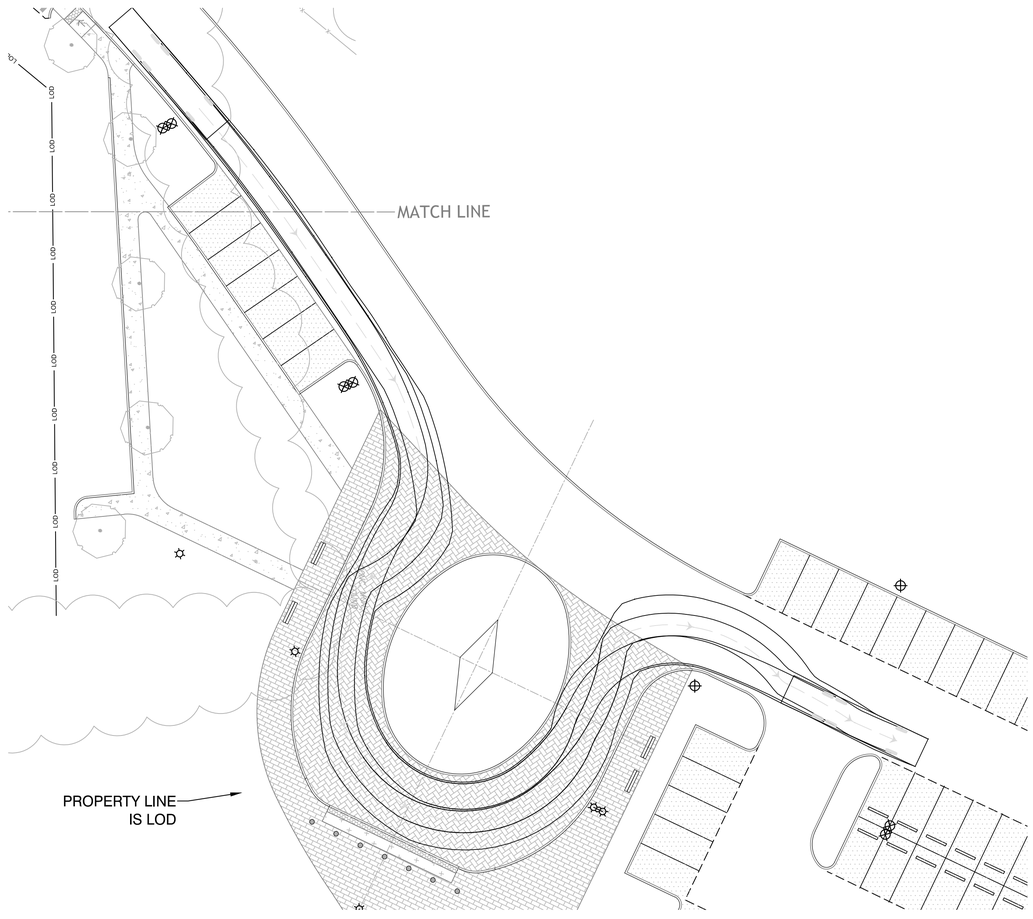
SE-1



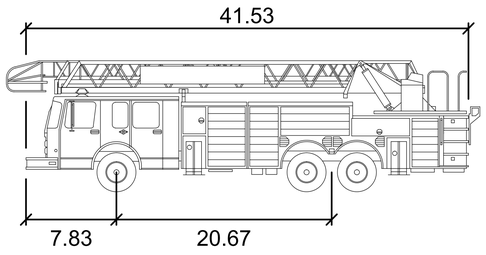
FIRE TRUCK MOVEMENT – NORTH
SCALE: 1"=20'



FIRE TRUCK MOVEMENT – NORTH
SCALE: 1"=20'



FIRE TRUCK MOVEMENT – SOUTH
SCALE: 1"=20'



Fire Truck 1

	feet
Width	: 8.50
Track	: 7.61
Lock to Lock Time	: 6.0
Steering Angle	: 40.0

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0 30 90
15 60

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SCALE 1"=20'

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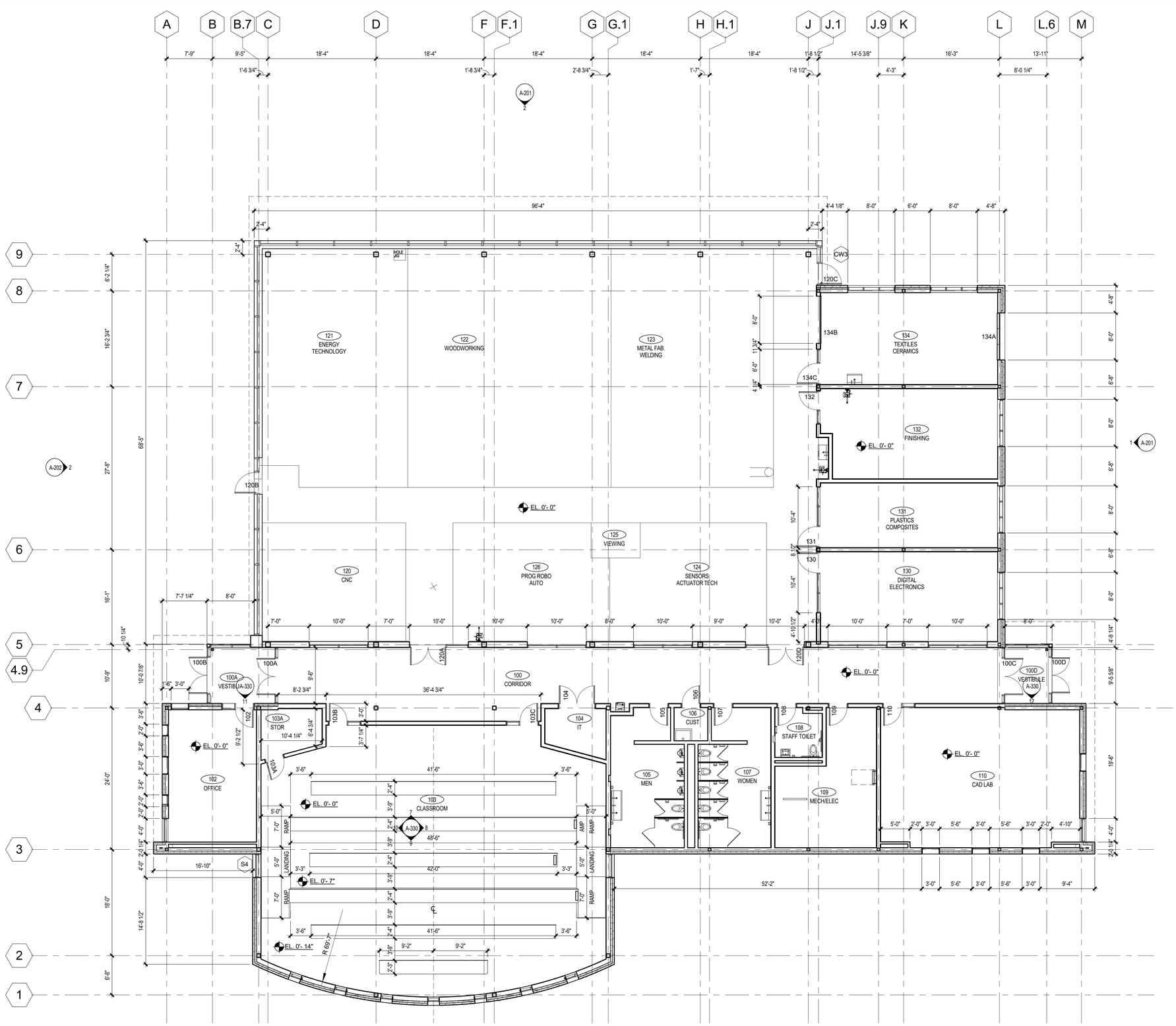
TURNING MOVEMENT PLAN

L-901



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SCALE 1/8" = 1'-0"

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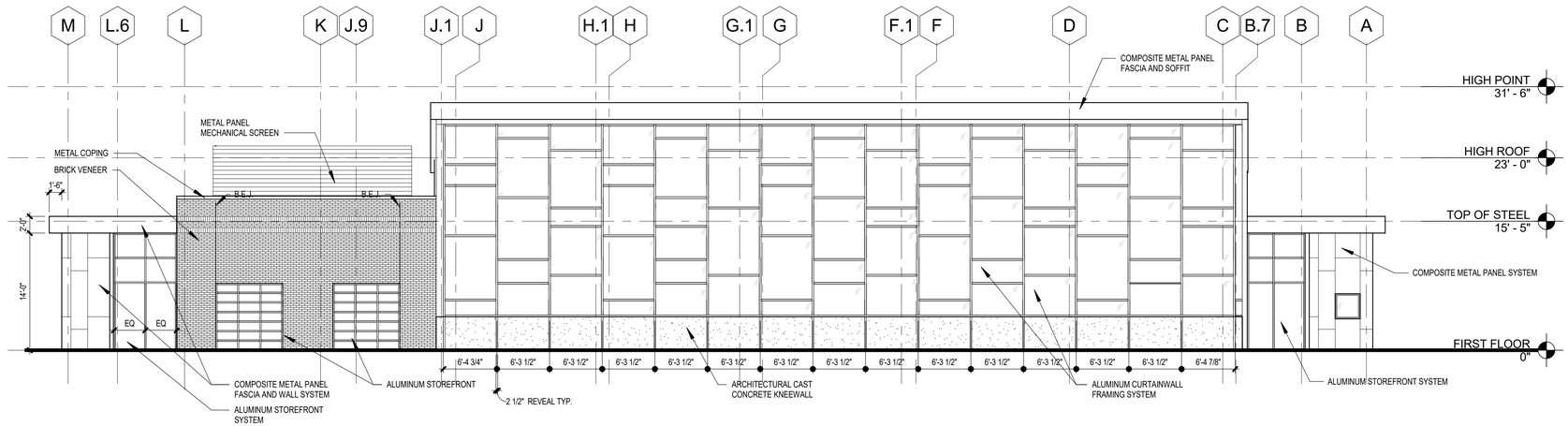
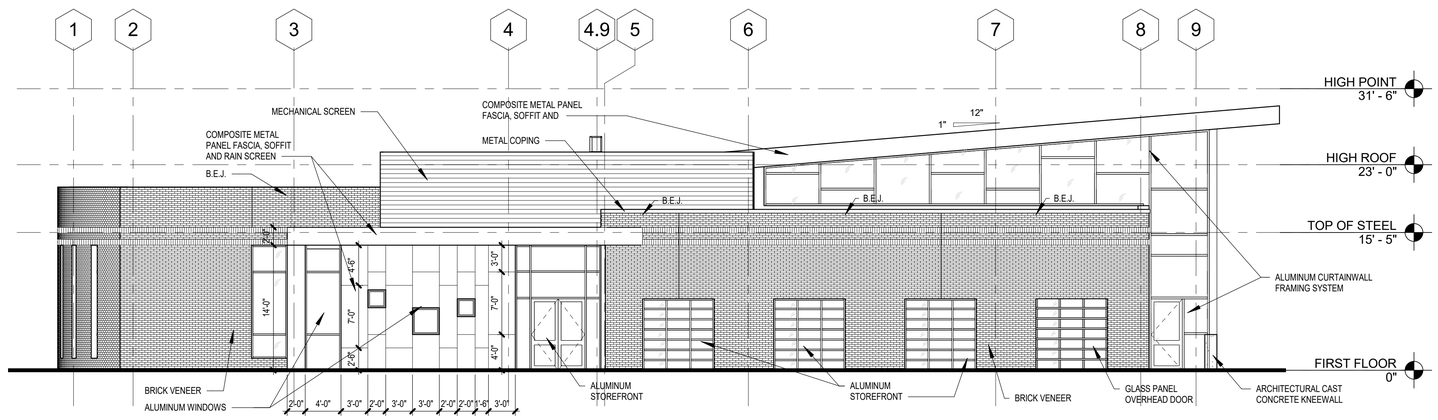
PLAN - FIRST FLOOR

A-100



2 EXTERIOR ELEVATION - NORTH
1/8" = 1'-0"



1 EXTERIOR ELEVATION - EAST
1/8" = 1'-0"

GOODWIN COLLEGE CONNECTICUT RIVER ACADEMY MANUFACTURING ANNEX

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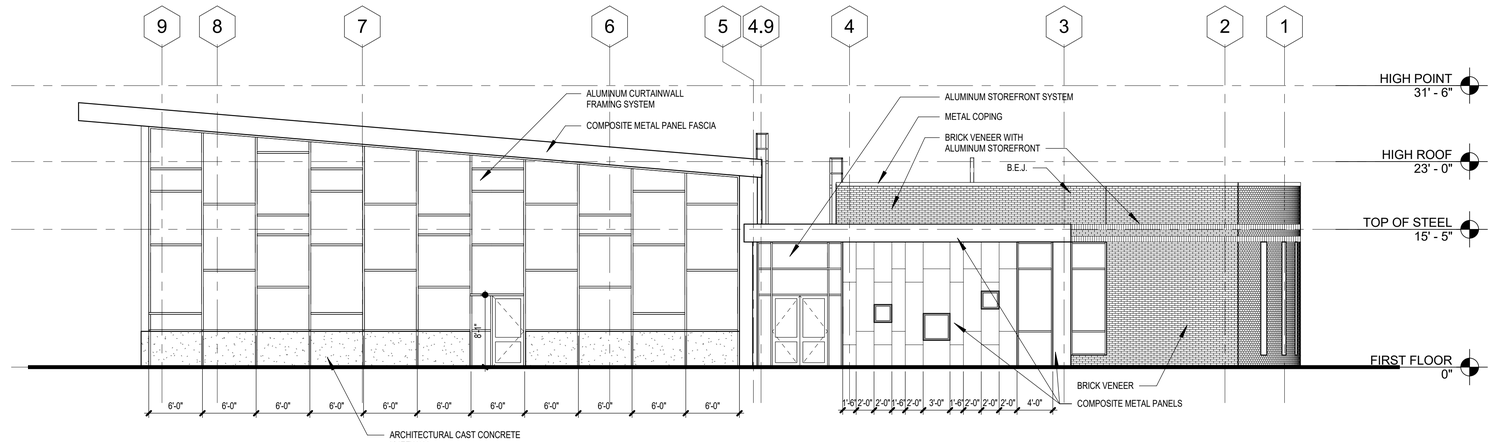
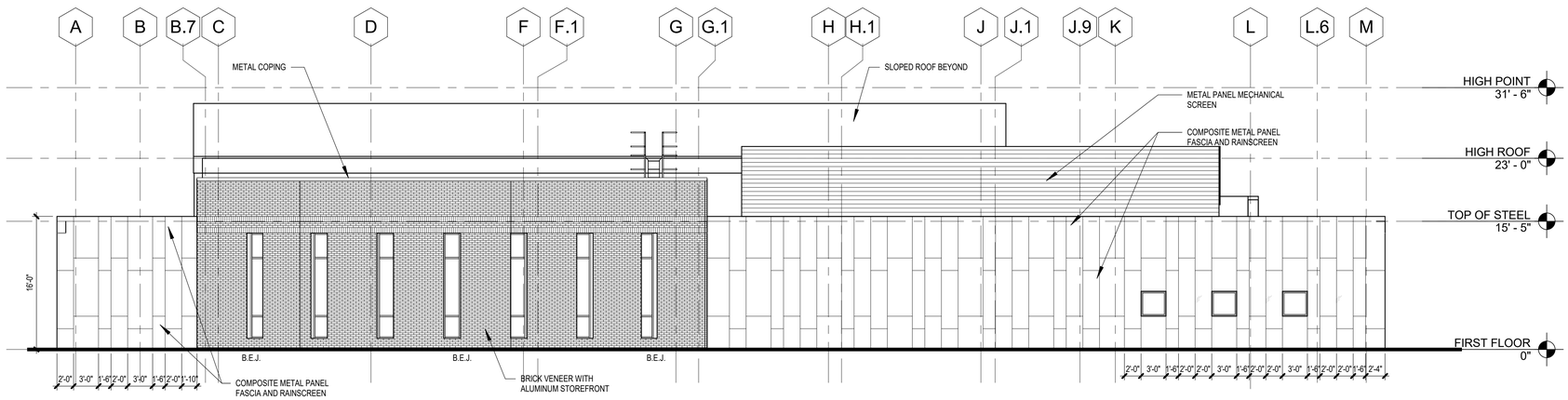
EXTERIOR ELEVATIONS

A-201



2 EXTERIOR ELEVATION - WEST
1/8" = 1'-0"



1 EXTERIOR ELEVATION - SOUTH
1/8" = 1'-0"

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EXTERIOR ELEVATIONS

A-202